



ACTION PLANS

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DEVELOPMENT APPLICATION

SHEET NUMBER		SHEET NAME	DATE PUBLISHED
DA00	COVER		25/05/2021
DA01	SITE ANALYSIS		25/05/2021
DA02	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN		25/05/2021
DA03	PROPOSED POOL PLAN		25/05/2021
DA04	POOL SECTIONS		25/05/2021
DA05	AREA CALCULATIONS		25/05/2021

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A415318

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 03, May 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



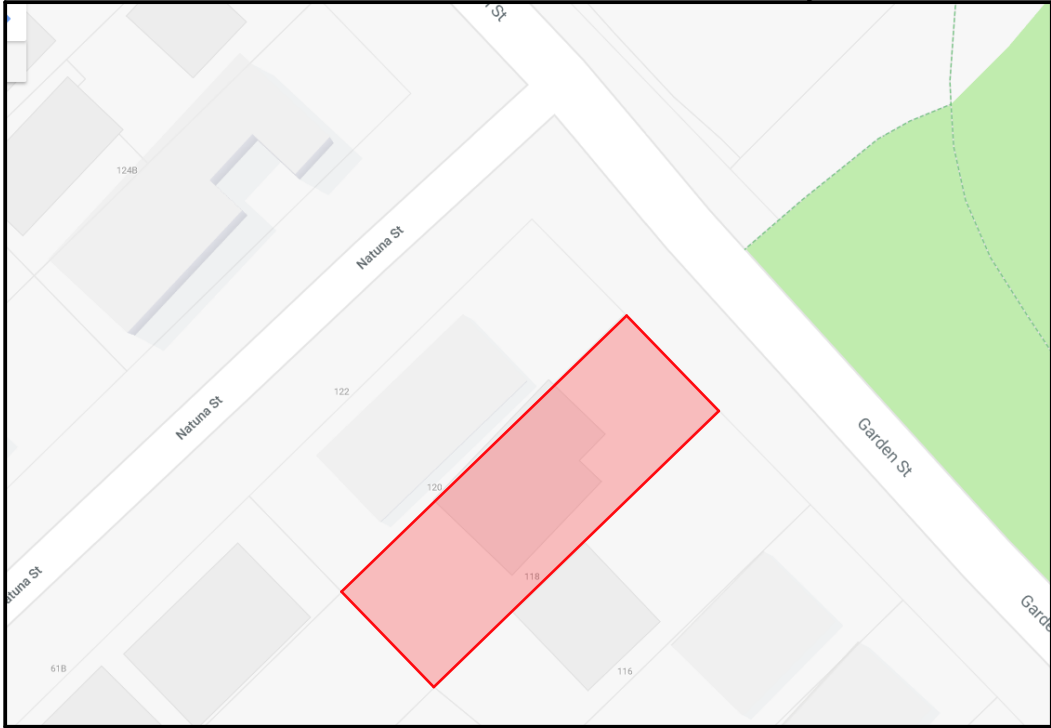
Planning,
Industry &
Environment

Description of project

Project address	
Project name	120 Garden Street, North Narrabeen NSW 2101
Street address	120 GARDEN Street North Narrabeen 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP6555
Lot number	6
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is less than \$50,000, but includes a pool (and/or spa) with a combined capacity of 40,000 litres or more.
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Action Plans
ABN (if applicable):	17118297587

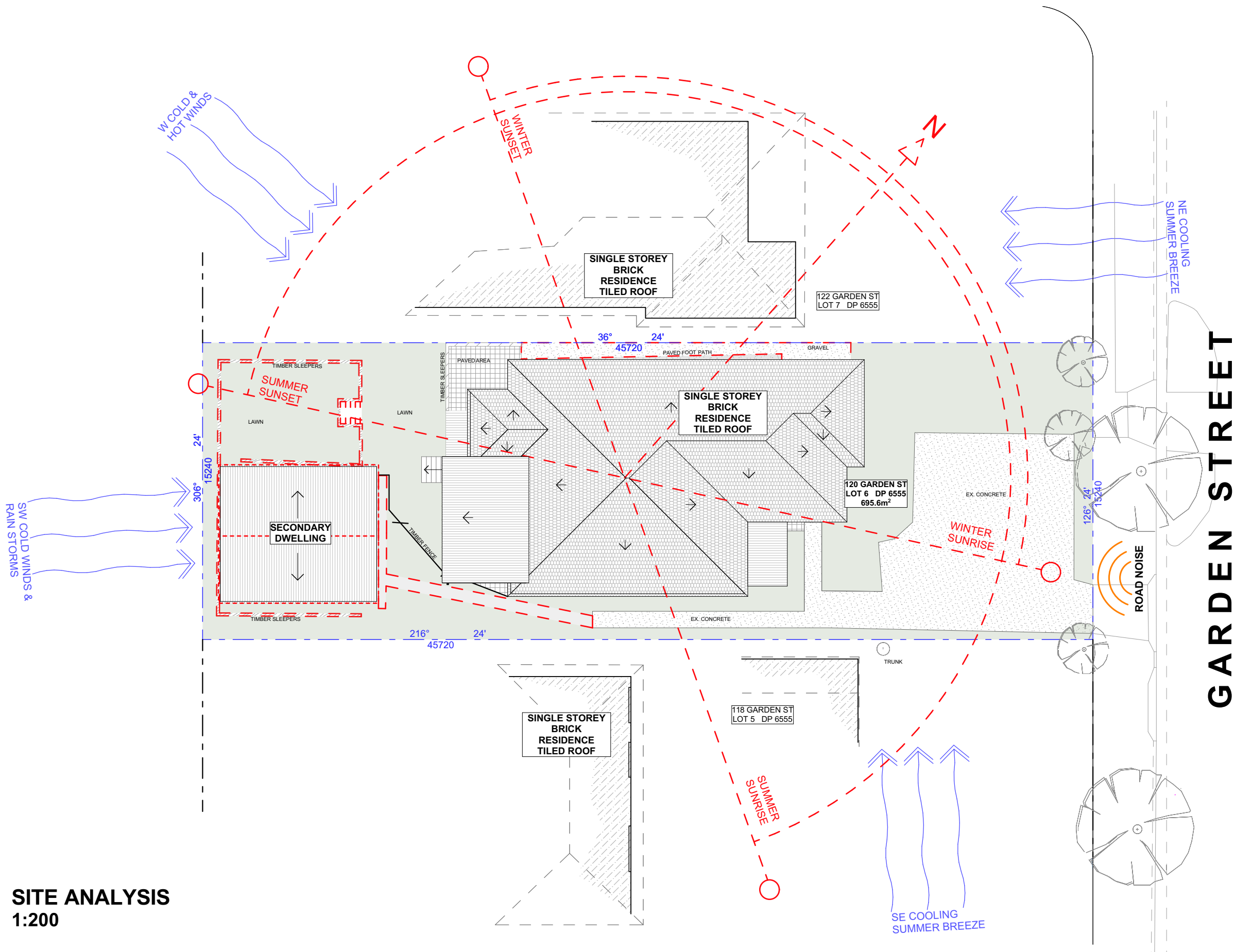
Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank			
The applicant must install a rainwater tank of at least 1071 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 84.43 square metres of roof area.		✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.		✓	✓
Outdoor swimming pool			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 40.6 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.		✓	✓
The applicant must install a pool pump timer for the swimming pool.		✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: electric heat pump.		✓	✓
Legend			
In these commitments, "applicant" means the person carrying out the development.			
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).			
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.			
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.			

120 GARDEN STREET, NORTH NARRABEEN, 2101



NCC & AS COMPLIANCES SPECIFICATIONS

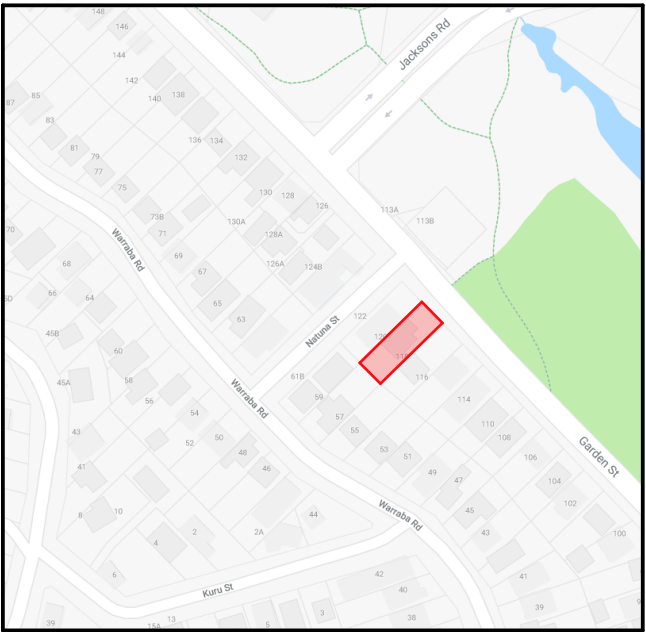
- EARTHWORKS: METHOD OF EXCAVATION AND FILL - PART 3.1.1 OF NCC
- SURFACE SUBSOIL-STORMWATER DRAINAGE - PART 3.1.2 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.3 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS2870
- MASONRY CONSTRUCTION - PART 3.3 OF NCC INCLUDING AS3700
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- FRAMING - PART 3.4 OF NCC
- ROOF, WALL-CLADDING, GUTTERS & DOWNPIPES - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS1288
- FIRE SEPARATION - PART 3.7.1 OF NCC
- SMOKE ALARMS - PART 3.7.2 OF NCC
- HEATING APPLIANCES - PART 3.7.3 OF NCC
- WET AREAS-PROTECTION OF WALLS & FLOORS - PART 3.8.1 OF NCC
- MINIMUM ROOF HEIGHTS - PART 3.8.3 OF NCC
- FACILITIES REQUIRED & SANITARY DOOR CONSTRUCTION - PART 3.8.3 OF NCC
- LIGHT: NATURAL AND ARTIFICIAL - PART 3.8.4 OF NCC
- VENTILATION & LOCATION OF TOILETS - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIR CONSTRUCTION INCLUDING DIMENSIONS - PART 3.9.1 OF NCC
- BALUSTRADES & OTHER BARRIERS - PART 3.9.2 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926
- DEMOLITION WORKS - AS2601-1991 THE DEMOLITION OF STRUCTURES.
- ALL WATERPROOF MEMBRANES TO COMPLY WITH WITH AS 3740-2004
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500
- SITE CLASSIFICATION AS TO AS 2870
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588-1998
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562-1992
- ALL SKYLIGHTS TO COMPLY WITH WITH AS 4285-2007
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS2047 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-1989 & AS 1170.4-1993
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700 - 2011 & AS 3600 -2001
- ALL CONSTRUCTION TO COMPLY TO AS3959- 1991



STREET VIEW



AERIAL MAP



LOCATION VIEW

SITE ANALYSIS
1:200

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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REV.	DATE	COMMENTS	DRWN
A	25.05.2021	DA	RNA

NOTES
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All levels and dimensions are to be checked and verified on site prior to commencement of any work, making of shop drawings or fabrication of components.
Do no scale on drawings. Use figured dimensions.

LEGEND	
	NEW FLOOR AREA
	NEW WET FLOOR AREA
	METAL ROOFING
	TILED ROOFING
	TIMBER
	CONCRETE
	BRICKWORK
	METAL
	EXISTING
	DEMOLISHED

CLIENT
Ben & Prue Scully

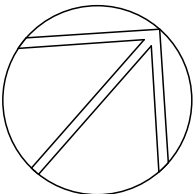
PROJECT ADDRESS
No. 120 Garden Street,
North Narrabeen NSW
2101

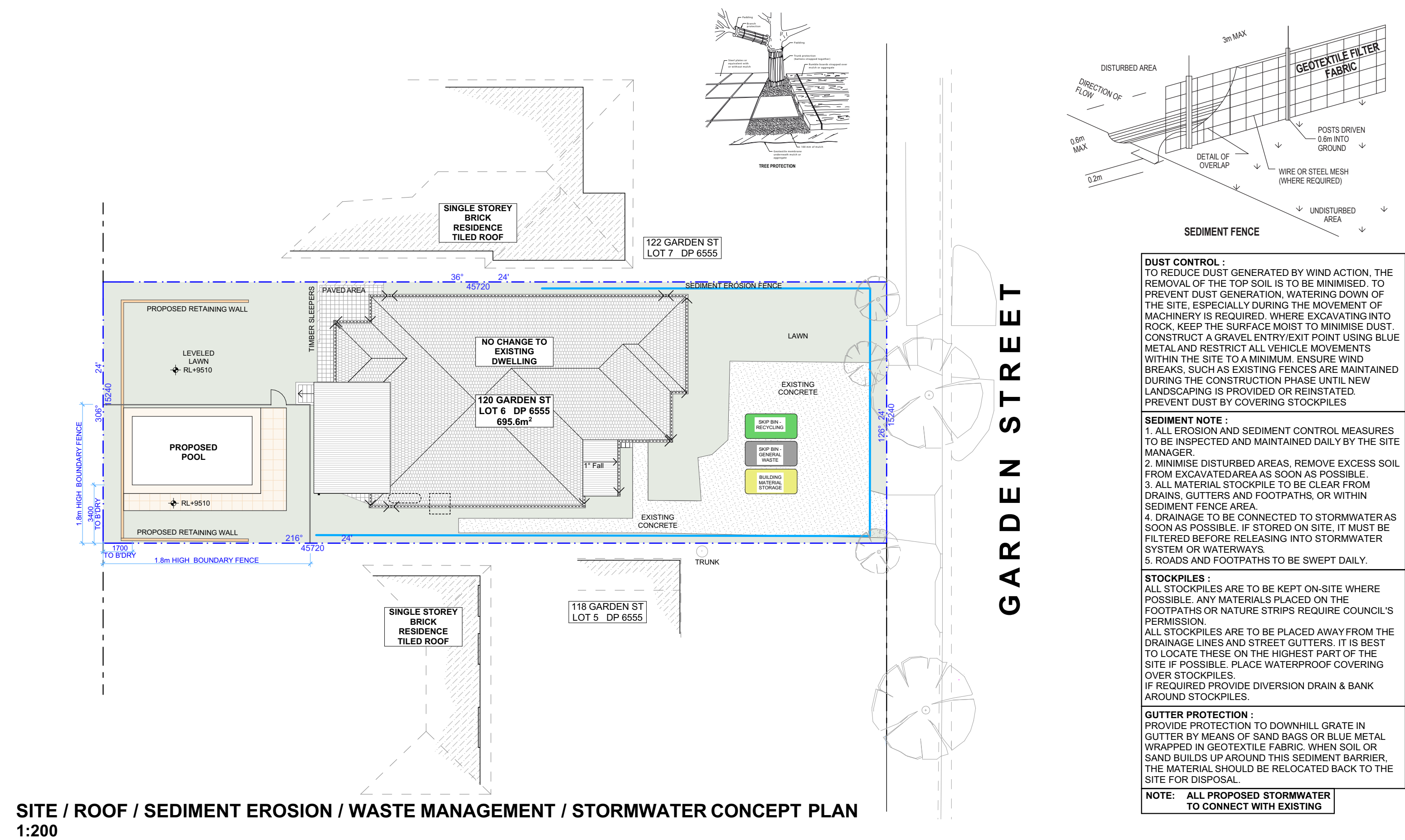
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DA01

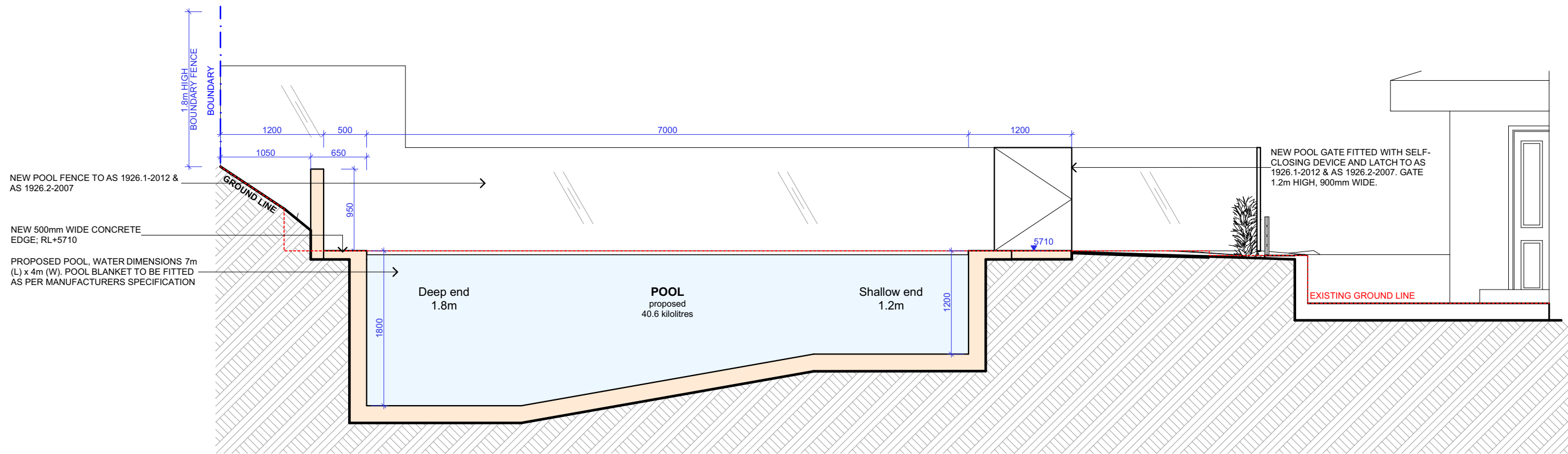
DATE
Tuesday, 25 May 2021

DRAWING NAME
SITE ANALYSIS

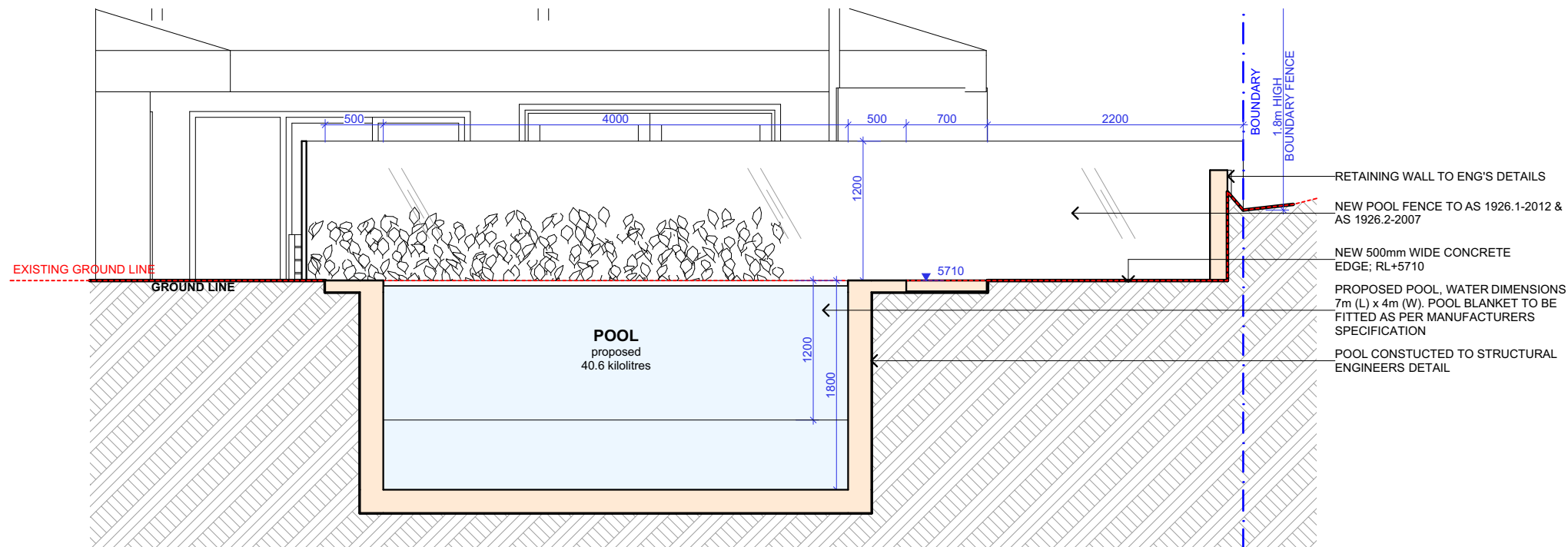
SCALE
1:200 @A3







PROPOSED POOL LONG SECTION
1:50



PROPOSED POOL CROSS SECTION
1:50



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LEGEND

TIMBER	METAL ROOFING
WEATHERBOARD	TILED ROOFING
FACE BRICKWORK	RENDER
METAL	EXISTING
CONCRETE	

CLIENT

Ben & Prue Scully

PROJECT ADDRESS

No. 120 Garden Street,
North Narrabeen NSW
2101

DRAWING NO.

DA04

DATE

Tuesday, 25 May 2021

DRAWING NAME

POOL SECTIONS

SCALE

1:50 @A3

LANDSCAPE REQUIREMENTS

SITE AREA: 695.6m²

- Landscaped Area - General: 50% (347.8m²)

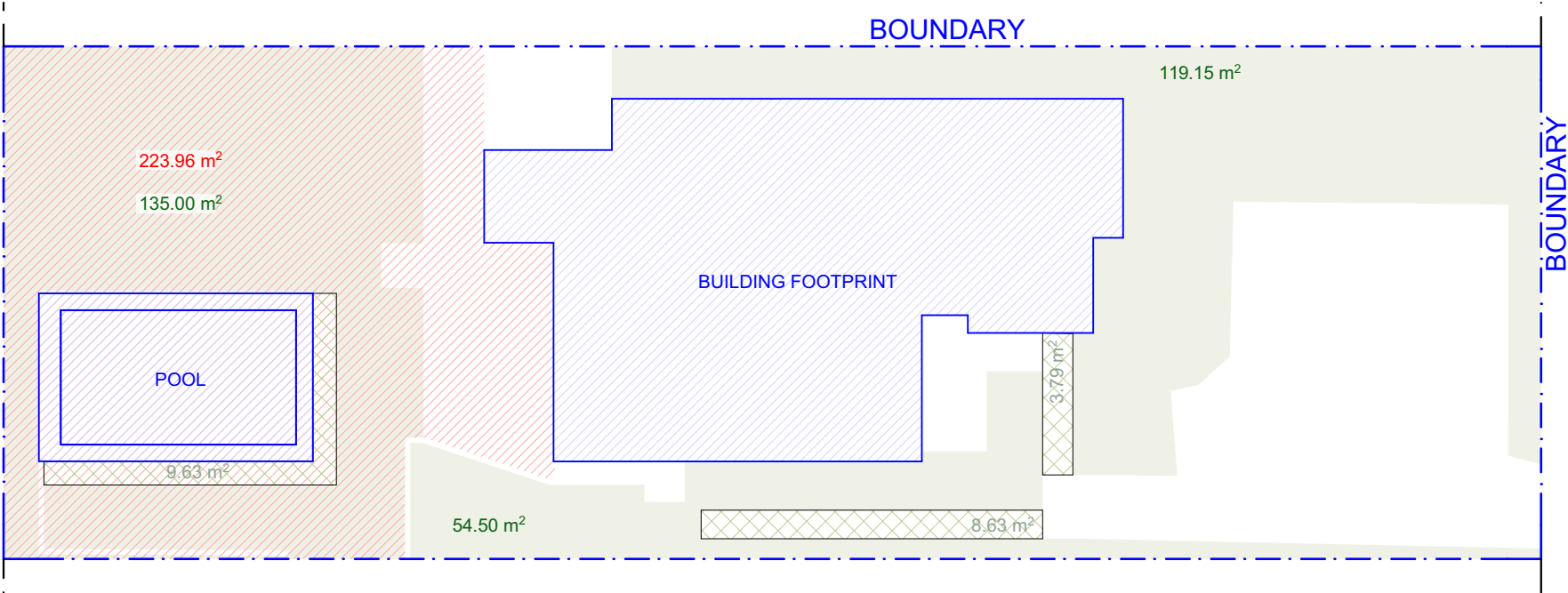
Existing (survey): 49% (339.93m²)

Proposed:44% (308.65m²)
- 6% Landscaped Variations (41.74m²)

Proposed: 3% (22.05m²)
- Total Landscaped area

Proposed: 48% (330.7m²)
- Building/POOL Footprint
- Private Open Space: 80m²

Proposed Primary Dwelling: 80m² per dwelling (223.96m²)



AREA CALCULATIONS
1:200