

25 July 2019

General Manager
Northern Beaches Council
725 Pittwater Road
DEE WHY NSW 2099

Dear Sir/Madam

Re: Stormwater Management Plan – 34 Whale Beach Road, Avalon

With reference to the Development Application for the above property, please find enclosed a copy of the site Stormwater Management Plan for your perusal.

The plan shows collected run-off from the new roofed and areas draining via an on-site stormwater detention tank to the existing site drainage system. The on-site detention tank restrict flows off the new roofed area to state-of-nature level and as such neighbouring properties are not adversely affected as a result of the development.

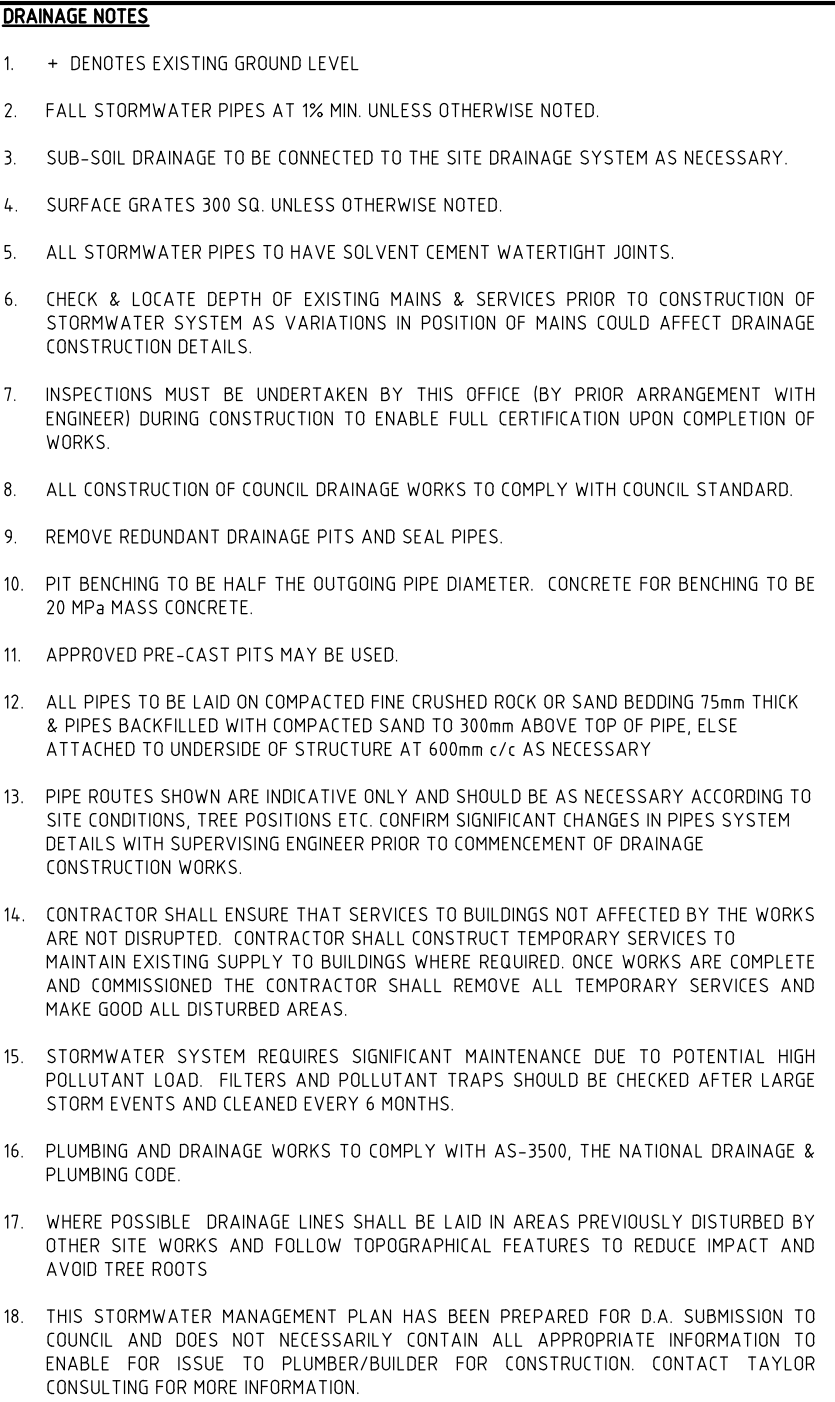
It is also proposed to provide a rainwater tank for non-potable re-use in accordance with BASIX requirements. Note the the existing secondary dwelling already contains a rainwater storage tank.

Should you require any further information please contact the undersigned.

Yours faithfully
TAYLOR CONSULTING

D M SCHAEFER - Director
B.E. Civil (Hons) M.I.E. Aust.





SCALE 1:100



SCALE 1:10

TYPICAL SURFACE INLET PIT DETAIL



SCALE 1:20



SCALE 1:5

DETENTION STORAGE OUTLET ORIFICE PLATE



SCALE 1:10

TYPICAL INLET FLUSH PIT DETAIL

[illegible]

TITLE
STORMWATER MANAGEMENT PLAN
34 WHALE BEACH ROAD, AVALON

DRAWN

DATE _____

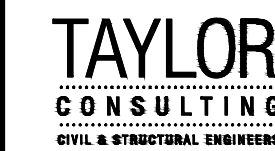
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SCALE

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BE Civil (Hons) MIE Aust



DRAWING NO
SHEET-1

SITE DATA

SITE AREA = 544.30 m² (100%)
 PROPOSED IMPERVIOUS AREA = 305.72 m² (56.17%)
 PROPOSED LANDSCAPED AREA = 238.58 m² (43.83%)
 EXISTING IMPERVIOUS AREA = 367.19 m² (67.46%)
 EXISTING LANDSCAPED AREA = 177.11 m² (32.54%)