

PROPOSED ALTERATIONS & ADDITIONS
JON & LAURA DUCKER
3 LUMEAH AVENUE
ELANORA HEIGHTS NSW 2101

1. Cover page
2. Existing Floor plan
3. Basement plan
4. Proposed Ground Floor Plan
5. Proposed First Floor plan
6. Elevations
7. Section A-A & Section B-B
8. Site Plan
9. Front Retaining wall / Fencing plan



PROPOSED GROUND & FIRST FLOOR ADDITIONS IMAGE



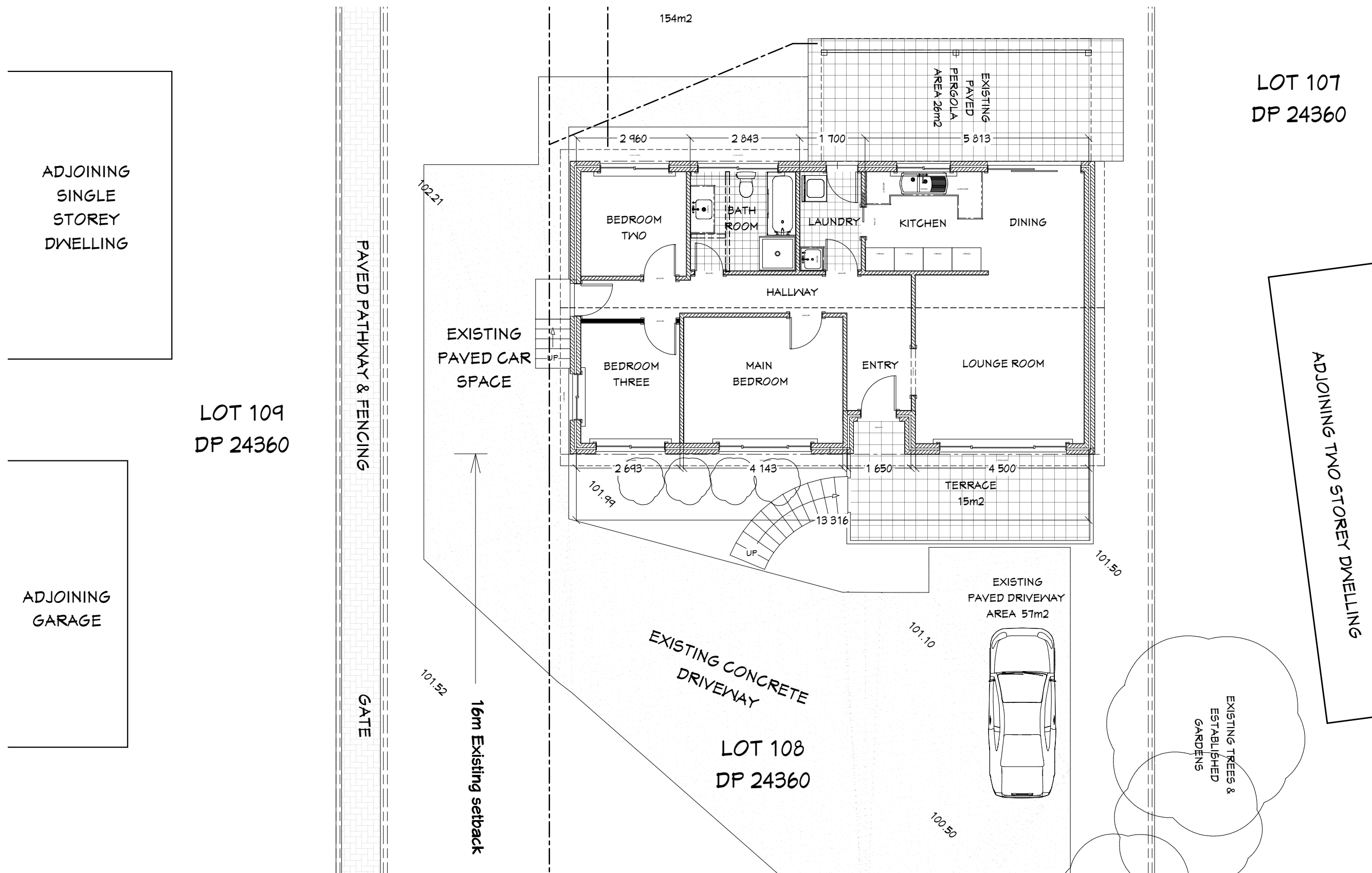
LOCATION IMAGE



REAR VIEW IMAGE

PROJECT:	PROPOSED ALTERATIONS & ADDITIONS	SCALE:	1:100mm	<div> <div>  Planning 2 Build Planning Design & Drafting DA & CDC Submissions </div> <div>  Phone: 9476 4983  Mobile: 0419 800 614 Licence No 6716C planning2build.com.au ABN 94 517 511 283 </div> </div>	<div> <div> OFFICE 232 Galston Road Hornsby Heights NSW 2077 This drawing and design is subject to copyright and may not be copied or reproduced without prior written consent from Planning 2 Build </div> </div>	<div> <div>  ACCREDITED BUILDING DESIGNER </div> <div>  Master Builders Association MEMBER MASTER BUILDER, BETTER BUILDER </div> <div>  </div> </div>
CLIENT:	JON & LAURA DUCKER	DATE:	1st MARCH 2022			
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 1 of 9			

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EXISTING FLOOR PLAN

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BASIX REQUIREMENTS

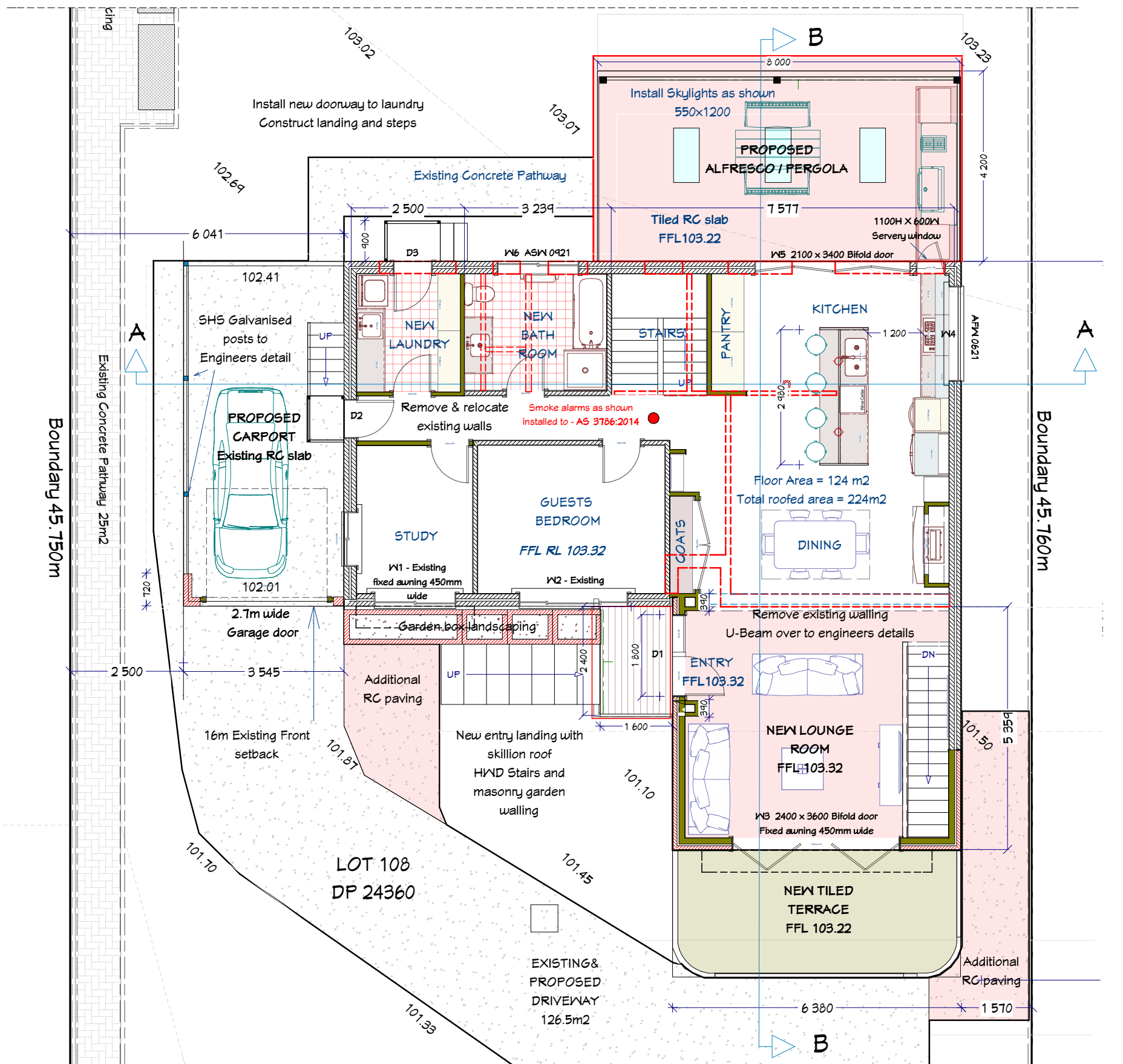
Lighting type	A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.
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New or altered fixture requirements

Showerheads must have a flow rate no greater than 9 litres per minute or a 3 star water rating. Toilets must have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. Taps must have a flow rate no greater than 9 litres per minute or a minimum 3 star water rating

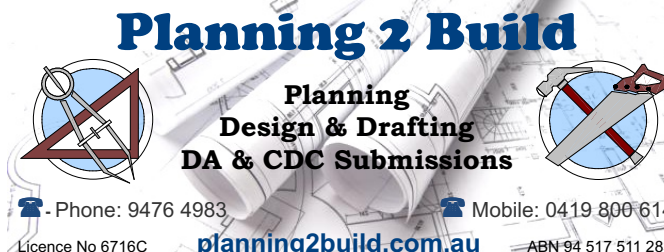
Construction	Additional insulation requirement (R-value)
concrete slab on ground floor.	nil
suspended floor above garage: framed (R0.7).	nil
floor above existing dwelling or building.	nil
external wall: brick veneer (R0.54)	R1.16 (or R1.70 including construction)
external wall: framed (weatherboard, fibro, metal clad) (R0.40)	R1.30 (or R1.70 including construction)
flat ceiling, pitched roof	ceiling: R0.70 (up), roof: foil backed blanket (55 mm)

Item	Height x Width	Shading device	Glazing requirements
GROUND FLOOR			
W1 – Study	1300 x 1500	Eave / Awning 450mm	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W2 – Guests bedroom	1300 x 2400	None	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W3 – Lounge Bifold doors	2400 x 3600	Eave / Awning 450mm	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W4 – Kitchen splashback	600 x 2400	None	Standard Aluminium, single clear, (or U-Value 7.63, SHGC 0.75)
W5 – Kitchen Bifold door	2100 x 3400	Verandah > 900mm	Standard Aluminium, single clear, (or U-Value 7.63, SHGC 0.75)
W6 – Bathroom	900 x 2100	Verandah > 900mm	Standard Aluminium, single clear, (or U-Value 7.63, SHGC 0.75)
FIRST FLOOR ADDITION			
W7 – Master Bedroom	1200 x 1800	Eave 600mm, 300mm above head of window	Standard Aluminium, single clear (U-value: 7.63, SHGC: 0.75)
W8 – Master bedroom	1200 x 1500	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W9 – Master bedroom	1200 x 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W10 – Bedroom 4	1200 x 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W11 – Media room	1200 x 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single clear (U-value: 7.63, SHGC: 0.75)
W12 – Media room	2100 x 4800	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W13 – Media room	1200 x 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W14 – Bedroom 3	1200 x 2400	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W15 – Bedroom 2	1200 x 2400	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W16 – Stairs	1800 x 1200	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W17 – WC	1000 x 800	Eave 600mm, 300mm above head of window	Standard Aluminium, single pyrolytic low-e (U-value: 5.7, SHGC: 0.47)
W18 – Bath room	600 x 1800	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W19 – Ensuite	600 x 1800	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)
W20 – Walk in robe	1000 x 900	Eave 600mm, 300mm above head of window	Improved Aluminium, single pyrolytic low-e (U-value: 4.48, SHGC: 0.46)



PROPOSED GROUND FLOOR PLAN

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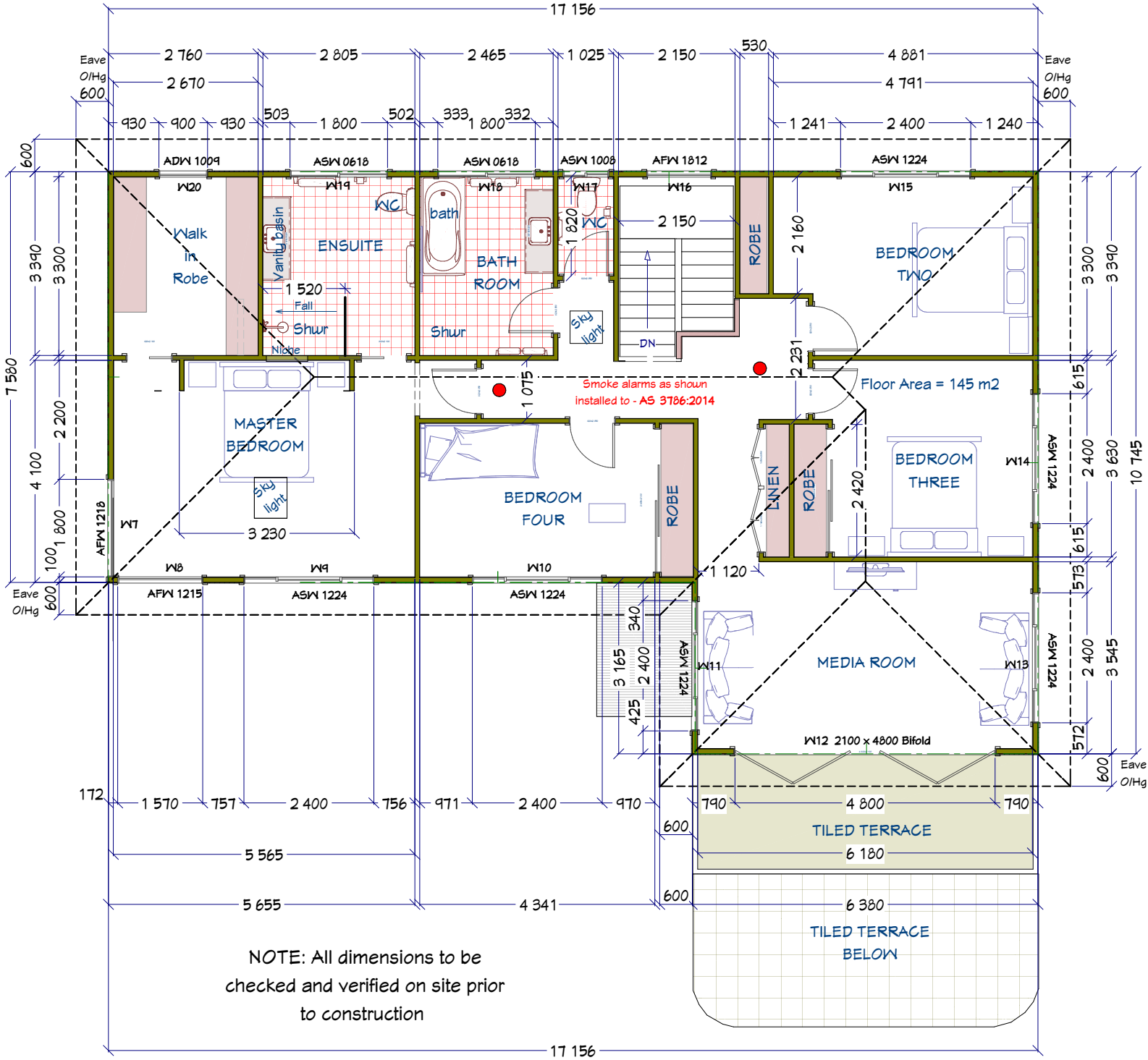


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GENERAL SPECIFICATION

NO	ITEM	DESCRIPTION
1	Preliminaries	Provide safe access to site including all work zones. Site to be kept clean of debris and waste materials are to be sorted for recycling and adhere to the waste management plan attached to this development approval. All waste is to be removed from site to an authorised waste outlet. All materials are to be stored appropriately on site as required.
2	Site Setting out	All relative boundary's and levels are to be located and checked as per the current survey. Any discrepancies are to be corrected prior to construction.
3	Excavation	Excavate for RC strip footings to rear addition & pad footings to new decks. Excavate service trenches for stormwater, sewerage drainage and new underground power supply. Remove all spoil from site using an authorised waste disposal outlet.
4	Concreting	All structural concreting to RC strip footings and pad footings to engineers' details: ➤ Residential slabs and footings AS 2870 - 2011; ➤ Concrete structures AS 3600 - 2009
5	Scaffolding	All scaffold is to be erected and installed in accordance with: ➤ AS/NZS 1576.1:2010 Australian/New Zealand Standard™ Scaffolding Part 1: General requirements ➤ AS/NZS 4576: Guidelines for scaffolding
6	Masonry	New 110mm brick walling to dwarf walls fully vented for cross ventilation. All brickwork to be laid in accordance with ➤ Masonry structures - AS 3700 - 2011 ➤ Masonry in small buildings - AS 4773.2:2015
7	Termite protection	Provide an approved termite protection system to the masonry walling to fully protect all framing members below floor level; The Termite protection system should comply with the following: ➤ BCA Table 3.1.3.1 Acceptable termite management systems and Components
8	Floors	Use yellow tongue particle board structural flooring on H2 LVL bearers & Joists with selected floor coverings. Use Hardies Scyon wet area flooring with an approved water proof membrane and floor tiles to bathroom & laundry areas
9	Waterproof membrane	Apply an approved waterproof membrane to all wet areas in accordance with: ➤ AS 3740 - Waterproofing of domestic wet areas.
10	Framework	All structural timber to floors, walls and roofing to be 90mm wide H2 treated and constructed in accordance with: ➤ Residential timber-framed construction- AS 1684.2-2010
11	Insulation	Insulation must be installed in accordance with: ➤ Part 3.12.1.1 of the Building Code of Australia. In some climate zones insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
12	External finishes	All new brickwork to be laid as face brickwork, Use selected weatherboard cladding on breathable foil insulation. ➤ Selected cladding must be installed to manufacturers installation instructions.
13	Internal linings	Use plasterboard linings and selected cornices in accordance with: ➤ AS/NZS 2589:2007 Gypsum linings Application and finishing- Use Villaboard and tiled walls to bathroom & Laundry areas. Ensure all wet area linings are installed in accordance with: ➤ Selected Manufacturers installation instructions.
14	Colour scheme	Natural timbers to be oiled finishes. Walls and roofing as per Schedule of finishes attached with the DA Roof & guttering to be selected colour - to be equivalent or darker than Windspray.
15	Roof & Guttering	New Colorbond roofing timber 70 x 45 purlins in accordance with: ➤ AS 1562.1:2018 Design and Installation of Sheet Roof and Wall Cladding – Metal. New Colorbond guttering and downpipes piped to new / existing Stormwater service in accordance with: ➤ AS 3500.3.2:1998. National plumbing and drainage ➤ Part 3.2: Stormwater drainage— Acceptable solutions
16	External Doors & Windows	Selected glazed entry door. Aluminium framed Bifold doors and sliding windows to be installed to: ➤ Manufacturer's installation instructions with all glazing in accordance with the BASIX commitments.
17	Decking	138 x 19 HWD Decking screw fixed on - H3 treated floor joists @ 450mm cts supported on bearers @ 1800mm cts and 230 isolated brick piers in accordance with: ➤ AS 1684.2-2010 - Residential timber-framed construction
18	Architraves	Selected 68 x 19 FJ Pine mouldings or to match existing.
19	Skirtings	Selected 90 x 19 FJ Pine mouldings or to match existing.



PROPOSED FIRST FLOOR PLAN

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CLIENT:	JON & LAURA DUCKER	DATE:	1st MARCH 2022					
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 5 of 9					

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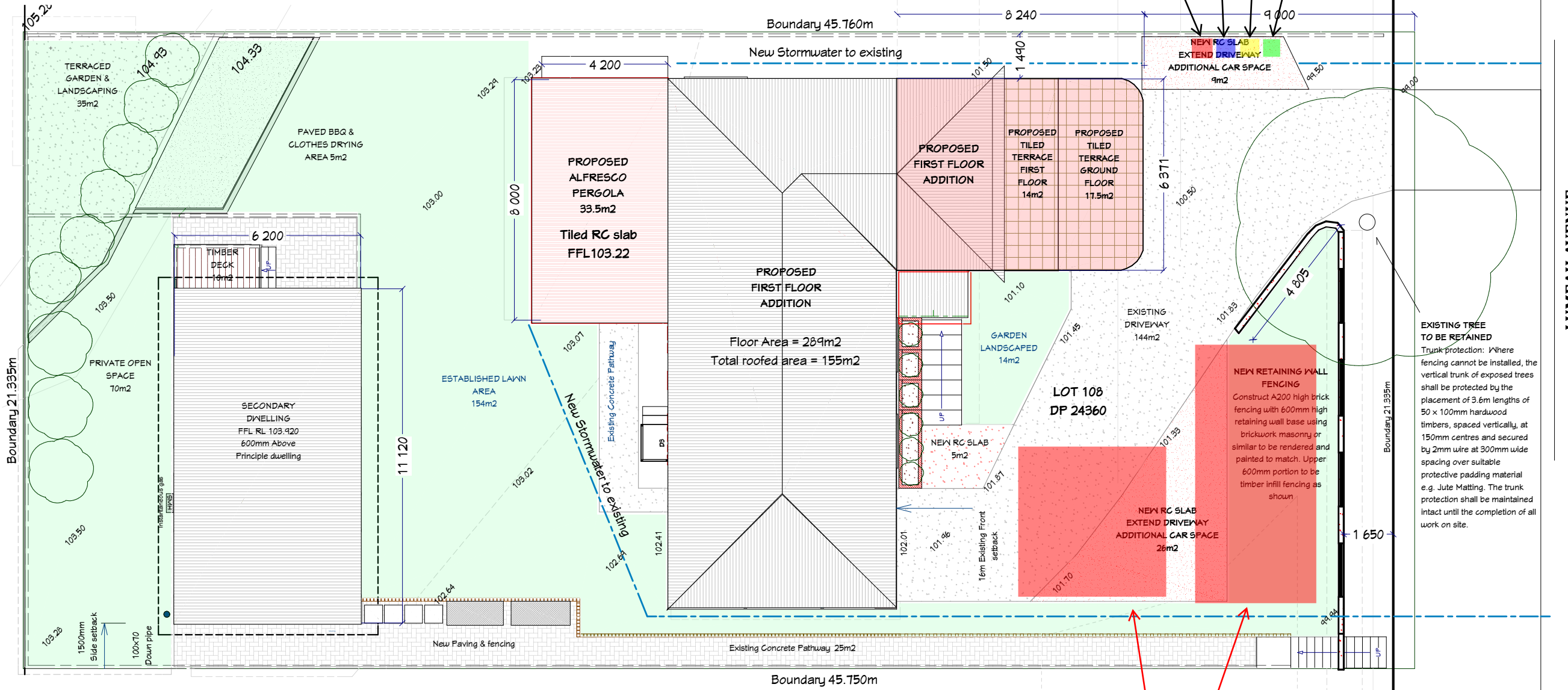
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All dimensions are to be checked and verified on site before commencement of work.

STORMWATER & SERVICES

Existing stormwater to be checked for adequacy.
If required - Excavate and replace stormwater to street.
Use 100mm / Dia - UPVC

WASTE MANAGEMENT

Check for Asbestos materials and use WH&S guidelines for its safe removal.
All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.
Ensure Waste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.

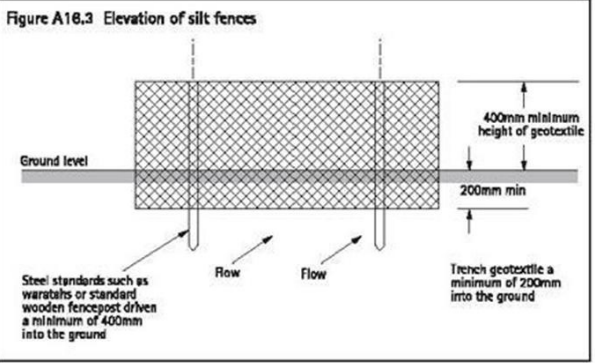


SITE COVERAGE CALCULATIONS	
Existing roofed area including secondary dwelling	180.5 m2
Existing verandah	28m2
Existing paving and driveway areas	144 m2
EXISTING SITE COVERAGE	352.5 m2
ADDITIONAL SITE COVERAGE	48 m2
PROPOSED SITE COVERAGE	400.5m2
SITE COVERAGE RATIO	41%
PRIVATE OPEN SPACE (rear yard)	198m2
LANDSCAPED AREA = 350sqm	36%

SITE AREA	
Existing Floor Area	104 m2
Existing Secondary dwelling	60m2
Additional First Floor area	154 m2
Additional Ground floor area	31 m2
Proposed patios and deck areas	65 m2
TOTAL FLOOR AREA (Without decks)	349 m2
FLOOR SPACE RATIO	35.75 %

SITE PLAN / SITE ANALYSIS
Scale 1 : 200mm

SEDIMENT CONTROL
Install 600mm high silt fencing or similar sediment barrier pegged as required.
Clear fencing of sediment periodically.
Sediment control barrier to be left in place until final surfaces have been established



PROJECT:	PROPOSED SECONDARY DWELLING	SCALE:	1:100mm
CLIENT:	JON & LAURA DUCKER	DATE:	5th NOVEMBER 2021
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 7 of 8

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All works to be carried out in accordance with the requirements of the National Construction Code & Building Code of Australia, including all relevant Australian Standards.
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All new Stormwater to be installed to Engineers details
Taylor Consulting engineers
DWG No - Storm 1 25th February 2022

Check for Asbestos materials and use WH&S guidelines for its safe removal.
All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.
Ensure Waste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.

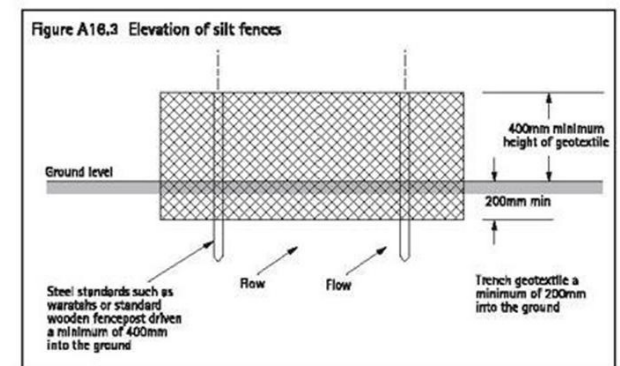


SITE AREA	976.2m2
Existing Floor Area	104 m2
Existing Secondary dwelling	60m2
Additional First Floor area	145 m2
Additional Ground floor area	31 m2
Proposed patios and deck areas	65 m2
TOTAL FLOOR AREA (Without decks)	340 m2
FLOOR SPACE RATIO	34.80 %

ADJOINING SINGLE
STOREY DWELLING

ADJOINING GARAGE

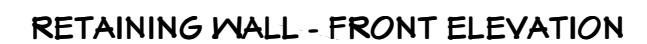
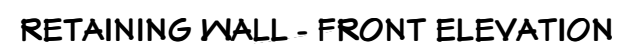
Install 600mm high silt fencing or similar sediment barrier pegged as required.
Clear fencing of sediment periodically.
Sediment control barrier to be left in place until final surfaces have been established



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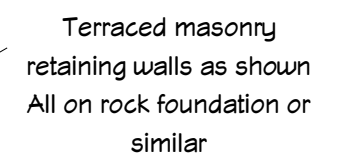


Scale 1:50mm



Install 600mm high silt fencing or similar sediment barrier pegged as required.

RETAINING WALL PLAN



RETAINING WALL - SECTION THRU

Scale 1:50mm



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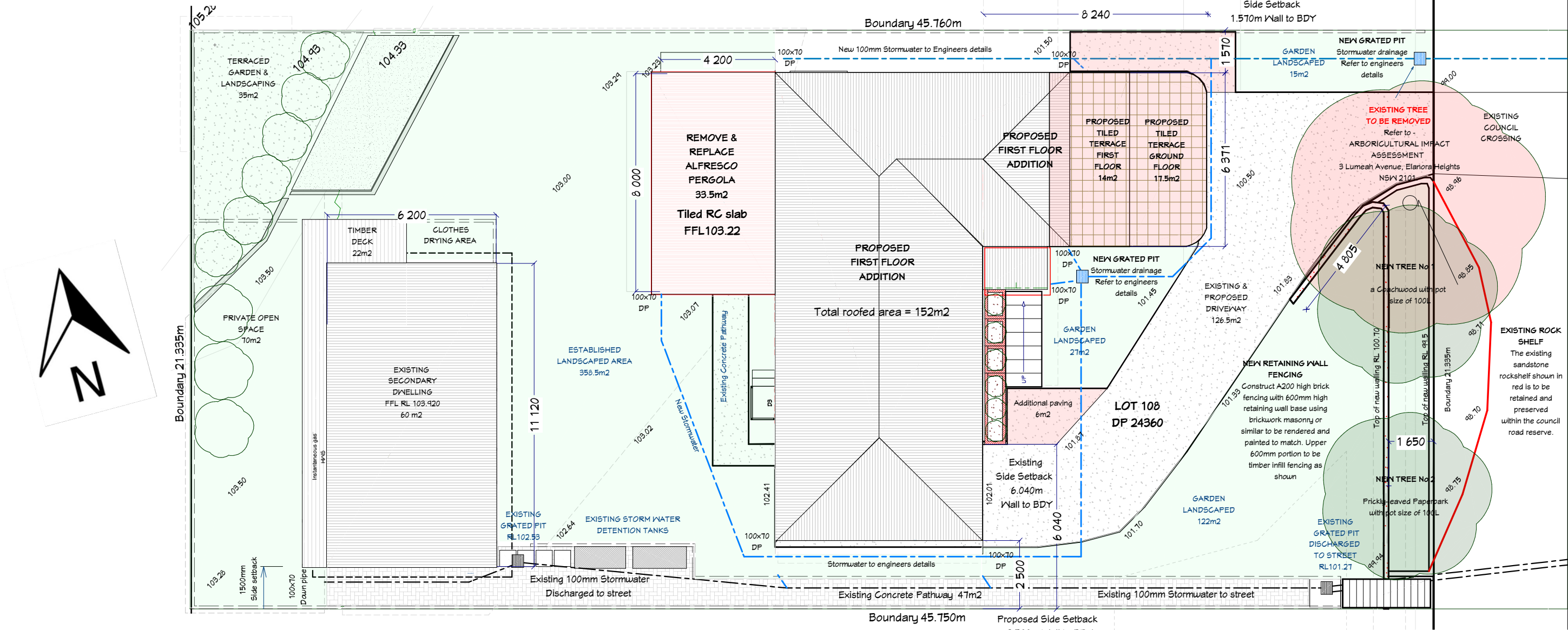
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STORMWATER & SERVICES

Existing stormwater to be checked for adequacy.
If required - Excavate and replace stormwater to street.
Use 100mm / Dia - UPVC

WASTE MANAGEMENT

Check for Asbestos materials and use WH&S guidelines for its safe removal.
All waste to be sorted on site and removed for recycling or landfill as per the Waste Management Plan.
Ensure Waste materials are removed from site ASAP to ensure the safety of occupants and visitors to site.



SITE COVERAGE CALCULATIONS	
Existing roofed area including secondary dwelling	180.5 m2
Existing verandah	28m2
Existing & proposed paving and driveway areas	173.5 m2
EXISTING SITE COVERAGE	382m2
ADDITIONAL SITE COVERAGE	72 m2
PROPOSED SITE COVERAGE	454m2
SITE COVERAGE RATIO	46.5%
PRIVATE OPEN SPACE (rear yard)	198m2
LANDSCAPED AREA = 522.5sqm	53.5%

SITE AREA	976.2m2
Existing Floor Area	104 m2
Existing Secondary dwelling	60m2
Additional First Floor area	154 m2
Additional Ground floor area	31 m2
Proposed patios and deck areas	65 m2
TOTAL FLOOR AREA (Without decks)	349 m2
FLOOR SPACE RATIO	35.75 %

LANDSCAPE CONCEPT PLAN
Scale 1 : 200mm


ADJOINING SINGLE
STOREY DWELLING

ADJOINING GARAGE

PLANTING SCHEDULE

Plant no	Type & species	Species
1	Coachwood	Ceratopetalum apetalum
2	Prickly-leaved Paperbark	Melaleuca styphelioides

PROJECT:	PROPOSED SECONDARY DWELLING	SCALE:	1:100mm
CLIENT:	JON & LAURA DUCKER	DATE:	24th NOVEMBER 2021
SITE ADDRESS:	3 LUMEAH AVENUE ELANORA HEIGHTS NSW	SHEET:	PAGE 8 of 9



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