PROPOSED ALTERATIONS & ADDITIONS JON & LAURA DUCKER 3 LUMEAH AVENUE ELANORA HEIGHTS NSW 2101

- 1. Cover page
- 2. Existing Floor plan
- 3. Basement plan
- 4. Proposed Ground Floor Plan
- 5. Proposed First Floor plan
- 6. Elevations
- 7. Section A-A & Section B-B
- 8. Site Plan
- 9. Front Retaining wall / Fencing plan



LOCATION IMAGE



PROPOSED GROUND & FIRST FLOOR ADDITIONS IMAGE



REAR VIEW IMAGE

PROJECT:	PROPOSED ALTERATIONS & ADDITIONS	SCALE:	1:100mm
CLIENT:	JON & LAURA DUCKER	DATE:	1st MARCH 2022
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 1 of 9

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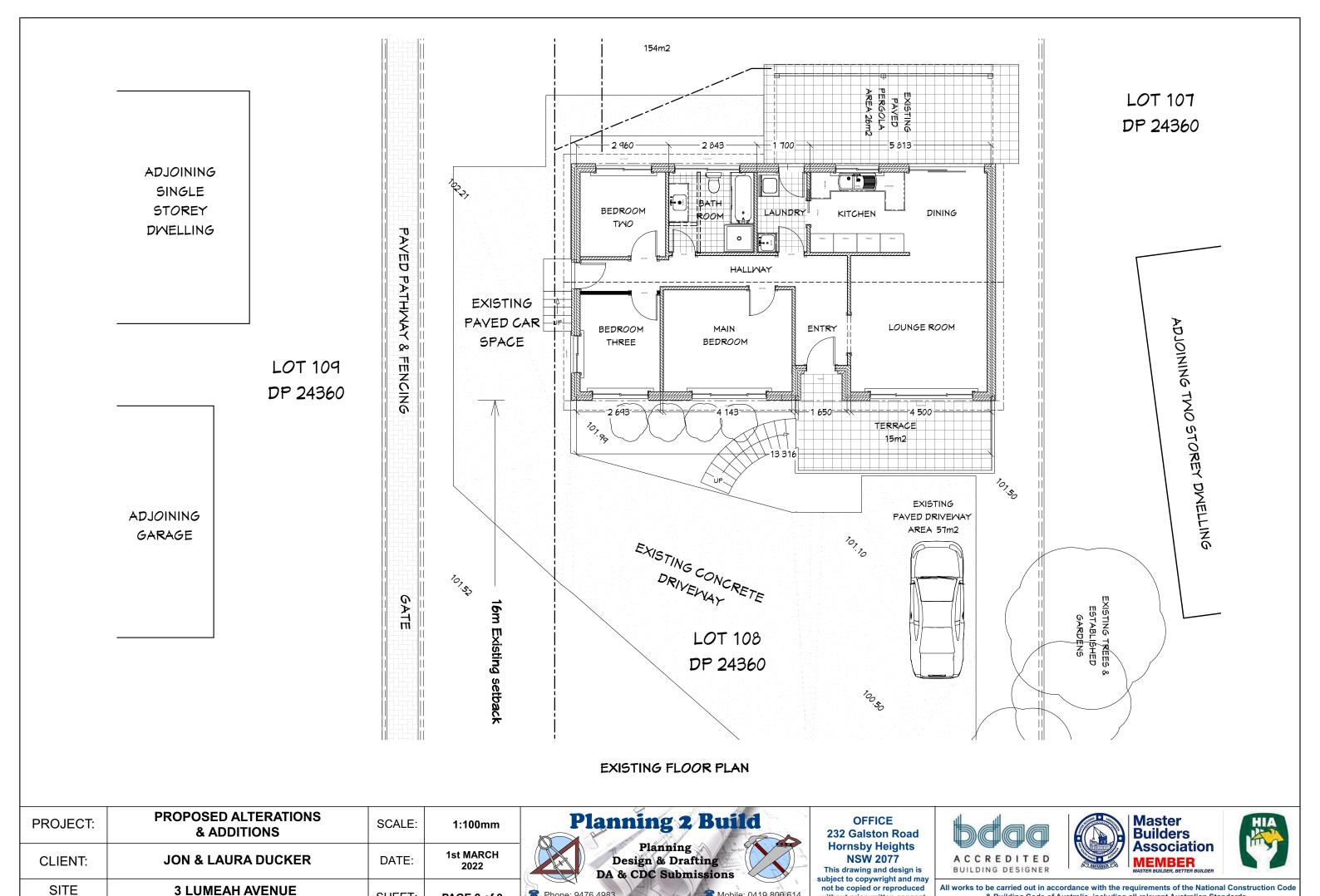
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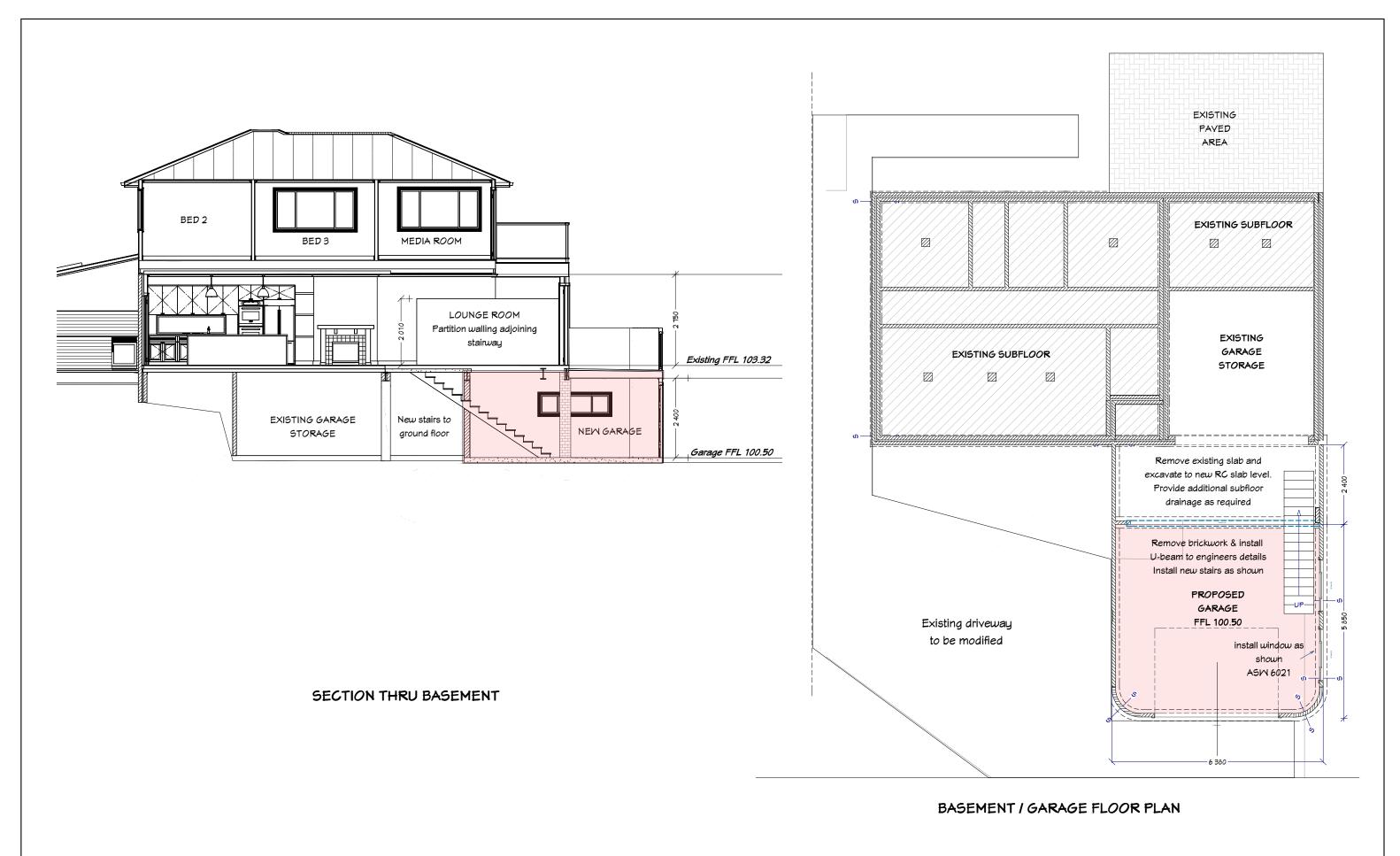
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ADDRESS:

SHEET:

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Fixtures and systems

BASIX REQUIREMENTS

These are your lighting requirements:

Lighting type

A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.

These are your fixture requirements:

New or altered fixture requirements

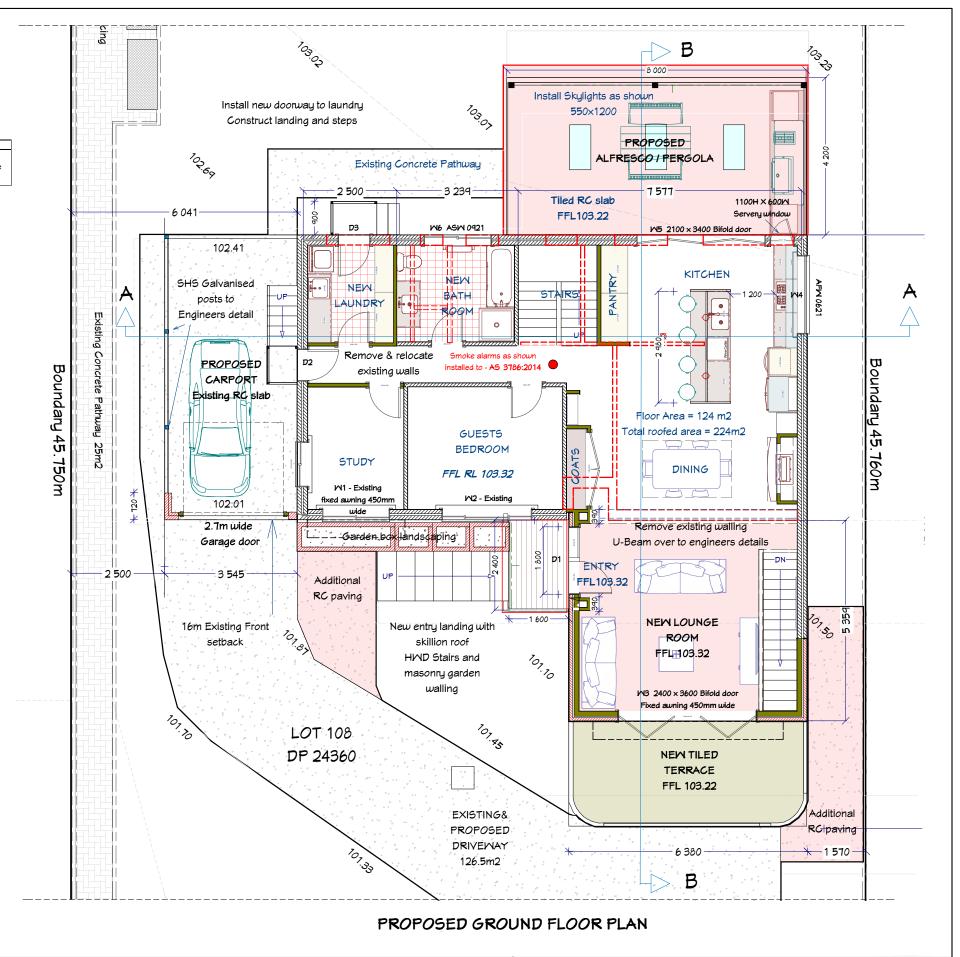
Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating

Additional Insulation Requirements

Construction	Additional insulation requirement (R-value)
concrete slab on ground floor.	nil
suspended floor above garage: framed (R0.7).	nil
floor above existing dwelling or building.	nil
external wall: brick veneer (R0.54)	R1.16 (or R1.70 including construction)
external wall: framed (weatherboard, fibro, metal clad) (R0.40)	R1.30 (or R1.70 including construction)
flat ceiling, pitched roof	ceiling: R0.70 (up), roof: foil backed blanket (55 mm

Mindows

Item	Height x Midth	Shading device	Glazing requirements
GROUND FLOOR			
M1 – Study	1300 × 1500	Eave / Awning 450mm	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M2 – Guests bedroom	1300 × 2400	None	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M3 — Lounge Bifold doors	2400 × 3600	Eave / Awning 450mm	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M4 – Kitchen splashback	600 × 2400	None	Standard Aluminium, single clear, (or U-Value 7.63, SHGC 0.75)
M5 — Kitchen Bifold door	2100 × 3400	Verandah > 900mm	Standard Aluminium, single clear, (or U-Value 7.63, SHGC 0.75)
M6 – Bathroom	900 × 2100	Verandah > 900mm	Standard Aluminium, single clear, (or U-Value 7.63, SHGC 0.75)
FIRST FLOOR ADDITI	ON		
M7 – Master Bedroom	1200 × 1800	Eave 600mm, 300mm above head of window	Standard Aluminium, single clear (U-value: 7.63, SHGC: 0.75)
M8 – Master bedroom	1200 × 1500	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M9 – Master bedroom	1200 × 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M10 – Bedroom 4	1200 × 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M11 – Media room	1200 × 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single clear (U-value: 7.63, SHGC: 0.75)
M12 – Media room	2100 × 4800	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M13 – Media room	1200 × 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M14 – Bedroom 3	1200 × 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M15 – Bedroom 2	1200 × 2400	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W16 - Stairs	1800 × 1200	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
M17 - MC	1000 × 800	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
M18 – Bath room	600 × 1800	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-o (U-value: 4.48, SHGC: 0.46)
M19 - Ensuite	600 × 1800	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
M20 – Malk in robe	1000 × 900	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)



PROJECT:	PROPOSED ALTERATIONS & ADDITIONS	SCALE:	1:100mm
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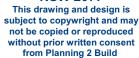
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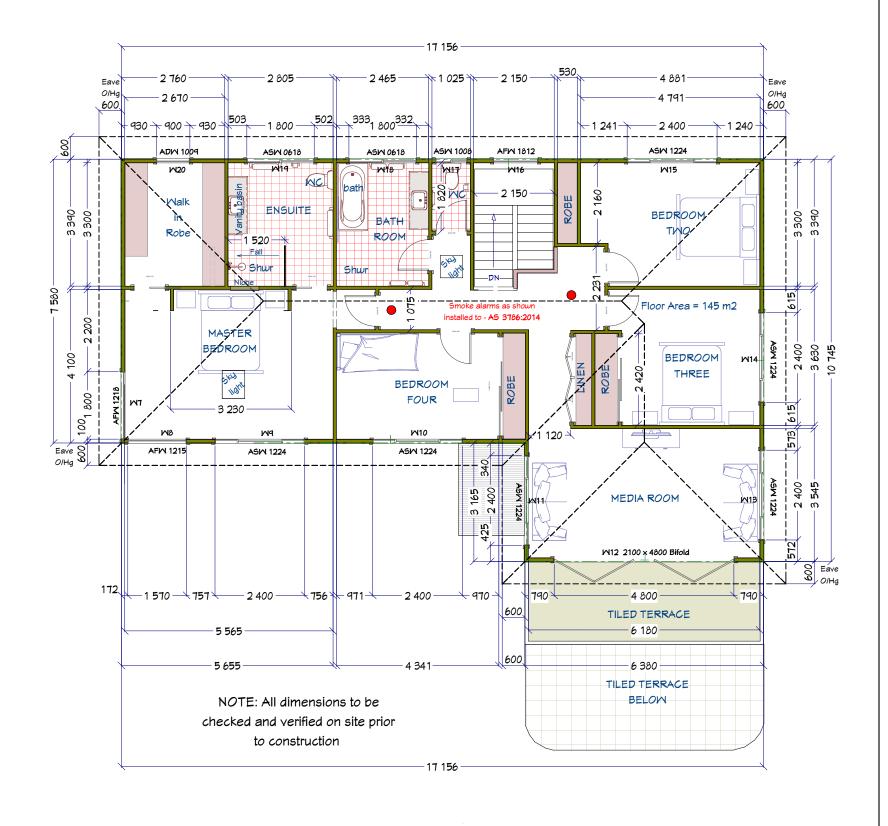






GENERAL SPECIFICATION

NO	ITEM	DESCRIPTION
		Provide safe access to site including all work zones. Site to be kept clean of debris and waste materials are to be sorted for recycling and adhere to the waste management plan attached to this development approval. All waste is to be removed from site to an authorised waste outlet.
		All materials are to be stored appropriately on site as required.
2	Site Setting out	All relative boundary's and levels are to be located and checked as per the current survey. Any discrepancies are to be
	3	corrected prior to construction.
3	Excavation	Excavate for RC strip footings to rear addition & pad footings to new decks.
		Excavate service trenches for stormwater, sewerage drainage and new underground power supply. Remove all spoil from
		site using an authorised waste disposal outlet.
4	Concreting	All structural concreting to RC strip footings and pad footings to engineers' details:
		 Residential slabs and footings A5 2870 - 2011; Concrete structures A5 3600 - 2009
5	Scaffolding	All scaffold is to be erected and installed in accordance with:
		➤ AS/NZS 1576.1:2010 Australian/New Zealand Standard™ Scaffolding Part 1: General requirements
		➤ AS/NZS 4576: Guidelines for scaffolding
6	Masonry	New 110mm brick walling to dwarf walls fully vented for cross ventilation.
		All brickwork to be laid in accordance with
		Masonry structures - AS 3700 – 2011
7	Tamaika muaka shi an	Masonry in small buildings - AS 4773.2:2015
'	Termite protection	Provide an approved termite protection system to the masonry walling to fully protect all framing members below floor level;
		The Termite protection system should comply with the following:
		➤ BCA Table 3.1.3.1 Acceptable termite management systems and Components
8	Floors	Use yellow tongue particle board structural flooring on H2 LYL bearers & Joists with selected floor coverings.
		Use Hardies Scyon wet area flooring with an approved water proof membrane and floor tiles to bathroom & laundry areas
9	Materproof membrane	Apply an approved waterproof membrane to all wet areas in accordance with:
		> A5 3740 - Waterproofing of domestic wet areas.
10	Framework	All structural timber to floors, walls and roofing to be 90mm wide H2 treated and constructed in accordance with: Residential timber-framed construction- A5 1684.2-2010
11	Insulation	Insulation must be installed in accordance with:
11	irisulation	Part 3.12.1.1 of the Building Code of Australia.
		In some climate zones insulation should be installed with due consideration of condensation and associated interaction
		with adjoining building materials.
12	External finishes	All new brickwork to be laid as face brickwork,
		Use selected weatherboard cladding on breathable foil insulation.
10	Latania di Bata an	> Selected cladding must be installed to manufacturers installation instructions.
13	Internal linings	Use plasterboard linings and selected cornices in accordance with: ➤ AS/NZS 2589:2007 Gypsum linings Application and finishing-
		Use Villaboard and tiled walls to bathroom & Laundry areas.
		Ensure all wet area linings are installed in accordance with:
		➤ Selected Manufacturers installation instructions.
14	Colour scheme	Natural timbers to be oiled finishes.
		Malls and roofing as per Schedule of finishes attached with the DA
15	Roof & Guttering	Roof & guttering to be selected colour - to be equivalent or darker than Windspray. New Colorbond roofing timber 70 × 45 purlins in accordance with:
כו	Roof & Gullering	AS 1562.1:2018 Design and Installation of Sheet Roof and Wall Cladding – Metal.
		New Colorbond guttering and downpipes piped to new / existing Stormwater service in accordance with:
		≻ A5 3500.3.2:1998. National plumbing and drainage
		➤ Part 3.2: Stormwater drainage— Acceptable solutions
16	External Doors	Selected glazed entry door.
	& Mindows	Aluminium framed Bifold doors and sliding windows to be installed to:
17	Docking	Manufacturer's installation instructions with all glazing in accordance with the BASIX commitments.
17	Decking	138 x 19 HMD Decking screw fixed on - H3 treated floor joists @ 450mm cts supported on bearers @ 1800mm cts and 230 isolated brick piers in accordance with
		➤ A5 1684.2-2010 - Residential timber-framed construction
4.0	Architraves	Selected 68 x 19 FJ Pine mouldings or to match existing.
18	7 4 OI III A 4 C O	Colored Co A 1 1 C 1 Into the didning Co 1 to the didning.



PROPOSED FIRST FLOOR PLAN

PROJECT:	PROPOSED ALTERATIONS & ADDITIONS	SCALE:	1:100mm	PI
CLIENT:	JON & LAURA DUCKER	DATE:	1st MARCH 2022	
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 5 of 9	Phone: 9476 Licence No 6716C

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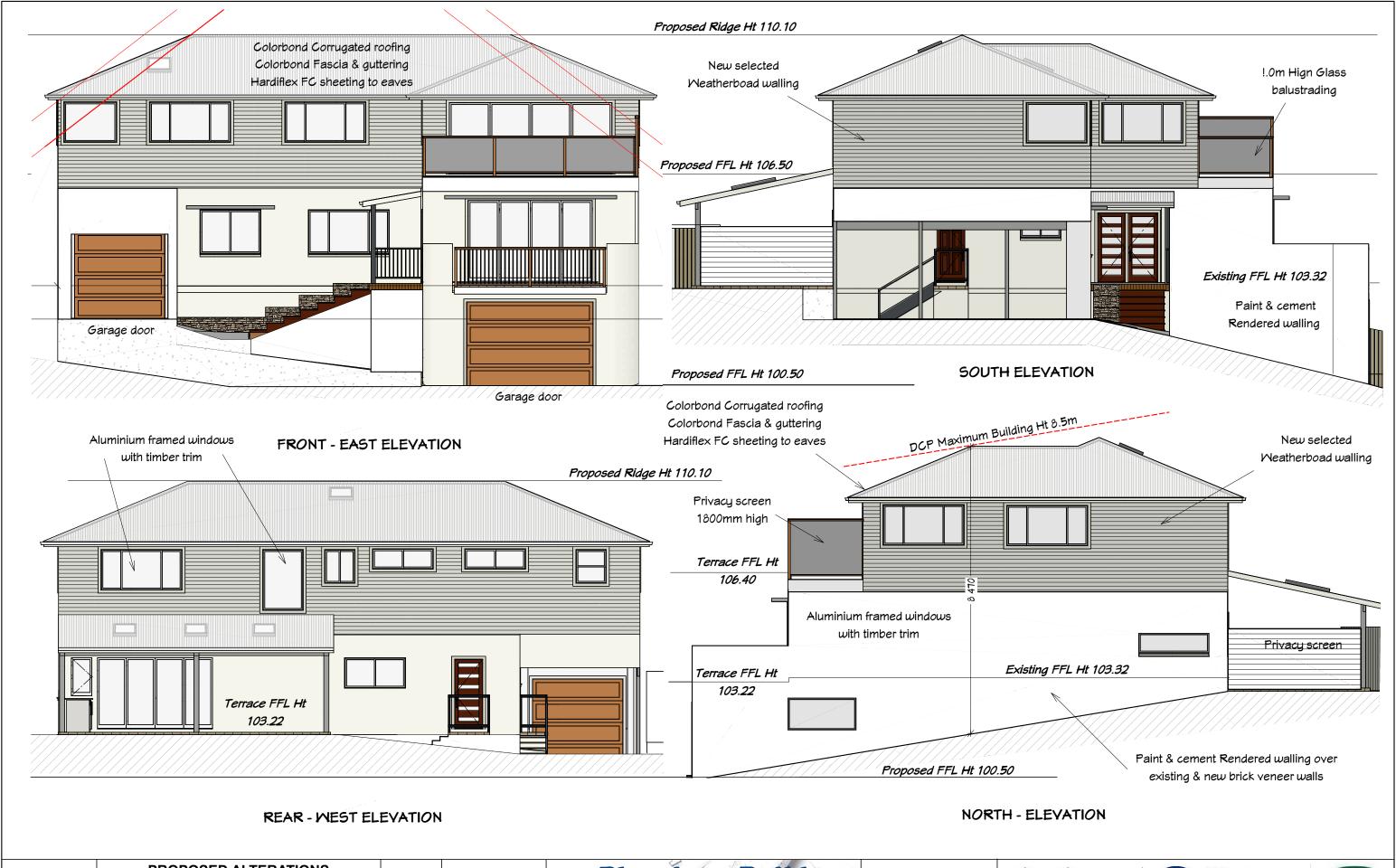
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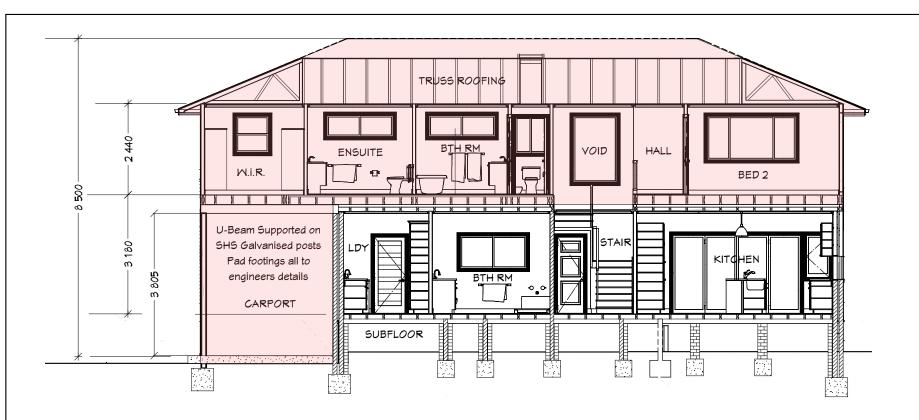
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ROOFING

Colorbond Fascia and guttering with Hardies Hardiflex eave soffits.

Colorbond roofing on 70 x 454 H3 Timber purlins @ max 900mm cts

Foil laminated insulation blanket minmum 55mm on

H2 fabricated Timber roof trusses @ 600mm cts

All tie downs as specified by engineers details and truss manufacturer

MALLS

90mm thick H2 Timber framed walling all to AS 1684. Use selected Aluminium Framed windows All glazed as per current BASIX Certificate

Selected internal Doors and trim to Skirtings & Architraves

Plasterboard linings to walls & ceilings with selected cornices.

Use Villaboard and tiled walling to selected heights to all bathrooms

FLOORS

Selected floor coverings on Structural Particleboard flooring.

Use 240 x 50 H2 LVL Floor joists @ 450mm cts all to AS 1684 and install LVL Floor

beams as required and install U-beams all to engineers details.

Setdown Joists 50mm for tiling throughout wet areas use Hardies Scyon wet area flooring and waterproof membrane all to AS/NZS 4858-2004

SECTION A-A

CARPORT

Install U-beam to support Floor above all to engineers details. Use 150×150 RHS galvanised column supprts to U-beams. Excavate and pour RC pad footings all to Engineers details. Existing RC slab as shown

TERRACE

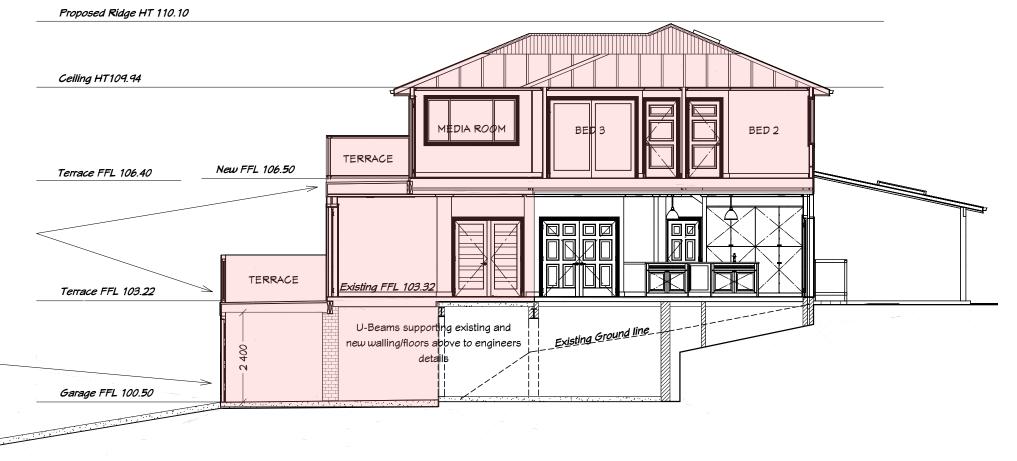
Minimum 100mm setdown to Tiled terrace and provide the required 1:100 minimum surface fall to decks in accordance with AS:4654.2.

Timber framed terrace on Hardies Secura external balcony flooring with Tiles

on waterproof membrane to comply with AS/NZS 4858-2004 Selected balustrading minimum 1.000m high.

GARAGE

Excavate to underside of RC slab and required levels. RC slab to garage area as shown all to Engineers details. Provide for subfloor drainage where required. Use masonry retaining walls all to Engineerw details.



SECTION B-B

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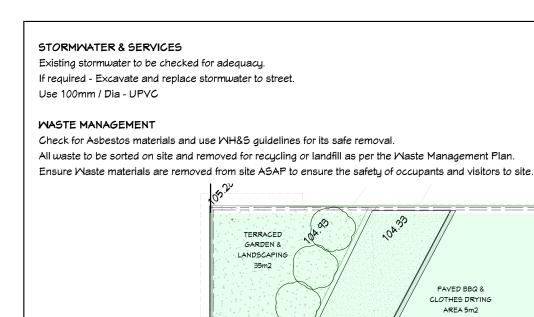
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NSW 2077









LOT 107 DP 24360

ADJOINING TWO STOREY DWELLING

Recycling Green Wast



4 200

PROPOSED

ALFRESCO

PERGOLA

33.5m2

Tiled RC slab

FFL103.22

154m2

120

Boundary 45.760m

PROPOSED FIRST FLOOR ADDITION

Floor Area = 289m2

Total roofed area = 155m2

Existing Concrete Pathway 25m2

Boundary 45.750m

New Stormwater to existing

8 240

PROPOSED

TILED

FIRST

FL00R

14m2

GARDEN

LANDSCAPED

PROPOSED

FIRST FLOOR

ADDITION

NEW RC SLAB

PROPOSED

TERRACE

GROUND

FLOOR

17.5m2

LOT 108

DP 24360

EXISTING DRIVEWAY

144m2

EXTEND DRIVENA

DDITIONAL CAR SPACE

Garbage

Recycling

Paper

ADDITIONAL CAR SPACE

9m2

Container

1 650

retaining wall base us<mark>i</mark>ng

TO BE RETAINED

Trunk protection: Where

shall be protected by the

placement of 3.6m lengths of 50×100 mm hardwood

timbers, spaced vertically, at

bu 2mm wire at 300mm wide

spacing over suitable protective padding material e.g. Jute Matting. The trunk protection shall be maintaine intact until the completion of a

vork on site.

fencina cannot be installed, the vertical trunk of exposed trees

LUMEAH AVENUE



PROJECT:

CLIENT:

SITE

ADDRESS:

SPACE

SITE COVERAGE CALCULATIONS 180.5 m2

PROPOSED SECONDARY DWELLING

JON & LAURA DUCKER

3 LUMEAH AVENUE

ELANORA HEIGHTS NSW

Existing roofed area including secondary dwelling Existing verandah 28m2 Existing paving and driveway areas 144 m2 EXISTING SITE COVERAGE 352.5 m2 ADDITIONAL SITE COVERAGE 48 m2 PROPOSED SITE COVERAGE 400.5m2 SITE COVERAGE RATIO 41% PRIVATE OPEN SPACE (rear yard) 198m2 LANDSCAPED AREA = 350sqm 36%

SITE AREA	976.2m2
Existing Floor Area	104 m2
Existing Secondary dwelling	60m2
Additional First Floor area	154 m2
Additional Ground floor area	31 m2
Proposed patios and deck areas	65 m2
TOTAL FLOOR AREA (Mithout decks)	349 m2
FLOOR SPACE RATIO	<i>35.75 %</i>

SCALE:

DATE:

SHEET:

6 200

DMELLING

FFL RL 103,920

600mm Above

Principle dwelling

TIMBER DECK

SITE PLAN / SITE ANALYSIS Scale 1: 200mm

ADJOINING SINGLE STOREY DWELLING

Install 600mm high sat fencing or similar sediment barrier pegged as required. Clear fencing of sediment periodically. Sediment control barrier to be left in place

until final surfaces have been established

SEDIMENT CONTROL

ADJOINING GARAGE

Waste & Construction naterial storage

BUILDING DESIGNER

Figure A16.3 Elevation of silt fences

Master **Builders Association**



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All works to be carried out in accordance with the requirements of the National Construction Code & Building Code of Australia, including all relevant Australian Standards. All dimensions are to be checked and verified on site before commencement of work

1:100mm

5th NOVEMBER

STORMMATER & SERVICES

All new Stormwater to be installed to Engineers details

Taylor Consulting engineers

DWG No - Storm 1 25th February 2022

LOT 107 DP 24360

ADJOINING TWO STOREY DWELLING



Front Building Setback Wall to BDY

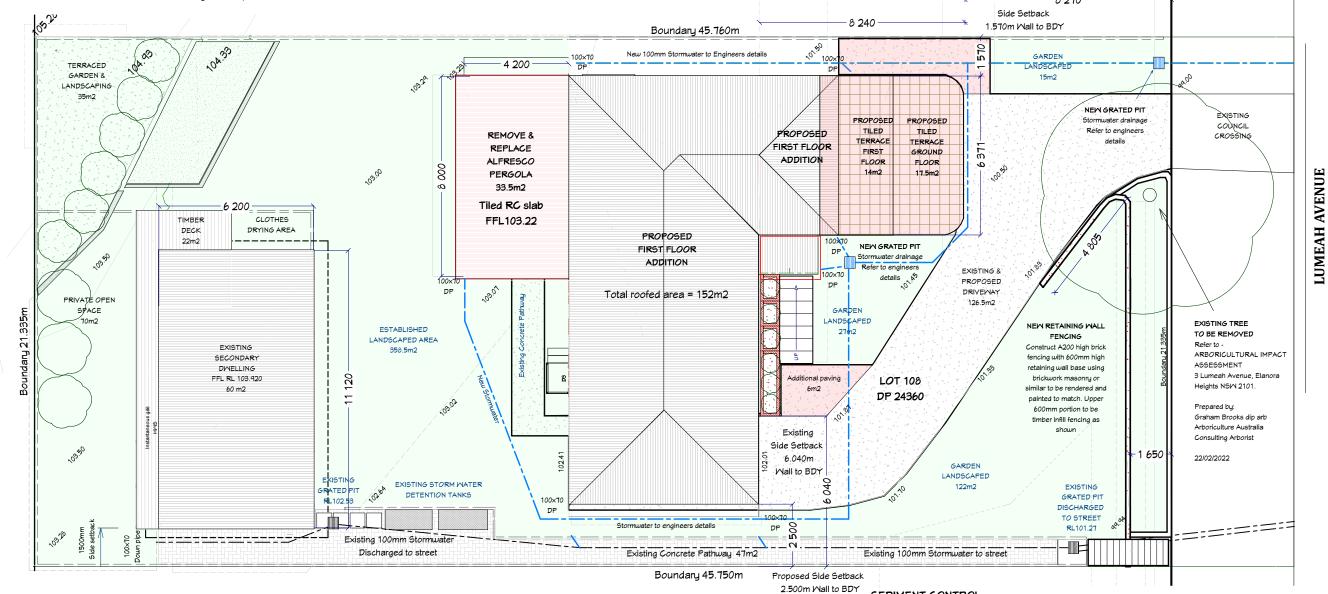
To be checked on site prior to construction

MASTE MANAGEMENT

Check for Asbestos materials and use MH&S guidelines for its safe removal.

All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.

Ensure Maste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.



212 m2
65m2
173.5 m2
382m2
68.5 m2
450.5m2
46.5%
198m2
53.5%

SITE AREA	976.2m2
Existing Floor Area	104 m2
Existing Secondary dwelling	60m2
Additional First Floor area	145 m2
Additional Ground floor area	31 m2
Proposed patios and deck areas	65 m2
TOTAL FLOOR AREA (Mithout decks)	340 m2
FLOOR SPACE RATIO	34.80 %

SITE PLAN / SITE ANALYSIS & STORM WATER CONCEPT PLAN

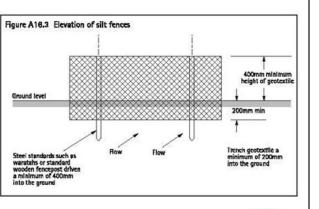
Scale 1 : 200mm

ADJOINING SINGLE STOREY DWELLING

SEDIMENT CONTROL

Install 600mm high silt fencing or similar sediment barrier pegged as required.
Clear fencing of sediment periodically.
Sediment control barrier to be left in place until final surfaces have been established

ADJOINING GARAGE



PROJECT:	PROPOSED ALTERATIONS & ADDITIONS	SCALE:	1:100mm
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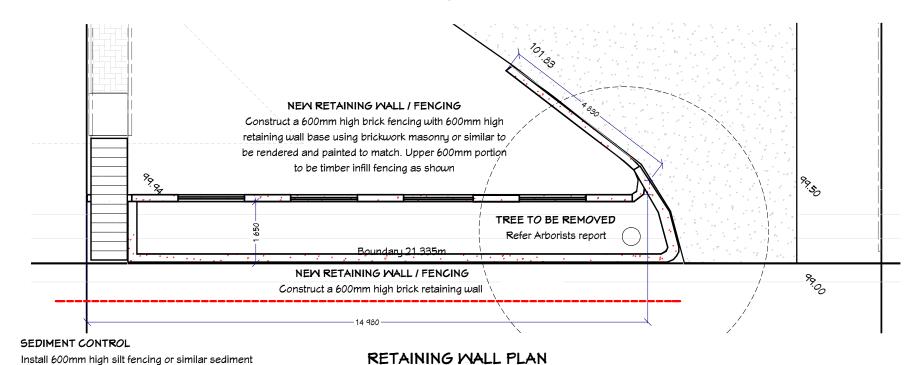






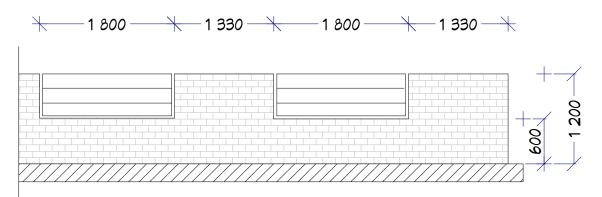


RETAINING WALL - FRONT ELEVATION

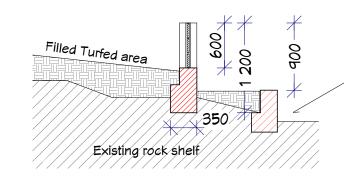




FRONT RETAINING WALL / FENCING IMAGE



RETAINING WALL - FRONT ELEVATION Scale 1:50mm



Terraced masonry retaining walls as shown All on rock foundation or similar

RETAINING MALL - SECTION THRU Scale 1:50mm



PROPOSED ALTERATIONS PROJECT: SCALE: 1:100mm & ADDITIONS 1st MARCH **JON & LAURA DUCKER** DATE: CLIENT: 2021 SITE **3 LUMEAH AVENUE** SHEET: PAGE 9 of 9 ADDRESS: **ELANORA HEIGHTS NSW**

barrier pegged as required.

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STORMWATER & SERVICES

Existing stormwater to be checked for adequacy.

If required - Excavate and replace stormwater to street.

Use 100mm / Dia - UPYC

LOT 107 DP 24360 ADJOINING TWO STOREY DWELLING



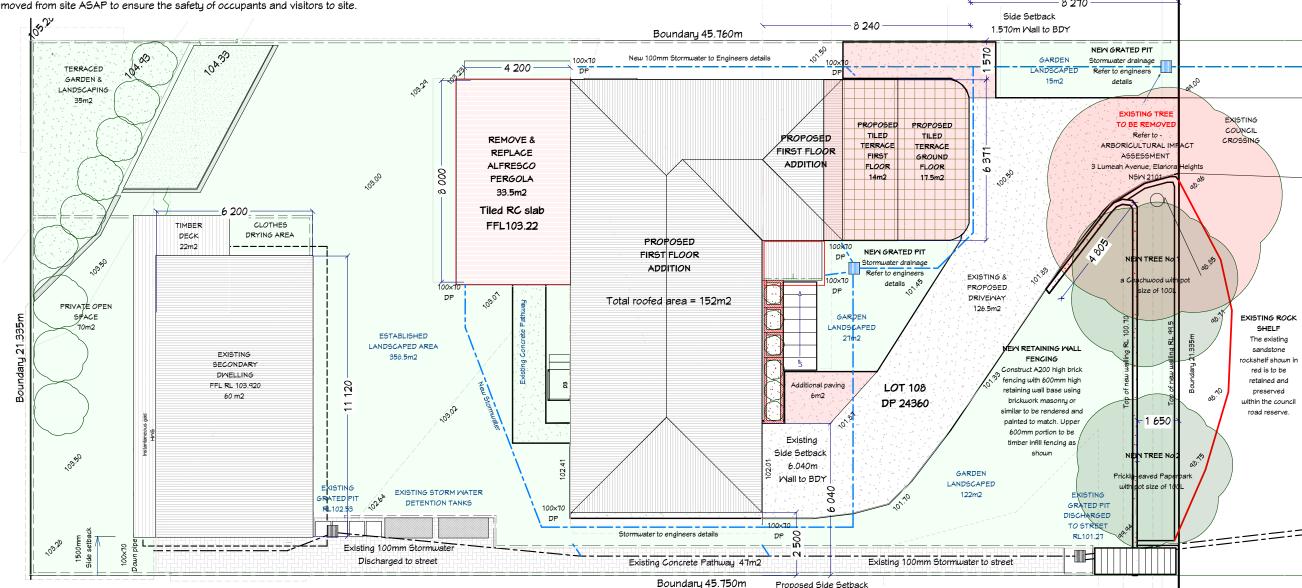
LUMEAH AVENUE

MASTE MANAGEMENT

Check for Asbestos materials and use WH&S guidelines for its safe removal.

All waste to be sorted on site and removed for recycling or landfill as per the Maste Management Plan.

Ensure Maste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.



SITE COVERAGE CALCULATIONS	
Existing roofed area including secondary dwelling	180.5 m2
Existing verandah	28m2
Existing & proposed paving and driveway areas	173.5 m2
EXISTING SITE COVERAGE	382m2
ADDITIONAL SITE COVERAGE	72 m2
PROPOSED SITE COVERAGE	454m2
SITE COVERAGE RATIO	46.5%
PRIVATE OPEN SPACE (rear yard)	198m2
LANDSCAPED AREA = 522.5sqm	<i>53.5%</i>

SITE AREA	976.2m2
Existing Floor Area	104 m2
Existing Secondary dwelling	60m2
Additional First Floor area	154 m2
Additional Ground floor area	31 m2
Proposed patios and deck areas	65 m2
TOTAL FLOOR AREA (Mithout decks)	349 m2
FLOOR SPACE RATIO	35.75 %

LANDSCAPE CONCEPT PLAN Scale 1: 200mm

ADJOINING SINGLE STOREY DWELLING

ADJOINING GARAGE

2.500m Wall to BDY

PLANTING SCHEDULE

Front Building Setback Wall to BDY

To be checked on site prior to construction

Plant no	Type & species	Species
1	Coachwood	Ceratopetalum apetalum
2	Prickly-leaved Paperbark	Melaleuca styphelioides

PROJECT:	PROPOSED SECONDARY DWELLING	SCALE:	1:100mm
CLIENT:	JON & LAURA DUCKER	DATE:	24th NOVEMBER 2021
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 8 of 9

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