

STATEMENT OF ENVIRONMENTAL EFFECTS

FOR ALTERATIONS AND ADDITIONS TO EXISTING RESIDENCE:

6 Coronation St Mona Vale

Prepared 2024



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Introduction

Application and Proposed Development

This report has been prepared by Duktig Design Pty Ltd for the owners of the subject property, Mr Adam and Mrs Vanessa Lucas. It is submitted to the Northern Beaches Council for Development Application (DA) for alterations and additions to the existing dwelling at 6 Coronation St, being Lot 33 DP 25446.

The proposal responds to the existing site conditions, bulk, scale, setbacks and rhythms of the surrounding neighbourhood, while improving the amenity of the existing dwelling.

The property is zoned R2 Low Density Residential

The site is not listed as a Heritage Item, nor is it located within a Conservation Zone, and it is not identified as a Geotechnical Hazard or Bushfire Hazard in accordance with Pittwater Council LEP 2014. Additionally, the site is not classified as a flood control lot, but it is noted as being within an Acid Sulfate Soils Area (Class 5). The proposed work involves alterations and additions to the existing residence, including:

Lower Ground

- Conversion of existing garage into an additional bedroom with ensuite and robe.
- New entry vestibule with access stair
- Ancillary storage and plant

Ground

- Addition of a new bedroom wing to the southern side of existing residence with 3 beds, laundry and small rumpus with integrated covered verandah, seamlessly flowing into an open-plan living and dining area
- New alfresco dining area with BBQ. Adjustable shading louvres over.
- Deletion of existing stair and extension of verandah

Upper Ground

- Creation of a master bedroom retreat incorporating a dedicated study area, ensuite, robe and small balcony with planter.

External Finishes

- Replacement of existing non-compliant single garage with a new screened double carport.
- Associated landscape works to integrate driveway and carport with the existing garden.

Landscaping

The removal of large trees at the property frontage is necessary to improve vehicular access, safety, amenity, and natural light, while allowing for replacement landscaping that enhances the streetscape.

The SEE should be read in conjunction with Development Application prepared by Duktig Design (dated 15th November,2024).

Consent Authorities

The proposal responds to the existing site conditions, bulk, scale, setbacks and rhythms of the surrounding neighborhood, while improving the amenity of the existing dwelling.

The purpose of this statement is to address the planning issues associated with the proposal and specifically to assess the likely impact of the proposal on the environment in accordance with the relevant provisions of Section 4.15 of the Environmental Planning and Assessment (EP&A) Act, 1979 and the relevant environmental planning instruments and development control plans including:

In preparing this document, consideration has been given to the following (as stated as applying by NSW Planning Portal):

- Pittwater 21 DCP
- Pittwater LEP 2014
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Excluded (pub. 21-10-2022)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Land Application(pub. 2-12-2021)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021: Subject Land (pub. 2-12-2021)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application (pub. 12-12-2008)
- State Environmental Planning Policy (Housing) 2021: Land Application (pub. 26-11-2021)
- State Environmental Planning Policy (Industry and Employment) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Planning Systems) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Primary Production) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resilience and Hazards) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Resources and Energy) 2021: Land Application (pub. 2-12-2021)
- State Environmental Planning Policy (Sustainable Buildings) 2022: Land Application (pub. 29-8-2022)

Site Description

Size and Shape Allotment

The site is rectilinear in shape with a street frontage of 16.770 metres to Coronation St. The northern and southern side boundaries measure 45.72 metres. The rear eastern boundary has a length of 16.770 metres. The total area of the site is 766.6m². The site is located on the western side of Coronation St



Figure 1 – Site location/ aerial context photograph (source: Six Maps)

Property Description

The existing building is an elevated lightweight timber framed, timber clad construction with a metal roof. It has a face brick sub structure with a front entry access via verandah stairs. It is supported by steel posts. The front setback is largely vegetated with established trees and overgrown dense shrubs.

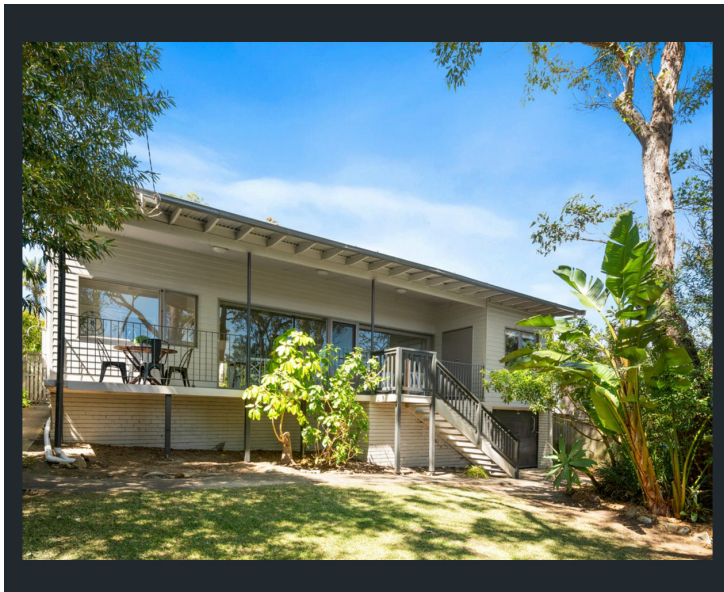


Figure 2 – Existing front western façade facing Coronation St (source: LJ Hooker)

The ground floor layout consists of a living, dining, kitchen, bedrooms and study with laundry with storage and small non-compliant located on the lower ground level.

Slope

The existing site is raised land above road level with a slight cross falls to the southern boundary. The overall site falls some 5m from the eastern boundary to the street frontage. Stormwater has been directed to the street gutter in Coronation St.

This gentle slope is a key topographical feature influencing site design and development, with potential implications for drainage and the seamless aesthetic integration of new structures.

Further details are provided in the site survey prepared by Beyond Measure Surveys, Reference 1380 dated 4th December 2023 which accompanies the DA submission.

Context

The surrounding residential neighborhood is characterised by low density residential development of typically two to three storeys. There is a combination of post-war single and two storey detached dwellings interspersed with contemporary development similar in size and scale to the subject site.

The properties to the north (No. 7 & 8) are subject to an approved lot consolidation and proposed seniors housing development for 8 x 3 bedrooms and basement parking for 16 cars pursuant to the provisions of the State Planning Policy (Housing for Seniors with a Disability)2004 (SEPP HSPD).



Figure 3 - *View of properties No 7 viewed from Coronation Street*



Figure 4 - View of properties No 7 & 8 viewed from Coronation Street

The properties are currently occupied by single-storey detached dwellings with garage accommodation located below and accessed via the street frontage. Notably, the two properties include three driveways with associated crossings. A swimming pool is situated in the rear yard of No. 7 Coronation Street, while low brick walls delineate the front boundaries of the properties.

The property to the south (No.5) consists of a similar two storey dwelling with car parking accessing from the street



Figure 5 - View of properties No 6 & 5 viewed from Coronation Street

The properties at the rear of the site are situated at a higher elevation, with frontage and addresses on Cook Terrace. These properties consist of one- and two-storey detached dwellings oriented to the north-west to maximize solar access, prevailing breezes, and views across Mona Vale Golf Course and Mona Vale Hospital, extending to the Mona Vale basin, headland, and foreshore.

Mona Vale Hospital and Mona Vale Golf Course are positioned directly opposite the subject property on the northern side of Coronation Street.



Figure 6 - View to adjacent Mona Vale Hospital

No 28 Cook terrace has a granny flat located adjacent the rear boundary of the subject property.

The bulk and form of the dwellings reflects the influence of the sloping terrain and generous landscaped sites. There is a consistency of parking and ancillary structures located forward of the building line.

Site Photos



Figure 7- *View of front façade existing residence 6 coronation st (source: LJ Hooker)*



Figure 8- *View of rear façade existing residence 6 coronation st (source: LJ Hooker)*

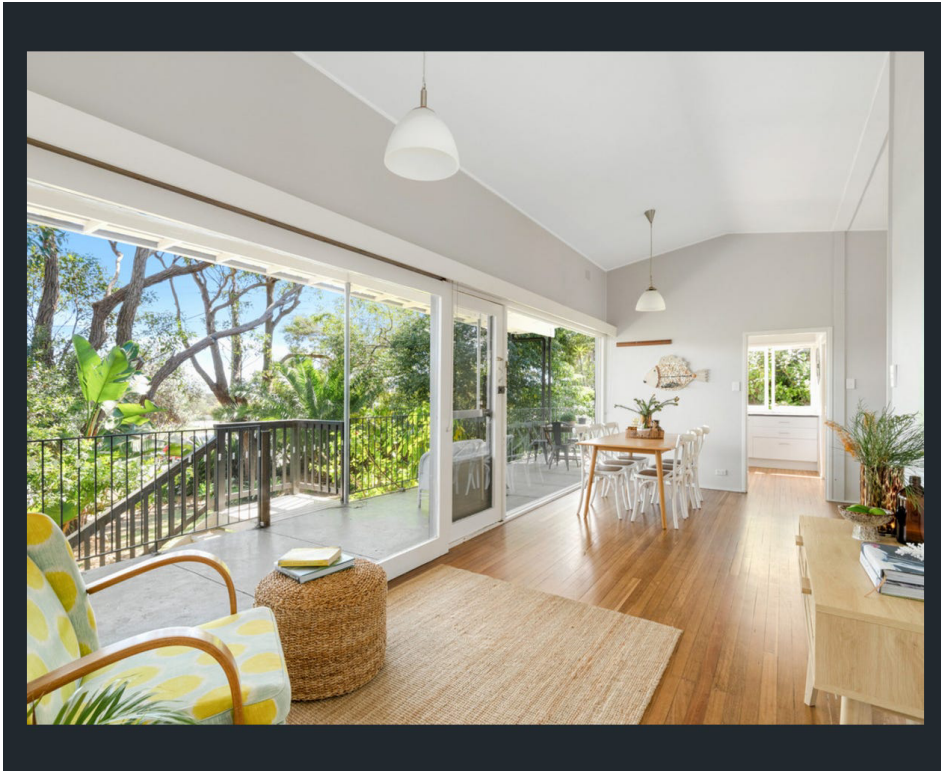


Figure 9- *Internal view of existing residence to front balcony (source: LJ Hooker)*



Figure 10- *Internal view of existing residence to east face rear yard (source: LJ Hooker)*



Figure 11& 12- View of existing property rear year to eastern boundary



Figure 13- View of existing property side western boundary adjacent property No5.



Figure 14 & 15- View of existing property side eastern boundary adjacent property No7.



Figure 16- View of existing property side rear boundary.

Proposed Development

As detailed within the accompanying plans prepared by Duktig Design, the proposal is seeking consent for alterations and additions to 6 Coronation St Mona Vale.

The proposal involves modest alterations and additions to the existing two storey brick and weatherboard residence on the subject site.

Specifically, the proposal includes the following:

Ground Floor

The proposed alterations to the ground floor of 6 Coronation Street aim to significantly improve the functionality and flow of the living spaces, better accommodating the needs of a growing family. The existing layout, currently inadequate for the occupants' requirements, will be reconfigured to create a more open and integrated living area. This will be achieved through a rear extension that seamlessly connects the existing living, kitchen, and dining zones. The result will be a spacious, open-plan area that maximizes natural light and promotes a feeling of fluidity between the internal and external environments.

A key element of the ground floor redesign is the creation of direct access from the open-plan living area to a newly extended screened terrace and dedicated BBQ area, blurring the boundaries between indoor and outdoor living and making optimal use of the property's outdoor space. The extended terrace will provide a flexible space for dining, relaxing, and entertaining.

The improved ground floor layout enhances functionality while prioritising passive solar design principles. The open-plan design maximizes natural light penetration, reducing the need for artificial lighting and contributing to the overall energy efficiency of the dwelling. Careful material selection and thoughtful detailing will further contribute to the success of this integration. The improved connection to the outdoors will also enhance the property's value and desirability.

Lower Ground

The proposal includes:

While the primary focus of this proposal is on the ground and first-floor levels, the lower ground floor will also see improvements. The existing garage will be retained, but its use will change from primarily vehicular storage to create an additional bedroom for the large family while. The existing single garage is not to current standards for suitable off street provision. It is therefore proposed to include a screened carport to the front of the property to provide the required 2 offstreet parking spaces.

Design

A large family currently owns and lives at the property. The proposed developed is designed with intent to:

- Provide increased amenity to accommodate the changing demands of this large family and better utilise the existing private open space.
- Provide improved shade to highly exposed existing deck spaces and facilitate more usable proportion via a small extension to the existing deck.
- Improved visual and aural privacy to indoor - outdoor spaces by incorporating strategically positioned privacy screens and acoustic buffers.

The proposal is contemporary in design and will be well detailed. Careful consideration has been given to the integration of the proposed new alterations to provide a contextually sympathetic contribution. The design maintains the integrity of the original residence and is responsive to the existing amenity of neighboring properties in its bulk and scale. The design was revisited numerous times to develop the most sympathetic and sensitive addition.

Material, Finishes and Colours

All external finishes, colours and materials have been detailed to enable the development to blend in with the existing landscaping. The works are discreetly located to the rear of the property and hence have no impact to the existing streetscape.

The materials to be used are timber frame construction, mineral based painting brick to the base, hard wood timber cladding, standard seam matte finish metal wall and roof cladding.

Refer to external finishes sheet.

Zoning and Development Controls

In preparing this application, consideration has been given to the Pittwater 21 DCP and the Pittwater LEP 2014. The relevant sections and controls have been outlined and commented on over the following pages:

Pittwater LEP 2014 – Zoning – R2 Low Density Residential

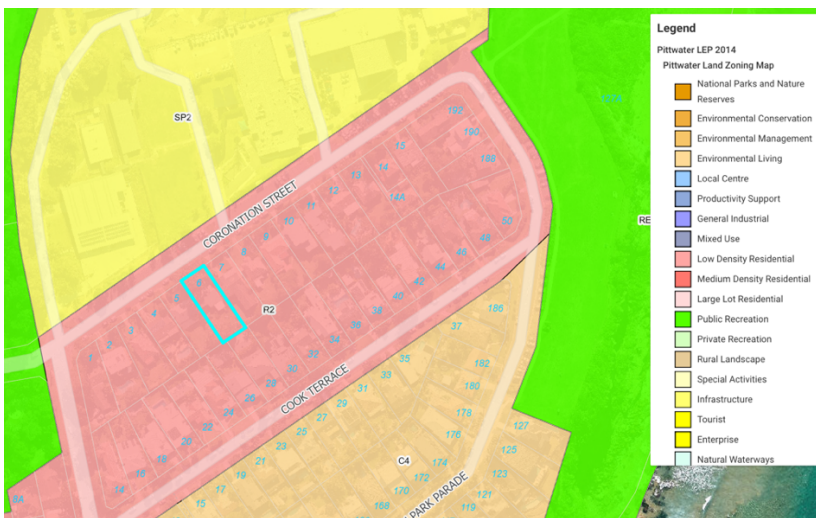


Figure 4 – Planning portal-spatial viewer

Zone R2 Low Density Residential

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

- To provide for a limited range of other land uses of a low intensity and scale, compatible with surrounding land uses.

2 Permitted without consent

Home businesses; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dual occupancies; Dwelling houses; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home-based child care; Home industries; Jetties; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals; Water recreation structures

4 Prohibited

Any development not specified in item 2 or 3

The proposed use of the land is a dwelling house, which is consistent with the objectives and permissible uses of R2 zoning.

Pittwater LEP 2014 – Part 4: Principle Development Standards

Standard	Permitted	Proposed	Comment
4.3 Height of Buildings	8.5m	7.043m	Compliant: matches existing
4.4 Floor space ratio	N/A	N/A	Compliant

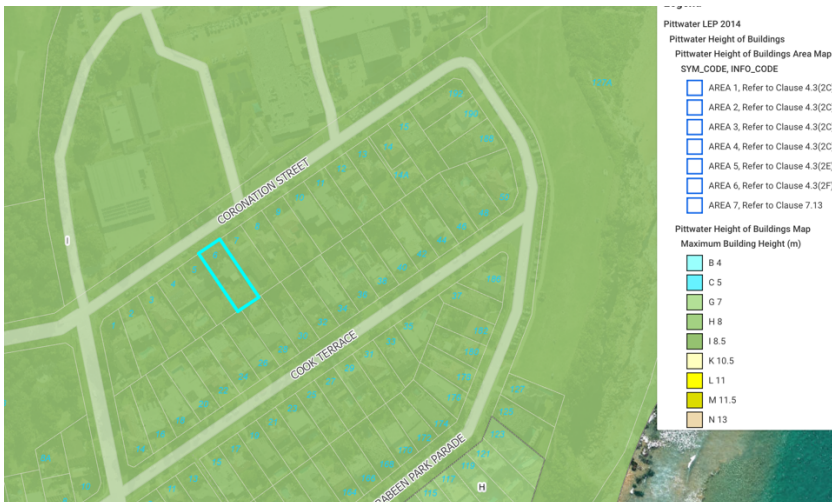


Figure 5 – Planning portal-spatial viewer

Pittwater LEP 2014: Part 7: Additional Provisions

Provision	Comment
6.1 Acid sulfate soils	Land is noted as Class 5 Acid Sulfate soils. The works are not carried out within 500m of Class 1-4 land or 5m below AHD or lowering the water table in adjacent lots. An acid sulfate management plan is not required.
6.2 Earthworks	The earthworks (minor excavation for pa/strip footings at existing levels) are ancillary to the development. They do not have any impact on the items outlined in 6.2(3) of the LEP.

Pittwater 21 DCP: Part A – Localities

The following excerpts are taken from the DCP regarding residential dwellings:

Low-density residential development is built along the valley floor and slopes to the north, south and west of the locality. These areas are characterised by one and two-storey dwelling houses on 680-760 square metre allotments (some blocks may be smaller) to the south, east and north, increasing to 930-1,200 square metres on the valley floor and headland. The residential areas are of a diverse style and architecture, a common thread being the landscaped, treed frontages and subdued external finishes. Medium-density housing adjoins the Mona Vale Commercial Centre on Mona Vale Road, and extends along Darley Street, Park Street, Pittwater Road, Terrol Crescent and Golf Avenue.

Desired Character

Existing residential areas will remain primarily low-density with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies will be located on the valley floor and lower slopes that has less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities.

The proposed works (alterations and additions to an existing dwelling) are consistent with the desired character and existing amenity outlined in the DCP.

Pittwater 21 DCP: Part B – General Controls

Part B5.15 Stormwater – Refer to stormwater engineering documentation prepared with this application

There is no change to existing provision associated with the proposal. As the retention of the existing arrangements is still feasible in this situation the roofwater from the new roof areas will be connected to the existing system.

Pittwater 21 DCP: Part C – Design Criteria for Residential Development

Item	Control/Comment	Complies?
<p>C1.1 LANDSCAPING</p> <p>A built form softened and complemented by landscaping. (En) Landscaping reflects the scale and form of development. (En) Retention of canopy trees by encouraging the use of pier and beam footings. (En) Development results in retention of existing native vegetation. (En) Landscaping results in the long-term retention of Pittwater's locally native tree canopy. (En) Landscaping retains and enhances Pittwater's biodiversity by using locally native plant species (En) Landscaping enhances habitat and amenity value. (En, S) Landscaping results in reduced risk of landslip. (En, Ec) Landscaping results in low watering requirement. (En)</p>	<ul style="list-style-type: none"> - Vegetation to be more than 50% native - 2 canopy trees in front yard and 1 in rear yard <p>The modifications will retain and enhance the natural character of the site through the integration of native planting, which has been selected to complement the surrounding landscape and enhance biodiversity.</p> <p>The removal of large trees has been justified due to their poor health, structural instability, or potential safety risks. The removal of several , large canopy trees is proposed to be offset by the planting of several advanced native trees that will maintain the tree canopy.</p> <p>The accompanying arborist report provides recommendations and management plans for the major trees on or surrounding the site.</p>	<p>Yes</p>
<p>C1.2 SAFETY AND SECURITY</p> <p>On-going safety and security of the Pittwater community. (S) Opportunities for vandalism are minimised. (S, Ec) Inform applicant's of Council's requirements for crime and safety management for new development.(S) Improve community awareness in relation to Crime Prevention through Environmental Design (CPTED), its principle strategies and legislative requirements (S) Identify crime and safety priority areas in Pittwater LGA (S, Ec) Improve community safety and reduce the fear of crime in the Pittwater LGA (S) Develop and sustain partnerships with key stakeholders in the local area who are involved in community safety. (S)d enhance streetscape character.</p>	<p>The proposal preserves and enhances site safety and security by provision of secure access and clearly visible entry points.</p>	<p>Yes</p>

<p>C1.3 VIEW SHARING</p> <p>A reasonable sharing of views amongst dwellings. (S) Views and vistas from roads and public places to water, headland, beach and/or bush views are to be protected, maintained and where possible, enhanced. (S) Canopy trees take priority over views. (En, S)</p>	<p>District views are a common feature of most properties in the area.</p> <p>The addition of the two new bedrooms has been carefully designed to ensure it does not obstruct any views from the neighboring rear properties.</p>	<p>Yes</p>
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<p>C1.4 SOLAR ACCESS</p> <p>Residential development is sited and designed to maximise solar access during mid-winter. (En) A reasonable level of solar access is maintained to existing residential properties, unhindered by adjoining development. (En) Reduce usage and/dependence for artificial lighting. (En) Canopy trees take priority over views. (En, S)</p>	<ul style="list-style-type: none"> - Main private open space of dwelling and adjoining dwellings to receive a minimum of 3 hours of sunlight (9am-3pm June 21) - Windows to principle living area of the proposal, and adjoining dwellings, are to receive 3 hours of sunlight (9am-3pm June 21) <p>Refer to the shadow diagrams submitted with the application. The proposal aims to improve solar access to existing property and consequently reduce the dependence on artificial light.</p> <p>The proposed height and massing of the proposal has been designed to ensure that solar access to the principal living areas and outdoor recreation areas of the adjoining properties existing and proposed is preserved particularly given that the proposed development casts shadows primarily towards the street.</p> <p>All roof forms of the proposed addition have minimal pitch and slope down towards the neighbouring dwelling, which facilitates the compliance with the solar objectives.</p>	<p>Yes</p>
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<p>C1.5 VISUAL PRIVACY</p> <p>Habitable rooms and outdoor living areas of dwellings optimise visual privacy through good design. (S) A sense of territory and safety is provided for residents. (S)</p>	<ul style="list-style-type: none">- Direct views of upper level dwelling shall be designed to prevent overlooking of more than 50% of private open space of lower dwelling <p>New glazing faces are primarily to the front, rear boundary and internal courtyard to preserve privacy to adjacent properties. No new windows are proposed to face the side boundary.</p>	<p>Yes</p>
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<p>C1.6 ACOUSTIC PRIVACY</p> <p>Noise is substantially contained within each dwelling and noise from any communal or private open space areas are limited. (S) Noise is not to be offensive as defined by the Protection of the Environment Operations Act 1997, including noise from plant, equipment and communal or private open space areas (S)</p>	<ul style="list-style-type: none"> - Noise-sensitive rooms should be located away from noise sources - Noise generating plants (pool, spa, air-con) shall not produce noise levels that exceed 5dBA above background noise. <p>Existing split systems may be changed into new ducted/split systems in the dwelling. If required, condensers will be located in similar areas to existing plant and are to satisfy the 5dBa noise requirements</p>	<p>Yes</p>
<p>C1.7 PRIVATE OPEN SPACE</p> <p>Dwellings are provided with a private, usable and well-located area of private open space for the use and enjoyment of the occupants. (S) Private open space is integrated with, and directly accessible from, the living areas of dwellings. (S) Private open space receives sufficient solar access and privacy. (En, S)</p>	<ul style="list-style-type: none"> - The proposal preserves and enhances the existing private open space. - 80sqm of private open space per dwelling at ground level - Minimum principle area of 16sqm and grade no steeper than 1:20 - Private open space directly accessible from internal living areas - Private open space should be located towards rear of the property <p>There is a min of 120sqm of private open space in the backyard alone. The new covered alfresco is 48sqm This space then continues much further than the uncovered area.</p>	<p>Yes</p>

Pittwater 21 DCP: Part D – Locality Specific Development Controls
PART D9 – MONA VALE

Item	Control/Comment	Compliant?
<p>D9.1 Character as viewed from a public place</p>	<ul style="list-style-type: none"> - Buildings which front the street must have street presence - Walls without articulation should not have a length greater than 8m - Bulk and scale must be minimised <p>The proposed extension has been sensitively integrated to the existing residence to ensure new works relates sensitively to the original residence. The upper floor addition has generous setbacks and its bulk and scale is minimised. While the ground floor bedroom pavilion preserves a single storey presence for the most when viewed from the side boundary.</p>	<p>Yes</p>

<p>D9.3 Building colours and materials</p>	<p>The design of proposed works is sympathetic to both the landscape and any characteristic buildings within the locality. Necessary measures were taken to ensure the additions complemented existing building forms in respect to massing, composition, materials, colours and maintaining the original subdivision pattern.</p> <p>The existing face brick and tile is preserved to ensure new works compliment with existing and adjacent residence. A small amount of timber cladding is introduced to provide sensitive contrast and visual interest.</p> <p>The materials to be used are timber frame construction, face brick, timber cladding, standard seam matte finish metal roof and tiles to match existing.</p>	<p>Merit</p>
<p>D9.4 Front Building line</p>	<p>Control: 12.9m ex average or 11.106m (new development average) established building line Proposed: 13.1m</p>	<p>Yes</p>
<p>D9.7 Side and rear building line</p>	<p><u>Side</u> Control: 1m to one side, 2.5m to the other Proposed: Varies to south side 1.22m/ 1.57m/1.88m, 2.2m(existing north side setback)</p> <p><u>Rear</u> Control: 6.5m Proposed: varies 6.6m min to bedroom wing and 14m to main living pavilion.</p>	<p>Merit</p>
<p>D9.9 Building envelope</p>	<p>Control: 3.5m vertically and 45 degrees inwards Proposed: Refer to the elevation. The proposed extension stays entirely within the building envelope controls with the exception of a very small breach to eaves overhang front verandah.</p>	<p>Yes</p>
<p>D1.10 Landscaped Area</p>	<p>Landscape Area Required: 50% of site: 383.3m² Existing area: 531.7 (69%)</p> <p>Proposed area: 388m² (51%)</p>	<p>Yes</p>

Other Matters Under Section 4.15 (formerly 79C) of the EP&A Act, 1979

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a) the provisions of—

- (i) any environmental planning instrument, and
- (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
- (iii) any development control plan, and
- (iiiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
- (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph),
- (v) (Repealed)

that apply to the land to which the development application relates,

(b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,

(c) the suitability of the site for the development,

(d) any submissions made in accordance with this Act or the regulations,

(e) the public interest.

The relevant issues are addressed in broad terms below:

Statutory and Policy Considerations:

The proposal is consistent with the fundamental objectives the governing instruments and provisions of the governing instruments and, accordingly, the proposal represents a development and use facilitated by such instruments.

The proposal represents a permissible land use under the Pittwater LEP 2014 and is consistent with the relevant statutory controls. The proposal is also considered to be consistent with the relevant guidelines identified in the Pittwater 21 DCP in regards to built form and natural environments.

The Character, Siting, Design and External Appearance of the Development; Relationship to Adjoining Land; Suitability of the Site:

The proposed alterations and additions to the dwelling at 6 Coronation Street, Mona Vale include a modest upper-floor extension, with the remaining works confined to a single storey at the side and rear. This approach ensures minimal environmental impact while maintaining a modest bulk and scale that integrates seamlessly with the surrounding context and neighboring properties.

The design carefully addresses key considerations such as solar access, acoustics, views, and privacy to respect the amenity of adjacent properties. The development is thoughtfully designed to harmonize with the character of the locality, preserving the area's identity and aligning with nearby developments.

The proposal's siting, design, and external appearance have been carefully crafted to complement the context of the area, ensuring negligible impact on the current and future amenity of neighboring properties

Public Interest

The proposal will have no detrimental impact on the environment or the character of the locality. It effectively mitigates any unreasonable visual impacts on the amenity of adjoining properties, ensuring it aligns with the public interest.

Conclusion

The principal objective of this Statement is to support the design of new additions and alterations to the existing dwelling, which satisfy the stated objectives of Council's Development Controls and the EP&A Act.

The proposal is consistent and compliant with the aims and objectives of Pittwater Council's LEP-2014 as permitted within a residential zone under Council's LEP. The proposal is also considered to be consistent with the intent of the Pittwater Council DCP and mostly compliant.

The proposal takes into consideration the existing buildings and the design is sympathetic to the streetscape it is within. No additional scale is visible from the street so proposed alterations sit well within the streetscape.

The level of privacy enjoyed by adjacent properties will not be reduced. Views from adjacent properties will not be affected and daylight or ventilation to other properties will not be affected.

The proposed alterations are to enhance the character of the existing house and fulfill the necessary requirements of the growing family that currently resides. The proposal provides a more contemporary design and high-quality addition. Due to the careful considerations given to its immediate surrounds and the sympathetic approach to the planning controls, the proposal integrates seamlessly within the current streetscape and consequently, has minimal impact on surrounding neighbours. Accordingly, development consent is justified.