




NOTES

1. CONTOURS SHOWN THUS: 
 2. CONTOUR INTERVAL 0.5 METRE 
 3. SIGNIFICANT TREES SHOWN THUS: 
- THE SPREAD OF EACH TREE IS INDICATIVE ONLY AND CANNOT BE SHOWN ACCURATELY WITHOUT VERY DETAILED FURTHER SURVEY. THE SHAPE AND SIZE OF SPREAD OF THE TREE MAY VARY DUE TO LACK OF UNIFORMITY OF THE BRANCHES, TRUNK AND OTHER REASONS.
4. VISIBLE SERVICES ONLY HAVE BEEN LOCATED BY SURVEY.
 5. BOUNDARIES PLOTTED ARE ACCURATE FOR D.A. PURPOSES. BOUNDARY INFORMATION HAS BEEN COMPILED FROM INFORMATION SHOWN ON PLANS ON PUBLIC RECORD AT OFFICE OF N.S.W. LAND REGISTRY SERVICES

SUMMARY:

THIS PLAN IS FOR THE PURPOSE OF OBTAINING DEMOLITION PERMIT FOR AN EXISTING STAIRCASE & UNFIT FOR USE. IT IS INTENDED THAT ALL OF ITS ASSOCIATED STRUCTURES - CURRENTLY PRESENT ON SITE, WILL BE REMOVED.

REFER TO SEPARATE LANDSCAPE PLAN DESIGN FOR ALL PROPOSED WORK, WHICH IS INTENDED TO REPLACE THIS STAIRCASE

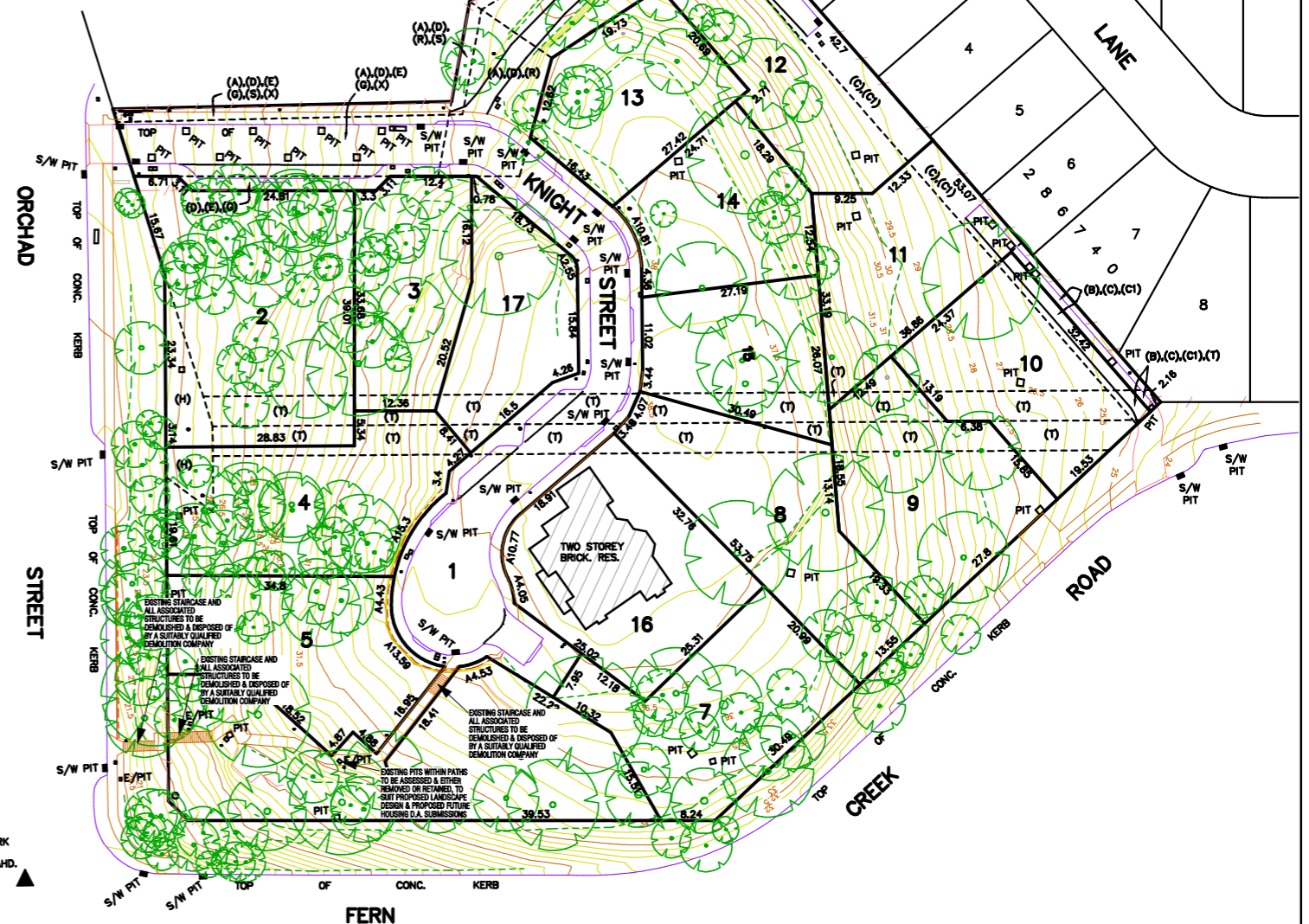
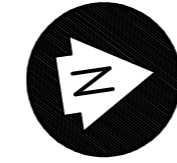
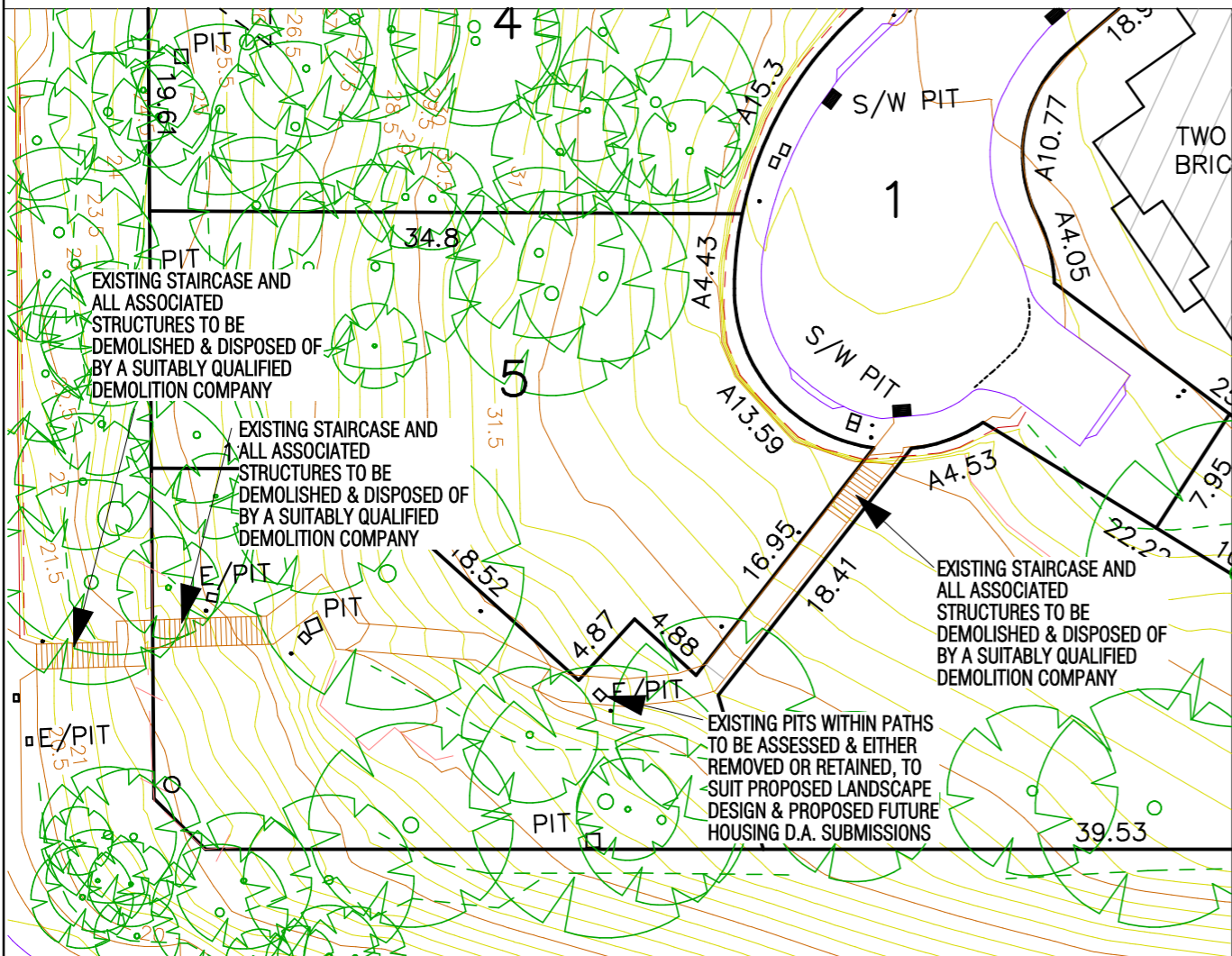
NO TREE REMOVAL IS INDICATED ON THIS PLAN

ALL TREE REMOVAL WILL FORM PART OF EACH SUBDIVIDED LOTS SEPARATE D.A., THEREFORE NO TREES ARE TO BE REMOVED AS PART OF THIS APPLICATION.

NO EXISTING HOME STRUCTURES ARE TO BE DEMOLISHED AS PART OF THIS DOCUMENT, ONLY THE STAIRCASE

ALL EXISTING OR PROPOSED FENCING AFFECTED AS AFFECTED BY THESE WORKS WILL BE RECOGNIZED ON A SEPARATE LANDSCAPE DESIGN AND D.A. APPROVAL WILL BE OBTAINED ACCORDINGLY

ALL WORKS PROPOSED ON THIS DOCUMENT REMAIN SUBJECT TO D.A. AND OTHER AUTHORITY APPROVALS, OBTAINED PRIOR TO COMMENCING



- (A) RIGHT OF ACCESS VARIABLE WIDTH (DP1215064)
- (B) EASEMENT FOR ACCESS 2.16 & 2.84 WIDE (DP270922)
- (C) EASEMENT FOR DRAINAGE OF WATER 2.16, 2.84, 5 WIDE & VAR. (DP270922)
- (C1) EASEMENT FOR SERVICES 2.16, 2.84, 5 WIDE & VAR. (DP270922)
- (D) EASEMENT FOR SERVICES VARIABLE WIDTH (DP270922)
- (E) EASEMENT FOR SERVICES - WHOLE OF LOT (DP270922)
- (G) EASEMENT FOR DRAINAGE OF WATER - WHOLE OF LOT (DP270922)
- (H) EASEMENT FOR ELECTRICITY & OTHER PURPOSES VAR. WIDTH (DP270922)
- (R) RIGHT OF WAY VAR. WIDTH (DP436141 & F828228)
- (S) EASEMENT FOR SERVICES 2 WIDE (DP1215064)
- (T) EASEMENT FOR TRANSMISSION LINE 4.57 WIDE (J854099)
- (X) COVENANT (F370496)

SEKISUI HOUSE AUSTRALIA
FERN CREEK - WARRIEWOOD

REV	AMENDMENT	BY	DATE
01	DEMOLITION PLAN	VP	19.04.2024

ADDRESS: Lots 1-17, DP270922
#1 Fern Creek Rd, Warriewood

SHAWOOD
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068
Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

PROJECT INFORMATION: -DemolitionPl

SERIES	TYPE	STOREY	FACADE	ORIENTATION	GARAGE

CONTRACT No:
MASTER PRELIMINARY

SCALE: 1:200, 1:500, 1:1, 1:5