

Landscape Referral Response

Application Number:	Mod2023/0567
Date:	23/11/2023
Proposed Development:	Modification of Development Consent DA2022/0145 granted for Demolition works and construction of a mixed-use development comprising a residential flat building and shop top housing, basement parking, lot consolidation and torrens title subdivision.
Responsible Officer:	Gareth David
Land to be developed (Address):	Lot CP SP 32072 , 812 Pittwater Road DEE WHY NSW 2099 Lot CP SP 32071 , 4 Delmar Parade DEE WHY NSW 2099

Reasons for referral

This application seeks consent for the following:

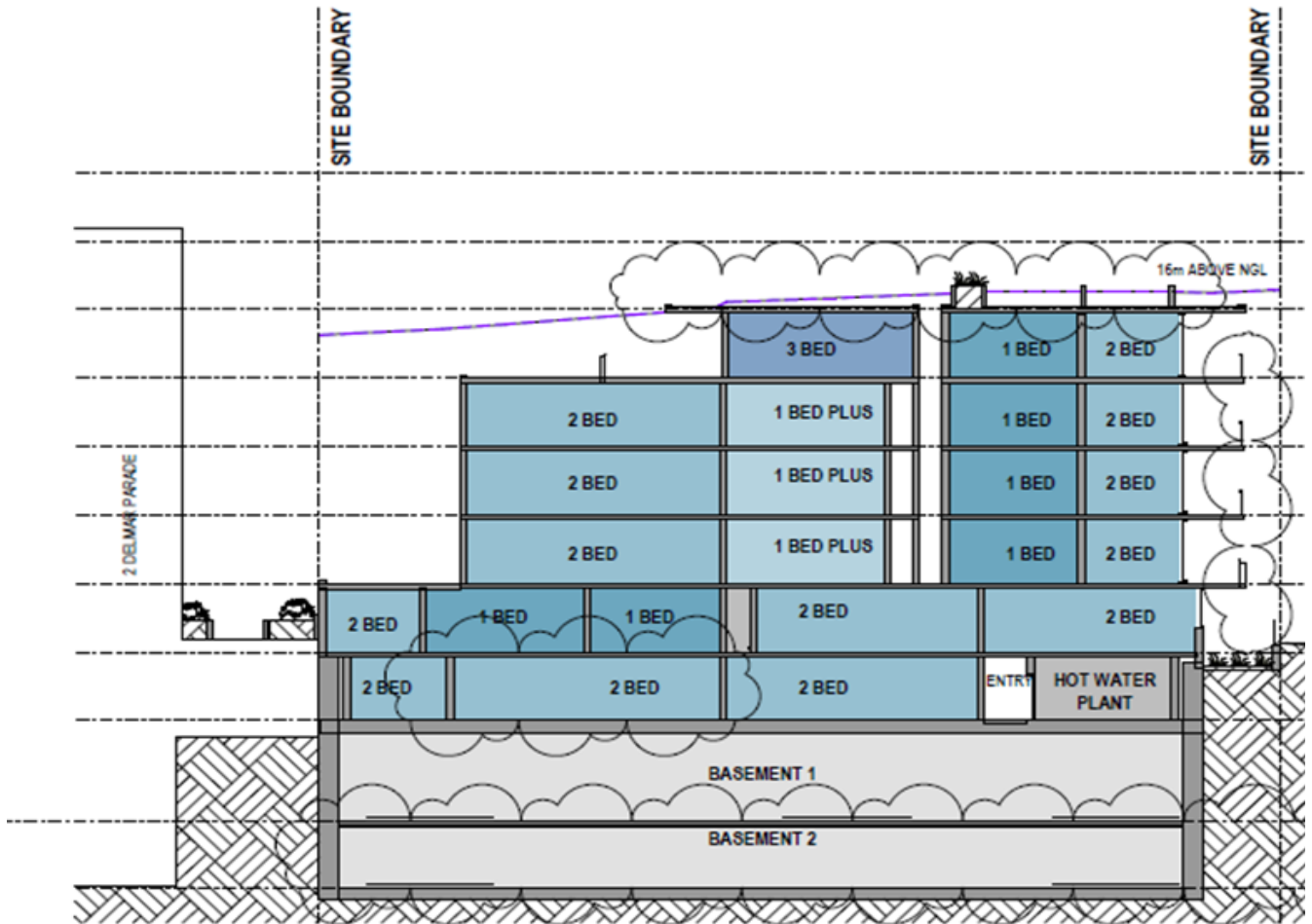
- Construction / development works within 5 metres of a tree or
- New residential works with three or more dwellings. (RFB's, townhouses, seniors living, guesthouses, etc). or
- Mixed use developments containing three or more residential dwellings.
- New Dwellings or

Officer comments

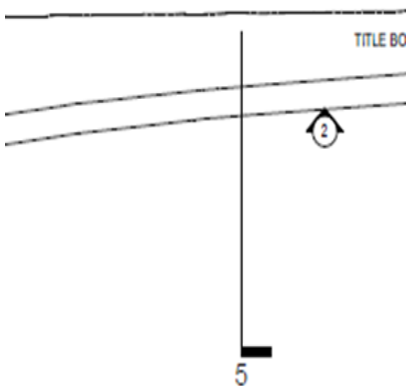
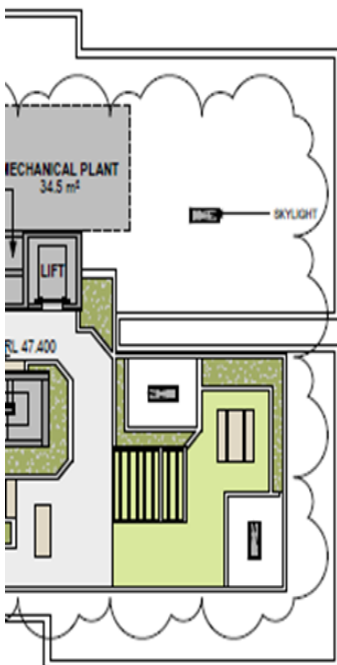
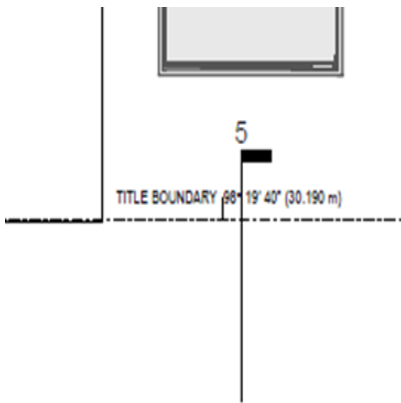
The plans indicate that little by way of landscape elements are amended compared to the approved landscape plans. An additional pergola with vines is proposed on Level 5.

It is noted that the modification indicates the addition of a new rooftop landscape common open space area on Level 6. This space too provides a pergola.

Whilst no objections are raised in general terms, it is apparent that structures in the new common open space area on Level 6 exceed the height limit as indicated on the Sections. Additionally, no indication of the height of the proposed pergolas is provided, which would appear to further present a breach of the height control.



SECTION 5



Assessment of this aspect is left to planning consideration, however no objections are raised to the modification from a landscape perspective.

The proposal is therefore supported.

Note: Should you have any concerns with the referral comments above, please discuss these with the Responsible Officer.

Recommended Landscape Conditions:

Nil.