

DEMOLITION NOTES

- CONTRACTOR TO VERIFY ON SITE ALL EXISTING HOUSE & BUILDING, SOIL & OTHER CONDITIONS PRIOR TO STARTING DEMOLITION.
- REMOVE ALL WALLS, WINDOWS, DOORS, FRAMES, FIXTURES, FINISHES ETC AS INDICATED ON DEMO DRAWINGS INCLUDING CEILING, LIGHTS, UTILITIES, ETC AS REQUIRED AND AS TYPICAL THROUGHOUT DEMO ZONE.
- REFER TO STRUCTURAL ENGINEER DRAWINGS & DETAILS FOR ALL BEAM, LINTEL & OTHER STRUCTURAL SUPPORT OF THE EXISTING.
- PLAN ALL DEMOLITION WORK FOR MINIMAL DISRUPTIONS TO PARTS OF THE EXISTING BUILDING STRUCTURES TO BE RETAINED.
- NOISE DURING DEMOLITION AND CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
- DEMOLITION WORK DURING HOURS AS STIPULATED BY DEVELOPMENT CONDITIONS OF CONSENT.
- THE OWNER WILL RETAIN ALL SALVAGE THAT IS OF VALUE AS DESIGNATED BY THE OWNER OR HIS REPRESENTATIVE. THE OWNER WILL DIRECT THE CONTRACTOR AS TO THE LOCATION OF STORAGE AREA FOR VARIOUS ITEMS. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE BUILDING ALL DEMOLISHED MATERIALS PLUS CONSTRUCTION DEBRIS.
- SKIPS AND/OR BINS ON SITE AND IF ON ROAD VERGE ONLY WITH PERMIT FROM COUNCIL.
- PARTITIONS AND OTHER MEASURES TO CONTROL DUST & NOISE SHALL BE PROVIDED BY THE CONTRACTOR.
- ALL EXISTING SITE & BUILDING SERVICES, UTILITIES, ETC IN OPERATION SHALL BE PROTECTED & MAINTAINED.
- REFER TO THE GEOTECHNICAL REPORT & ENGINEER RECOMMENDATIONS IN REGARDS TO ANY ROCK EXCAVATION, SHORING, TEMPORARY SUPPORT, ETC.
- REFER TO WASTE MANAGEMENT PLAN TO BE PREPARED BY THE CONTRACTOR FOR ALL THE CONSTRUCTION STAGES OF THE PROJECT.
- ALL DEMOLITION REMOVAL FROM THE STREET SIDE AND AS PER FUTURE SITE CONSTRUCTION MANAGEMENT PLAN BY BUILDER.
- CONTACT THE DESIGN ENGINEER TO INSPECT THE SITE POST DEMOLITION/EXCAVATION.

LEGEND

- DEMOLITION EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
- EXISTING HOUSE WALLS MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED HOUSE EXTENSION ADJOURNING AREAS / BLD BULK ADJOURNING HOUSES
- FLOOR FLOOR SELECTED HARDWOOD TIMBER FLOORING
- FLOOR FLOOR SELECTED TILES & SET-OUT TO DETAIL
- FLOOR FLOOR SELECTED PAVERS TO FALLS
- FLOOR FLOOR SELECTED CARPET OVER ACOUSTIC UNDERLAY
- ROOF COLORBOND METAL ROOFING TO FALLS
- CONCRETE OFF FORM REINFORCED CONCRETE AS INDICATED
- SWIMMING POOL POOL TO STANDARDS AND TO FUTURE DETAIL
- LANDSCAPING EXISTING GARDEN LANDSCAPE AREAS, TREES, ETC AS IS
- LEVELS AS PER SURVEY PLAN

NOTES

- SITE SURVEY INFORMATION:** THE SITE INFORMATION HEREIN HAS BEEN TRANSPOSED FROM THE TSS SURVEY PLANS #201738. REFER TO THE SURVEY DRAWING TO CONFIRM DIMENSIONS, EXISTING FEATURES, LEVELS & DATUM. HOUSE WALL MEASUREMENTS (INTERNAL) BY TSS SURVEY PLANS #201738-2 TO BE CONFIRMED ON SITE BY BUILDER BEFORE CONSTRUCTION COMMENCES.
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ISSUE	DATE	DESCRIPTION
A	16.01.2021	PRELIMINARY
B	19.02.2021	PRELIMINARY
C	18.02.2021	PRELIMINARY
D	17.05.2021	PRELIMINARY
E	03.09.2021	PRELIMINARY
E.1	13.09.2021	DA CONSENT (AMENDED)
F	25.05.2022	DA CONSENT ISSUE
G	21.09.2022	DA
H	04.02.2023	DA AMENDED (NSC PR)

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DU PLESSIS + DU PLESSIS ARCHITECTS

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 BALGOWLAH HEIGHTS NSW 2093
 0403944576
 e@droom.com.au
 www.droom.com.au
 NSW REGISTERED ARCHITECT #7435
 NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House Alterations & Additions

CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
EXISTING GROUND FLOOR DEMOLITION PLAN

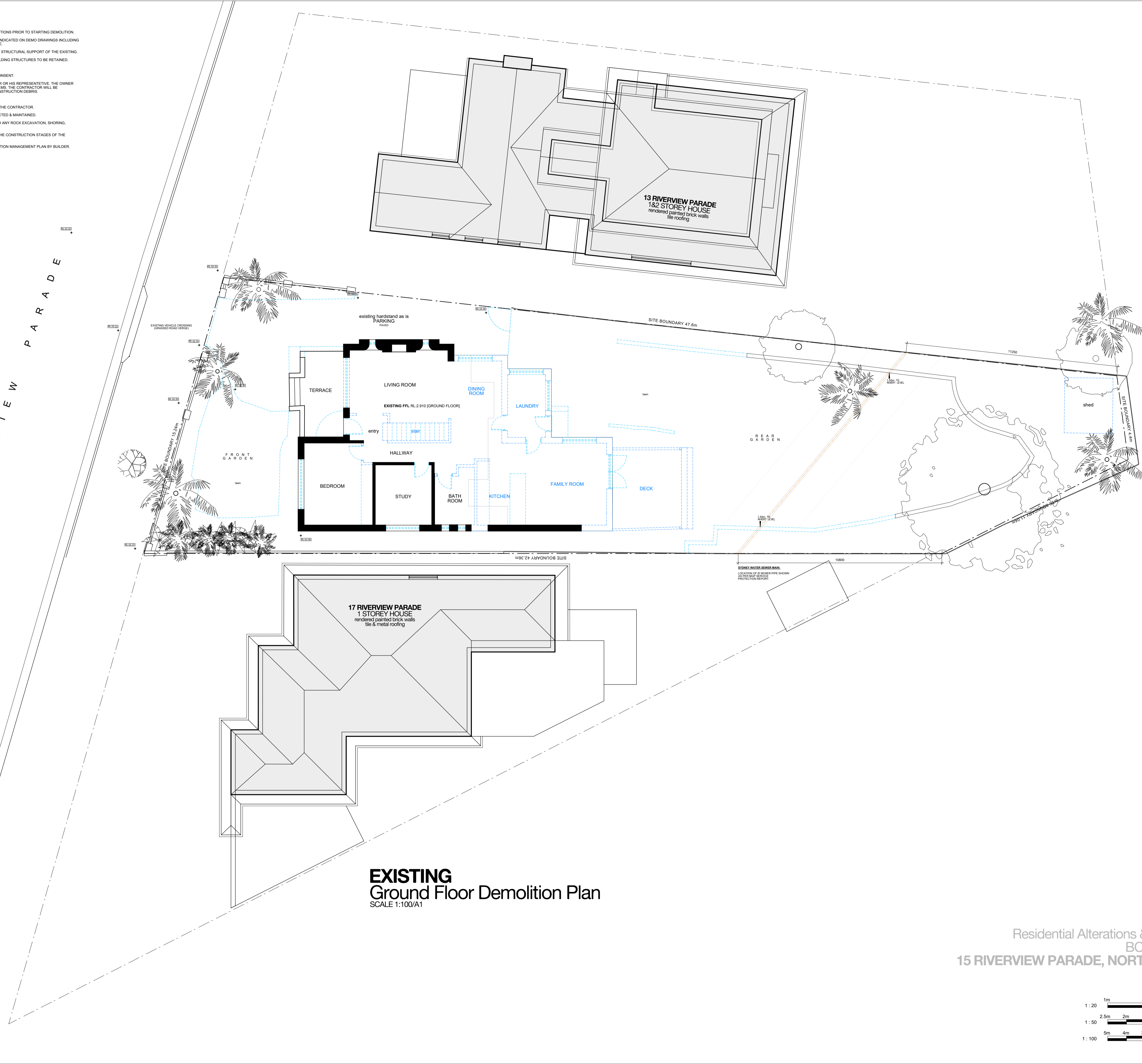
DRAWN: E DU PLESSIS
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SCALE:
1:100 [A1]

DRAWING NO:
E.02

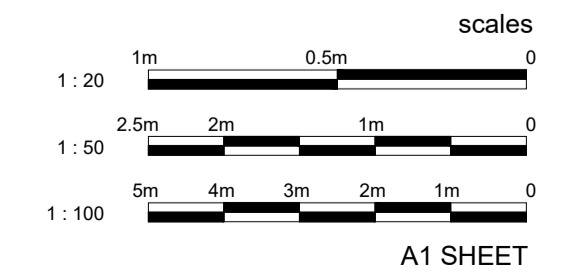
ISSUE: H
 DATE: 04.02.2023

DRAWING STATUS:
AMENDED DA

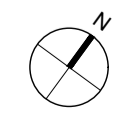


EXISTING Ground Floor Demolition Plan
 SCALE 1:100/A1

House Residential Alterations & Additions
 BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
 D.P. 366644
 SITE AREA 580.6m²



A1 SHEET



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DU PLESSIS ARCHITECTS

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BALGOWLAH HEIGHTS NSW 2093

0403944576
e@droom.com.au
www.droom.com.au

NSW REGISTERED ARCHITECT #7435

NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House Alterations & Additions

CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
EXISTING FIRST FLOOR DEMOLITION PLAN

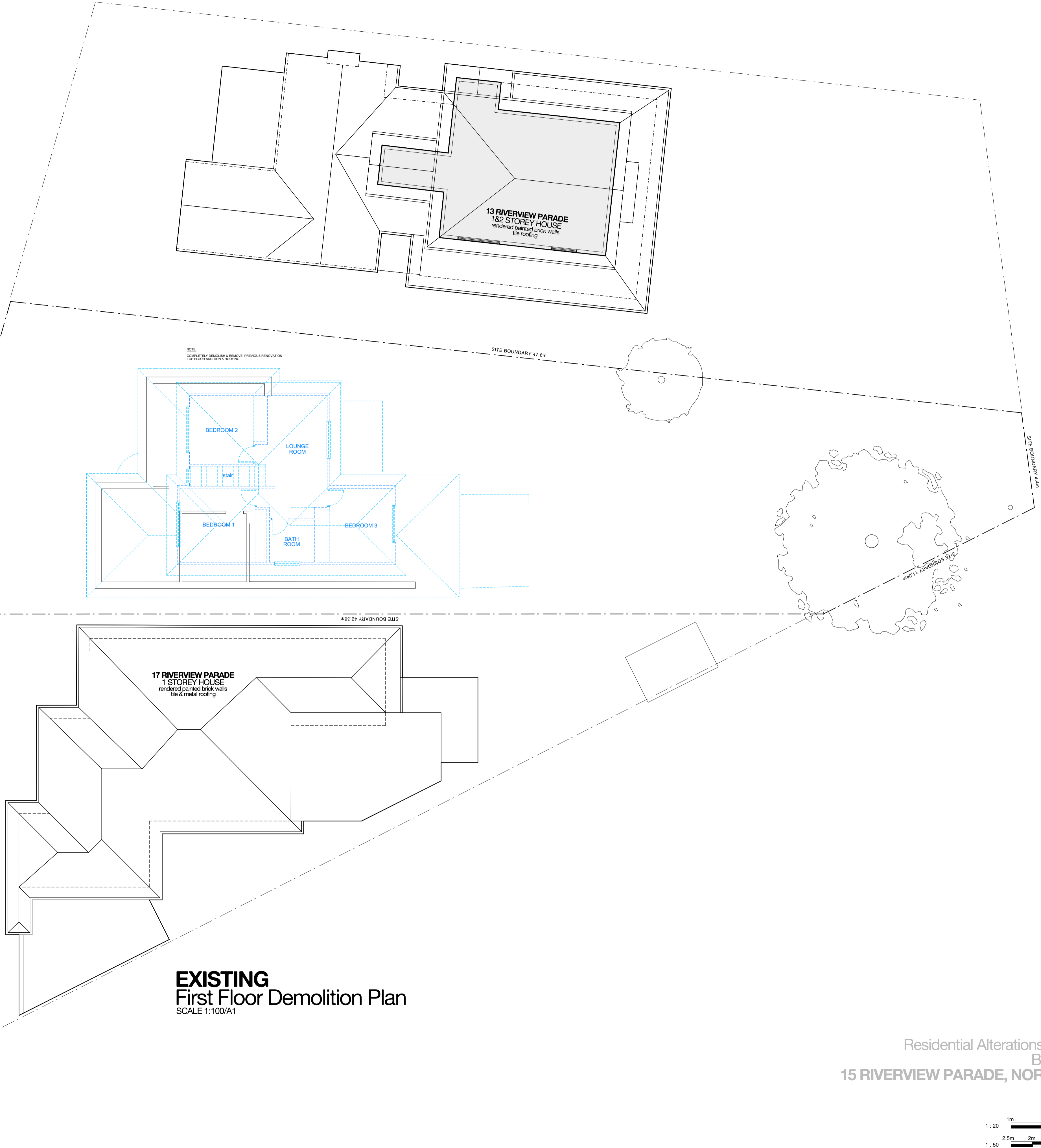
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CHECKED: H DU PLESSIS

SCALE:
1:100 [A1]

DRAWING NO:
E.03

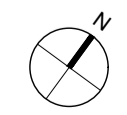
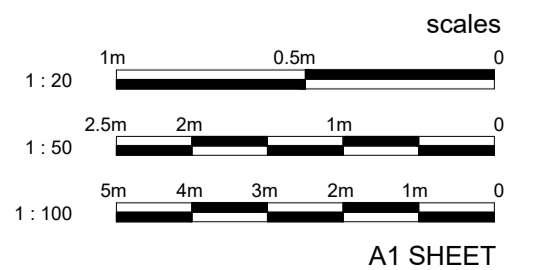
ISSUE: **H**
DATE: **04.02.2023**

DRAWING STATUS:
AMENDED DA



EXISTING First Floor Demolition Plan
SCALE 1:100/A1

House Residential Alterations & Additions
BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
D.P. 366644
SITE AREA 580.6m²



BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED DA BASIX CERTIFICATE.

RAINWATER TANK:
THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 10M LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 50% OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10M OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL:
THE SWIMMING POOL MUST BE OUTDOORS. MUST NOT HAVE A CAPACITY LARGER THAN 38 KL. MUST HAVE A POOL PUMP TIMER, AND APPLICANT TO INSTALL SOLAR HEATING SYSTEM FOR THE SWIMMING POOL AS PART OF THIS DEVELOPMENT.

HOT WATER:
A NEW ELECTRIC HOT WATER SYSTEM MUST BE INSTALLED.

LIGHTING:
ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING DIODE (LED) LAMPS.

FIXTURES:
ALL NEW OR ALTERED SHOWERHEADS TO HAVE A FLOW RATE NO GREATER THAN 8 L PER MINUTE OR A 3 STAR WATER RATING. NEW OR ALTERED TOILETS TO HAVE A FLOW RATE NO GREATER THAN 4 L PER AVERAGE FLUSH OR A MINIMUM 3 STAR WATER RATING. NEW OR ALTERED TAPS TO HAVE A FLOW RATE NO GREATER THAN 9 L PER MINUTE OR MINIMUM 3 STAR WATER RATING.

INSULATION:
NEW OR ALTERED CONSTRUCTION OF FLOORS, WALLS AND CEILINGS/ROOFS TO BE:
- SUSPENDED FLOOR: FRAMED R1.00 OR R1.50 INCLUDING CONSTRUCTION.
- EXTERNAL WALL: FRAMED R1.15 - R1.30 (OR R1.70 INCLUDING CONSTRUCTION).
- ROOF: FRAMED CEILING R1.00 (UP), ROOF FOLDS: R1.00.
NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

WINDOWS, GLAZED DOORS AND SKYLIGHTS:
- THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH SPECIFICATIONS LISTED IN THE BASIX CERTIFICATE. EACH WINDOW, GLAZED DOOR OR SKYLIGHT TO HAVE A U-VALUE AND SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED. ALTERNATIVE SYSTEMS WITH COMPLYING U-VALUE AND SHGC MAY BE SUBSTITUTED.

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EXISTING HOUSE WALLS & OTHER TO BE DEMOLISHED
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MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
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CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
GROUND FLOOR PLAN

DRAWN: E DU PLESSIS
CHECKED: H DU PLESSIS

SCALE:
1:100 [A1]

DRAWING NO:
A.04

ISSUE: H
DATE: 04.02.2023

DRAWING STATUS:
AMENDED DA

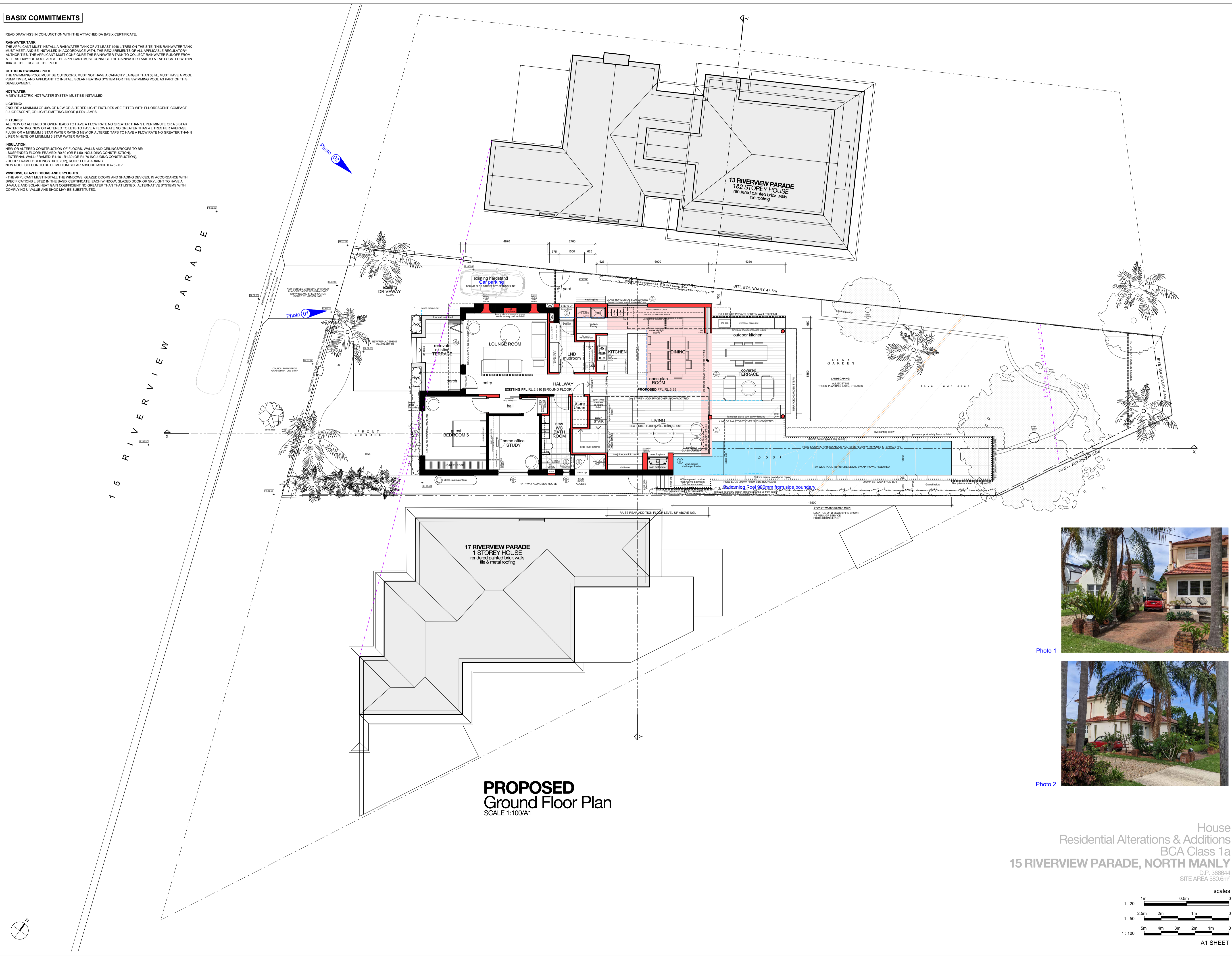
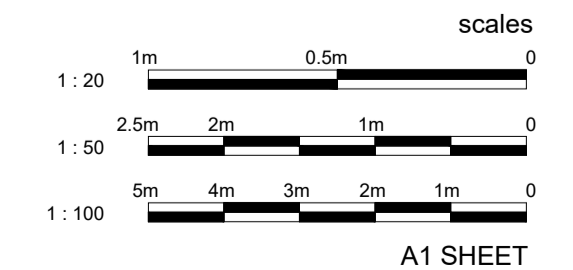


Photo 1

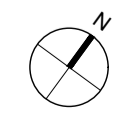
Photo 2

PROPOSED Ground Floor Plan
SCALE 1:100/A1

House Residential Alterations & Additions
BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
D.P. 366644
SITE AREA 580.6m²



A1 SHEET



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DU PLESSIS + DU PLESSIS ARCHITECTS

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0403944576
e@droom.com.au
www.droom.com.au
NSW REGISTERED ARCHITECT #7435
NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House Alterations & Additions

CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
FIRST FLOOR PLAN

DRAWN: E DU PLESSIS
CHECKED: H DU PLESSIS

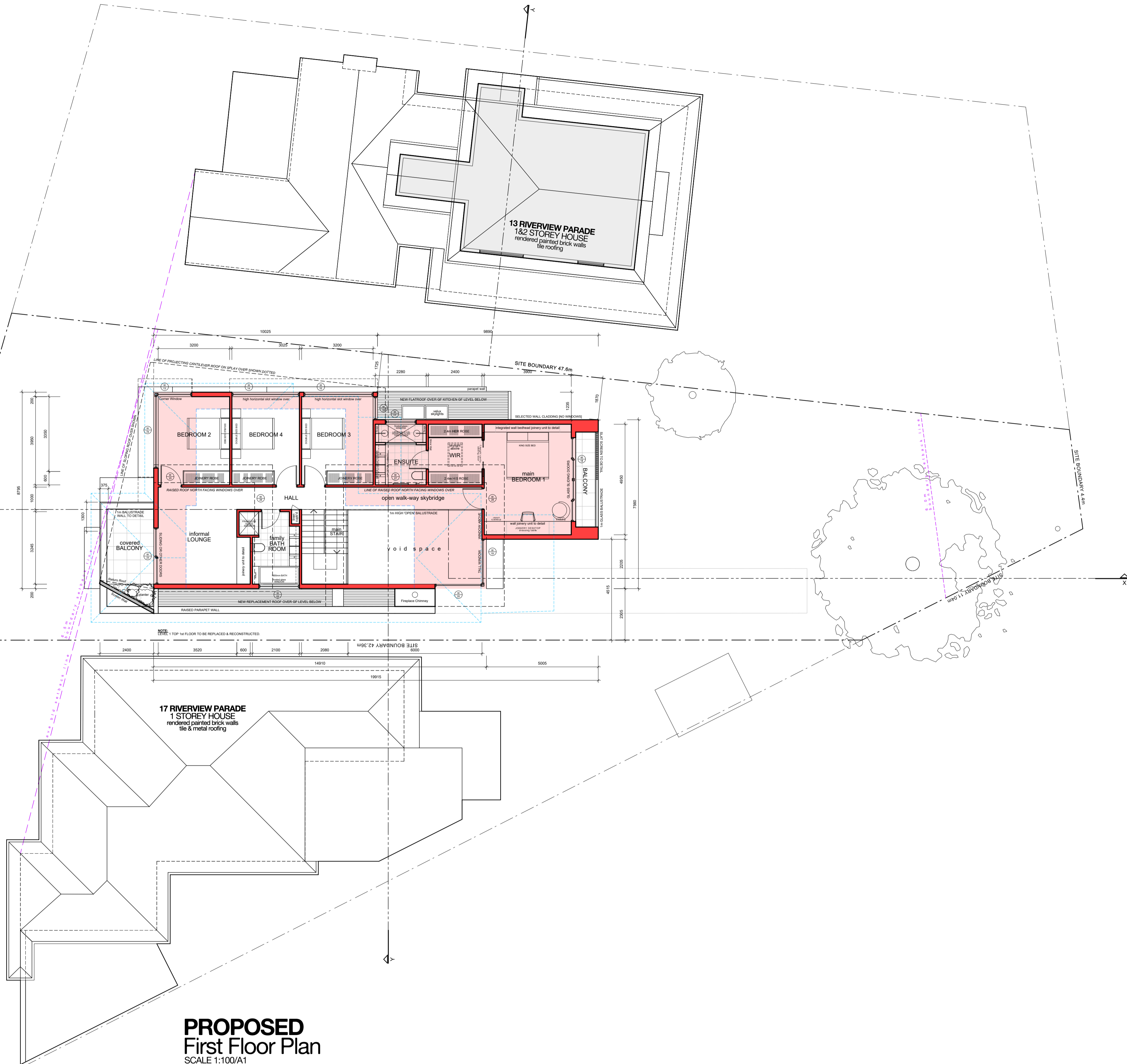
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DRAWING NO:
A.05

ISSUE: H
DATE: 04.02.2023

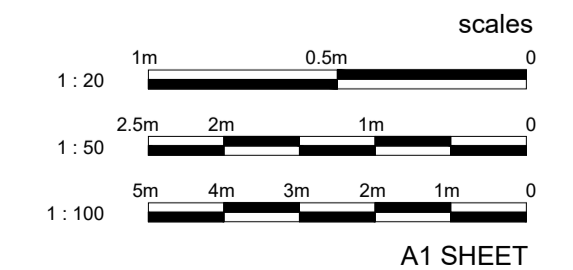
DRAWING STATUS:
AMENDED DA

15 RIVERVIEW PARADE



PROPOSED First Floor Plan
SCALE 1:100/A1

House Residential Alterations & Additions
BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
D.P. 366644
SITE AREA 580.6m²



BASIX COMMITMENTS

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RAINWATER TANK:
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OUTDOOR SWIMMING POOL:
THE SWIMMING POOL MUST BE OUTDOORS. MUST NOT HAVE A CAPACITY LARGER THAN 38 KL. MUST HAVE A POOL PUMP TIMER, AND APPLICANT TO INSTALL SOLAR HEATING SYSTEM FOR THE SWIMMING POOL AS PART OF THIS DEVELOPMENT.

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- ROOF: FRAMED: CEILING: R1.00 (UP), ROOF: F0.50 (DOWN)
NEW ROOF COLOUR TO BE OF MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

WINDOWS, GLAZED DOORS AND SKYLIGHTS:
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- EXISTING HOUSE WALLS
MASONRY, P BOARD, ETC WALLS ETC TO BE RETAINED
- PROPOSED ALTS & ADDS WALLS
NEW WALLS AS SELECTED TO FUTURE DETAIL
- PROPOSED HOUSE EXTENSION
ADDITIONAL FLOOR AREA / BLD BULK
- NEIGHBOURING BUILDINGS
ADJOINING HOUSES
- FLOOR
SELECTED HARDWOOD TIMBER FLOORING
- FLOOR
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NSW
REGISTERED
ARCHITECT
#7435

NOMINATED
ARCHITECT:
Eugene du Plessis

PROJECT TITLE:
**HOETMER
House Alterations & Additions**

CLIENT:
**Ken & Meaghan
Hoetmer**

ADDRESS:
**15 Riverview Parade
North Manly NSW 2100**

DRAWING TITLE:
**ROOF
PLAN**

DRAWN: E DU PLESSIS
CHECKED: H DU PLESSIS

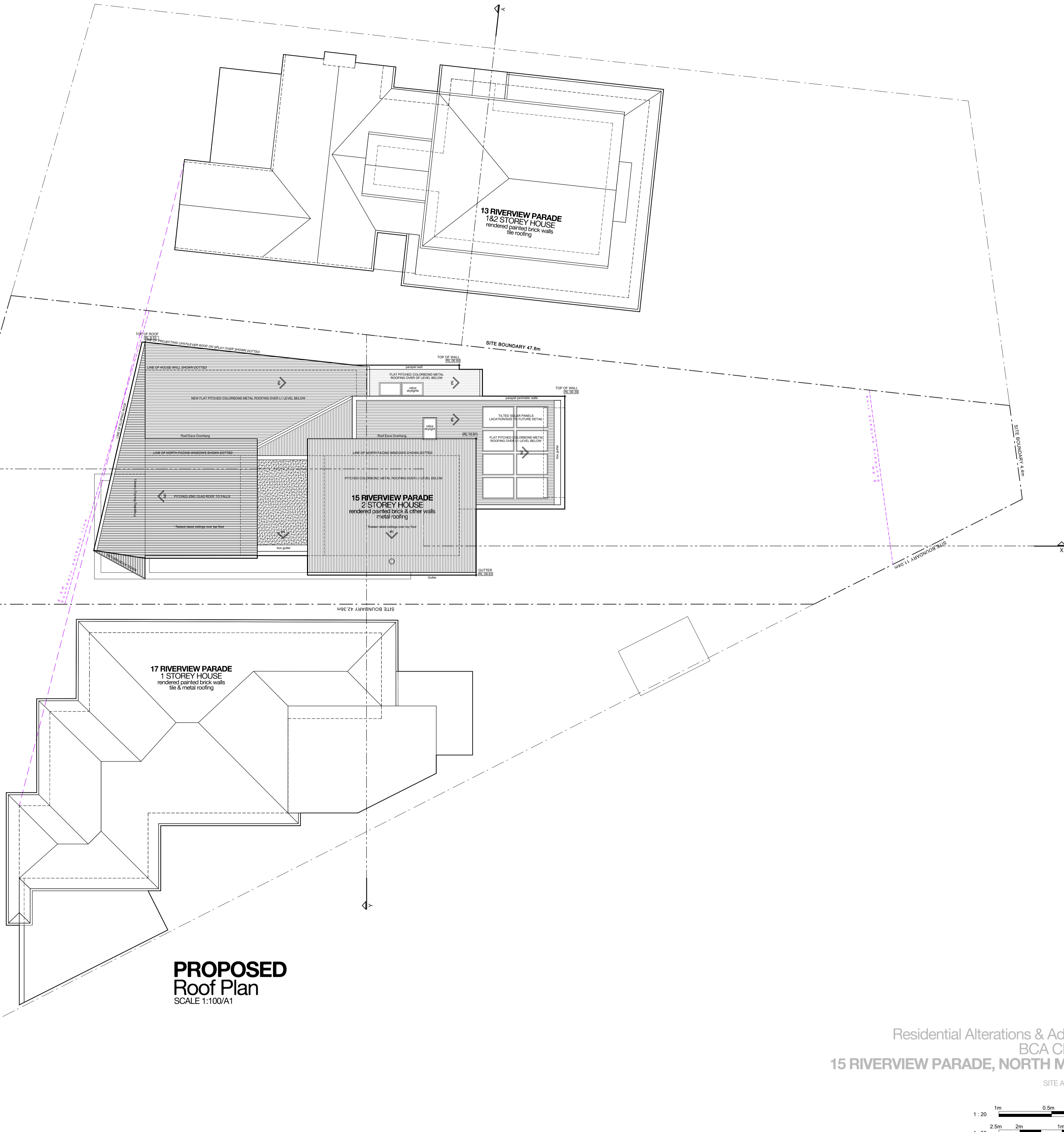
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DRAWING NO:
A.06

ISSUE: H
DATE: 04.02.2023

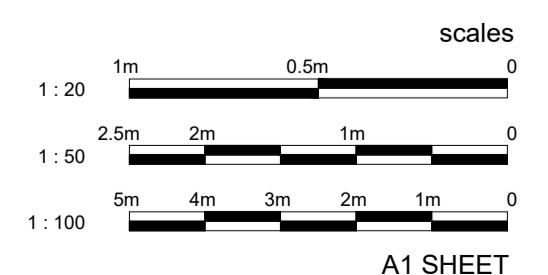
DRAWING STATUS:
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15 RIVERVIEW PARADE



**PROPOSED
Roof Plan**
SCALE 1:100/A1

House
Residential Alterations & Additions
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PROJECT TITLE:
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CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
SECTION X-X SECTIONS Y-Y

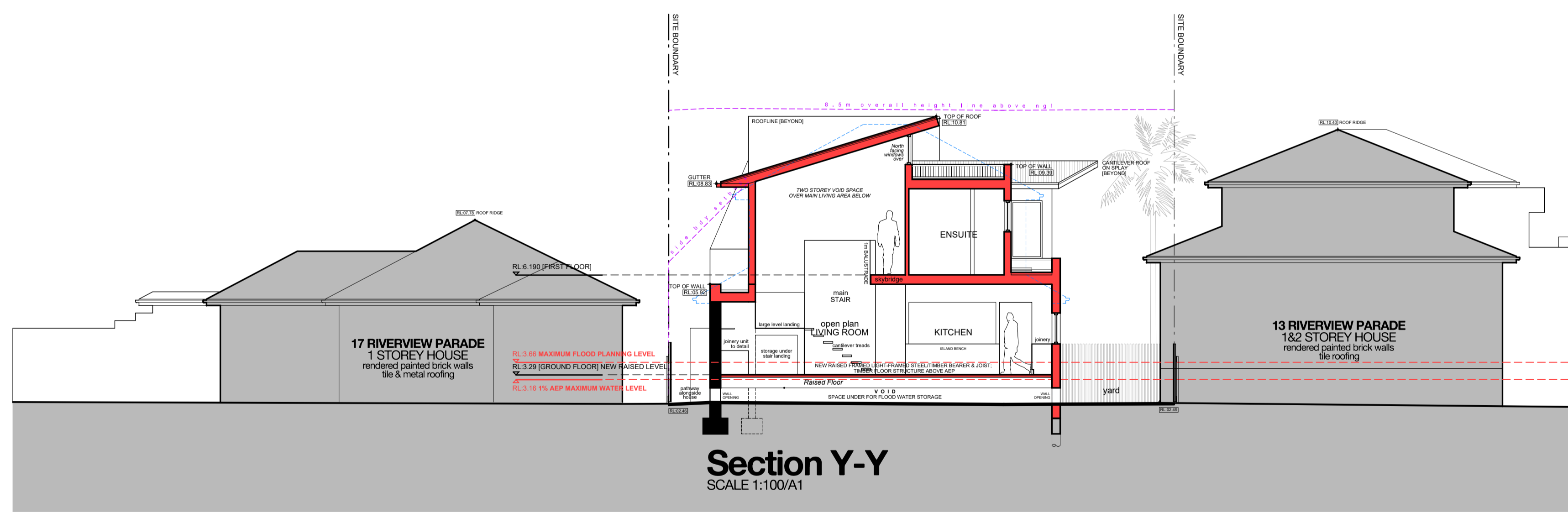
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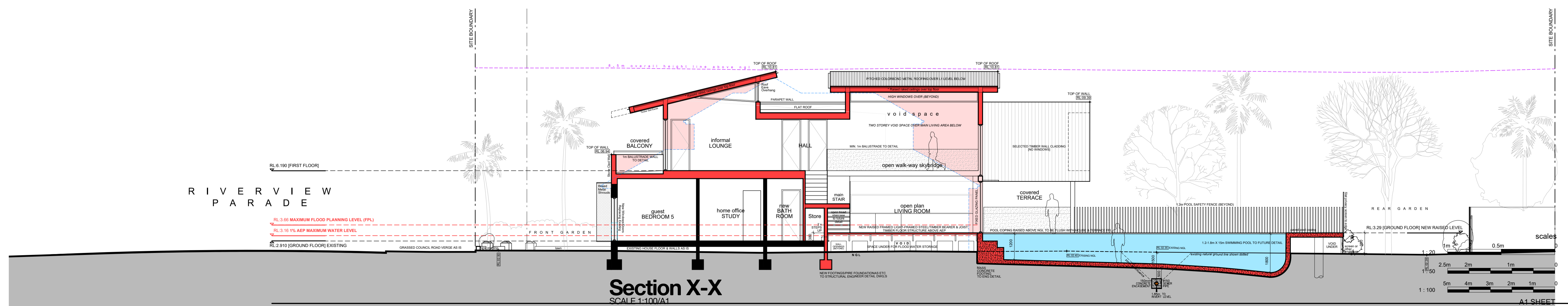
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A.07

ISSUE: H
DATE: 04.02.2023

DRAWING STATUS:
AMENDED DA



Section Y-Y
SCALE 1:100/A1



Section X-X
SCALE 1:100/A1

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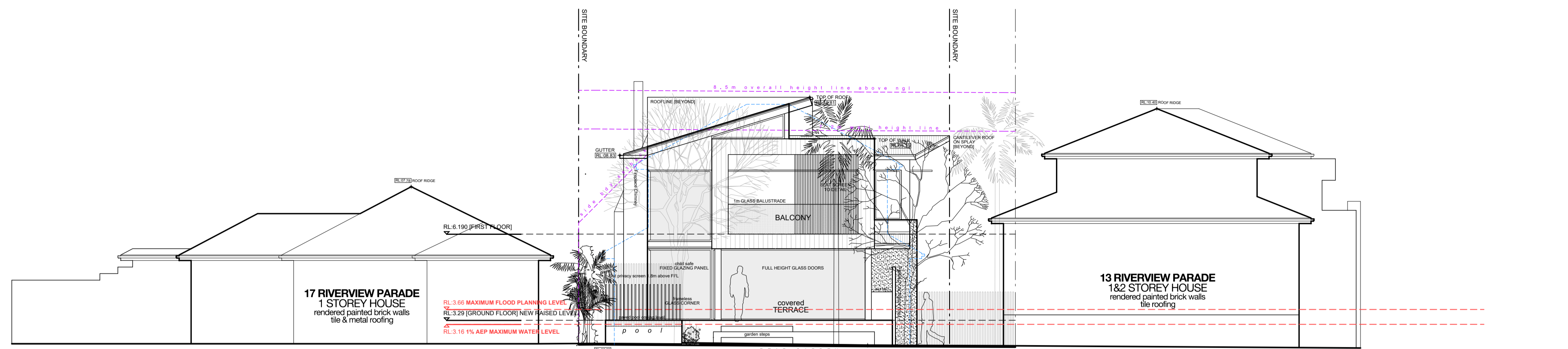
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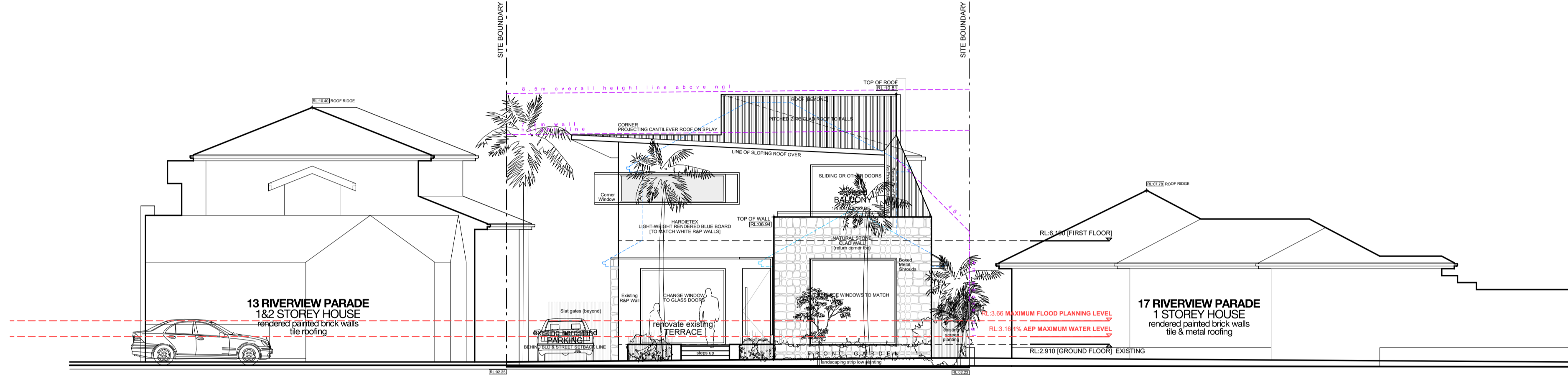
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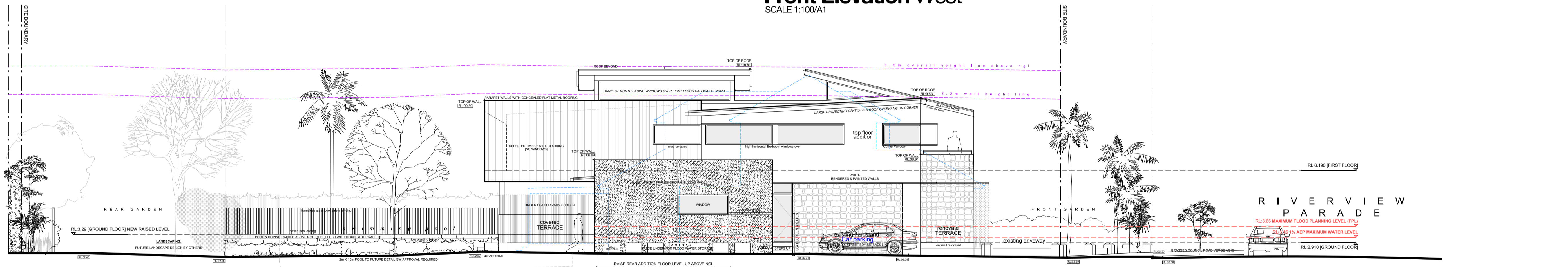
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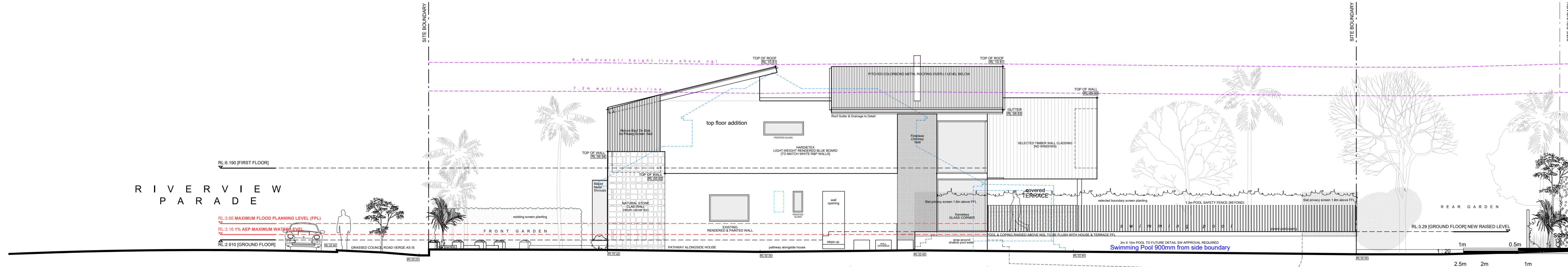
Rear Elevation East
SCALE 1:100/A1



Front Elevation West
SCALE 1:100/A1



Side Elevation North
SCALE 1:100/A1



Side Elevation South
SCALE 1:100/A1

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NSW REGISTERED ARCHITECT #7435

NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House Alterations & Additions

CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
HOUSE ELEVATIONS

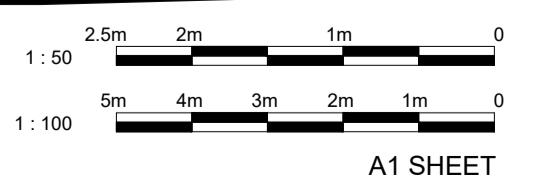
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SCALE:
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DRAWING NO:
A.08

ISSUE: **H** DATE: **04.02.2023**

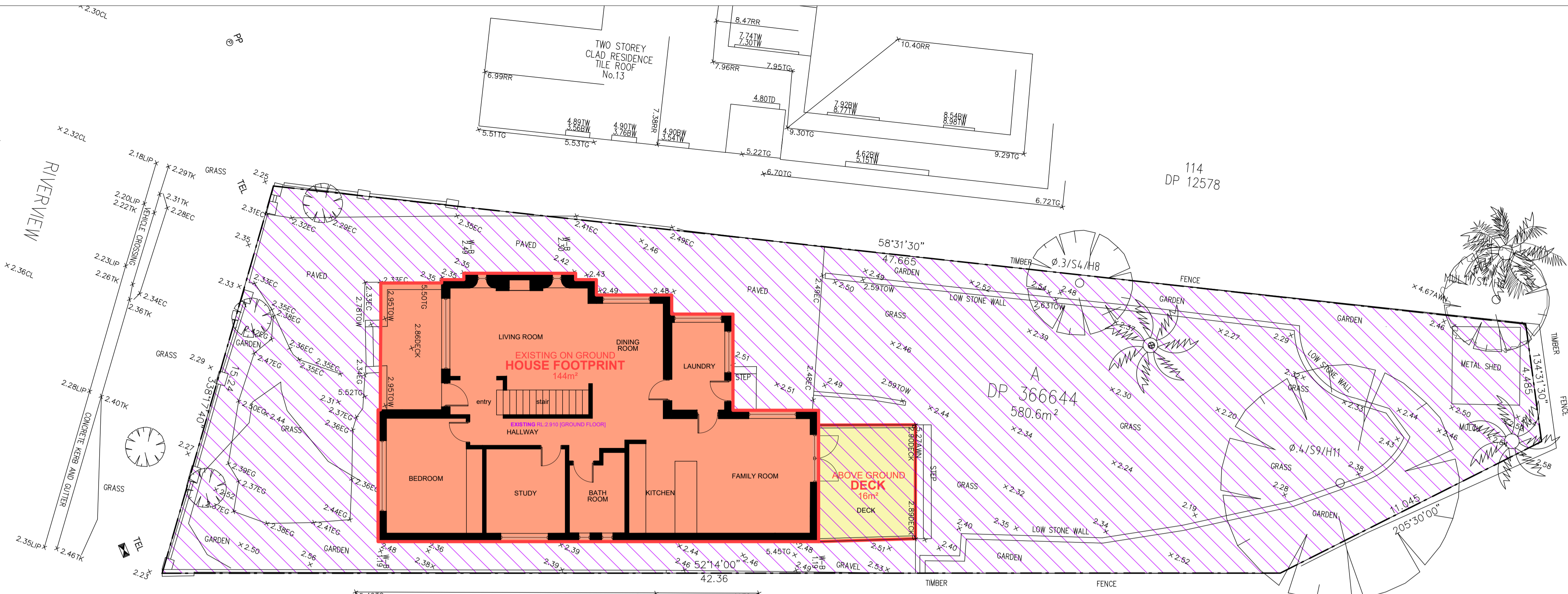
DRAWING STATUS:
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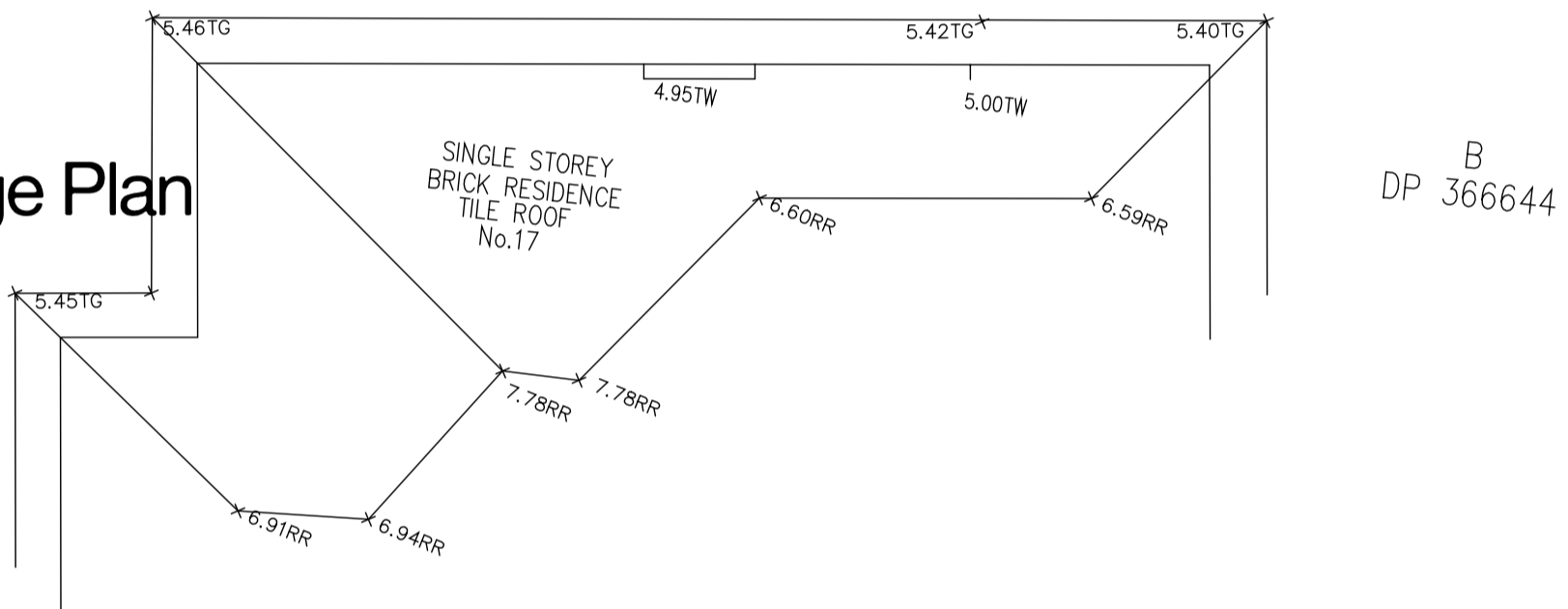
FLOOD INFORMATION

FLOOD INFORMATION REPORT - COMPREHENSIVE
 Property: 15 Riverview Parade North Manly NSW 2100
 Lot DP: Lot 4 DP 366644
 Issue Date: 15/10/2021
 Flood Study Reference: Manly Lagoon Flood Study 2013, BMT WBM
 Flood Information for lot:
 Flood Risk Practice - See Map A
 Flood Planning Area - See Map A
 Maximum Flood Planning Level (FPL) 1% AEP: 3.65 m AHD
1% AEP Flood - See Flood Map B
 1% AEP Maximum Water Level 1%: 3.15 m AHD
 1% AEP Maximum Depth from natural ground level: 0.95 m
 1% AEP Maximum Velocity: 0.57 m/s
Probable Maximum Flood (PMF) - See Flood Map C
 PMF Maximum Water Level 1%: 3.95 m AHD
 PMF Maximum Depth from natural ground level: 3.47 m
 PMF Maximum Velocity: 0.95 m/s
Tidal Maximum Flood (T.M.F.) - See Flood Map D
 T.M.F. Maximum Water Level 1%: 5.65 m AHD
 T.M.F. Maximum Depth from natural ground level: 3.47 m
 T.M.F. Maximum Velocity: 0.95 m/s
 PMF Hydraulic Categorisation: N/A See Flood Map E

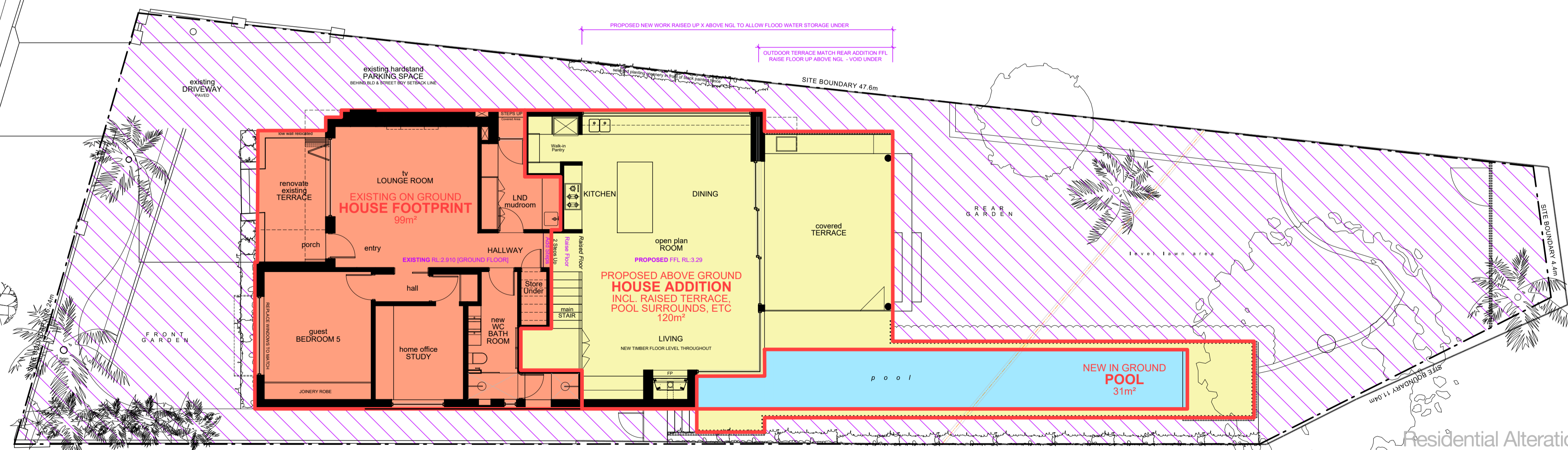
1% AEP
 WBM



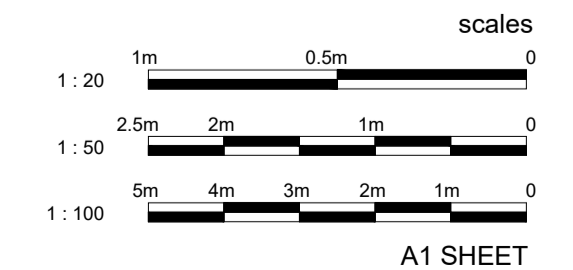
EXISTING Flood Storage Plan
 SCALE 1:100/A1



PROPOSED Flood Storage Plan
 SCALE 1:100/A1



House Residential Alterations & Additions
 BCA Class 1a
 15 RIVERVIEW PARADE, NORTH MANLY
 D.P. 366644
 SITE AREA 580.6m²



A1 SHEET

LEGEND

- BUILDING, EXISTING HOUSE SITE STRUCTURES ON GROUND (AS IS)
 - PORTION OF PROPOSED BLD & OTHER ABOVE GROUND SITE STRUCTURES RAISED UP ABOVE NGL FOR FLOOD
 - BUILDING NEW SWIMMING POOL IN GROUND (NEW)
 - SITE FLOOD STORAGE AREA
- EXISTING SITE STORAGE AREA CALCULATION**
- 580.6m² SITE AREA
 - 144.0m² EXISTING HOUSE (ON GROUND)
 - 436.6m² EXISTING SITE FLOOD WATER STORAGE AREA
- PROPOSED SITE STORAGE AREA CALCULATION**
- 580.6m² SITE AREA
 - 0.0m² PART OF EXISTING HOUSE (RETAINED (ON GROUND))
 - 531.0m² NEW SWIMMING POOL (ON GROUND)
 - 458.8m² PROPOSED SITE FLOOD WATER STORAGE AREA
- Note: Minor loss of overall site flood storage area as a result of the redevelopment of the site.

NOTES

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D	17.05.2021	PRELIMINARY
E	06.09.2021	PRELIMINARY
E.1	10.09.2021	PRELIMINARY (AMENDED)
F	25.05.2022	DA CONSULTANT ISSUE
G	21.09.2022	DA
H	04.02.2023	DA AMENDED (NBC RFR)

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 NOMINATED ARCHITECT: Eugene du Plessis

PROJECT TITLE:
HOETMER House Alterations & Additions
 CLIENT:
 Ken & Meaghan Hoetmer
 ADDRESS:
 15 Riverview Parade
 North Manly NSW 2100

DRAWING TITLE:
FLOOD PLANS

DRAWN:
 E DU PLESSIS
 CHECKED:
 H DU PLESSIS

SCALE:
 1:100 [A1]

DRAWING NO:
DA.100

ISSUE:
H
 DATE:
 04.02.2023

DRAWING STATUS:
AMENDED DA

PROPOSED LANDSCAPED AREA

LANDSCAPE OPEN SPACE (LOS) AREA CALCULATIONS

FRONT GARDEN	056.8m ²
REAR GARDEN	105.8m ²
POOL	031.4m ²
Total	258.1m²

PROPOSED LOS 258.1m²
SITE AREA 580.6m²

PROPOSED LANDSCAPE OPEN SPACE AREA = 44% (DCP Requirement 40%)

NOTE:
DA PROPOSAL 4% INCREASE IN OVERALL SITE LANDSCAPE AREA (Paved areas, shed, etc removed).
DA PROPOSAL MAY INCLUDE 6% POS THE LANDSCAPE AREA THEREFORE 50% LOS

LEGEND

- SITE BOUNDARY AS PER SITE SURVEY PLAN
- LANDSCAPED AREA AS PER NBC COUNCIL LEP DEFINITION
- LANDSCAPED AREA NOT INCLUDED IN LOS CALCULATIONS NARROW PLANTING STRIPS <2m

NOTES

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CLIENT:
Ken & Meaghan Hoetmer

ADDRESS:
15 Riverview Parade North Manly NSW 2100

DRAWING TITLE:
COUNCIL LOS AREA CALCULATION PLAN

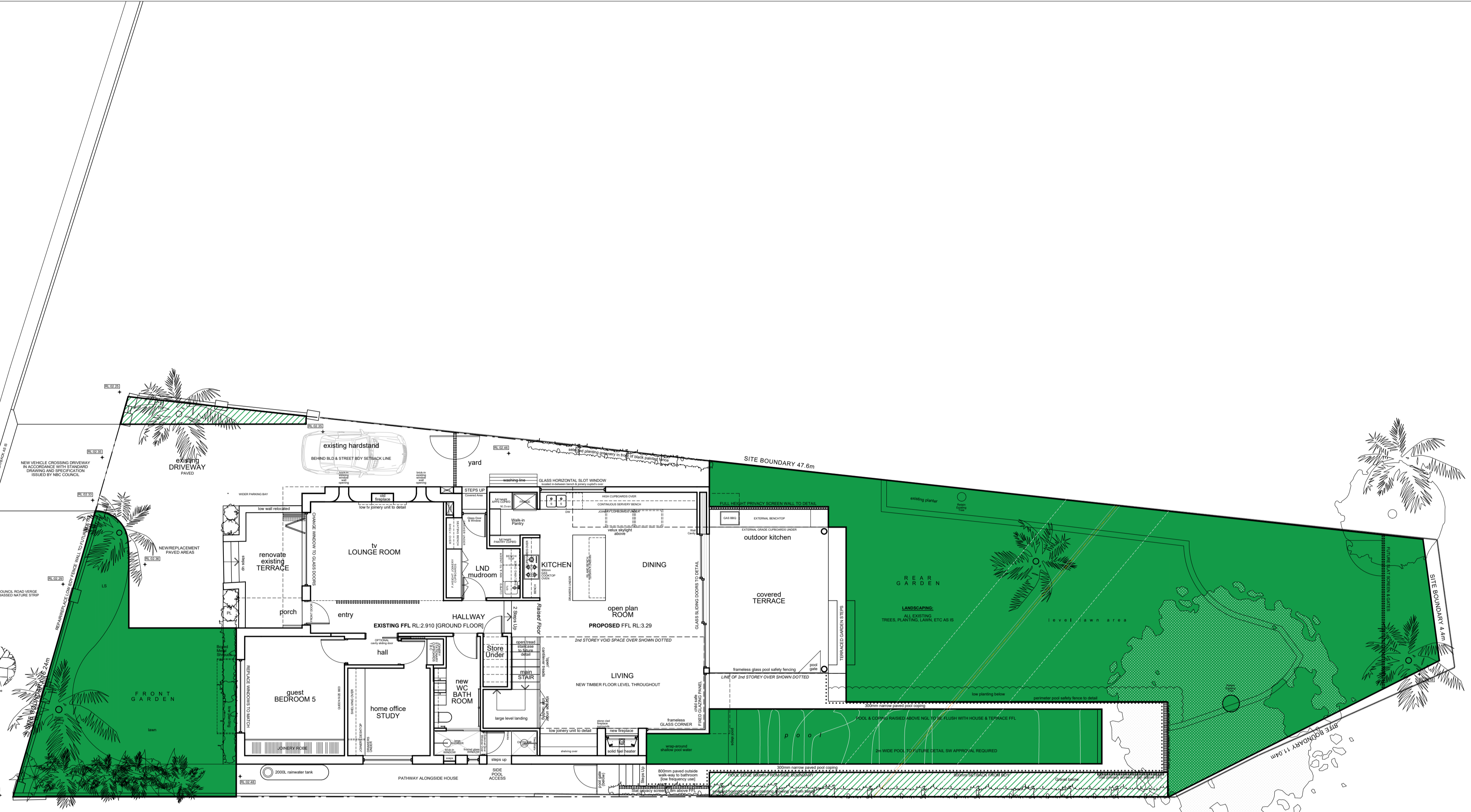
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DRAWING NO:
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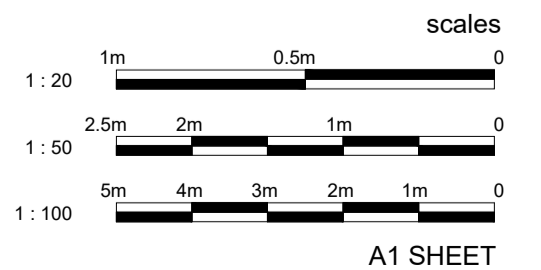
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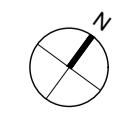


COUNCIL LOS Area Calculation Plan
SCALE 1:100/A1

House Residential Alterations & Additions
BCA Class 1a
15 RIVERVIEW PARADE, NORTH MANLY
D.P. 366644
SITE AREA 580.6m²

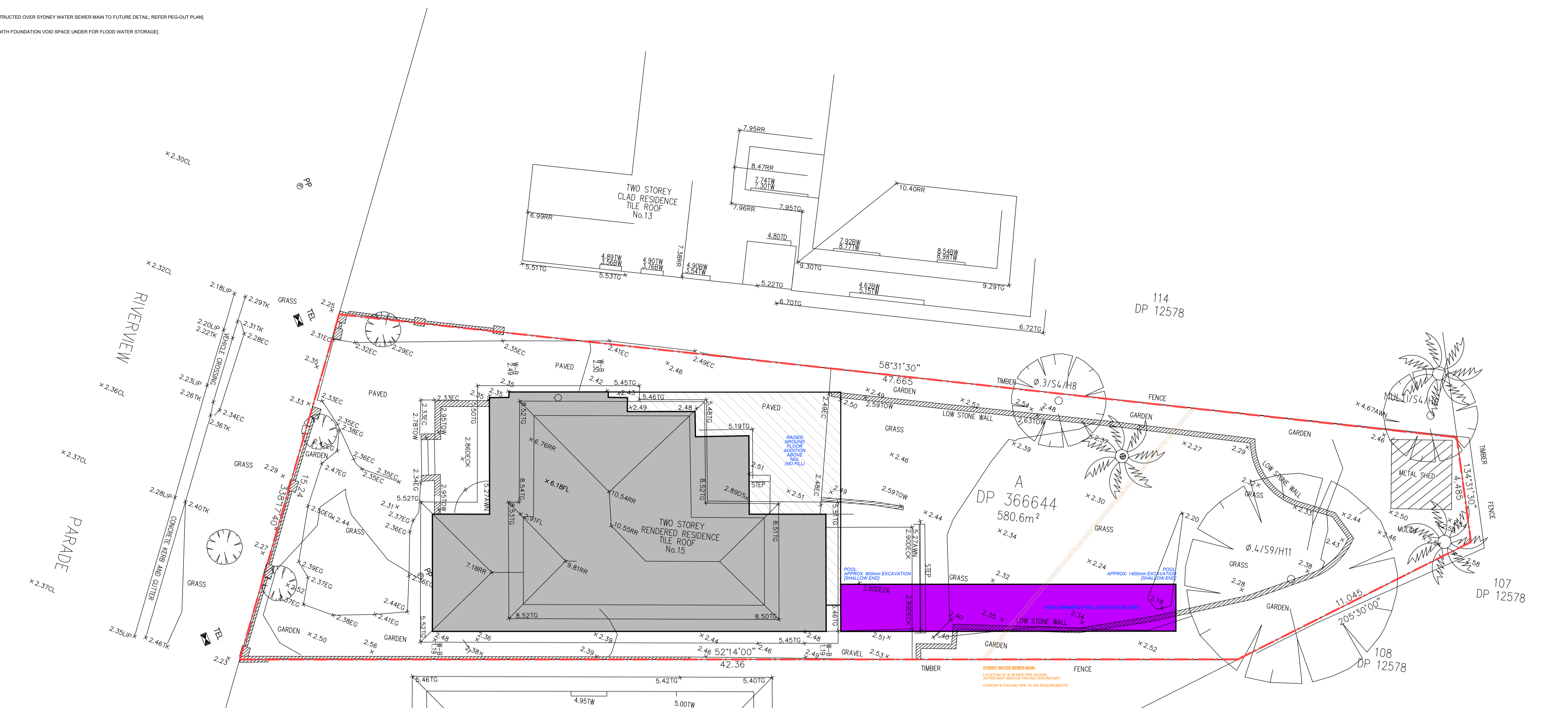


A1 SHEET

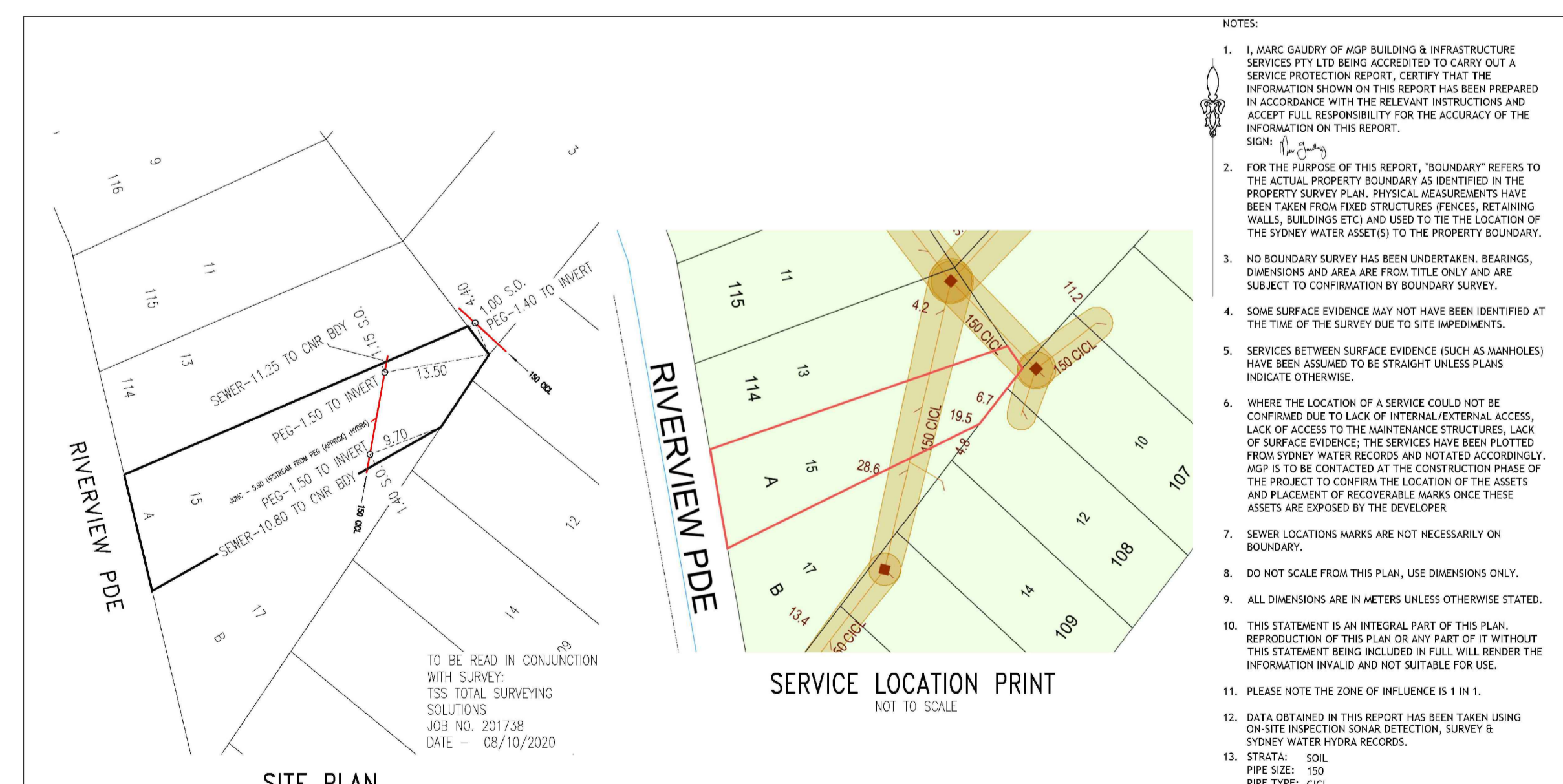


EXCAVATION & FILL NOTES

- SHALLOW POOL EXCAVATION ONLY:
 PROPOSED NEW POOL PARTIALLY OUT OF GROUND TO BE CONSTRUCTED OVER SYDNEY WATER SEWER MAIN TO FUTURE DETAIL. REFER PEG-OUT PLAN
 - NO FILL ALLOWED PROPOSED:
 (THE REAR GROUND LEVEL ADDITION TO BE RAISED ABOVE NGL WITH FOUNDATION VOID SPACE UNDER FOR FLOOD WATER STORAGE)



Excavation & Fill Plan
 SCALE 1:100/A1



NOTES:

1. MARC GALDREY OF MGP BUILDING & INFRASTRUCTURE SERVICES PTY LTD BEING ACCREDITED TO CARRY OUT A SERVICE PROTECTION REPORT. CERTIFY THAT THE INFORMATION SHOWN ON THIS REPORT HAS BEEN PREPARED IN ACCORDANCE WITH THE RELEVANT INSTRUCTIONS AND ACCEPT FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION ON THIS REPORT.
2. FOR THE PURPOSE OF THIS REPORT, 'BOUNDARY' REFERS TO THE ACTUAL PROPERTY BOUNDARY AS IDENTIFIED IN THE PROPERTY SURVEY PLAN. PHYSICAL MEASUREMENTS HAVE BEEN TAKEN FROM FIXED STRUCTURES (FENCES, RETAINING WALLS, BUILDINGS ETC) AND USED TO TIE THE LOCATION OF THE SYDNEY WATER ASSETS TO THE PROPERTY BOUNDARY.
3. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS, DIMENSIONS AND AREA ARE FROM TITLE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.
4. SOME SURFACE EVIDENCE MAY NOT HAVE BEEN IDENTIFIED AT THE TIME OF THE SURVEY DUE TO SITE IMPEDIMENTS.
5. SERVICES BETWEEN SURFACE EVIDENCE (SUCH AS MANHOLES) HAVE BEEN ASSUMED TO BE STRAIGHT UNLESS PLANS INDICATE OTHERWISE.
6. WHERE THE LOCATION OF A SERVICE COULD NOT BE CONFIRMED DUE TO LACK OF INTERNAL/EXTERNAL ACCESS, LACK OF ACCESS TO THE MAINTENANCE STRUCTURES, LACK OF SURFACE EVIDENCE, THE SERVICES HAVE BEEN PLOTTED FROM SYDNEY WATER RECORDS AND NOTATED ACCORDINGLY. MGP IS TO BE CONTACTED AT THE CONSTRUCTION PHASE OF THE PROJECT TO CONFIRM THE LOCATION OF THE ASSETS AND PLACEMENT OF RECOVERABLE MARKS ONCE THESE ASSETS ARE EXPOSED BY THE DEVELOPER.
7. SEWER LOCATIONS MARKS ARE NOT NECESSARILY ON BOUNDARY.
8. DO NOT SCALE FROM THIS PLAN, USE DIMENSIONS ONLY.
9. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE STATED.
10. THIS STATEMENT IS AN INTEGRAL PART OF THIS PLAN. REPRODUCTION OF THIS PLAN OR ANY PART OF IT WITHOUT THIS STATEMENT BEING INCLUDED IN FULL WILL RENDER THE INFORMATION INVALID AND NOT SUITABLE FOR USE.
11. PLEASE NOTE THE ZONE OF INFLUENCE IS 1 IN 1.
12. DATA OBTAINED IN THIS REPORT HAS BEEN TAKEN USING ON-SITE INSPECTION SONAR DETECTION, SURVEY BY SYDNEY WATER HYDRA RECORDS.
13. STRATA: SOIL
 PIPE SIZE: 150
 PIPE TYPE: CICL

LEGEND:	RODDING POINT	R.P.	UNION (PCB)
SEWER MAIN	VENT SHAFT (Induct or Educt)	V.S	CONCRETE ENCASED SECTION
MAINTENANCE HOLE	VERTICAL RISER	VERT	LAMP HOLE
ASSET INDICATOR			

Water Servicing Coordinator: **mgp** Building & Infrastructure Services

Service Protection Report
 15 RIVERVIEW PDE
 NORTH MANLY 2100

Drawn By: DS Date: 12/11/2020
 Design By: MG Scale: 1:500
 Approved: MG Sheet: 1 OF 1
 Job No.: 2020-0325
 Drawn By: DS Date: 12/11/2020
 Design By: MG Scale: 1:500
 Approved: MG Sheet: 1 OF 1
 Job No.: 2020-0325
 Drawn By: DS Date: 12/11/2020
 Design By: MG Scale: 1:500
 Approved: MG Sheet: 1 OF 1
 Job No.: 2020-0325

LEGEND

- EXISTING BUILDING
- HOUSE FOOTPRINT SHOWN HATCHED
- SITE BOUNDARIES PROPERTY ALLOTMENT
- AS PER CMS SURVEYORS SITE SURVEY PLAN
- EXCAVATION
- SHORING & SOIL RETAINING WALLS TO ENG DETAILS
- FILL
- NO FILL

NOTES

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DRAWING TITLE:
EXCAVATION & FILL PLAN

DRAWN:	CHECKED:
E DU PLESSIS	H DU PLESSIS

SCALE:
 1:100 [A1]

DRAWING NO:
DA.400

ISSUE:	DATE:
H	04.02.2023

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