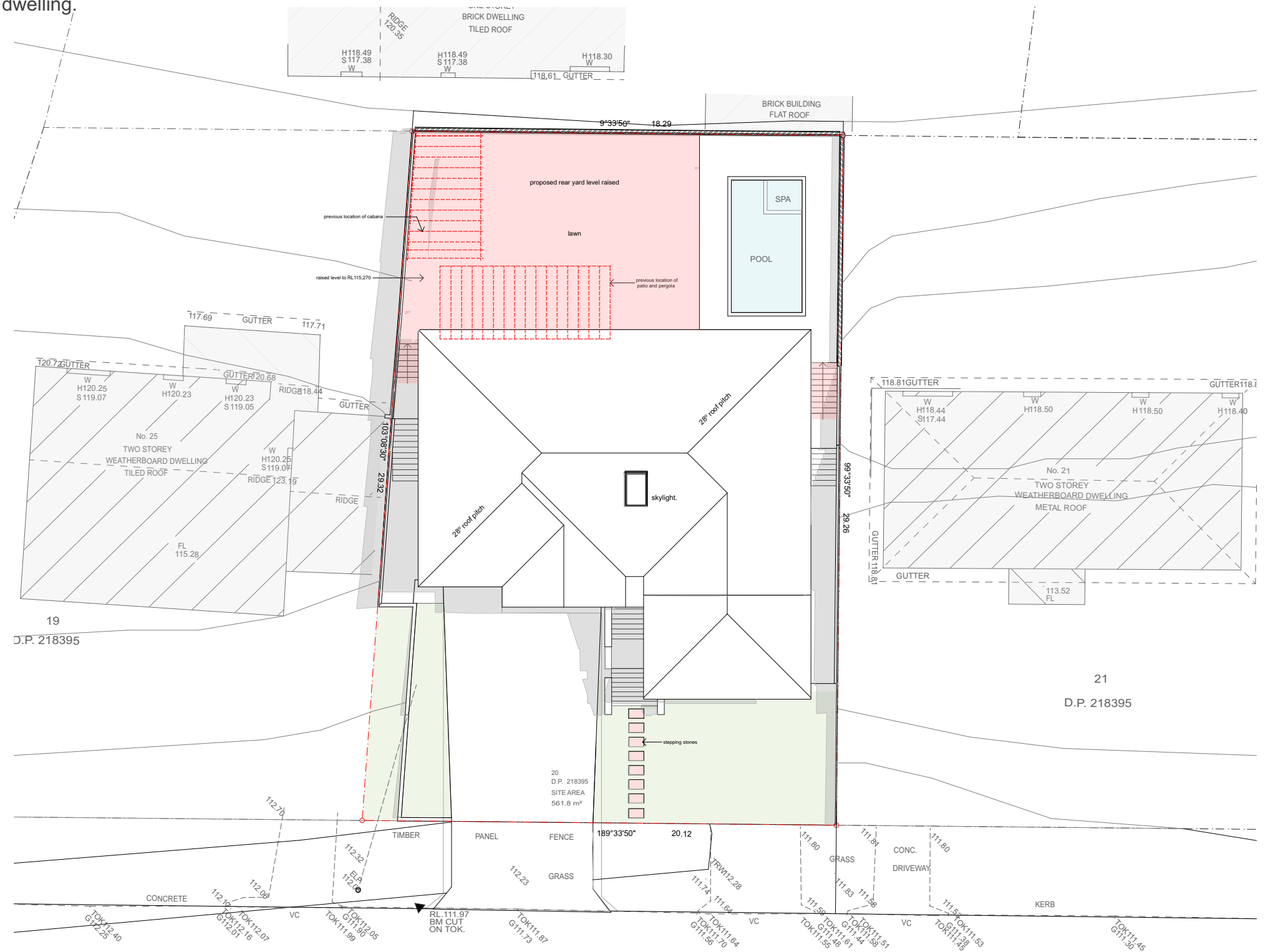


DEVELOPMENT APPLICATION

23 Reynolds Crescent BEACON HILL

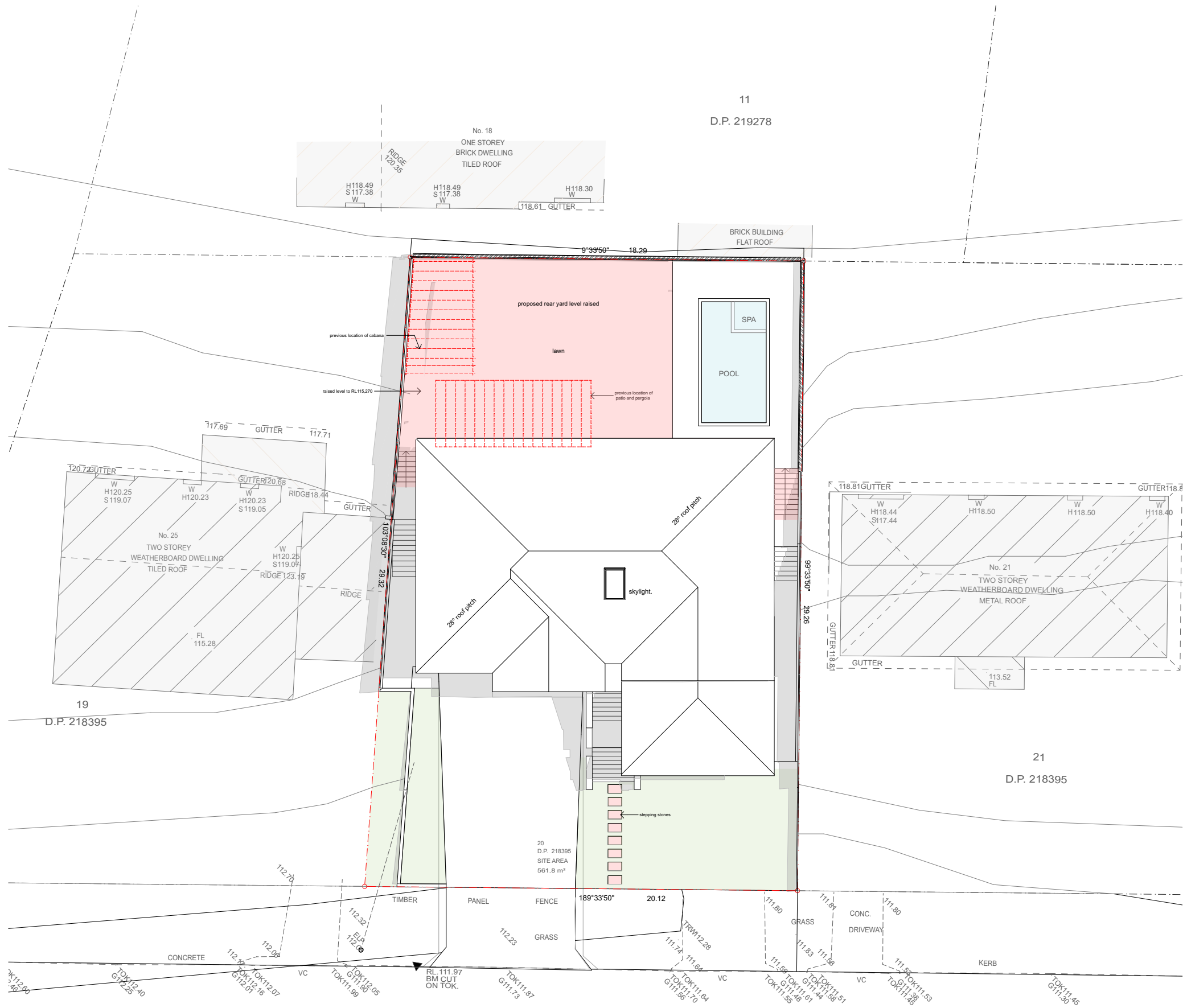
Proposed store room and raised rear yard finished level to approved dwelling.

Dwg No:	Drawing Name
DA.00	COVER PAGE
DA.01	SITE PLAN
DA.02	LOWER GROUND
DA.03	GROUND FLOOR
DA.04	ELEVATION - EAST
DA.05	ELEVATION - NORTH
DA.06	ELEVATION - SOUTH
DA.07	ELEVATION - WEST
DA.08	SECTION AA
DA.09	CALCULATIONS



design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial



SITE PLAN
1:200

Proposed Development Application

Note

- Dimensions in millimeters.
- Confirm all dimensions on site prior to commencing work.
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Issue A
Revision Development Application

Date 12/10/20

m : 0403 324 888
e : michael@studioml.com.au
w : www.studioml.com.au

design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

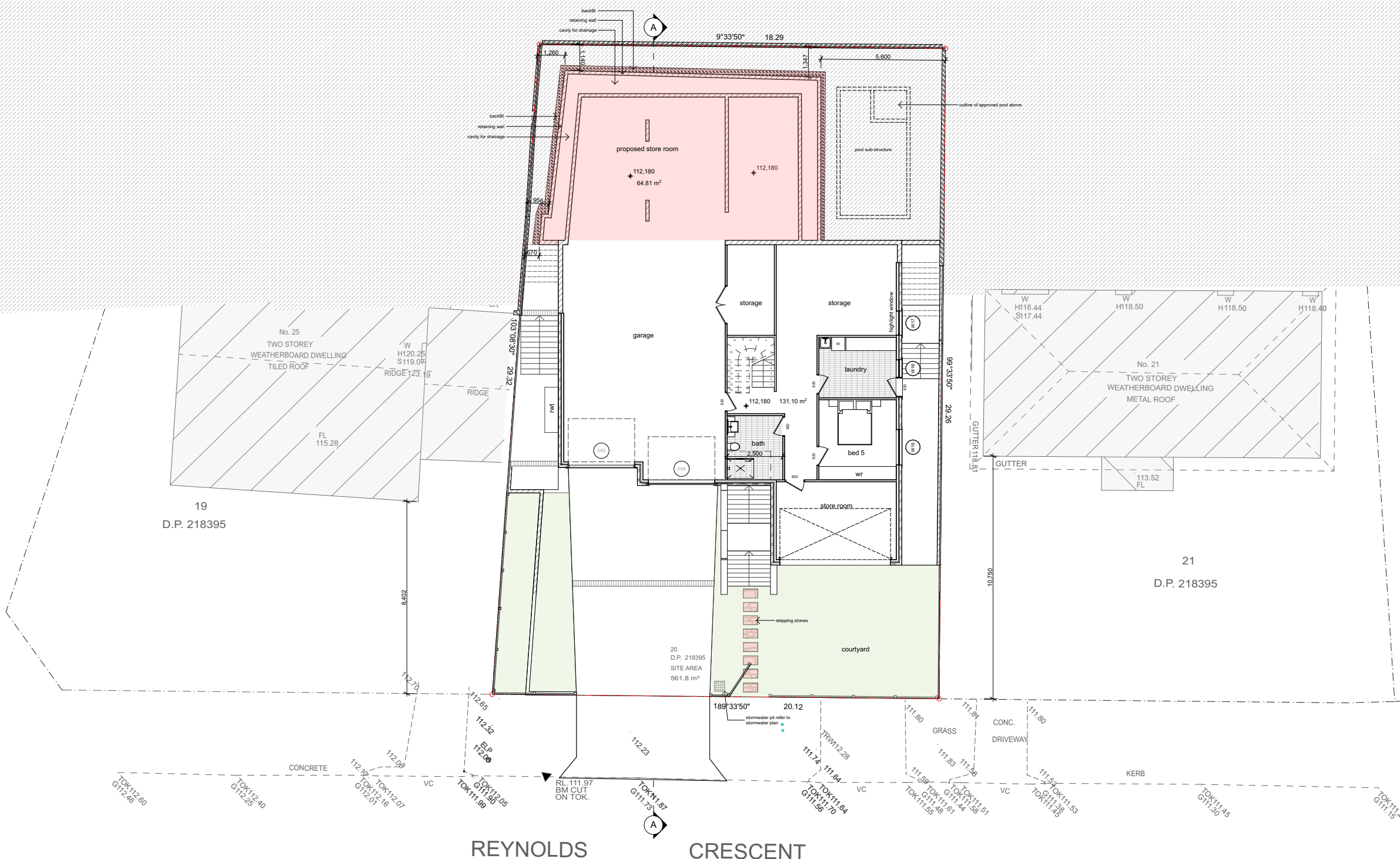


Project
Development Application - Proposed plant room and raised rear yard finished level
Project Address
23 Reynolds Crescent, Beacon Hill

Client
Mr & Mrs Calci
Drawing
SITE PLAN

Job
1805
Dwg no
DA.01

Development Application



LOWER GROUND
1:200

Note

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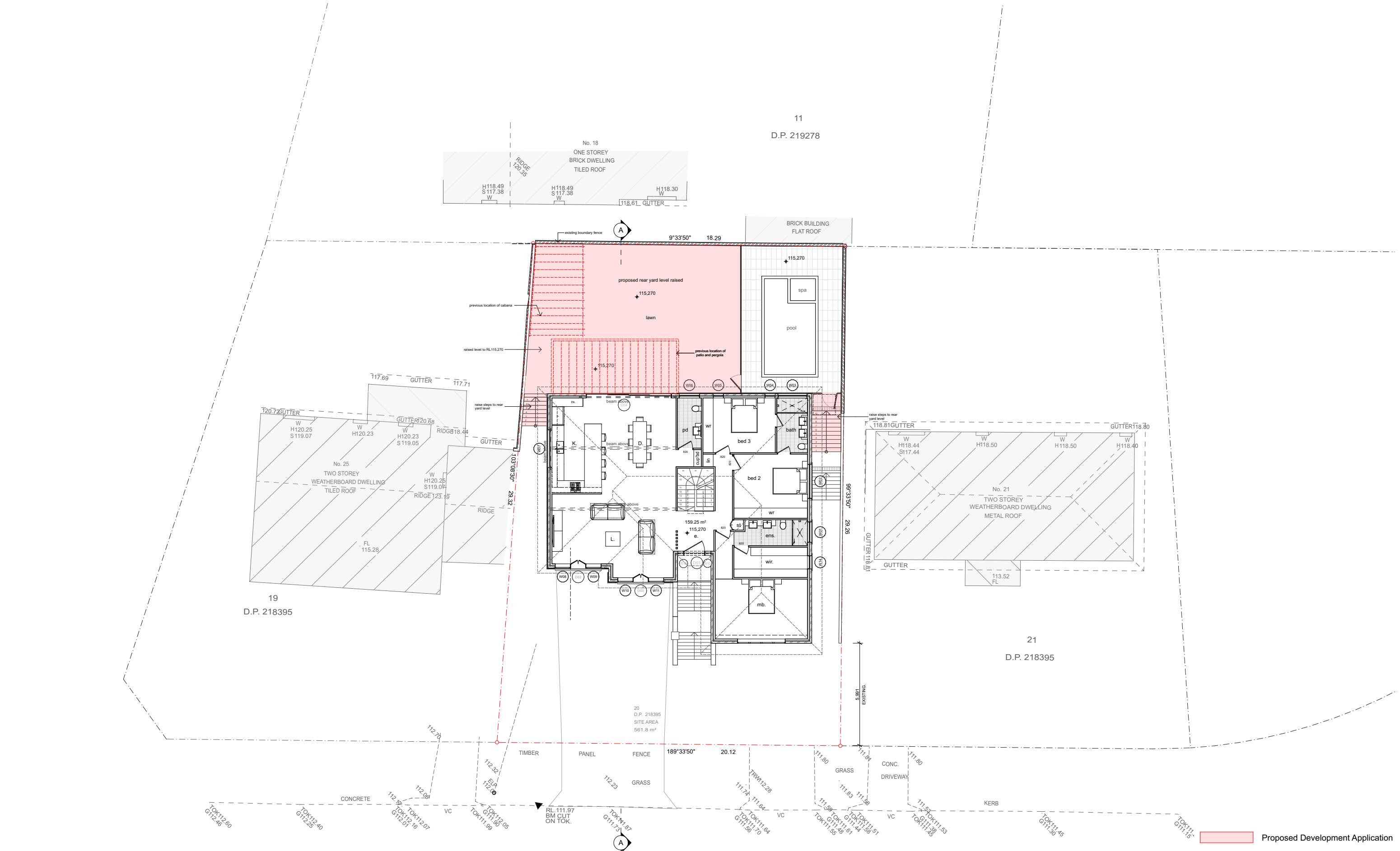
Project Development Application - Proposed plant room and raised rear yard finished level
Project Address 23 Reynolds Crescent, Beacon Hill

Client Mr & Mrs Calci
Drawing LOWER GROUND

Job 1805
Dwg no DA.02

Development Application

Proposed Development Application



GROUND FLOOR
1:200

Note

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Issue
A
Revision
Development Application

Date
12/10/20

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w : www.studioml.com.au

design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

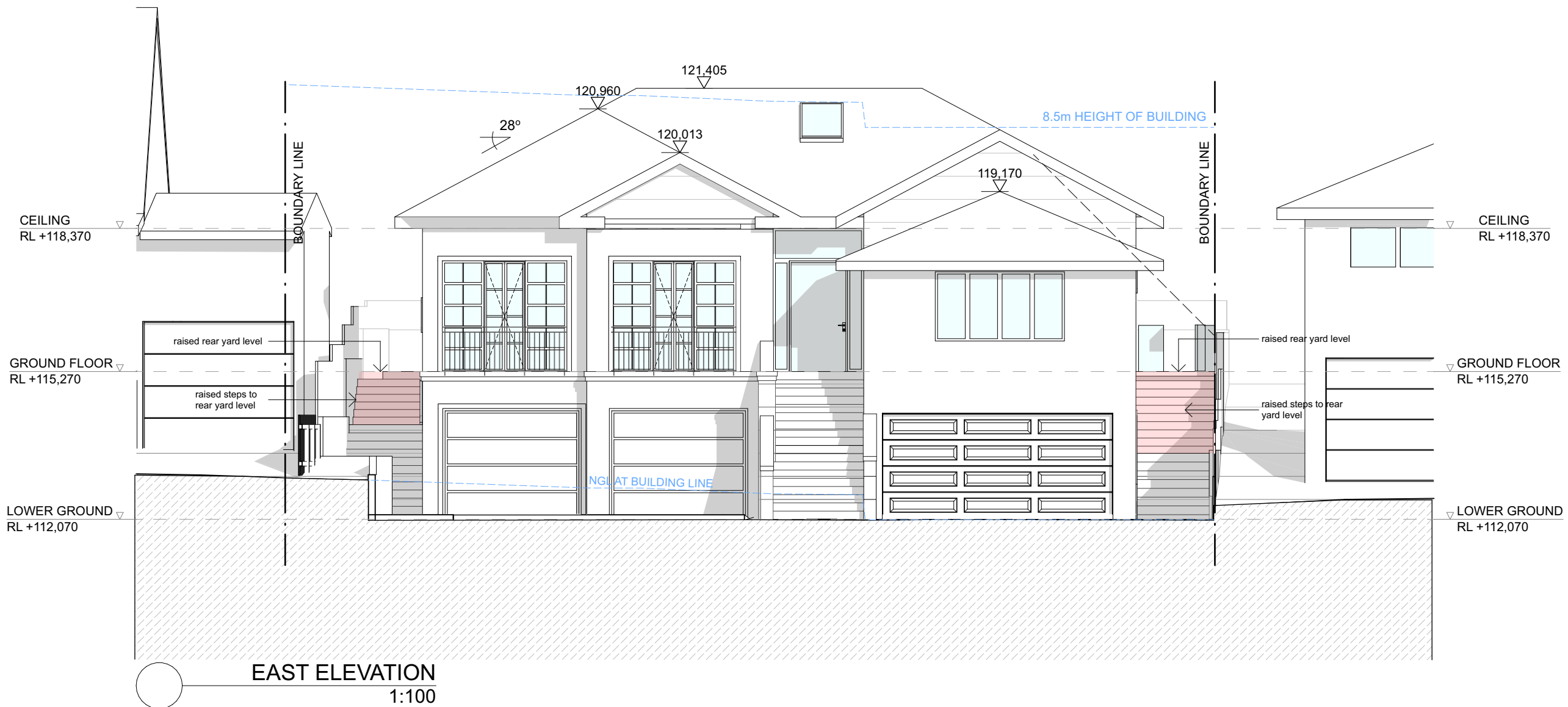


Project
Development Application - Proposed plant room and raised rear yard finished level
Project Address
23 Reynolds Crescent, Beacon Hill

Client
Mr & Mrs Calci
Drawing
GROUND FLOOR

Job
1805
Dwg no
DA.03

Development Application



Proposed Development Application

Development Application

Note

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Issue A
Revision Development Application

Date 12/10/20

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w : www.studioml.com.au

design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project
Development Application - Proposed plant room and raised rear yard finished level

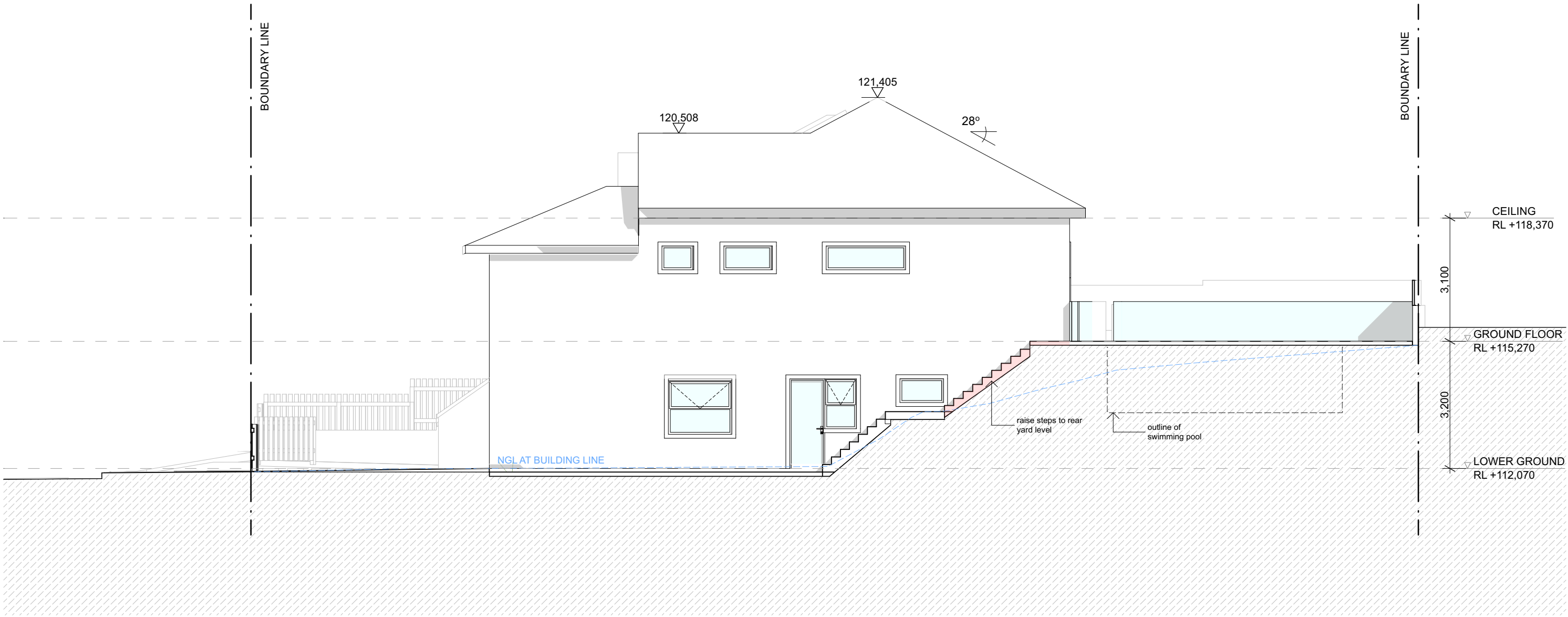
Project Address
23 Reynolds Crescent, Beacon Hill

Client
Mr & Mrs Calci

Drawing
ELEVATION - EAST

Job
1805

Dwg no
DA.04



 **NORTH ELEVATION**
1:100

 Proposed Development Application

Development Application

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Issue A
Revision Development Application

Date 12/10/20

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e : michael@studioml.com.au
w : www.studioml.com.au

design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project
Development Application - Proposed plant room and raised rear yard finished level

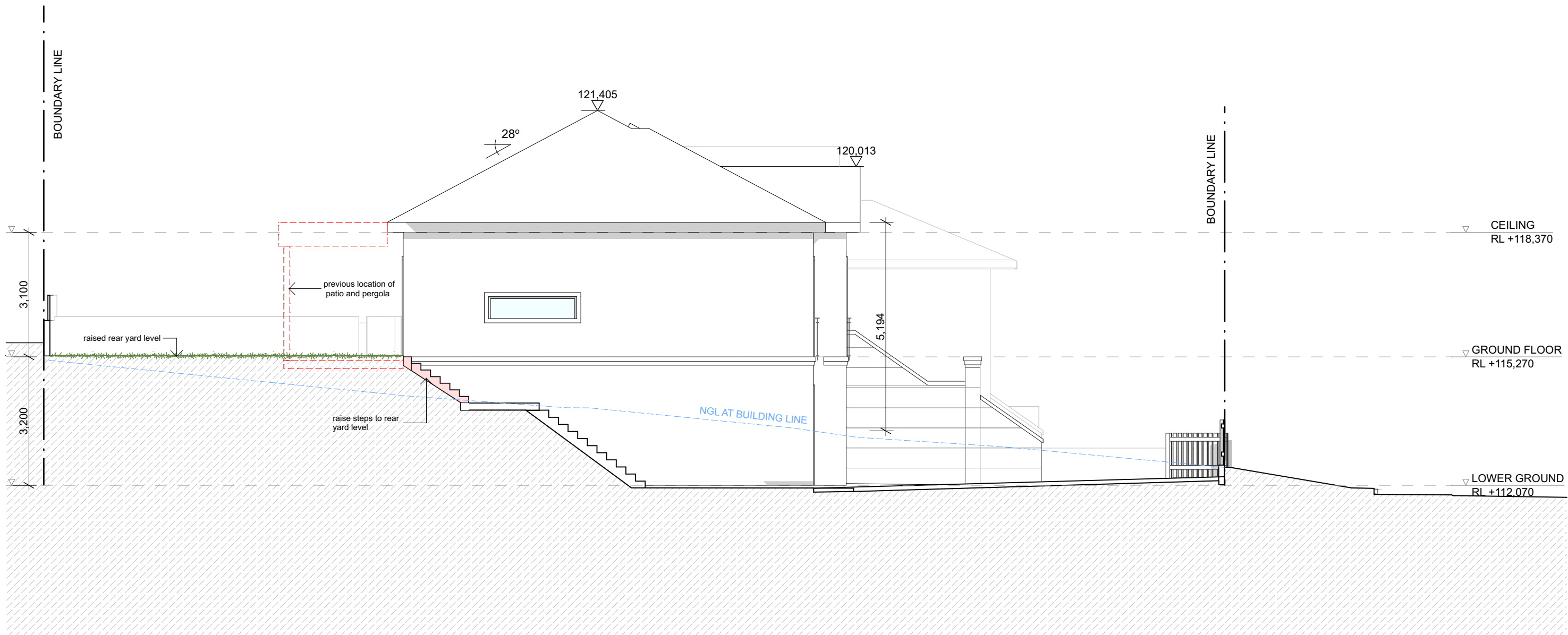
Client
Mr & Mrs Calci

Job
1805

Project Address
23 Reynolds Crescent, Beacon Hill

Drawing
ELEVATION - NORTH

Dwg no
DA.05



SOUTH ELEVATION
1:100

Proposed Development Application

Development Application

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Revision Development Application

Date 12/10/20

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design : **STUDIO ML**

residential : mutli - unit dwellings : alterations & additions : commercial

Project
Development Application - Proposed plant room and raised rear yard finished level

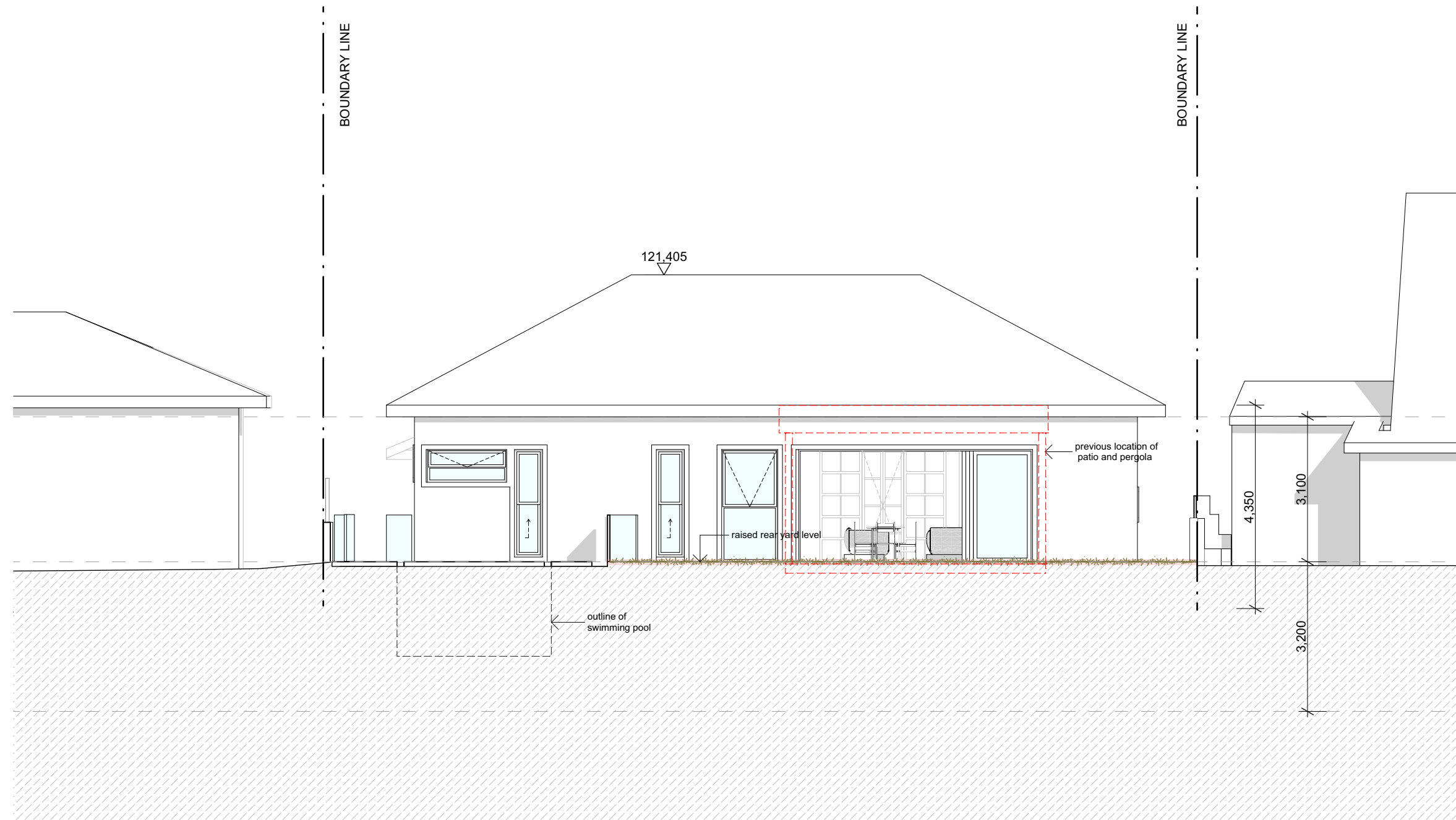
Project Address
23 Reynolds Crescent, Beacon Hill

Client
Mr & Mrs Calci

Drawing
ELEVATION - SOUTH

Job
1805

Dwg no
DA.06



WEST ELEVATION
1:100

Proposed Development Application

Note

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Issue A
Revision Development Application

Date 12/10/20

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residential : mutli - unit dwellings : alterations & additions : commercial

Project
Development Application - Proposed plant room and raised rear yard finished level

Project Address
23 Reynolds Crescent, Beacon Hill

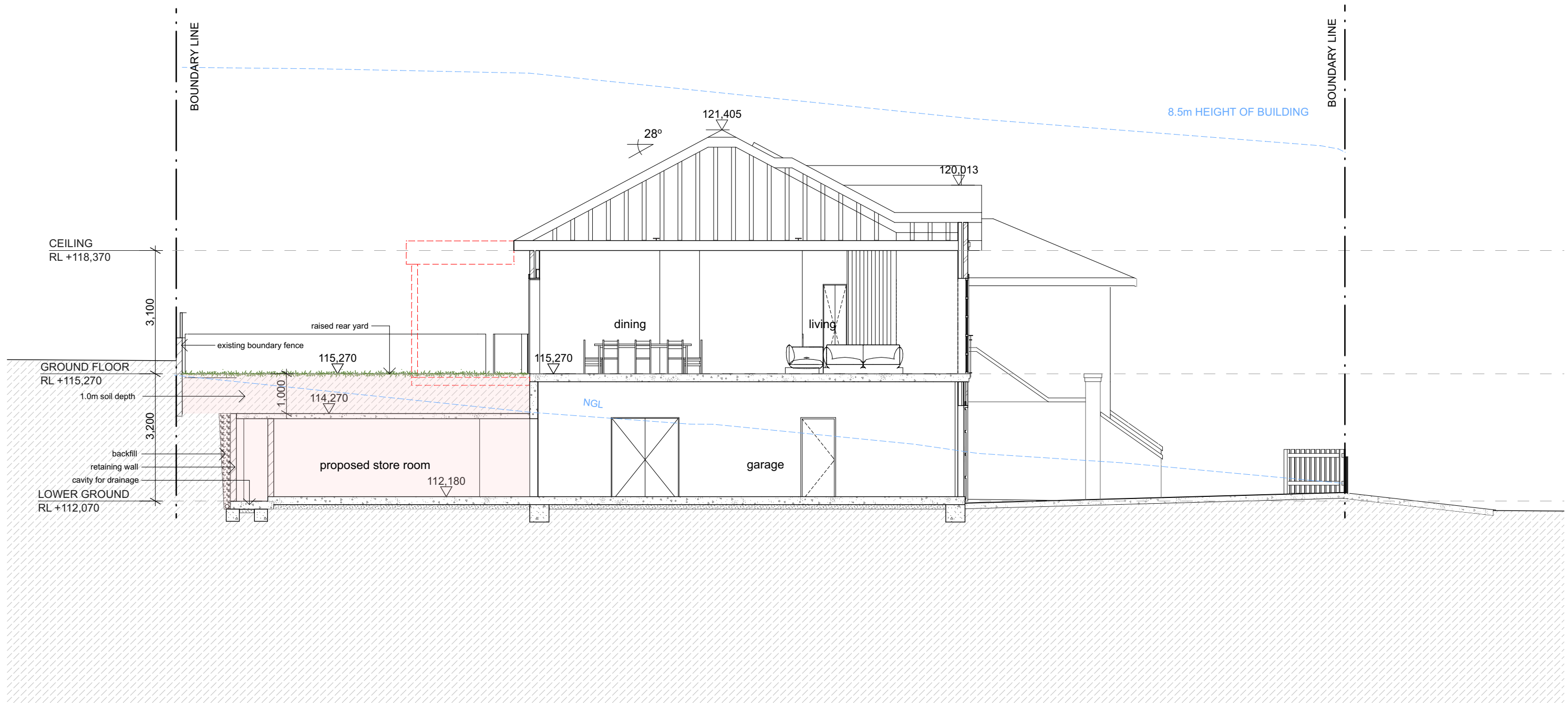
Client
Mr & Mrs Calci

Drawing
ELEVATION - WEST

Job
1805

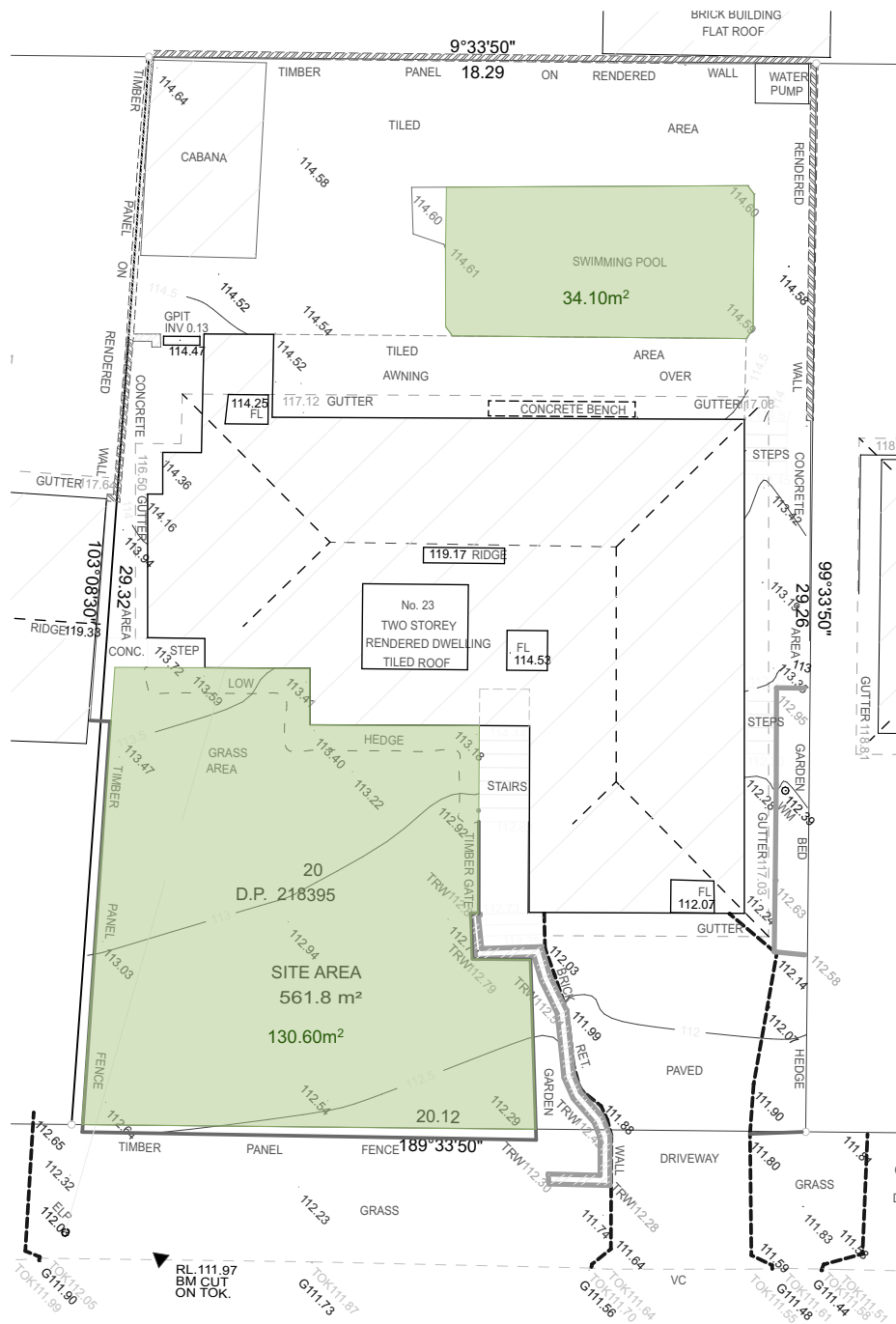
Dwg no
DA.07

Development Application



SECTION AA
1:100

Proposed Development Application

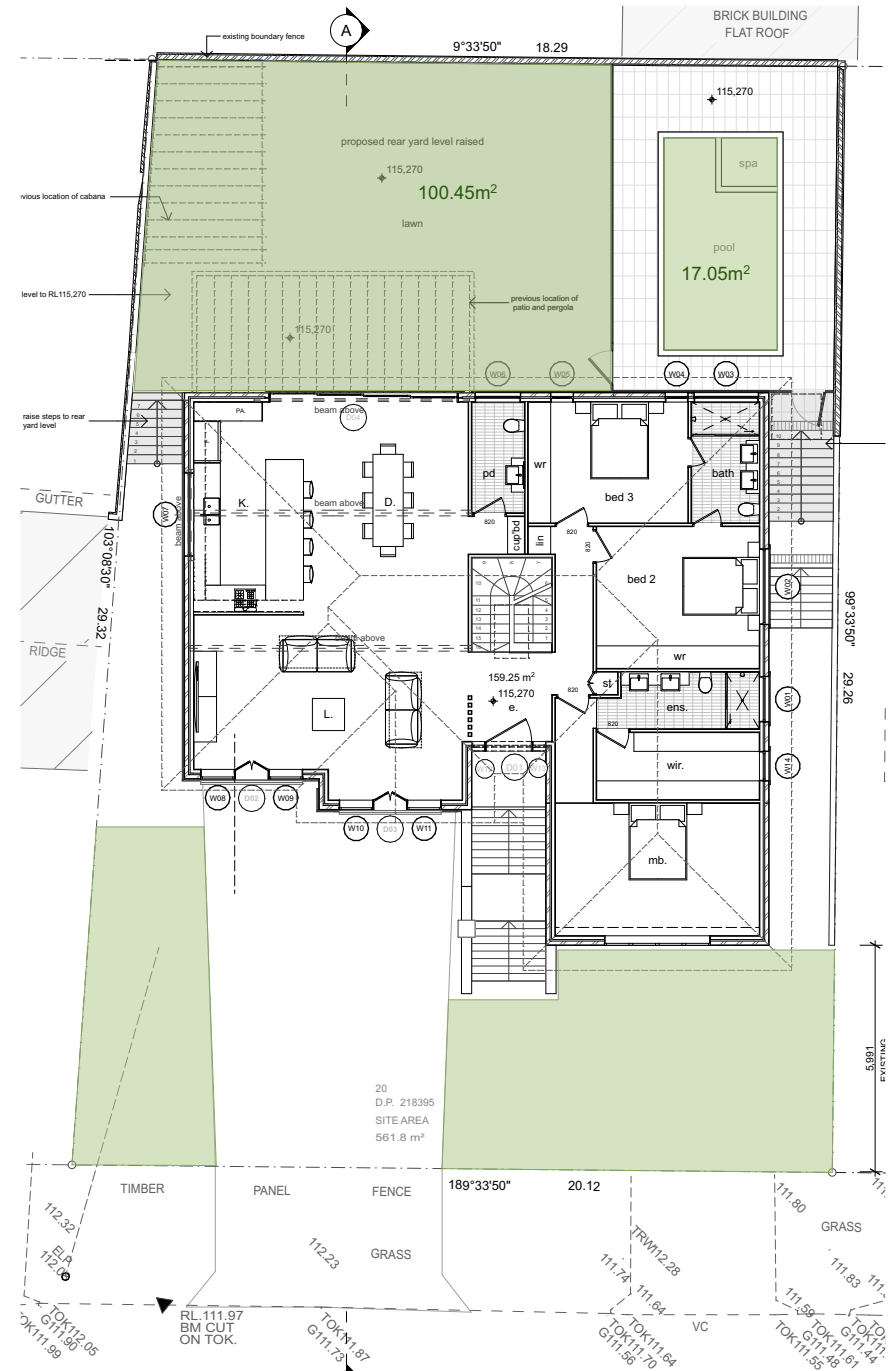


REYNOLDS CRESCENT

PRE-DEVELOPMENT SURVEY
1:200

PRE-DEVELOPMENT CALCULATION

SITE AREA = 561.80m ²			
<div></div>	LANDSCAPED AREA		
	FRONT YARD	130.60m ²	
	REAR YARD	34.10m ²	
	TOTAL LANDSCAPED AREA	164.70m ²	(29.3%)



REYNOLDS CRESCENT

PROPOSED DEVELOPMENT APPLICATION
Scale 1:200

PROPOSED DA CALCULATION

SITE AREA = 561.80m ²			
<div></div>	LANDSCAPED AREA		
	FRONT YARD	86.85m ²	
	REAR YARD	117.50m ²	
	TOTAL LANDSCAPED AREA	204.35m ²	(36.3%)

Note

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Issue A
Revision Development Application

Date 12/10/20

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Project Development Application - Proposed plant room and raised rear yard finished level

Project Address 23 Reynolds Crescent, Beacon Hill

Client Mr & Mrs Calci

Drawing CALCULATIONS

Job 1805

Dwg no DA.09

Development Application

STORMWATER MANAGEMENT PLAN (FOR DA)

PROPOSED ADDITIONS AND ALTERATIONS















No.23 REYNOLDS CRESCENT, BEACON HILL

GENERAL NOTES

1. FINAL LOCATION OF NEW DOWNPIPES TO BE DETERMINED BY BUILDER/ARCHITECT AT TIME OF CONSTRUCTION.
2. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTS AND OTHER CONSULTANTS DRAWINGS. ANY DISCREPANCIES TO BE REFERRED TO THE ENGINEER BEFORE PROCEEDING WITH WORK.
3. ALL MATERIALS AND WORKMANSHIP TO BE IN ACCORDANCE WITH AS/NZS 3500.3:2003 STORMWATER DRAINAGE, BCA AND LOCAL COUNCIL POLICY/CONSENT/REQUIREMENTS.
4. ALL DIMENSIONS AND LEVELS TO BE VERIFIED BY BUILDER ON-SITE PRIOR TO COMMENCEMENT OF WORKS. THESE DRAWINGS ARE NOT TO BE SCALED FOR DIMENSIONS NOR TO BE USED FOR SETOUT PURPOSES.
5. ALL SURVEY INFORMATION AND PROPOSED BUILDING AND FINISHED SURFACE LEVELS SHOWN IN THESE DRAWINGS ARE BASED ON LEVELS OBTAINED FROM DRAWINGS BY OTHERS.
6. ALL STORMWATER DRAINAGE PIPES ARE TO BE uPVC AT MINIMUM 1% GRADE UNLESS NOTED OTHERWISE.
7. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE AND LEVEL ALL EXISTING SERVICES OR OTHER STRUCTURES WHICH MAY AFFECT/BE AFFECTED BY THIS DESIGN PRIOR TO COMMENCEMENT OF WORKS.
8. ALL PITS WITHIN DRIVEWAYS TO BE 150mm THICK CONCRETE OR EQUAL.
9. THIS PLAN IS THE PROPERTY OF NY CIVIL ENGINEERING AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION FROM NY CIVIL ENGINEERING.

PLAN SPECIFIC NOTES

1. **ROOF DRAINAGE NOTE:** AS 3500 ROOF DRAINAGE REQUIRES EAVES GUTTERS TO BE SIZED FOR 20 YEAR 5 MIN. STORM = 205mm/hr. FOR EAVES GUTTERS, AS 3500.3:2003 THEN HAS THE FOLLOWING REQUIREMENTS:
i) FOR TYPICAL STANDARD QUAD GUTTER WITH $A_e = 6000\text{mm}^2$ AND GUTTER SLOPE 1:500 AND STEEPER, THIS REQUIRES ONE DOWNPIPE PER 30m^2 ROOF AREA.
ii) DOWNPIPES TO BE MINIMUM 90mm DIA. OR 100 x 50mm FOR GUTTERS SLOPE 1:500 AND STEEPER.
iii) OVERFLOW METHOD TO FIGURE G1 OF AS 3500.3:2003
IT IS THE RESPONSIBILITY OF THE PLUMBER AND / OR BUILDER TO COMPLY WITH THIS. THIS DRAWING SHOWS PRELIMINARY LOCATIONS / NUMBERS OF DOWNPIPES ONLY WHICH ARE TO BE VERIFIED BY BUILDER / PLUMBER
2. **TREE PRESERVATION:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY PRIOR APPROVAL REQUIRED FROM COUNCIL WITH RESPECT TO POTENTIAL IMPACT ON TREES FOR ANY WORKS SHOWN ON THIS DRAWING PRIOR TO THE COMMENCEMENT OF THOSE WORKS
3. ALL ROOF GUTTERS TO HAVE OVERFLOW PROVISION IN ACCORDANCE WITH AS 3500.3:2003 AND SECTIONS 3.5.3, 3.7.5 AND APPENDIX G OF AS 3500.3:2003
4. THIS DRAWING IS NOT TO BE USED FOR SET-OUT PURPOSES - REFER TO ARCHITECTURAL DRAWINGS
5. LOCATION OF SURFACE STORMWATER GRATED INLET PITS MAY BE VARIED OR NEW PITS INSTALLED AT THE CONSTRUCTION STAGE PROVIDED DESIGN INTENT OF THIS DRAWING IS MAINTAINED

SURFACE INLET PIT		LEGEND	GRATED TRENCH DRAIN	
SURFACE INLET PIT (WITH ENVIROPOD 200 MICRON)			ABSORPTION TRENCH	
ACCESS GRATE (WITH ENVIROPOD 200 MICRON)			PROPOSED ROOF GUTTER FALL	
450 SQUARE INTERVAL	450 X 450		PROPOSED DOWNPIPE SPREADER	
GRATE LEVEL = 75.50	SL 75.50		STORMWATER PIPE 100mm DIA. MIN. UNO	
INVERT LEVEL = RL 75.20	IL 75.20		SUBSOIL PIPE	
PROPOSED DOWNPIPE 90mm DIA. OR 100mm x 50mm MIN.			EXISTING STORMWATER PIPE	
NATURAL GROUND FINISHED DESIGN LEVEL	\times 		INSPECTION RISER	
			RAINWATER HEAD	

DRAINAGE NOTES

PIPE SIZE:

THE MINIMUM PIPE SIZE SHALL BE:

- 90mm DIA WHERE THE LINE ONLY RECEIVES ROOFWATER RUNOFF; OR
- 100mm DIA WHERE THE LINE RECEIVES RUNOFF FROM PAVED OR UNPAVED AREAS ON THE PROPERTY

THE MINIMUM PIPE VELOCITY SHOULD BE 0.6 m/s AND A MAXIMUM PIPE VELOCITY OF 6.0 m/s DURING THE DESIGN STORM.

PIPE GRADE:

THE MINIMUM PIPE GRADE SHALL BE:

- 1.0% FOR PIPES LESS THAN 225mm DIA (UNO)
- 0.5% FOR ALL LARGER PIPES (UNO)

PIPES WITH A GRADIENT GREATER THAN 20% WILL REQUIRE ANCHOR BLOCKS AT THE TOP AND BOTTOM OF THE INCLINED SECTION; AND AT INTERVALS NOT EXCEEDING 3.0m

ANCHOR BLOCKS ARE DESIGNED ACCORDING TO *CLAUSE 3.5.3 OF AS3500.3-1990*

DEPTH OF COVER FOR PVC PIPES:

MINIMUM PIPE COVER SHALL BE AS FOLLOWS:

LOCATION	MINIMUM COVER
NOT SUBJECT TO VEHICLE LOADING	100mm SINGLE RESIDENTIAL 300mm ALL OTHER DEVELOPMENTS
SUBJECT TO VEHICLE LOADING UNDER A SEALED ROAD	450mm WHERE NOT IN A ROAD 600mm
UNSEALED ROAD	750mm
PAVED DRIVEWAY	100mm PLUS DEPTH OF CONCRETE

SEE AS2032 INSTALLATION OF UPVC PIPES FOR FURTHER INFORMATION.

CONCRETE PIPE COVER SHALL BE IN ACCORDANCE WITH AS3725-1989 *LOADS ON BURIED CONCRETE PIPES*, HOWEVER A MINIMUM COVER OF 450mm WILL APPLY.

WHERE INSUFFICIENT COVER IS PROVIDED, THE PIPE SHALL BE COVERED AT LEAST 50mm THICK OVERLAY AND SHALL THEN BE PAVED WITH AT LEAST:

- 150mm REINFORCED CONCRETE WHERE SUBJECT TO HEAVY VEHICLE TRAFFIC;
- 75mm THICKNESS OF BRICK OR 100mm OF CONCRETE PAVING WHERE SUBJECT TO LIGHT VEHICLE TRAFFIC; OR
- 50mm THICK BRICK OR CONCRETE PAVING WHERE NOT SUBJECT TO VEHICLE TRAFFIC.

CONNECTIONS TO STORMWATER DRAINS UNDER BUILDINGS:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 3.10 OF AS3500.3-1990*

CONNECTIONS TO COUNCIL SYSTEM:

IF PROPOSED DRAINAGE SYSTEM IS DESIGNED TO CONNECT TO COUNCIL'S DRAINAGE SYSTEM, IT IS ADVISED THAT A 'WORKS PERMIT' IS OBTAINED FROM THE RESPECTIVE COUNCIL PRIOR TO COMMENCEMENT OF WORKS

ABOVE GROUND PIPEWORK:

SHALL BE CARRIED OUT IN ACCORDANCE WITH *SECTION 6 OF AS3500.3-1990*

PIT SIZES AND DESIGN:

DEPTH (mm)	MINIMUM PIT SIZE (mm)
UP TO 450mm	450 x 450
450mm TO to 600mm	600 x 600
600mm TO 900mm	600 x 900
900mm TO 1500mm	900 x 900 (WITH STEP IRONS)
1500mm TO 2000mm	1200 x 1200 (WITH STEP IRONS)

ALL PIPES SHOULD BE CUT FLUSH WITH THE WALL OF THE PIT.

PITS GREATER THAN 600mm DEEP SHALL HAVE A MINIMUM ACCESS OPENING OF 600 x 600mm

THE GRATED COVERS OF PITS LARGER THAN 600 x 600mm ARE TO BE HINGED TO PREVENT THE GRATE FROM FALLING INTO THE PIT.

THE BASE OF THE DRAINAGE PITS SHOULD BE AT THE SAME LEVEL AS THE INVERT OF THE OUTLET PIPE. RAINWATER SHOULD NOT BE PERMITTED TO POND WITHIN THE STORMWATER SYSTEM

- **TRENCH DRAINS:**
CONTINUOUS TRENCH DRAINS ARE TO BE OF WIDTH NOT LESS THAN 150mm AND DEPTH NOT LESS THAN 100mm. THE BARS OF THE GRATING ARE TO BE PARALLEL TO THE DIRECTION OF SURFACE FLOW.
- **STEP IRONS:**
PITS BETWEEN 1.2m AND 6m ARE TO HAVE STEP IRONS IN ACCORDANCE WITH AS1657. FOR PITS GREATER THAN 6m OTHER MEANS OF ACCESS MUST BE PROVIDED.
- **PVC PITS:**
PVC PITS WILL ONLY BE PERMITTED IF THEY ARE NOT A GREATER SIZE THAN 450 x 450mm (MAXIMUM DEPTH 450mm) AND ARE HEAVY DUTY
- **IN-SITU PITS:**
IN-SITU PITS ARE TO BE CONSTRUCTED ON A CONCRETE BED OF AT LEAST 150mm THICK. THE WALLS ARE TO BE DESIGNED TO MEET THE MINIMUM REQUIREMENTS OF *CLAUSE 4.6.3 OF AS3500.4-1990*. PITS DEEPER THAN 1.8m SHALL BE CONSTRUCTED WITH REINFORCED CONCRETE.
- **GRATES:**
GRATES ARE TO BE GALVANISED STEEL GRID TYPE. GRATES ARE TO BE OF HEAVY-DUTY TYPE IN AREAS WHERE THEY MAY BE SUBJECT TO VEHICLE LOADING.

REVISION	DRAWN	DESCRIPTION	DATE	PLAN BY	DRAWING TITLE	APPROVED BY	DESIGNED	CHECKED
A	YR	ISSUED FOR DA	07.10.2020	 T 0416 334 977 E admin@nycivilengineering.com.au W www.nycivilengineering.com.au	DETAILS, NOTES & LEGEND PROJECT TITLE PROPOSED ADDITIONS AND ALTERATIONS No.23 REYNOLDS CRESCENT BEACON HILL	NADER ZAKI MIEAust  JOB REFERENCE E200036	YR	NZ
							SHEET SIZE	SCALE
							A3	-
							ISSUE	No. IN SET
							A	2
							DRAWING No.	
							D1	

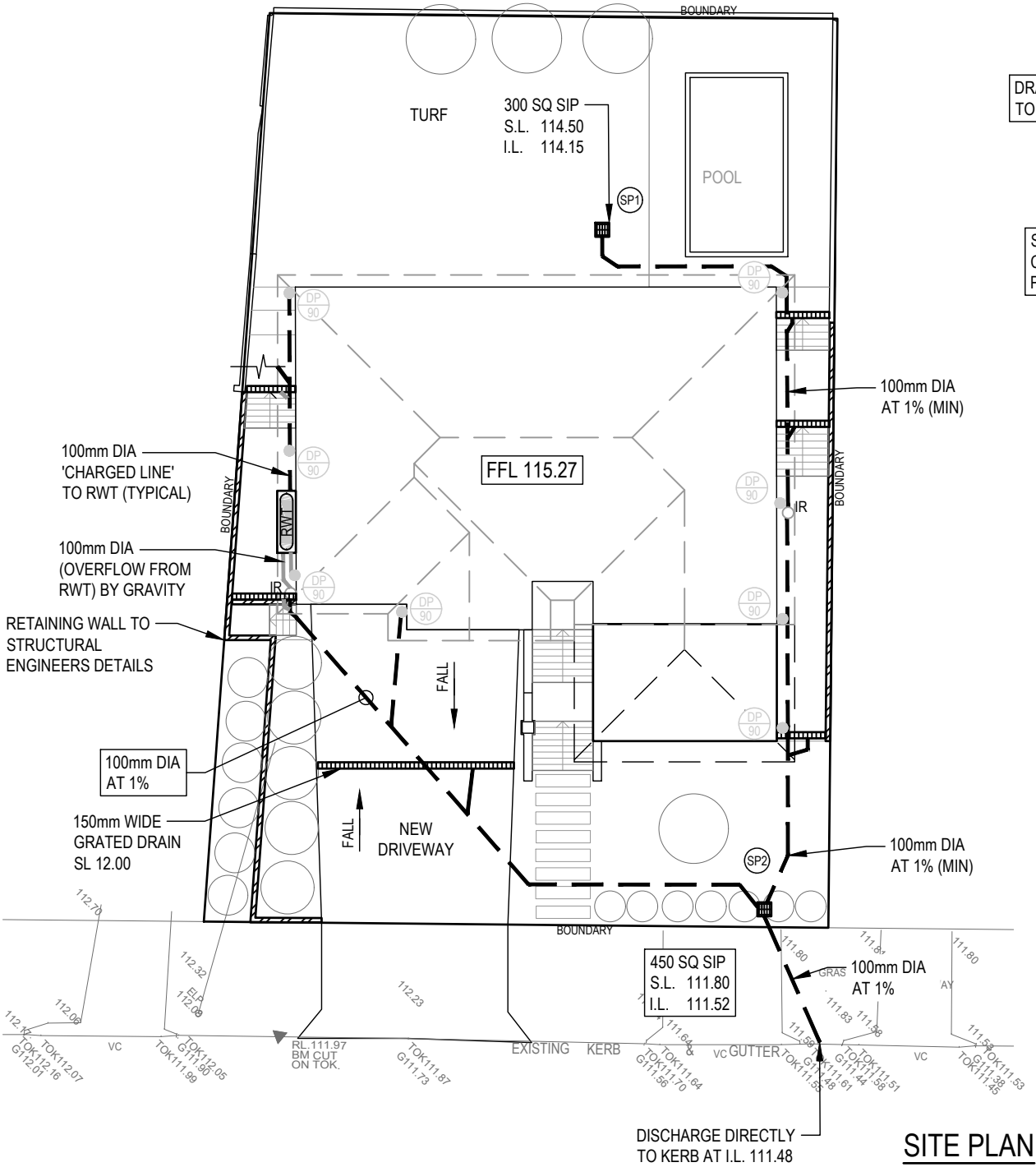
AREA CALCULATIONS		
TOTAL SITE AREA	561.8	m ²
EXISTING DEVELOPMENT		
ROOF AREA	212	m ²
PAVED AREA	75	m ²
DRIVEWAY AREA	30.0	m ²
IMPERVIOUS AREA	317.0	m ²
TOTAL IMPERVIOUS AREA PERCENTAGE	56.43%	
PROPOSED DEVELOPMENT		
PROPOSED ROOF AREA	256	m ²
PROPOSED PAVED AREA	98	m ²
PROPOSED DRIVEWAY AREA	59	m ²
TOTAL IMPERVIOUS AREA	413.0	m ²
TOTAL IMPERVIOUS AREA PERCENTAGE	73.51%	

OSD WARRANT

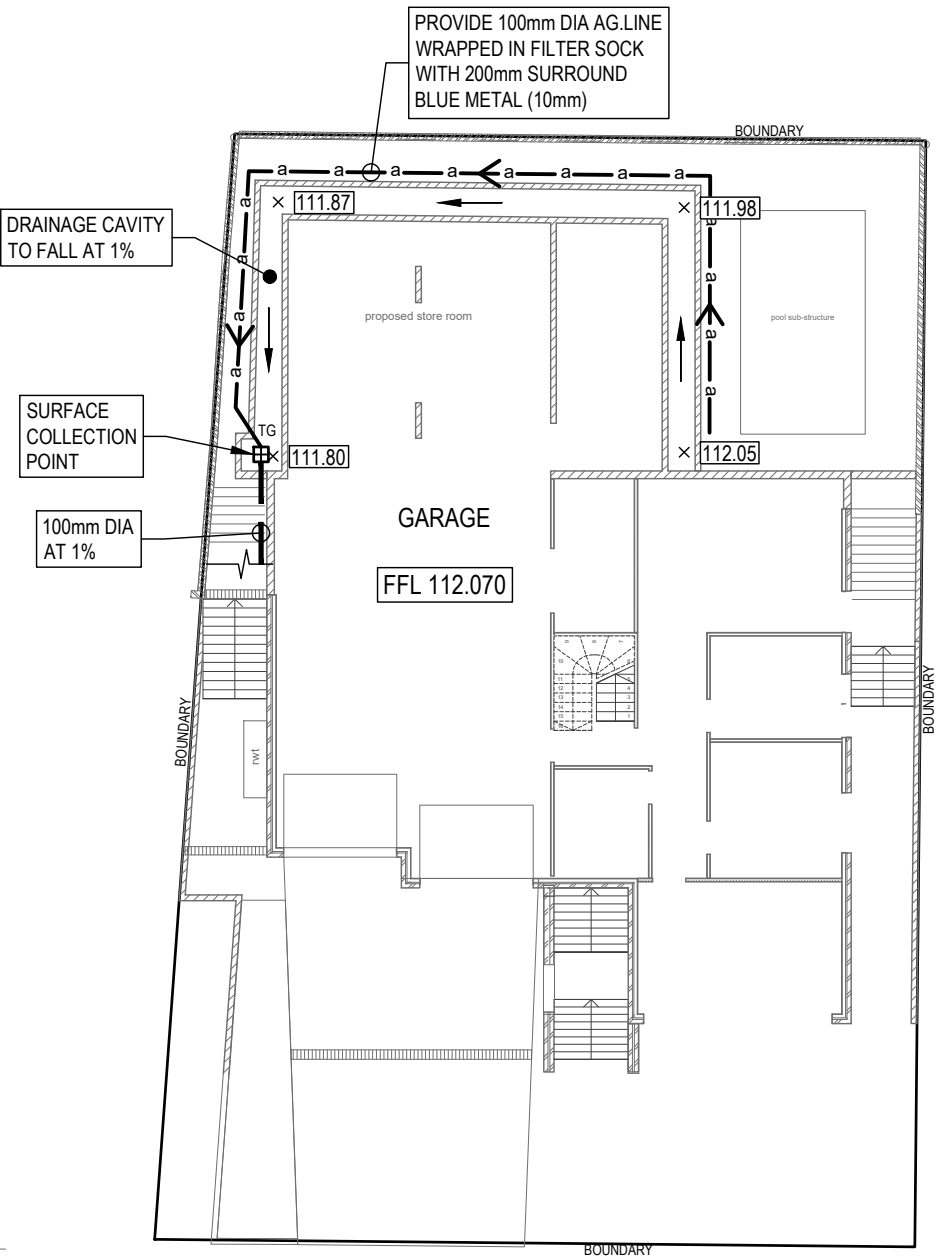
LGA: - WARRINGAH COUNCIL
RELEVANT CODE - "ON-SITE STORMWATER DETENTION TECHNICAL SPECIFICATION"
SECTION - 2.1: "APPLICATIONS"
"ALL DEVELOPMENT APPLICATIONS FOR ALTERATIONS AND ADDITIONS FOR SINGLE RESIDENTIAL DWELLINGS WILL NOT REQUIRE OSD."

THEREFORE OSD NOT REQUIRED

NOTE: ALL SITE DRAINAGE PART OF EXISTING CDC APPROVAL U.N.O.



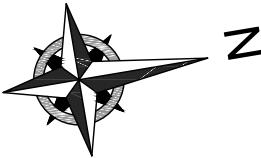
SITE PLAN
1:200



LOWER GROUND FLOOR
1:200



REYNOLDS CRESCENT



REVISION	DRAWN	DESCRIPTION	DATE	PLAN BY	DRAWING TITLE	APPROVED BY	DESIGNED	CHECKED
A	YR	ISSUED FOR DA	07.10.2020	 T 0416 334 977 E admin@nycivilengineering.com.au W www.nycivilengineering.com.au	STORMWATER MANAGEMENT PLAN	NADER ZAKI MIEAust	YR	NZ
					PROJECT TITLE		SHEET SIZE	SCALE
					PROPOSED ADDITIONS AND ALTERATIONS		A3	1:200
					No.23 REYNOLDS CRESCENT		ISSUE	No. IN SET
					BEACON HILL		A	2
						JOB REFERENCE	DRAWING No.	
						E200036	D2	