



21 DAVID PLACE
DP 19417

2 STOREY DWELLING
CURRENTLY UNDER CONSTRUCTION

BOUNDARY LINE

116°37'35"

57.536

E02 NORTH ELEVATION ▽

LIVING

INTERNAL COURTYARD

PLAY ROOM

+75,140

+75,290

+75,190

+76,000

FOYER

OFFICE

LAUNDRY

SEWING

Pantry

KITCHEN

existing
balcony

EXISTING
OUTDOOR

SUBJECT SITE
19 DAVID PLACE

remove existing bifolds
and replace with sliding doors

remove window,
retain opening and lintol,

sink and plumbing

kitchen bench
to be demolished

Δ E01 EAST ELEVATION

E03 SOUTH ELEVATION Δ 270 100 900

301°24'51"

64.955

BOUNDARY LINE

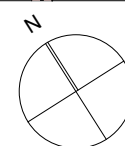
GROUND FLOOR DEMOLITION PLAN

RevID

0	Issue Date
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1:100

Issue Name	Issue Description	Issue Status	Issue Priority	Issue Category	Issue Sub-category	Issue Type	Issue Severity	Issue Impact	Issue Resolution	Issue Resolution Time	Issue Resolution Status	Issue Resolution Date	Issue Resolution Time (Hours)	Issue Resolution Time (Days)	Issue Resolution Time (Weeks)	Issue Resolution Time (Months)	Issue Resolution Time (Years)	Issue Resolution Time (Total)
Issue 1	Issue 1 Description	Issue 1 Status	Issue 1 Priority	Issue 1 Category	Issue 1 Sub-category	Issue 1 Type	Issue 1 Severity	Issue 1 Impact	Issue 1 Resolution	Issue 1 Resolution Time	Issue 1 Resolution Status	Issue 1 Resolution Date	Issue 1 Resolution Time (Hours)	Issue 1 Resolution Time (Days)	Issue 1 Resolution Time (Weeks)	Issue 1 Resolution Time (Months)	Issue 1 Resolution Time (Years)	Issue 1 Resolution Time (Total)
Issue 2	Issue 2 Description	Issue 2 Status	Issue 2 Priority	Issue 2 Category	Issue 2 Sub-category	Issue 2 Type	Issue 2 Severity	Issue 2 Impact	Issue 2 Resolution	Issue 2 Resolution Time	Issue 2 Resolution Status	Issue 2 Resolution Date	Issue 2 Resolution Time (Hours)	Issue 2 Resolution Time (Days)	Issue 2 Resolution Time (Weeks)	Issue 2 Resolution Time (Months)	Issue 2 Resolution Time (Years)	Issue 2 Resolution Time (Total)
Issue 3	Issue 3 Description	Issue 3 Status	Issue 3 Priority	Issue 3 Category	Issue 3 Sub-category	Issue 3 Type	Issue 3 Severity	Issue 3 Impact	Issue 3 Resolution	Issue 3 Resolution Time	Issue 3 Resolution Status	Issue 3 Resolution Date	Issue 3 Resolution Time (Hours)	Issue 3 Resolution Time (Days)	Issue 3 Resolution Time (Weeks)	Issue 3 Resolution Time (Months)	Issue 3 Resolution Time (Years)	Issue 3 Resolution Time (Total)
Issue 4	Issue 4 Description	Issue 4 Status	Issue 4 Priority	Issue 4 Category	Issue 4 Sub-category	Issue 4 Type	Issue 4 Severity	Issue 4 Impact	Issue 4 Resolution	Issue 4 Resolution Time	Issue 4 Resolution Status	Issue 4 Resolution Date	Issue 4 Resolution Time (Hours)	Issue 4 Resolution Time (Days)	Issue 4 Resolution Time (Weeks)	Issue 4 Resolution Time (Months)	Issue 4 Resolution Time (Years)	Issue 4 Resolution Time (Total)
Issue 5	Issue 5 Description	Issue 5 Status	Issue 5 Priority	Issue 5 Category	Issue 5 Sub-category	Issue 5 Type	Issue 5 Severity	Issue 5 Impact	Issue 5 Resolution	Issue 5 Resolution Time	Issue 5 Resolution Status	Issue 5 Resolution Date	Issue 5 Resolution Time (Hours)	Issue 5 Resolution Time (Days)	Issue 5 Resolution Time (Weeks)	Issue 5 Resolution Time (Months)	Issue 5 Resolution Time (Years)	Issue 5 Resolution Time (Total)
Issue 6	Issue 6 Description	Issue 6 Status	Issue 6 Priority	Issue 6 Category	Issue 6 Sub-category	Issue 6 Type	Issue 6 Severity	Issue 6 Impact	Issue 6 Resolution	Issue 6 Resolution Time	Issue 6 Resolution Status	Issue 6 Resolution Date	Issue 6 Resolution Time (Hours)	Issue 6 Resolution Time (Days)	Issue 6 Resolution Time (Weeks)	Issue 6 Resolution Time (Months)	Issue 6 Resolution Time (Years)	Issue 6 Resolution Time (Total)
Issue 7	Issue 7 Description	Issue 7 Status	Issue 7 Priority	Issue 7 Category	Issue 7 Sub-category	Issue 7 Type	Issue 7 Severity	Issue 7 Impact	Issue 7 Resolution	Issue 7 Resolution Time	Issue 7 Resolution Status	Issue 7 Resolution Date	Issue 7 Resolution Time (Hours)	Issue 7 Resolution Time (Days)	Issue 7 Resolution Time (Weeks)	Issue 7 Resolution Time (Months)	Issue 7 Resolution Time (Years)	Issue 7 Resolution Time (Total)
Issue 8	Issue 8 Description	Issue 8 Status	Issue 8 Priority	Issue 8 Category	Issue 8 Sub-category	Issue 8 Type	Issue 8 Severity	Issue 8 Impact	Issue 8 Resolution	Issue 8 Resolution Time	Issue 8 Resolution Status	Issue 8 Resolution Date	Issue 8 Resolution Time (Hours)	Issue 8 Resolution Time (Days)	Issue 8 Resolution Time (Weeks)	Issue 8 Resolution Time (Months)	Issue 8 Resolution Time (Years)	Issue 8 Resolution Time (Total)
Issue 9	Issue 9 Description	Issue 9 Status	Issue 9 Priority	Issue 9 Category	Issue 9 Sub-category	Issue 9 Type	Issue 9 Severity	Issue 9 Impact	Issue 9 Resolution	Issue 9 Resolution Time	Issue 9 Resolution Status	Issue 9 Resolution Date	Issue 9 Resolution Time (Hours)	Issue 9 Resolution Time (Days)	Issue 9 Resolution Time (Weeks)	Issue 9 Resolution Time (Months)	Issue 9 Resolution Time (Years)	Issue 9 Resolution Time (Total)
Issue 10	Issue 10 Description	Issue 10 Status	Issue 10 Priority	Issue 10 Category	Issue 10 Sub-category	Issue 10 Type	Issue 10 Severity	Issue 10 Impact	Issue 10 Resolution	Issue 10 Resolution Time	Issue 10 Resolution Status	Issue 10 Resolution Date	Issue 10 Resolution Time (Hours)	Issue 10 Resolution Time (Days)	Issue 10 Resolution Time (Weeks)	Issue 10 Resolution Time (Months)	Issue 10 Resolution Time (Years)	Issue 10 Resolution Time (Total)



sandberg schoffel architects

11 / 599 Military Rd, Mosman, NSW 2088
 † 02 9969 7609 mb; 0414 394461
 sandbergschoffel@bigpond.com
 www.sandbergschoffel.com.au
 nominated architect; Michael Sandberg Reg No: 5831

Client: **Stuart & Victoria Rathborne**

Project: **19 David Place Seaforth NSW 2092**
ALTERATIONS & ADDITIONS

Title: **DEMOLITION PLAN**

Plot Date: **07-Aug-20**

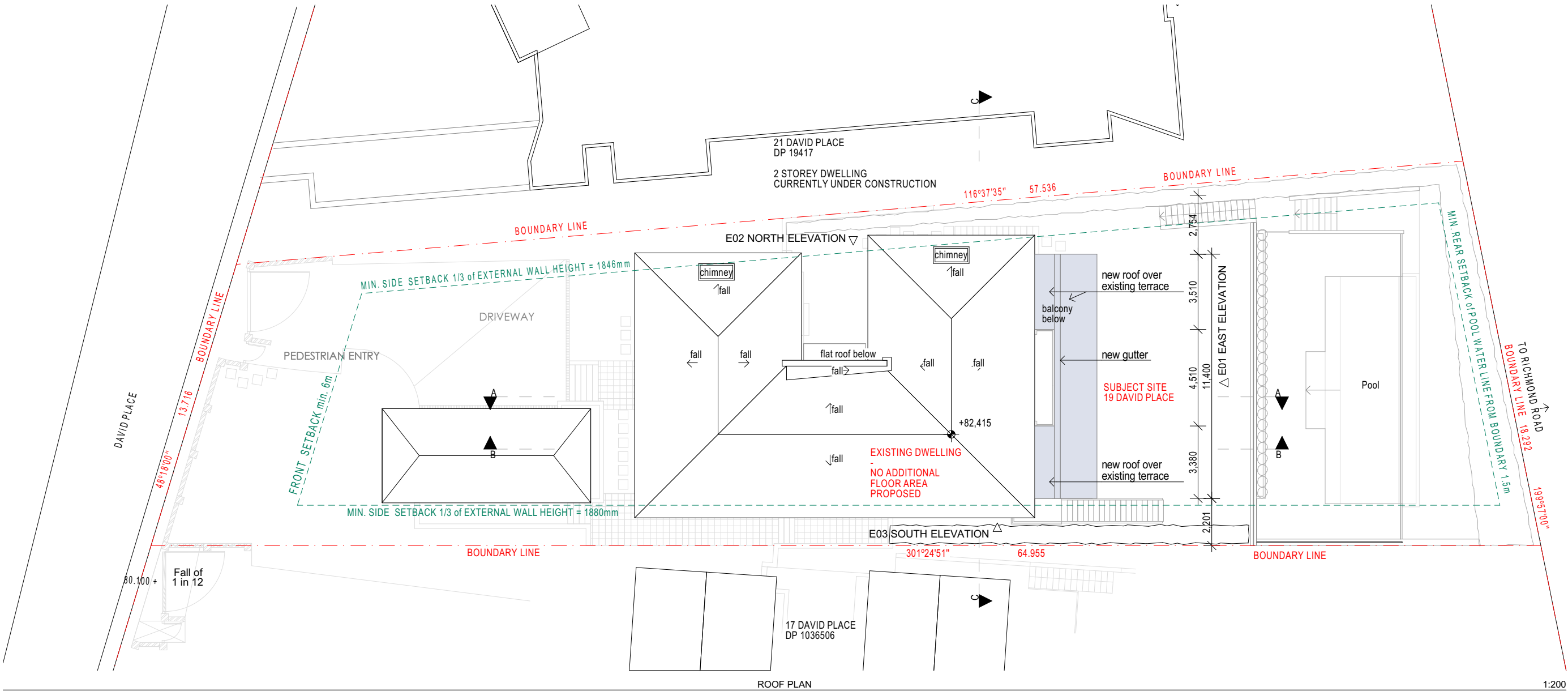
Rev Date:

Scale: **1:100 @ A3**

Dwg No.: **2007.DA.07**

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0918



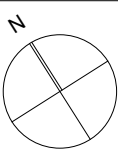
ROOF PLAN

1:200

Revid

Issue Date

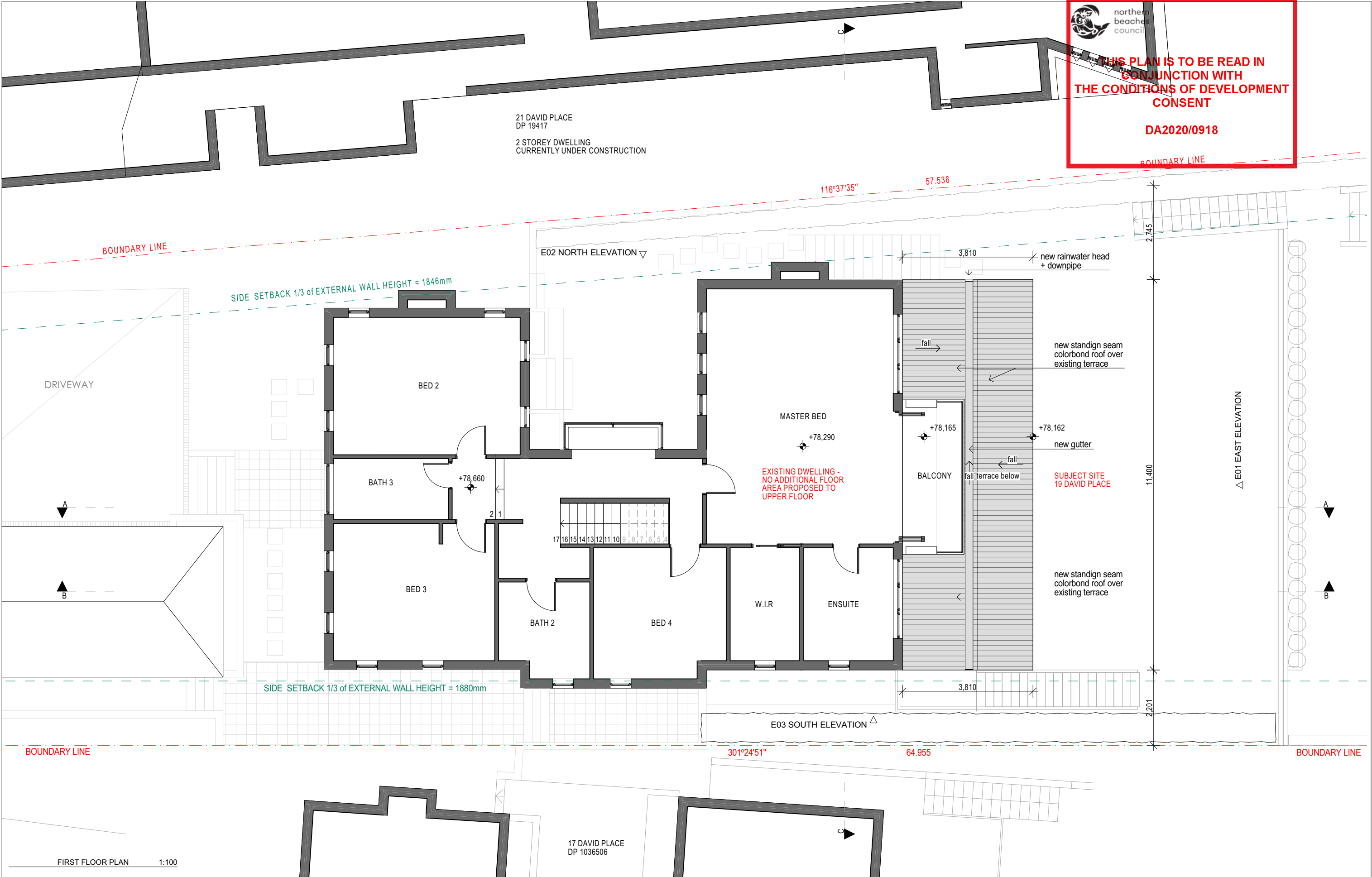
Issue Name



sandberg schoffel architects
11 / 599 Military Rd, Mosman, NSW 2088
t 02 9969 7609 mb; 0414 394461
sandbergschoffel@bigpond.com
www.sandbergschoffel.com.au
nominated architect; Michael Sandberg Reg No: 5831

Client: **Stuart & Victoria Rathborne**
Project: **19 David Place Seaforth NSW 2092
ALTERATIONS & ADDITIONS**
Title: **PROPOSED SITE + ROOF PLAN**

Plot Date: **07-Aug-20**
Rev Date:
Scale: **1:200 @ A3**
Dwg No.: **2007.DA.08**



 northern
beaches
council

**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2020/0918



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THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0918

BOUNDARY LINE

21 DAVID PLACE
DP 19417
2 STOREY DWELLING
CURRENTLY UNDER CONSTRUCTION

BOUNDARY LINE

SIDE SETBACK 1/3 of EXTERNAL WALL HEIGHT = 1846mm

E02 NORTH ELEVATION

INTERNAL COURTYARD

PLAY ROOM

LIVING

EXISTING DWELLING
DINING

KITCHEN

E03 SOUTH ELEVATION

301°24'51"

64.955

BOUNDARY LINE

△ E01 EAST ELEVATION

SUBJECT SITE
19 DAVID PLACE
new sliding doors
in existing opening

new window seat
new window
new 120mm
stud wall
new column

new downpipe, connect to
ex'g stormwater system
new vertical aluminium
adjustable privacy louvres
over ex'g wall

new column
new roof above terrace
200 mm overhang

new table

NEW BAY
WINDOW
GFA = 2.66m²

new sink

17 DAVID PLACE
DP 1036506

MATERIAL / WASTE
STORAGE, DISPOSAL, AND
HANDLING AREA DURING
DEMOLITION AND
CONSTRUCTION

DRIVEWAY

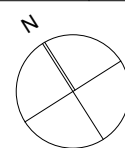
ONGOING WASTE
MANAGEMENT,
STORAGE AREA FOR
COUNCIL PROVIDED
RECYCLING AND
WASTE BINS

GARAGE

BOUNDARY LINE

GROUND FLOOR PLAN 1:100

ReviD Issue Date Issue Name



sandberg schoffel architects

11 / 599 Military Rd, Mosman, NSW 2088
t 02 9969 7609 mb; 0414 394461
sandbergschoffel@bigpond.com
www.sandbergschoffel.com.au
nominated architect; Michael Sandberg Reg No: 5831

Client: **Stuart & Victoria Rathborne**
Project: **19 David Place Seaforth NSW 2092**
ALTERATIONS & ADDITIONS
PROPOSED GROUND FLOOR / WASTE
MANAGEMENT PLAN
Title:

Plot Date: **07-Aug-20**
Rev Date:
Scale: **1:100 @ A3**
Dwg No.: **2007.DA.10**



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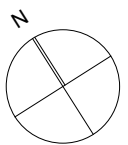
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THE CONDITIONS OF DEVELOPMENT
CONSENT

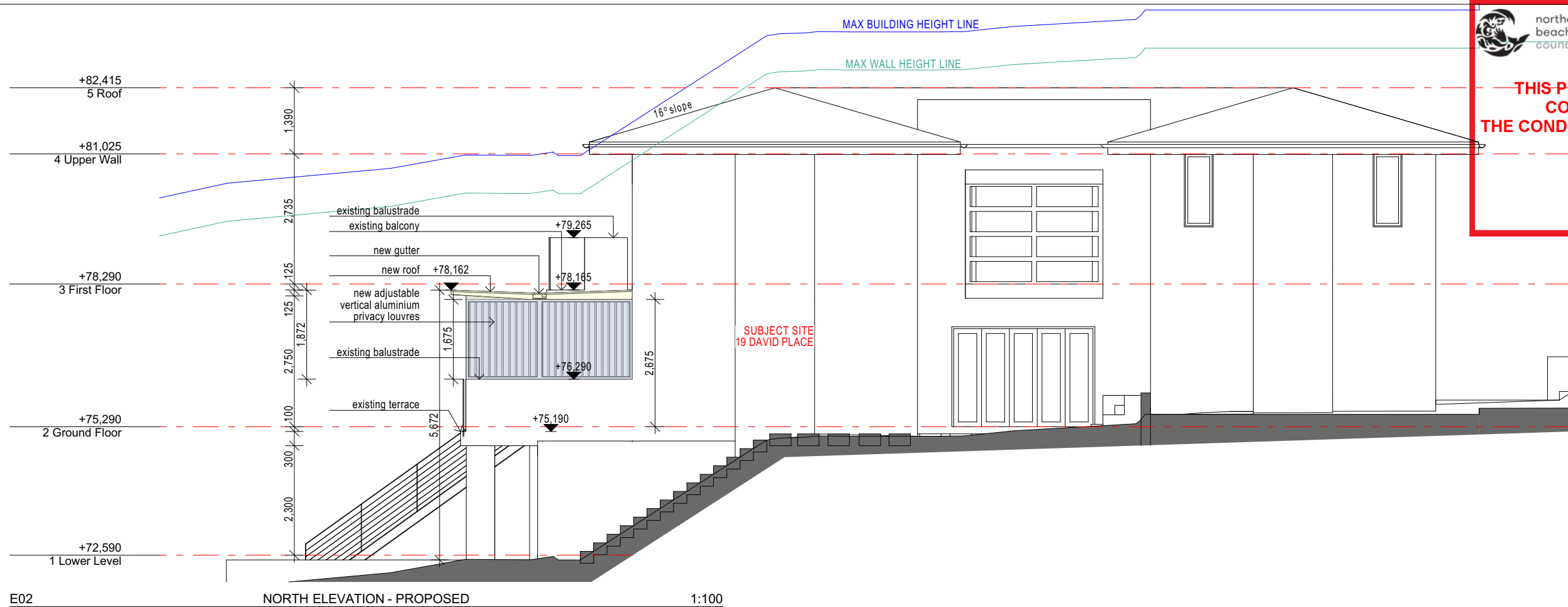
DA2020/0918

21 DAVID PLACE
DP 19417
2 STOREY DWELLING
CURRENTLY UNDER CONSTRUCTION

LOWER LEVEL FLOOR PLAN 1:100

17 DAVID PLACE
DP 1036506

ReviD	Issue Date	Issue Name		sandberg schoffel architects 11 / 599 Military Rd, Mosman, NSW 2088 t 02 9969 7609 mb; 0414 394461 sandbergschoffel@bigpond.com www.sandbergschoffel.com.au nominated architect; Michael Sandberg Reg No: 5831	Client: Stuart & Victoria Rathborne Project: 19 David Place Seaforth NSW 2092 ALTERATIONS & ADDITIONS Title: PROPOSED LOWER LEVEL PLAN	Plot Date: 07-Aug-20 Rev Date: Scale: 1:100 @ A3 Dwg No.: 2007.DA.11
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Colours and finishes

Roof cladding:
DA2020/0918

Colourbond high 10mm
profile astro finish

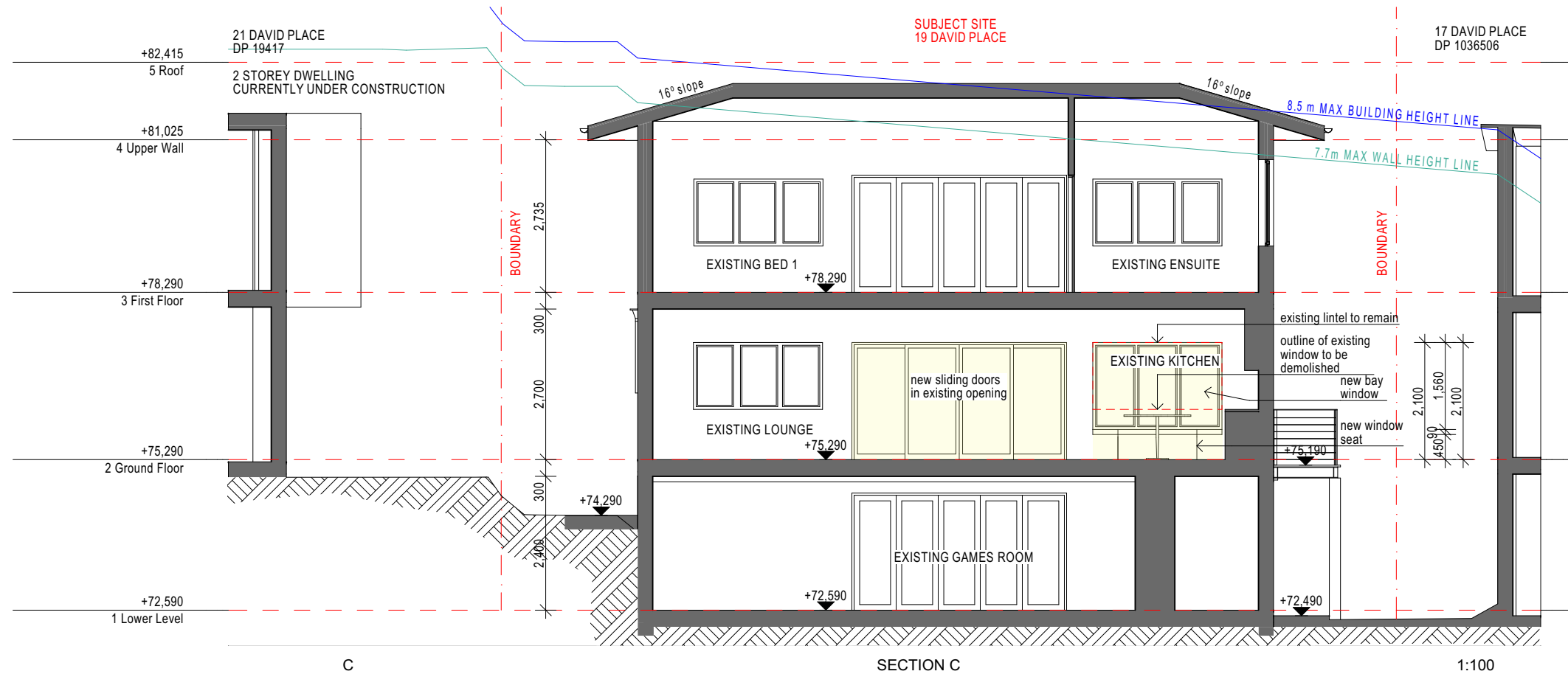
Door + window:

Natural anodised
aluminium finish

Louvres + frame

Colourbond gully finish
to match existing
concrete render oxide
colour 1 wall finish

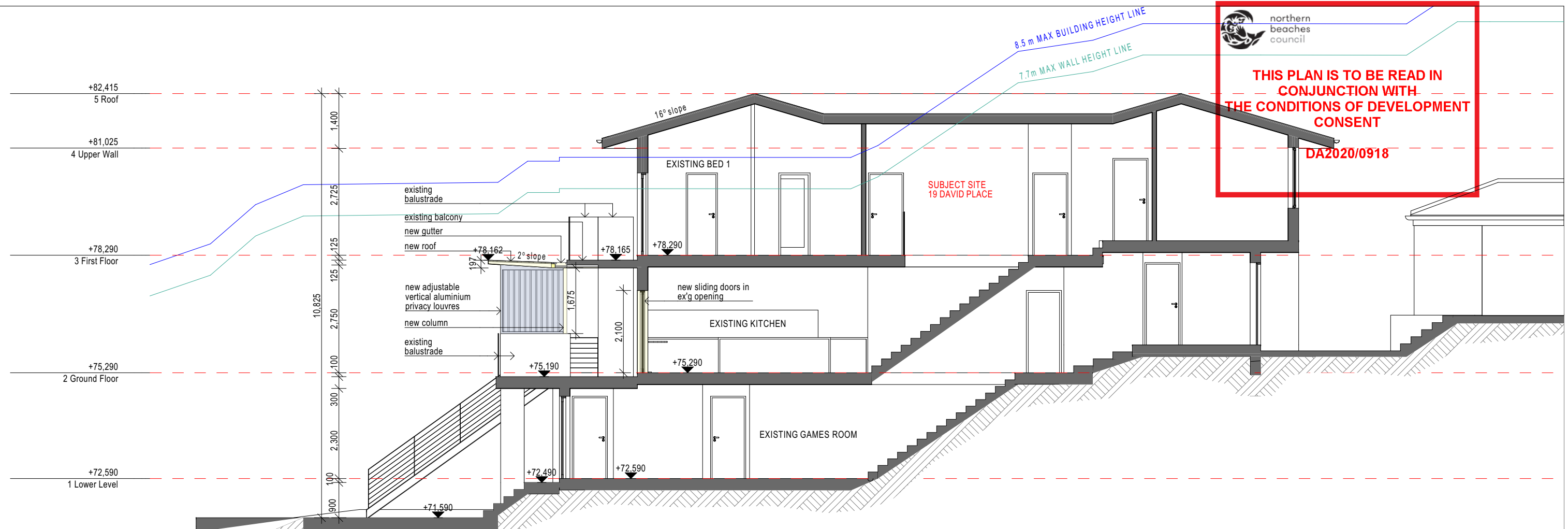
RevID	Issue Date	Issue Name	sandberg schoffel architects 11 / 599 Military Rd, Mosman, NSW 2088 t 02 9969 7609 mb; 0414 394461 sandbergschoffel@bigpond.com www.sandbergschoffel.com.au nominated architect; Michael Sandberg Reg No: 5831	Client: Stuart & Victoria Rathborne	Plot Date: 07-Aug-20
				Project: 19 David Place Seaforth NSW 2092	Rev Date:
				ALTERATIONS & ADDITIONS	Scale: 1:100 @ A3
				PROPOSED NORTH + SOUTH ELEVATIONS +	Dwg No.: 2007.DA.12
				FINISHES SCHEDULE	



RevID	Issue Date	Issue Name	sandberg schoffel architects 11 / 599 Military Rd, Mosman, NSW 2088 t 02 9969 7609 mb: 0414 394461 sandbergschoffel@bigpond.com www.sandbergschoffel.com.au nominated architect; Michael Sandberg Reg No: 5831	Client: Stuart & Victoria Rathborne Project: 19 David Place Seaforth NSW 2092 ALTERATIONS & ADDITIONS Title: PROPOSED EAST ELEVATION & SECTION C	Plot Date: 07-Aug-20 Rev Date: Scale: @ A3 Dwg No.: 2007.DA.13
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CONSENT**

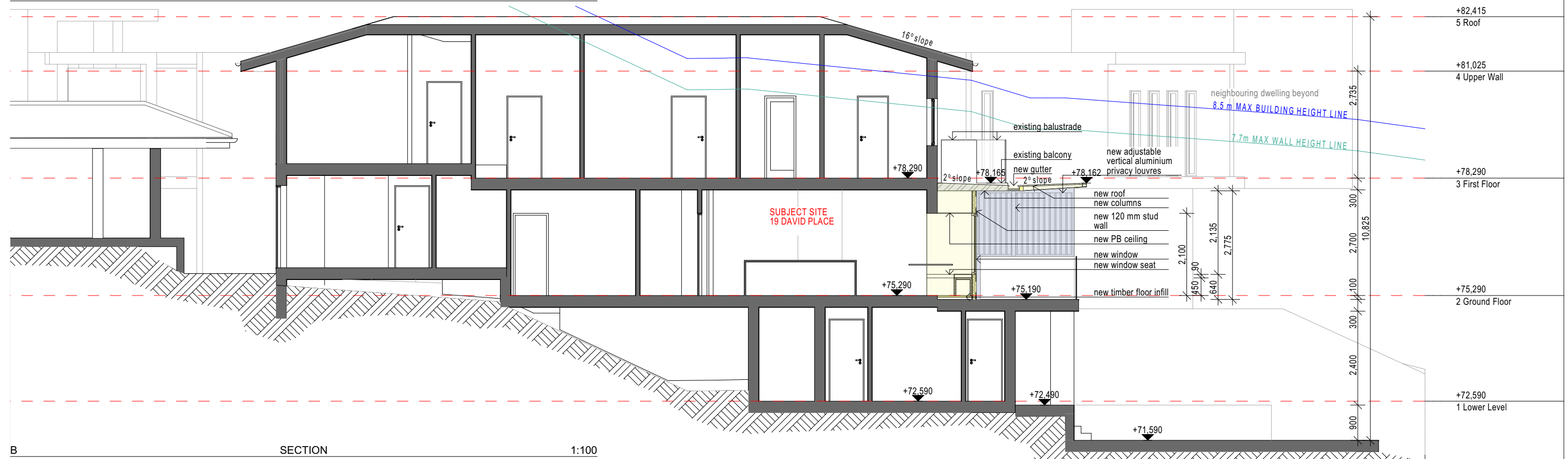
DA2020/0918



A

SECTION

1:100



B

SECTION

1:100

RevID	Issue Date	Issue Name

sandberg schoffel architects

11 / 599 Military Rd, Mosman, NSW 2088
t 02 9969 7609 mb; 0414 394461
sandbergschoffel@bigpond.com
www.sandbergschoffel.com.au
nominated architect; Michael Sandberg Reg No: 5831

Client: **Stuart & Victoria Rathborne**

Project: **19 David Place Seaforth NSW 2092
ALTERATIONS & ADDITIONS**

Title: **PROPOSED SECTIONS A + B**

Plot Date: **07-Aug-20**

Rev Date:

Scale: **@ A3**

Dwg No.: **2007.DA.14**