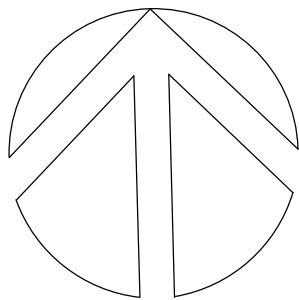




LOCATION DIAGRAM



NORTH

3 BROOKVALE AVE BROOKVALE

LIST OF DRAWINGS

ARCHITECTURAL

- A01 LOCATION DIAGRAM
- A02 SITE ANALYSIS PLAN
- A03 BASEMENT FLOOR PLAN
- A04 GROUND FLOOR PLAN
- A05 FIRST FLOOR PLAN
- A06 MEZZANINE FLOOR PLAN
- A07 ROOF PLAN
- A08 ELEVATIONS
- A09 SECTIONS
- A10 SHADOW DIAGRAMS
- A11 SHADOW DIAGRAMS
- A12 EXTERNAL COLOUR SCHEDULE
- A13 PLAN SHOWING RE-DEVELOPMENT OF ADJOINING LOTS IN BROOKVALE AVE
- A14 DEMOLITION PLAN

CIVIL

- C1 COVER SHEET & NOTES
- C2 STORMWATER MANAGEMENT PLAN
- C3 STORMWATER MANAGEMENT DETAILS SHEET No.1
- C4 STORMWATER MANAGEMENT DETAILS SHEET No.2
- C5 EROSION & SEDIMENT CONTROL NOTES
- C6 EROSION & SEDIMENT CONTROL PLAN
- C7 EROSION & SEDIMENT CONTROL DETAILS
- C8 ON SITE DETENTION CHECKLIST

LANDSCAPE

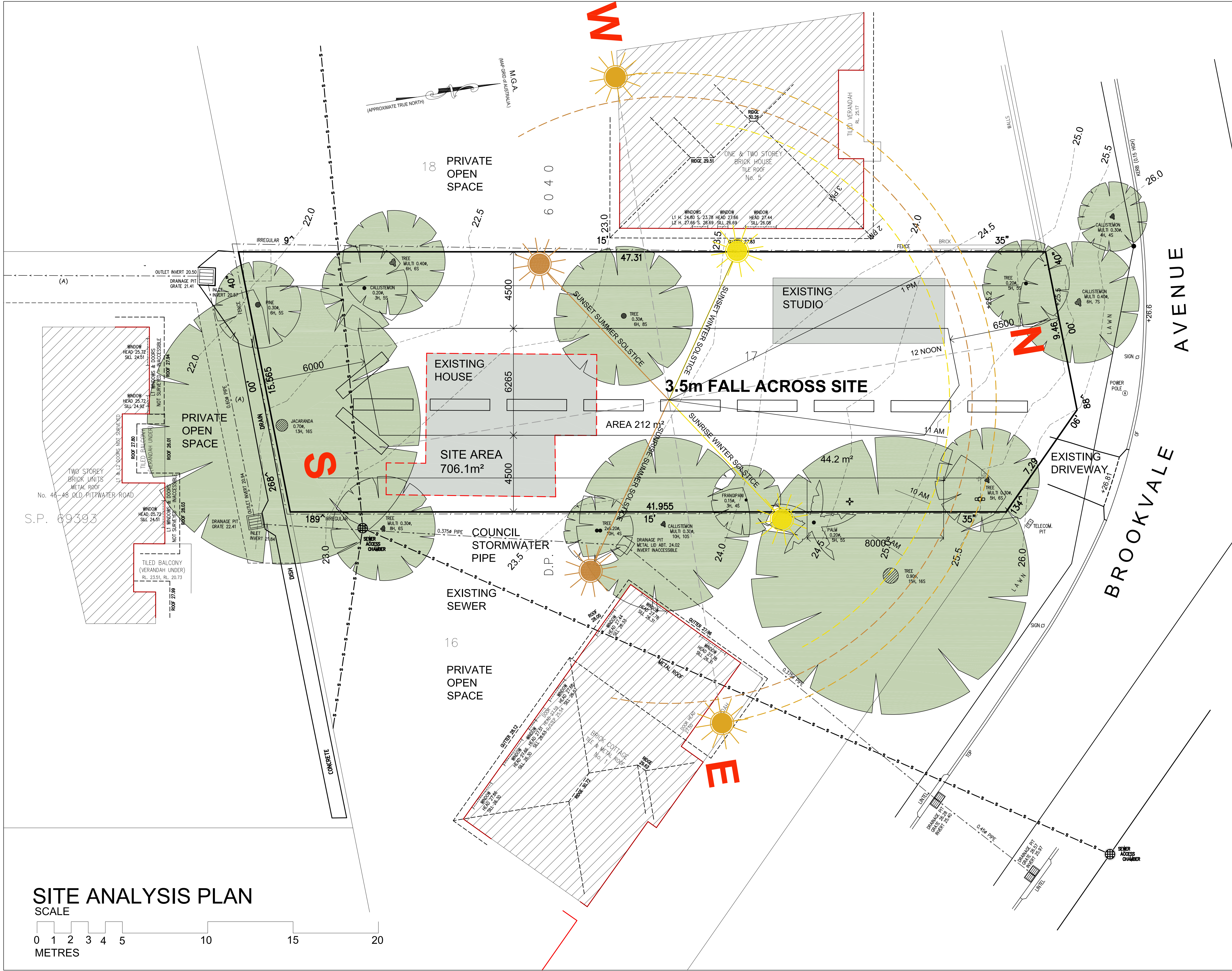
- 2102-1 EXISTING TREE AND SITE PLAN
- 2102-2 LANDSCAPE PLAN
- 2102-3 PLANTING PLANS/ PLANT SCHEDULE
- 2102-4 CONSTRUCTION NOTES & DETAILS

SURVEY

PLAN OF LOT 17 IN D.P. 6040
AT No. 2 BROOKVALE AVE., BROOKVALE.
BY: Bee & Lethbridge Pty Ltd Surveying
DATE: 9 September 2020
REF: 21800

LEGEND

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Client		
PRIMO DESIGN PTY LTD		
Project		
3 BROOKVALE AVE BROOKVALE		
Drawing		
LOCATION DIAGRAM		
Scale	NTS	Drawn BR
File	DA11 BROOKVALE AVE	checked BR
Plotted	15/06/2021 4:24 PM	
Job No	2005	
Version	DA	Drawing No: A01
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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
SITE ANALYSIS PLAN

Scale 1:100 Drawn BR

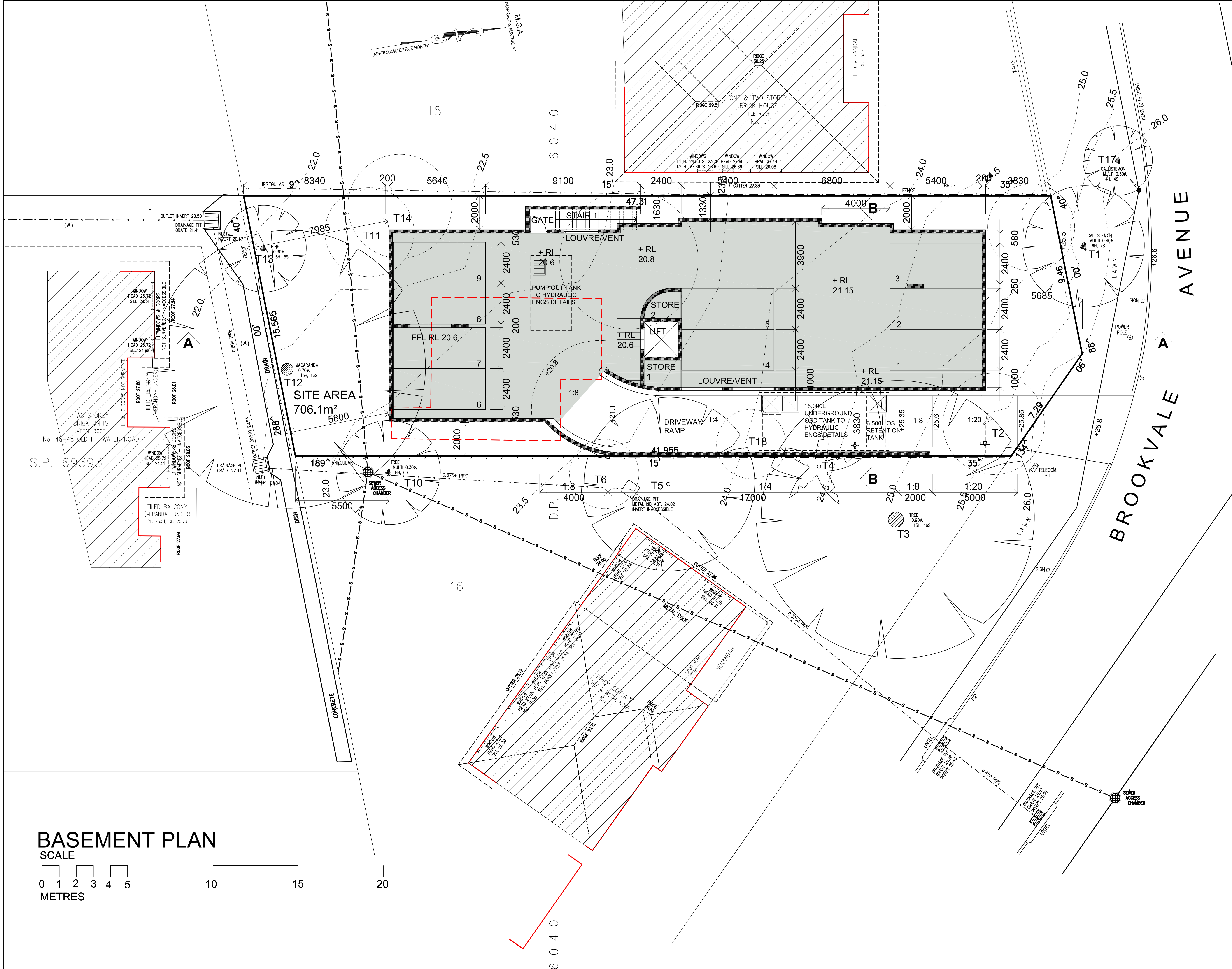
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Plotted 15/06/2021 4:24 PM

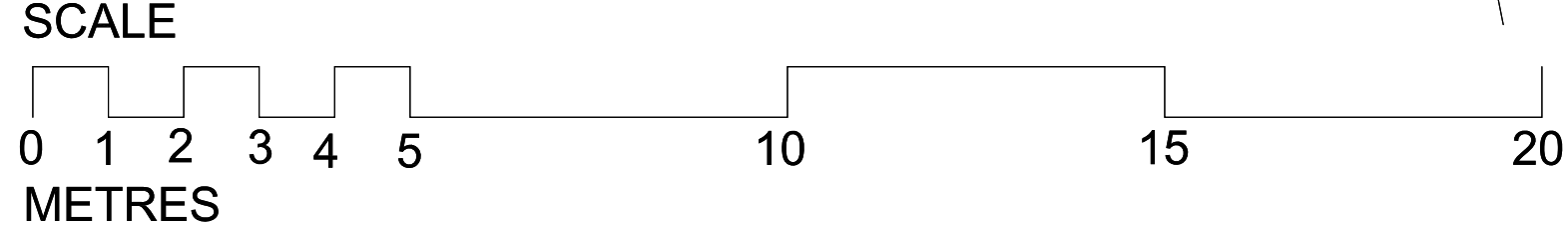
Job No 2005

Version DA Drawing No: **A02**

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BASEMENT PLAN



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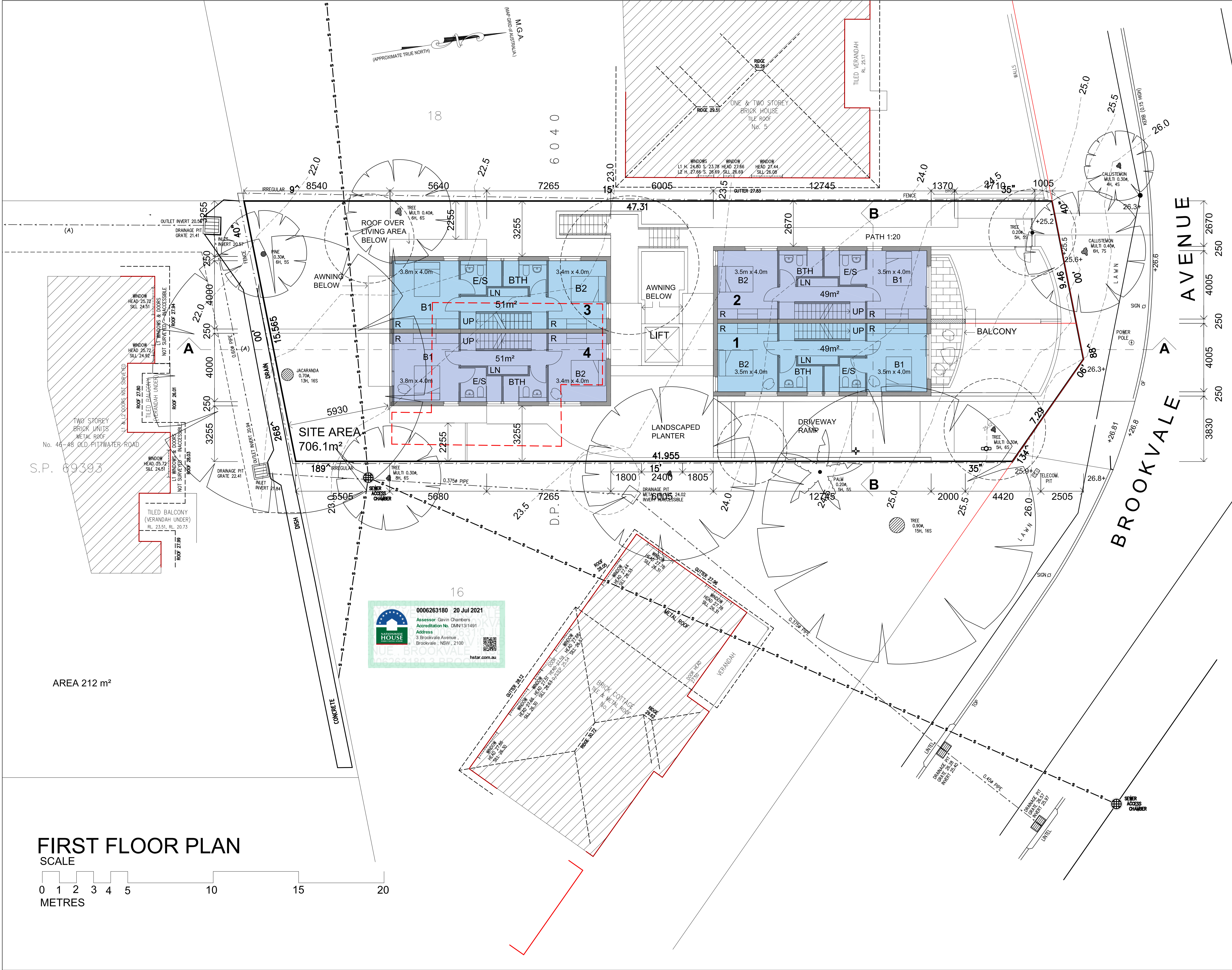
Client
PRIMO DESIGN PTY LTD

Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
BASEMENT PLAN

Scale 1:100	Drawn BR
File DA11f BROOKVALE Av@hecked	BR
Plotted 15/06/2021 4:24 PM	
Job No 2005	
Version DA	Drawing No: A03

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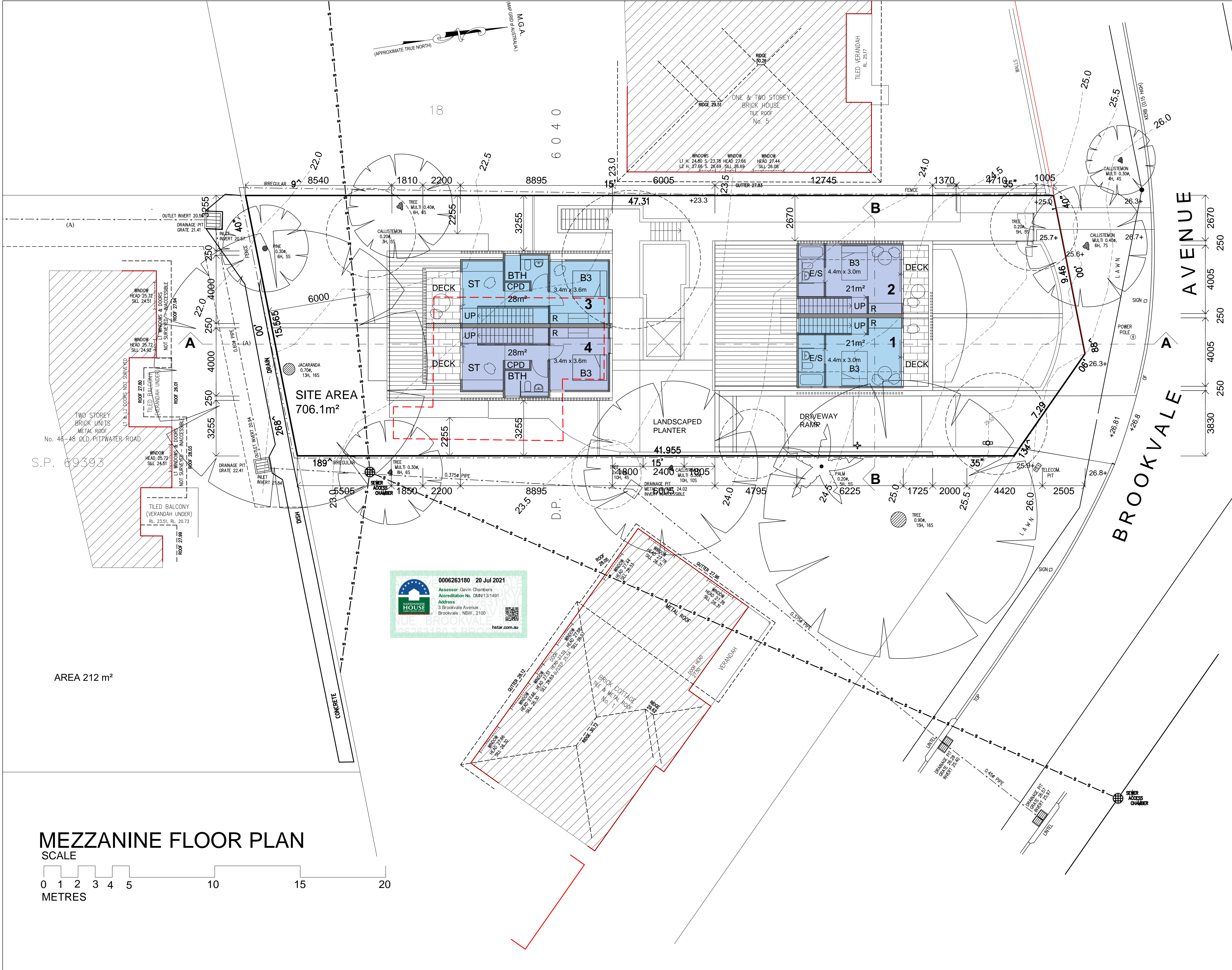
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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
FIRST FLOOR PLAN

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Plotted 15/06/2021 4:24 PM	
Job No 2005	
Version DA	Drawing No: A05

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1	20 Jul 2021	Initial Issue

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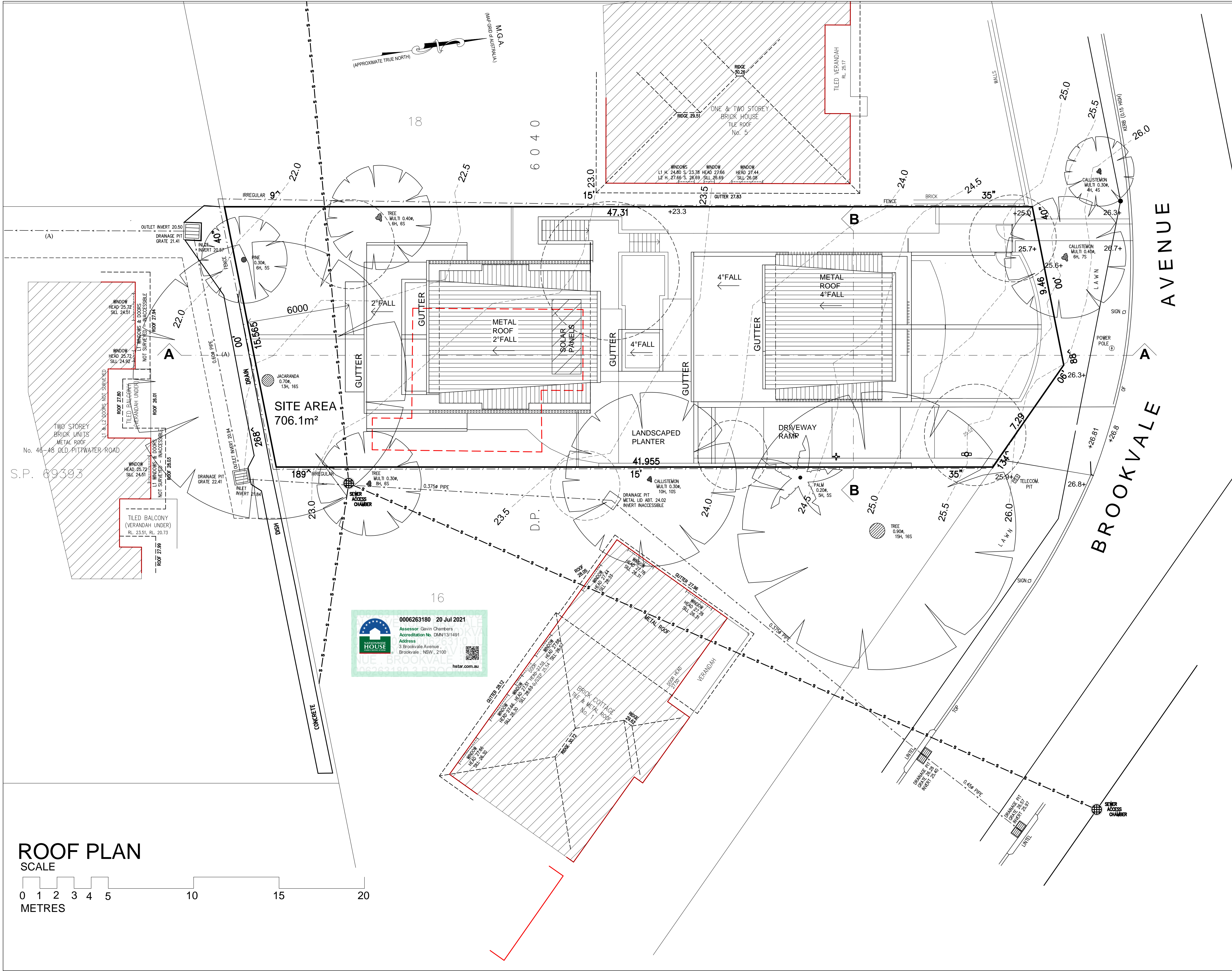
Client
PRIMO DESIGN PTY LTD

Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
MEZZANINE FLOOR PLAN

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Plotted 15/06/2021 4:24 PM	
Job No 2005	
Version DA	Drawing No: A06

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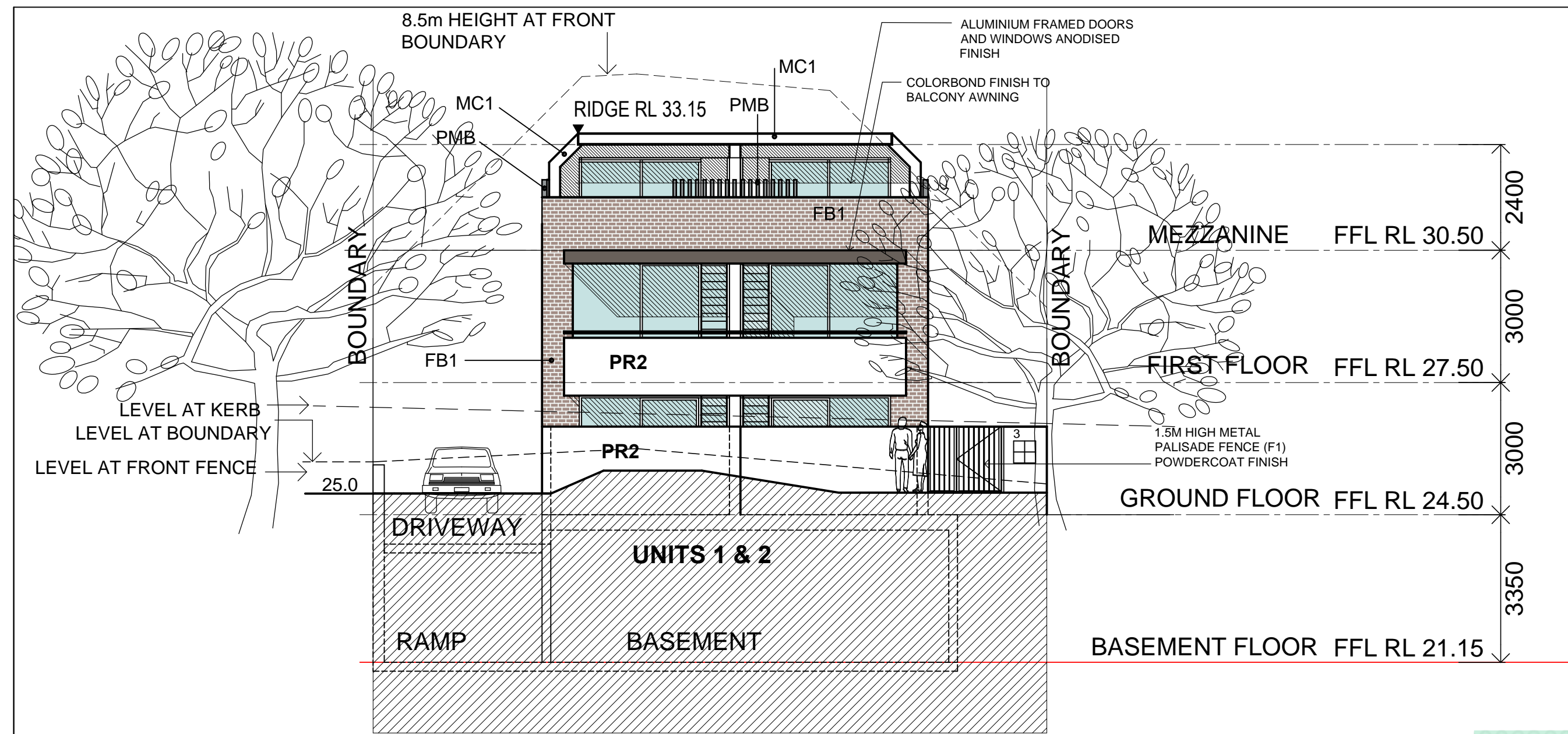
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Project
**3 BROOKVALE AVE
BROOKVALE**

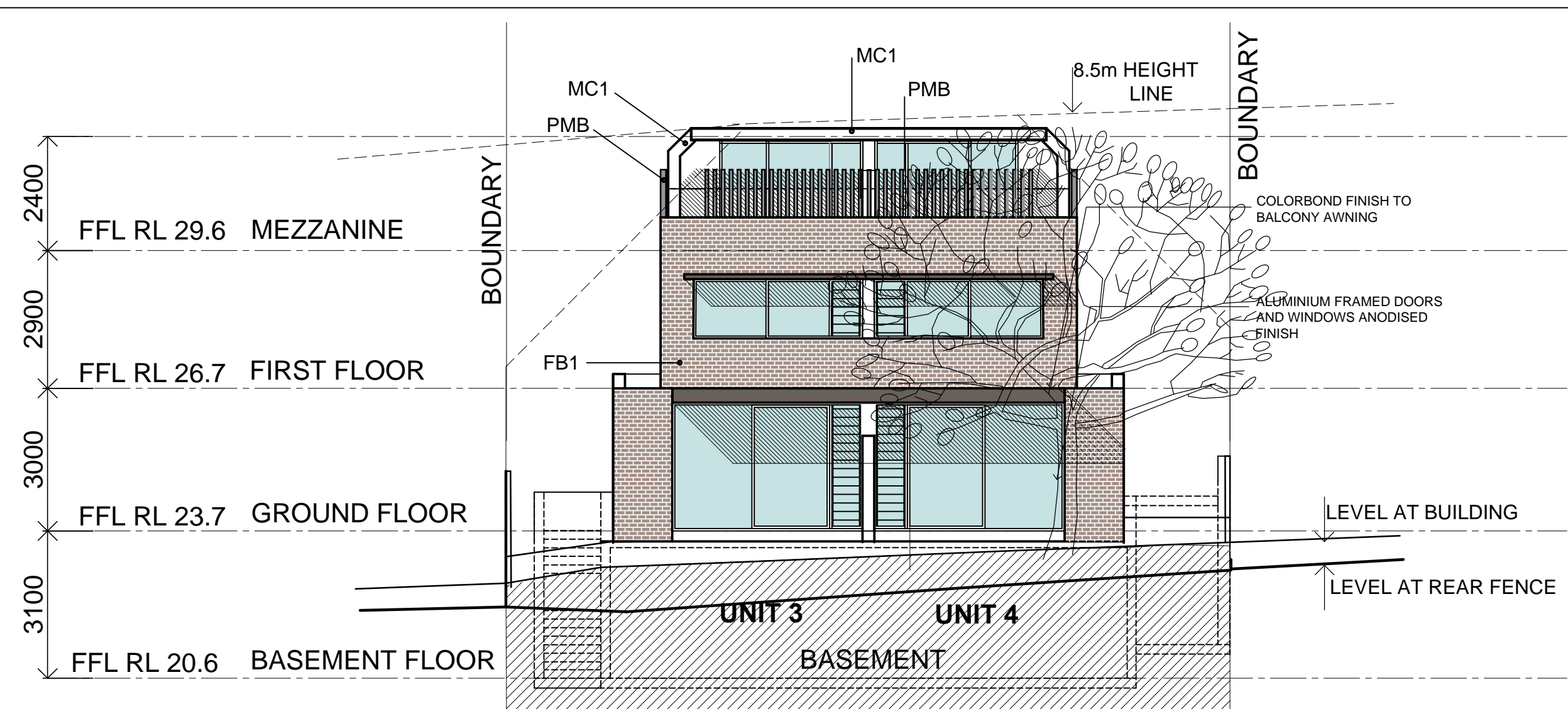
Drawing
ROOF PLAN

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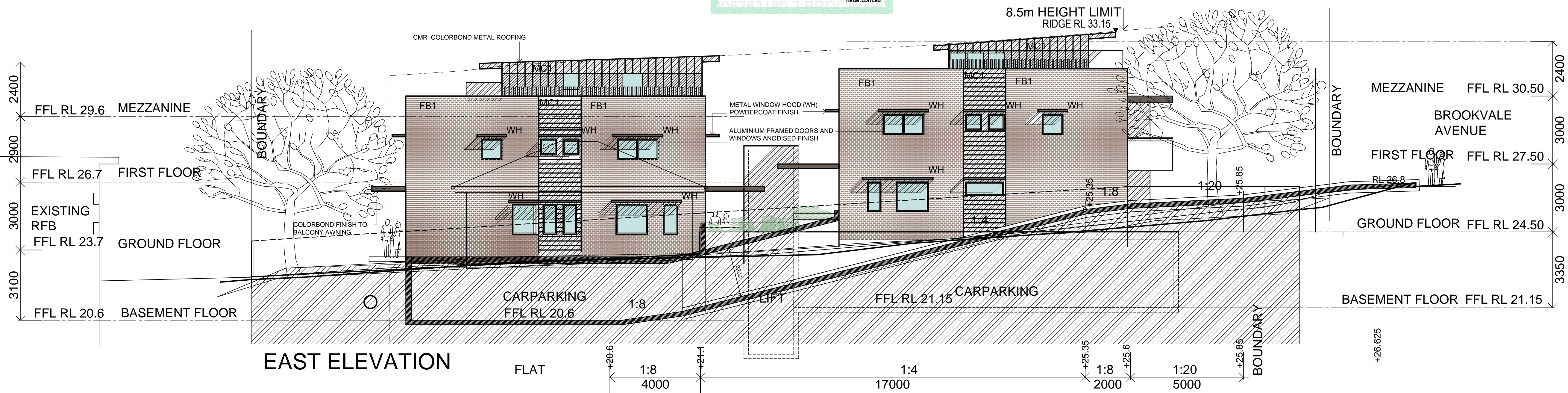
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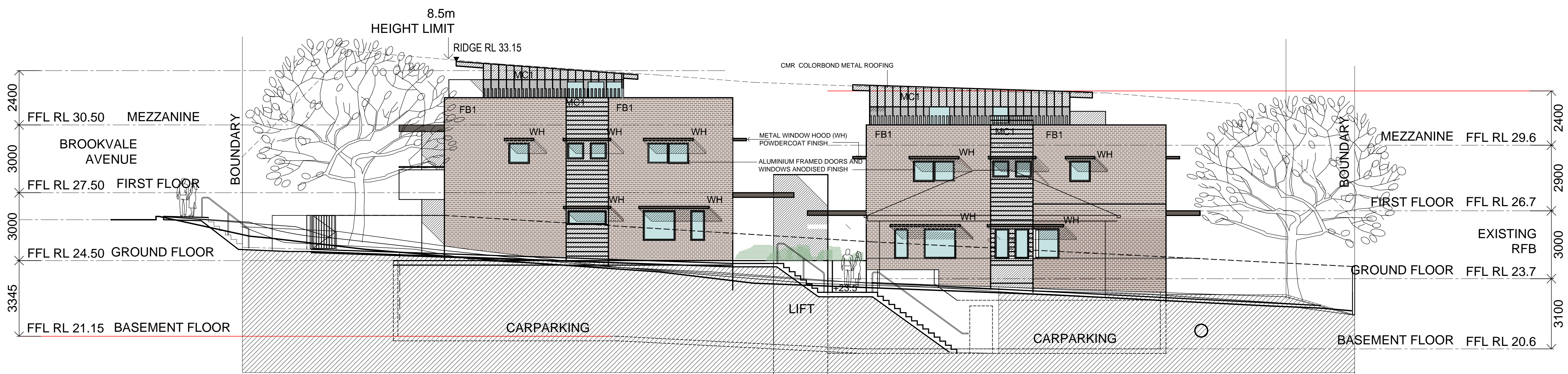
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

LEGEND

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Project
3 BROOKVALE AVE
BROOKVALE

Drawing
ELEVATIONS

Scale 1:100 Drawn BR

File DA11 BROOKVALE AVE checked BR

Plotted 15/06/2021 4:24 PM

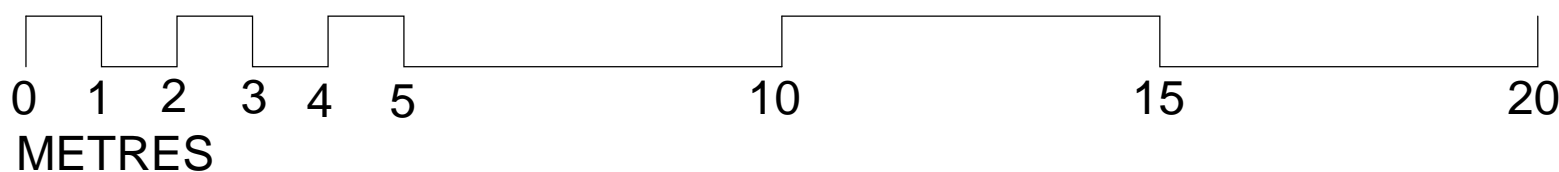
Job No 2005

Version DA Drawing No: A08

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SCALE



May 2021	BSA Reference: 168439		
Building Sustainability Assessments		Ph: (02) 4962 3439	
enquiries@buildingsustainability.net.au		www.buildingsustainability.net.au	
Important Note			
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification.			
If different construction elements are applied then the Assessor Certificate is no longer valid.			
Thermal Performance Specifications (does not apply to garage)			
External Wall Construction		<i>Added Insulation</i>	
Brick Veneer & Lightweight (Mezzanine level)		R2.0	
Cavity Brick		R1.0	
Internal Wall Construction		<i>Added Insulation</i>	
Plasterboard on studs (internal to units)		None	
Cavity Brick (party walls)		None	
Ceiling Construction		<i>Added Insulation</i>	
Plasterboard		R3.5 to ceilings adjacent to roof space and decks above	
Roof Construction	<i>Colour</i>	<i>Added Insulation</i>	
Metal	Any	Foil + R1.0 blanket	
Concrete	Any	None	
Floor Construction	<i>Covering</i>	<i>Added Insulation</i>	
Concrete	As drawn	R1.0 to floors adjacent to carpark	
Windows	<i>Glass and frame type</i>	<i>U Value</i>	<i>SHGC Range</i>
Performance glazing Type A		5.40	0.44 - 0.54
Performance glazing Type B		5.40	0.52 - 0.64
ALM-001-01 A	Aluminium Type A Single clear	6.70	0.51 - 0.63
ALM-002-01 A	Aluminium Type B Single clear	6.70	0.63 - 0.77
Type A windows are awning windows, bifolds, casements, tilt 'n' turn' windows, entry doors, french doors			
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers			
Skylights	<i>Glass and frame type</i>	<i>U Value</i>	<i>SHGC</i>
			<i>Area sq m</i>
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified			
External Window Shading		<i>(eaves, verandahs, pergolas, awnings etc)</i>	
All shade elements modelled as drawn			
Ceiling Penetrations		<i>(downlights, exhaust fans, flues etc)</i>	
No adjustment has been made for losses to insulation arising from ceiling penetrations.			
Ceiling Fans used in the Modelling and to be installed in the following areas			
Living areas = None Bedrooms = None			

3 Brookvale Ave				
SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT				
<p><i>This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details. For definitions refer to basix.nsw.gov.au</i></p>				
WATER COMMITMENTS				
Fixtures				
4 Star Shower Heads	Yes (> 4.5 but <= 6 L/min)			
5 Star Kitchen / Basin Taps	Yes	4 Star Toilet	Yes	
Alternative Water (common tank)				
Minimum Tank Size (L)	5000	Collected from Roof Area (m2)	100	
Tank Connected To:				
Irrigation of 95m2 of common landscape				
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans				
ENERGY COMMITMENTS				
Hot Water	Gas Instantaneous 6 Star			
Cooling System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5	
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5	
Heating System	Living	3 Phase A/C Zoned	EER 3.0 - 3.5	
	Bedrooms	3 Phase A/C Zoned	EER 3.0 - 3.5	
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off	
	Kitchen	Fan ducted to exterior	Manual on/off	
	Laundry	Natural ventilation	N/A	
Natural Lighting	Window/Skylight in Kitchen		Yes	
	Window/Skylight in Bathrooms/Toilets		Yes to	4
Artificial Lighting (rooms to be primarily lit by fluorescent or LED lights)	Number of bedrooms	All	Dedicated	Yes
	Number of Living/Dining rooms	All	Dedicated	Yes
	Kitchen	Yes	Dedicated	Yes
	All Bathrms/Toilets	Yes	Dedicated	Yes
	Laundry	Yes	Dedicated	Yes
	All Hallways	Yes	Dedicated	Yes
OTHER COMMITMENTS				
Ventilated refrigerator space	Yes			
Stove/Oven	Gas cooktop & electric oven			
Alternative Energy	Photovoltaic System: 0.7 kw each to Unit 3 & Unit 4			



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Clien

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Project
3 BROOKVALE AVE
BROOKVALE

Drawing

SECTIONS

Scale 1:100 Drawn BR

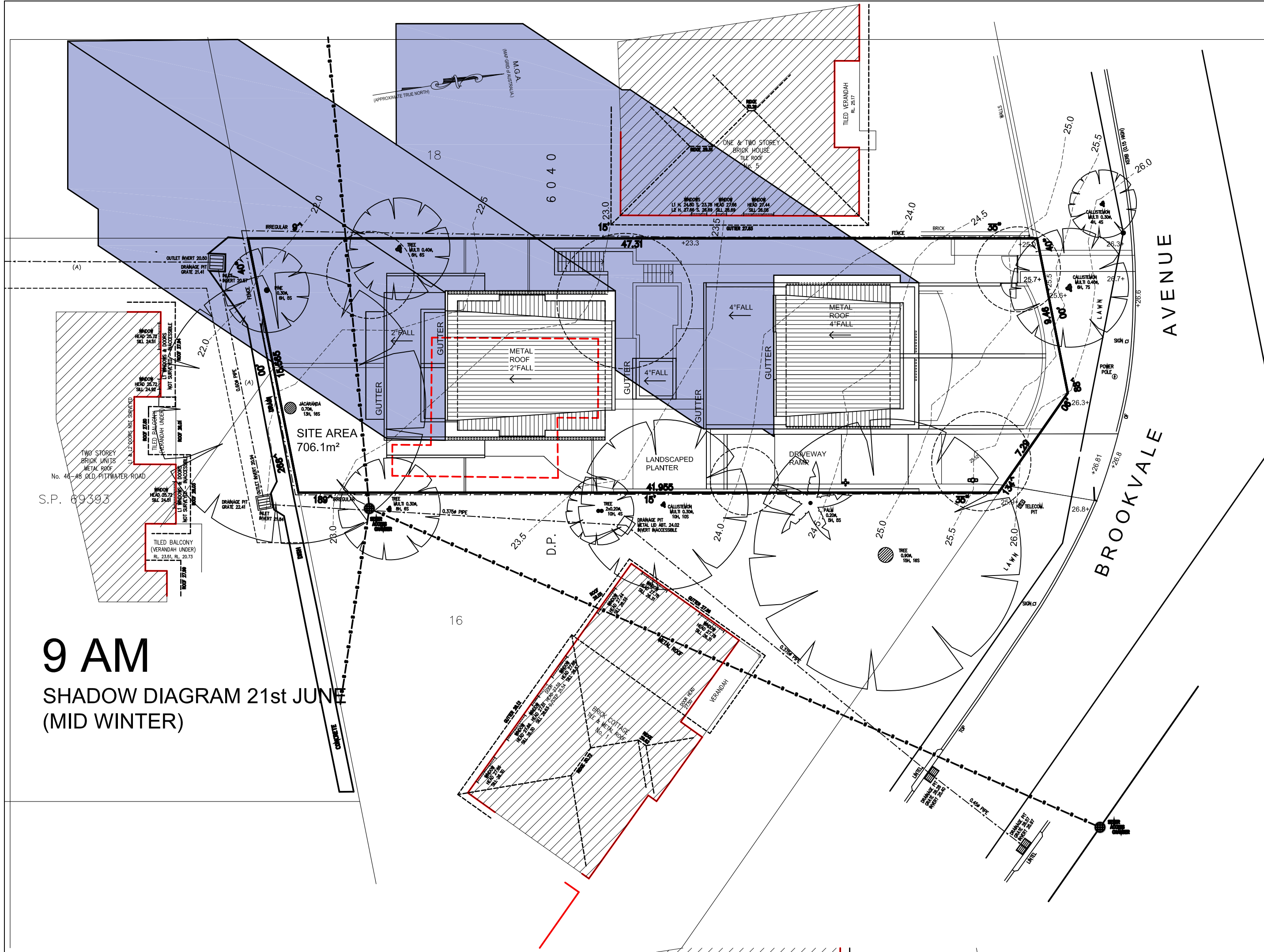
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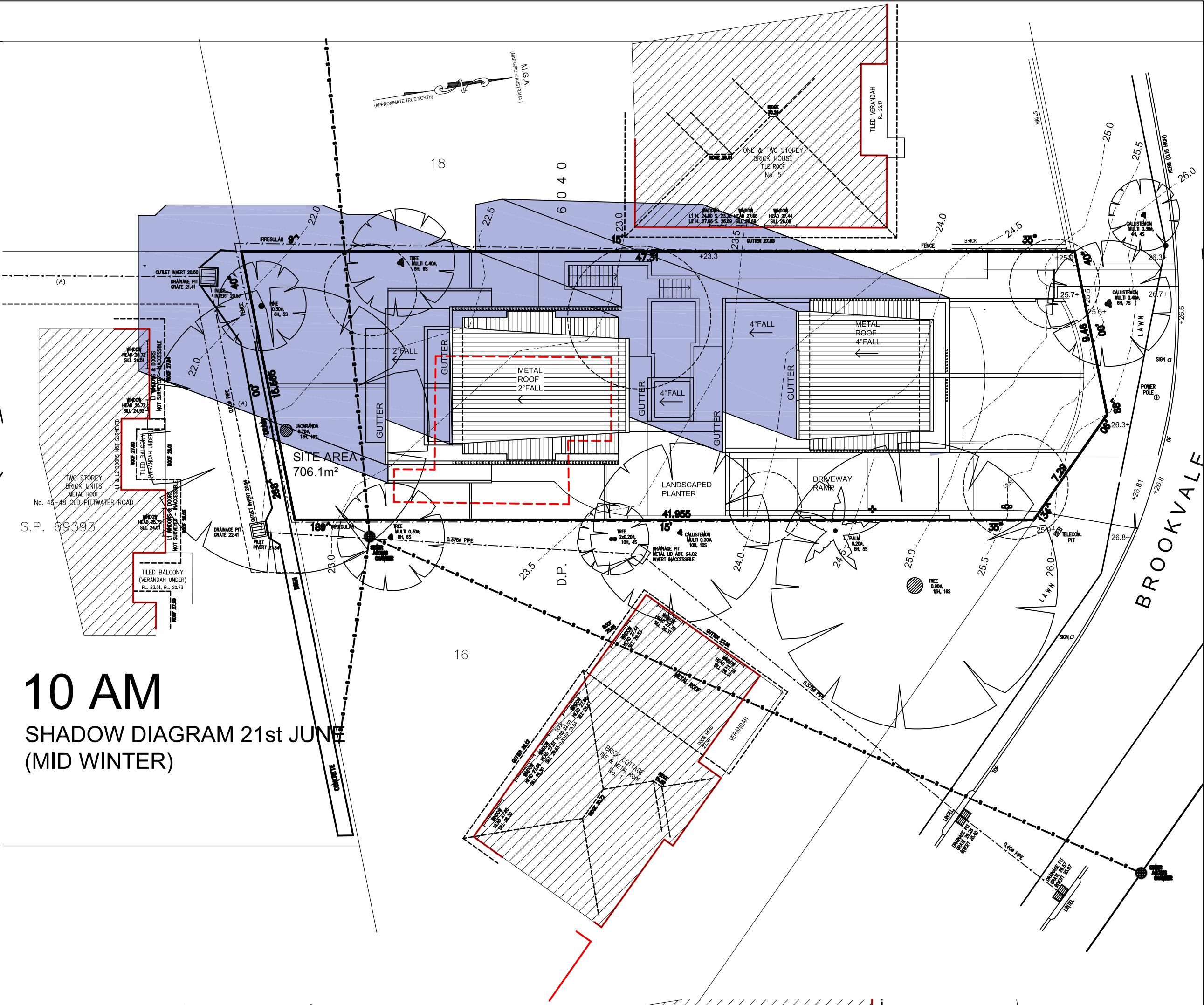
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Version DA Drawing No: **A09**

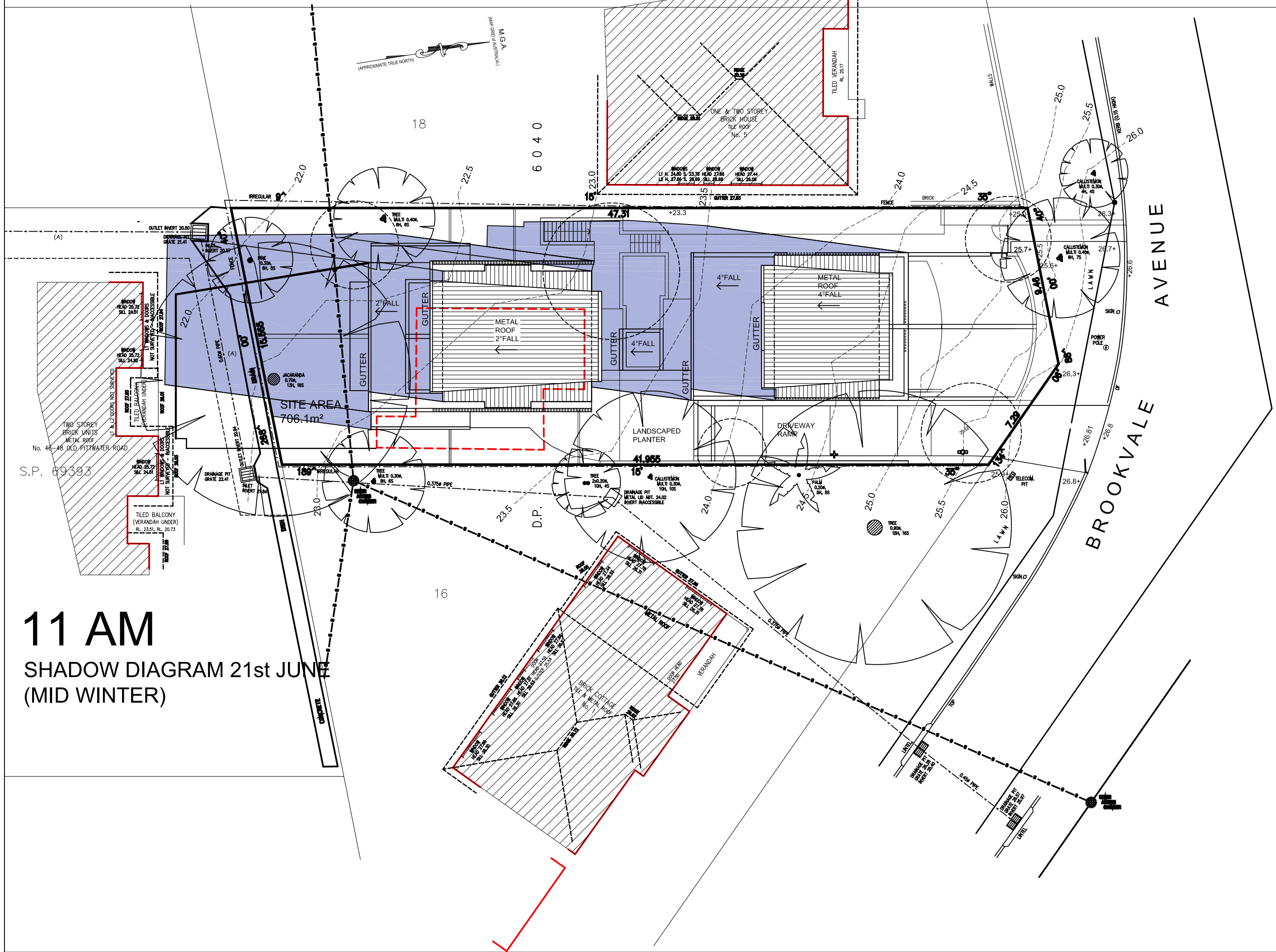
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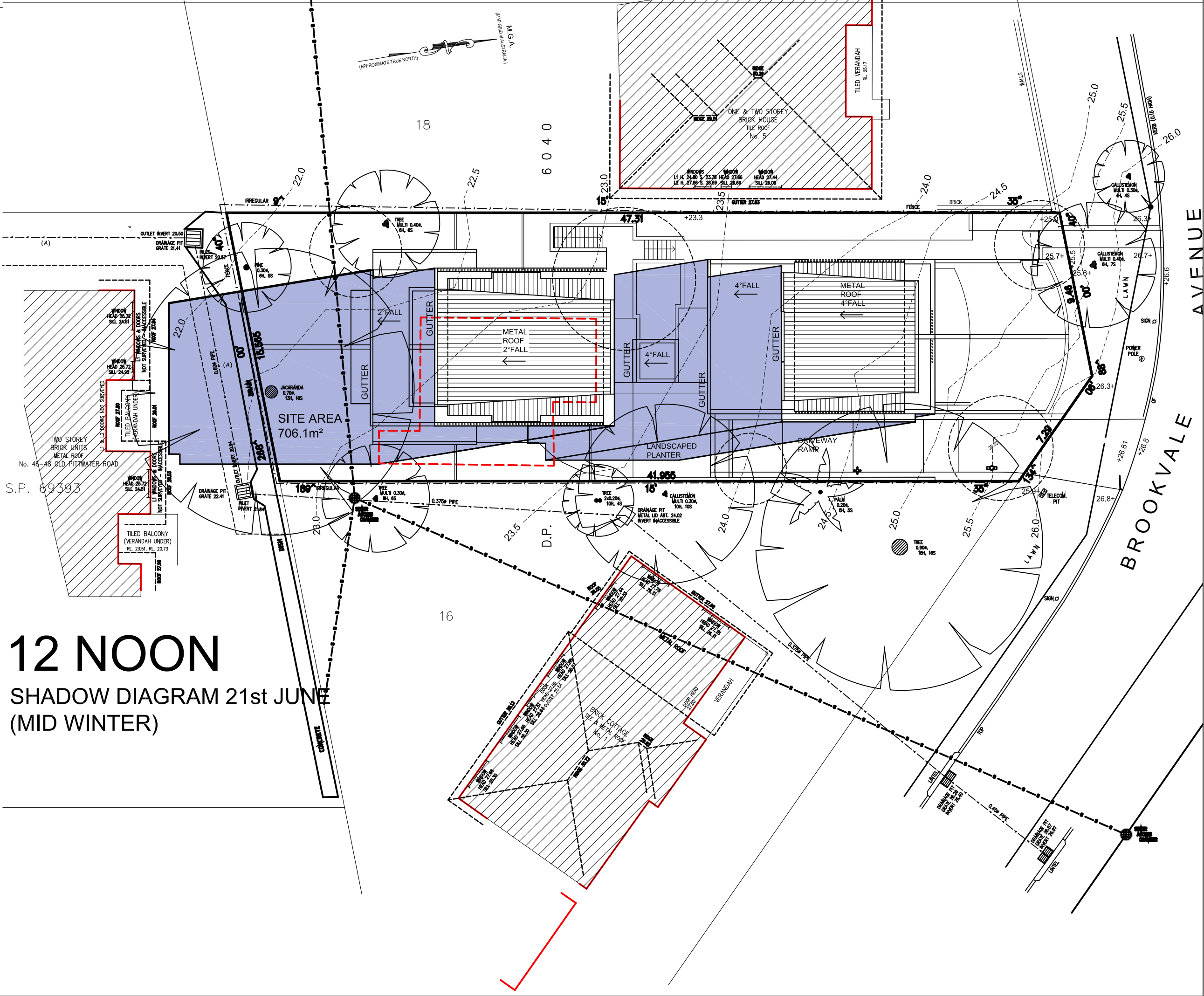
9 AM
SHADOW DIAGRAM 21st JUNE
(MID WINTER)



10 AM
SHADOW DIAGRAM 21st JUNE
(MID WINTER)



11 AM
SHADOW DIAGRAM 21st JUNE
(MID WINTER)



12 NOON
SHADOW DIAGRAM 21st JUNE
(MID WINTER)

LEGEND

ISSUE DATE AMENDMENTS



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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
**SHADOW DIAGRAMS
21st June (Mid Winter)
9am, 10am, 11am and
12 Noon**

Scale 1:100 Drawn BR

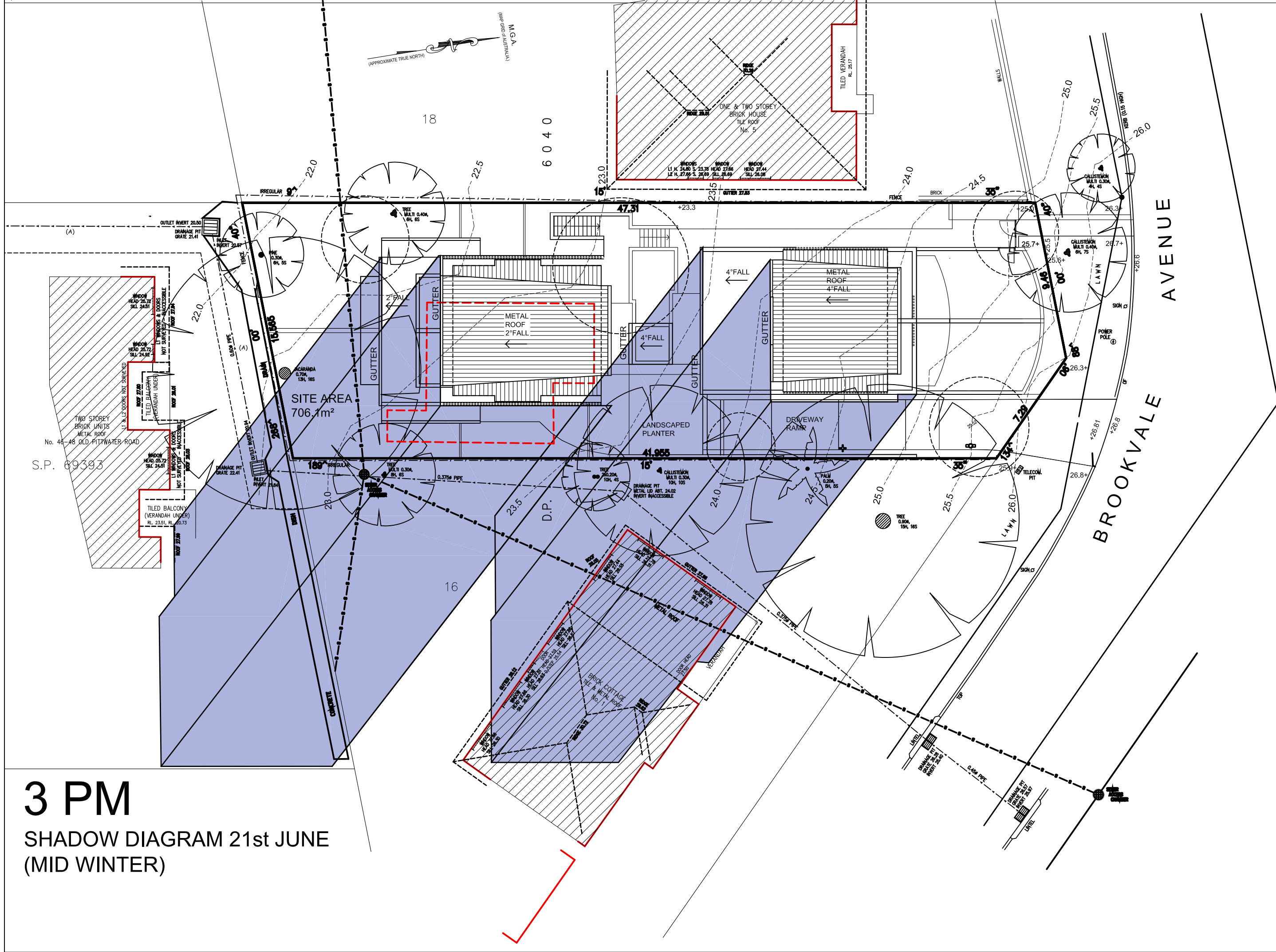
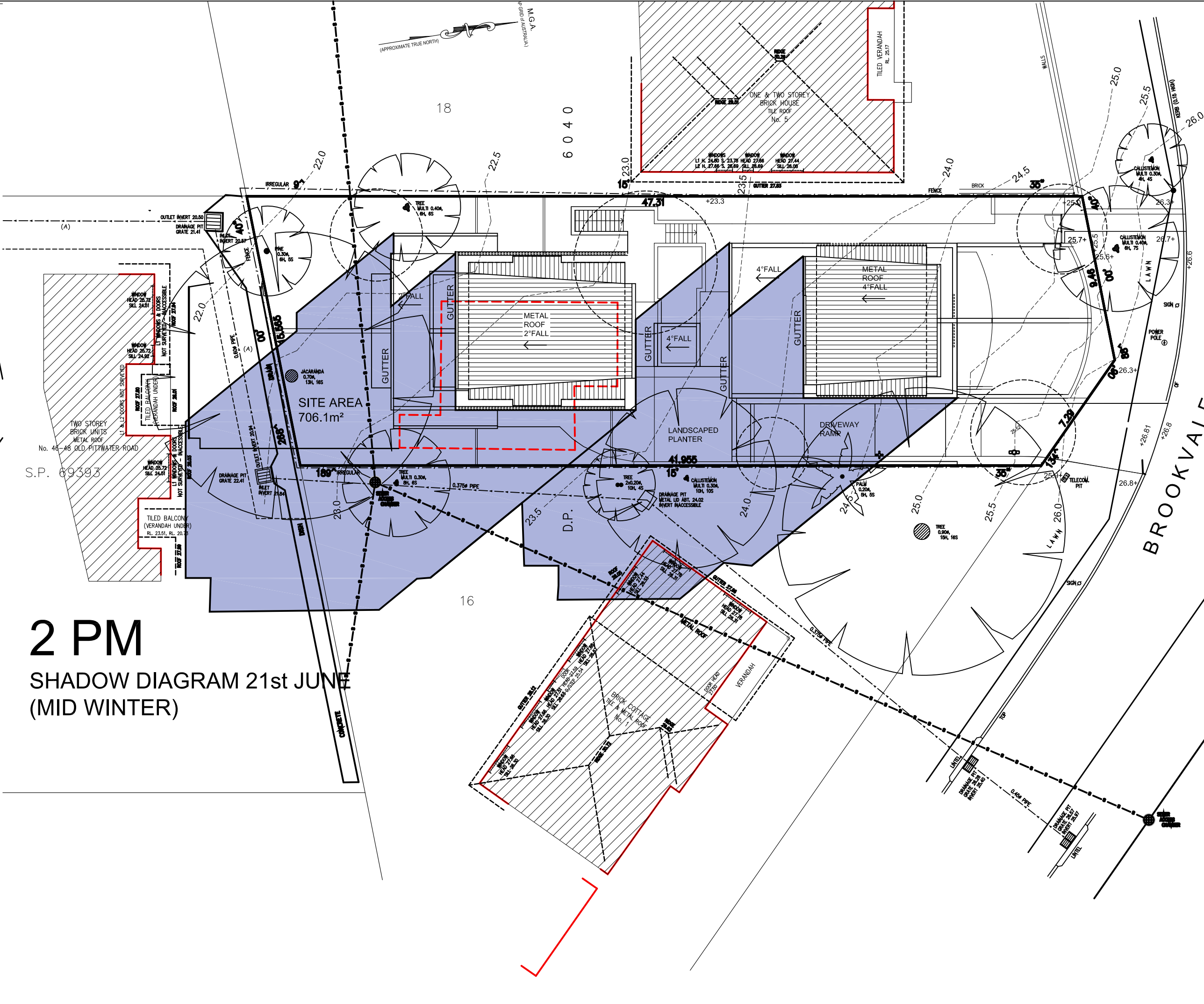
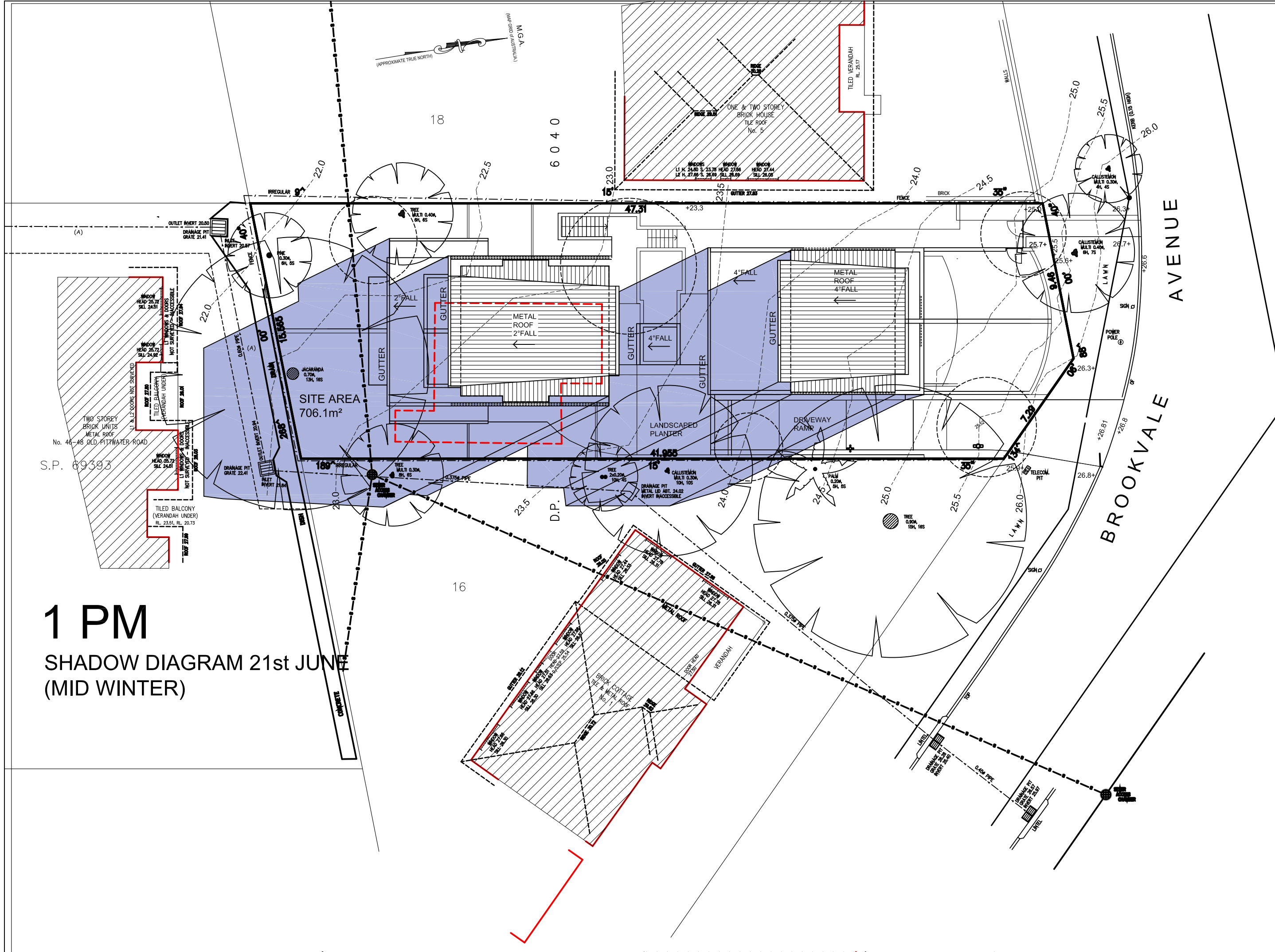
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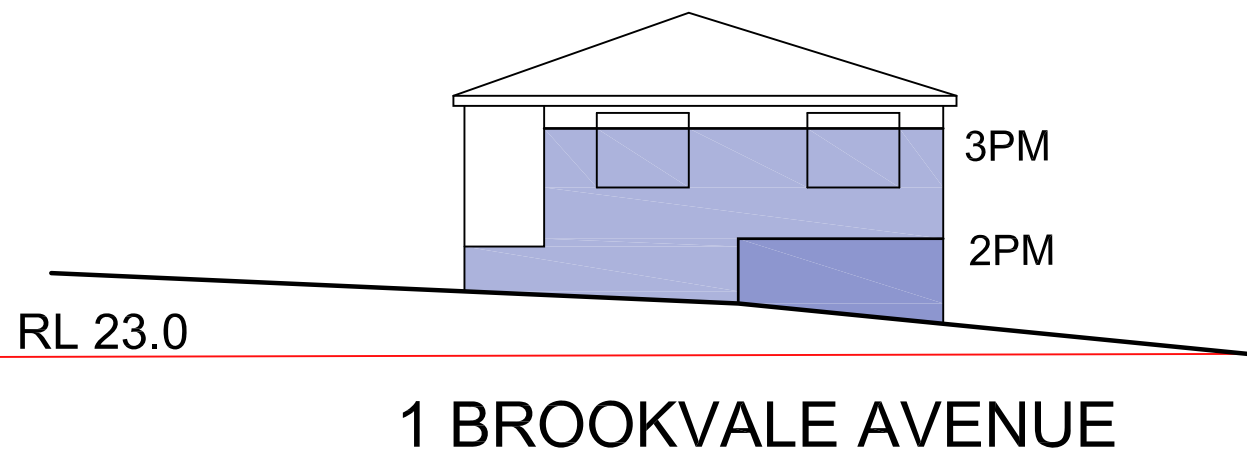
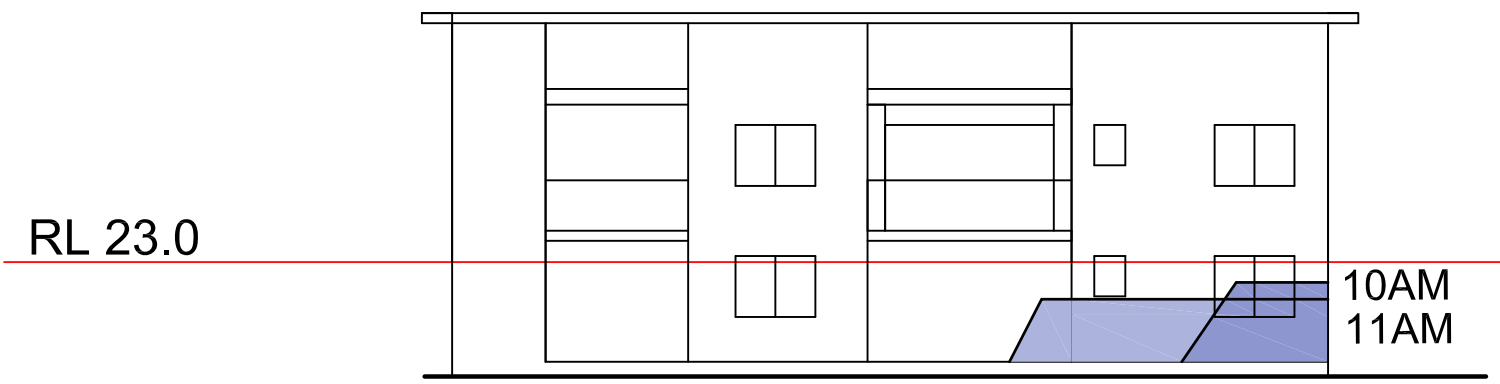
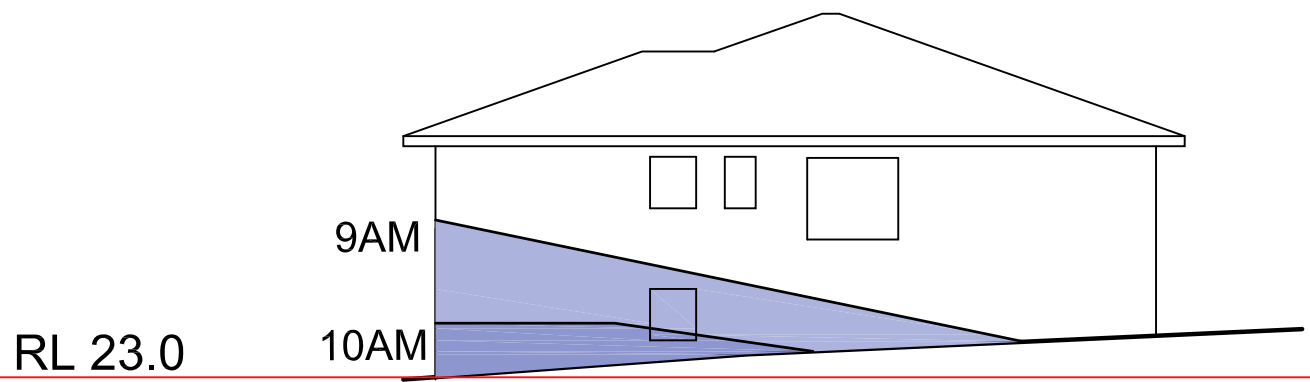
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ELEVATIONAL SHADOW DIAGRAMS
21st JUNE
(MID WINTER)



LEGEND

ISSUE	DATE	AMENDMENTS
1	15/06/2021	4:24 PM

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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
**SHADOW DIAGRAMS
21st June (Mid Winter)
1pm, 2pm & 3pm**

Scale	1:100	Drawn	BR
File	DA11f BROOKVALE AVE	checked	BR
Plotted	15/06/2021	4:24 PM	
Job No	2005		
Version	DA	Drawing No:	A11

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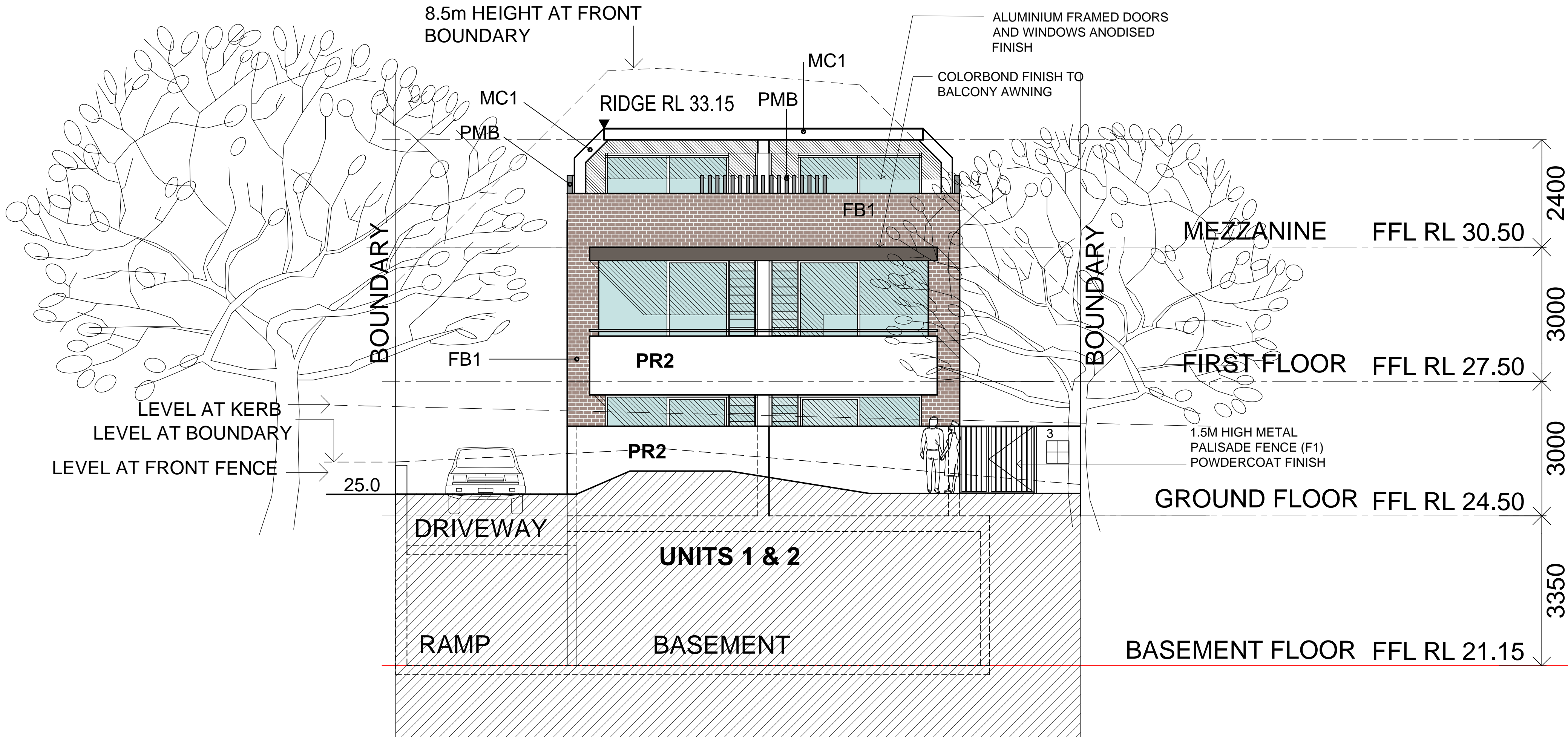
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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
**EXTERNAL COLOUR
SCHEDULE**

Scale	1:100	Drawn	BR
File	DA11 BROOKVALE AVE	Checked	BR
Plotted	15/06/2021 4:24 PM		
Job No	2005		
Version	DA	Drawing No:	A09

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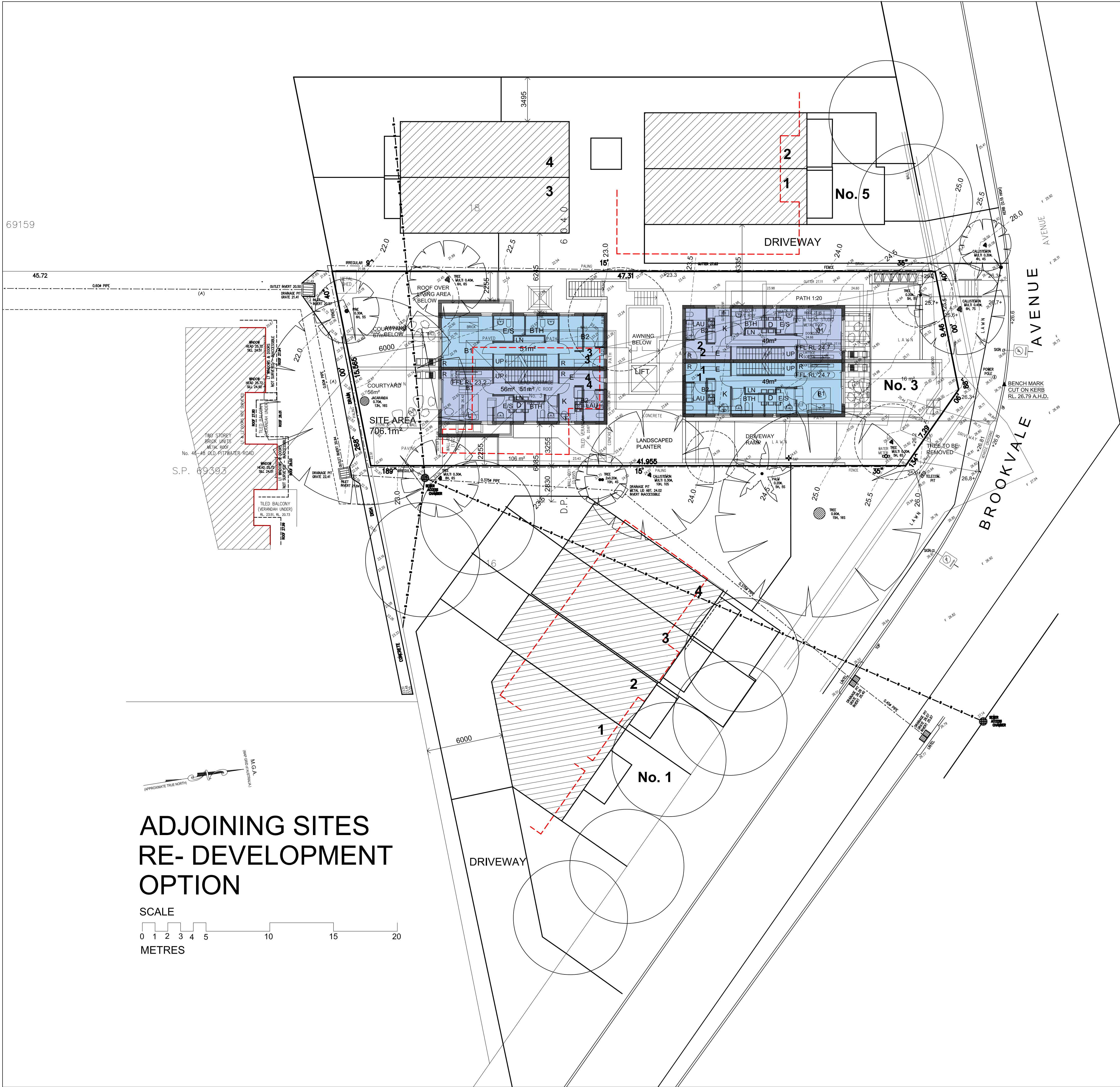


NORTH ELEVATION

EXTERNAL COLOUR/FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
CDR/ MC2	ROOFING/ GUTTER/ DOWNPIPE/		METAL DECK/ MC2 FLASHING	BASALT
FB1	WALLS		FACE BRICK	BOWRAL MURRAY GREY
MC1	WALLS		METAL WALL CLADDING STANDING SEAM	BASALT
PR1	BALCONY/ COLUMNS STRUCTURE		OFF-FORM CONCRETE SKIM COAT RENDER + GRANOSITE SMOOTH PAINT	WATTYL ASTOR WHITE
PR2	BALCONY'S & SITE WALLS		OFF-FORM CONCRETE SKIM COAT RENDER + GRANOSITE SMOOTH PAINT	WATTYL ASTOR WHITE
PMB	BALCONY/ ALUMINIUM BATTENS		BALCONIES - POWDERCOATED METAL VERTICAL BATTENS	BASALT

CODE	LOCATION		DESCRIPTION	COLOUR
WH	WINDOW HOODS		METAL POWDERCOATED	MONUMENT
ANODISED AL	WINDOWS & DOORS		ANODISED ALUMNIUM	SATIN CHARCOAL GREY
SS	HANDRAILS		STAINLESS STEEL	SS MATT
AWNING/ WA	AWNING ABOVE ENTRYS		COLORBOND	TERRAIN
F1/F5	METAL FENCE 600,1200 & 1500 HIGH		METAL FENCING TO DETAIL	DULUX MONUMENT



LEGEND

ISSUE	DATE	AMENDMENTS
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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
**PLAN SHOWING POSSIBLE
RE-DEVELOPMENT OF
ADJOINING LOTS IN
BROOKVALE AVENUE**

Scale 1:100 Drawn BR

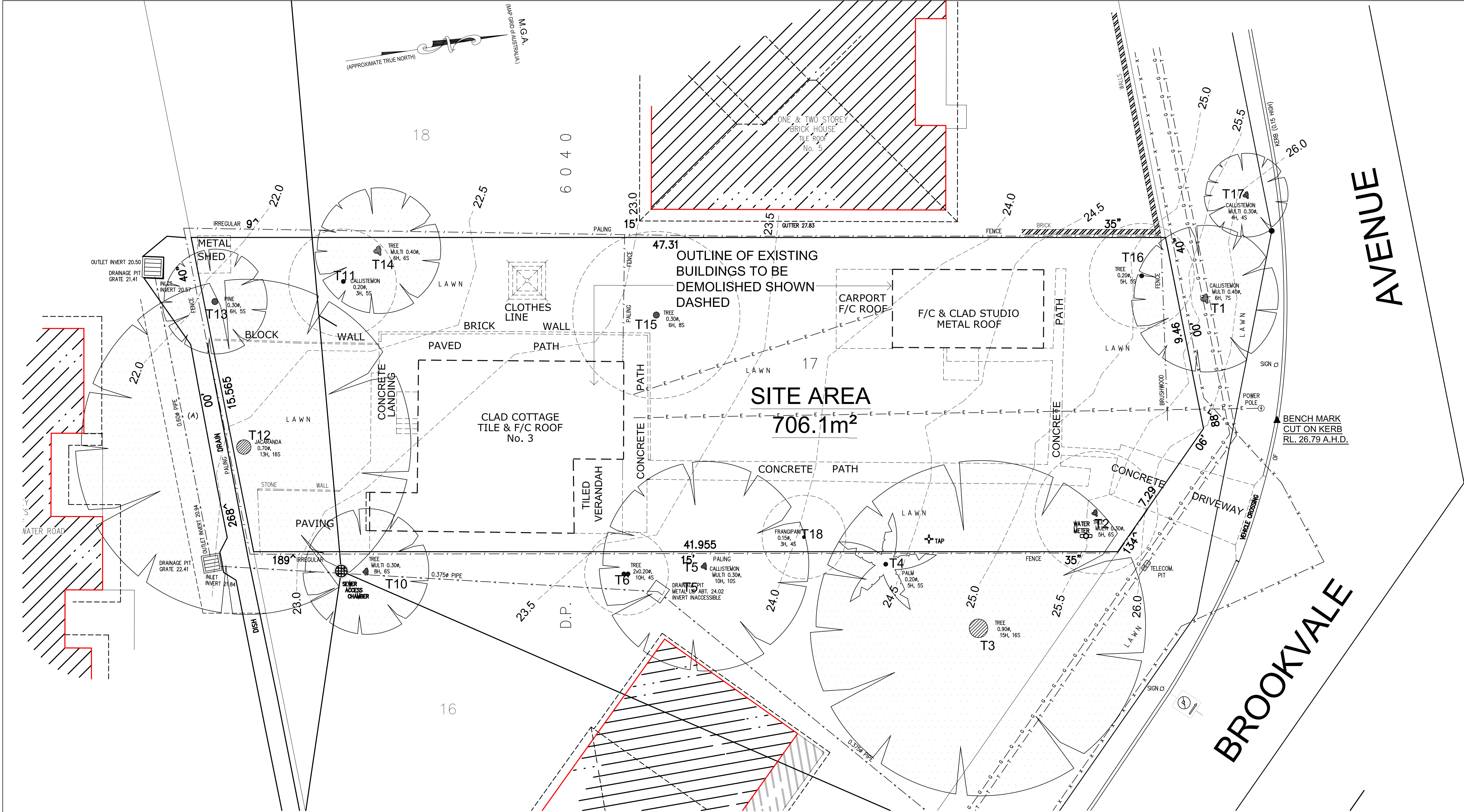
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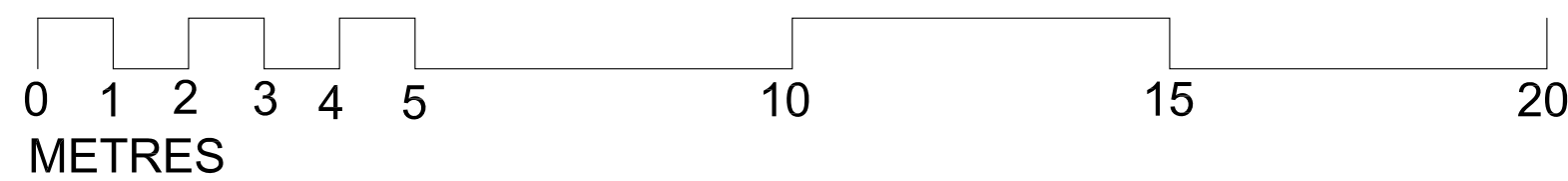
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DEMOLITION PLAN



- EXISTING TREE TO REMAIN
- TREE TO BE REMOVED

DEMOLITION NOTES:

1. ALL DEMOLITION TO AUSTRALIAN STANDARD AS2601-2001 DEMOLITION OF STRUCTURES.
2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS & REMOVE FROM SITE.
3. SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.
4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.
5. REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP GRINDING & GRUBBING (SHOWN DASHED).
6. ANY ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED PRIOR TO DEMOLITION. ANOTHER CERTIFICATE IS TO BE SUBMITTED ON COMPLETION OF DEMOLITION.
7. REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO KERB AND GUTTER WHERE REQUIRED.
8. REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY DEMOLITION CONTRACTOR IS TO BE REMOVED, THIS INCLUDES CONCRETE, MASONRY AND ASBESTOS PARTICLES.
9. REFER TO WASTE MANAGEMENT PLAN FOR RECYCLING OF MATERIAL.

LEGEND

ISSUE	DATE	AMENDMENTS
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Client

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Project
**3 BROOKVALE AVE
BROOKVALE**

Drawing
DEMOLITION PLAN

Scale 1:100	Drawn LP
File DA1f BROOKVALE AVE	checked BR
Plotted 15/06/2021 4:24 PM	
Job No 2005	
Version DA	Drawing No: A14

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