



**Statement of
Environmental
Effects
at
9 Kananook Avenue Ave,
Bayview
NSW
For
Mr Daniel Finch**

RAPID PLANS

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1 INTRODUCTION

This Statement of Environmental Effects accompanies the development application for the proposed alterations and additions at 9 Kananook Avenue Bayview.

This statement seeks to express that the proposal complies with Council's Ordinances and has compliance with the Council's objectives.

This statement has been prepared pursuant to the provisions of the *Environmental Planning and Assessment Act 1979* (EP&A Act).

In formulating this Statement of Environmental Effects and Development Application, careful consideration has been given to the sensitivity of the site, its relationship with surrounding properties, and the unique character of the streetscape and the nature of the surrounding area. The proposed alteration and addition address the objectives and standards of the Pittwater Local Environmental Plan 2014 (the LEP), the Pittwater Development Control Plan 21 (the DCP)

This SEE demonstrates that the proposal is generally consistent with the relevant provisions of the State Environmental Planning Policy (BASIX), Pittwater Local Environment Plan 2014, Pittwater Development Control Plan 21

This Statement of Environmental Effects and Development Application proposal is reasonable when assessed against council DCP and LEP. It will create a positive contribution to the streetscape and will result in improved amenity for the existing occupants, with minimal impact on the local amenity and environment.

Our recommendation would see an approval from Council for this development application subject to the councils review of this Statement of Environmental Effects.

2 THE EXISTING BUILDING

2.1 Site

The residence is located on the Eastern side of Kananook Avenue in the residential neighbourhood of Bayview.

Site Address: No 9 Kananook Avenue, Bayview

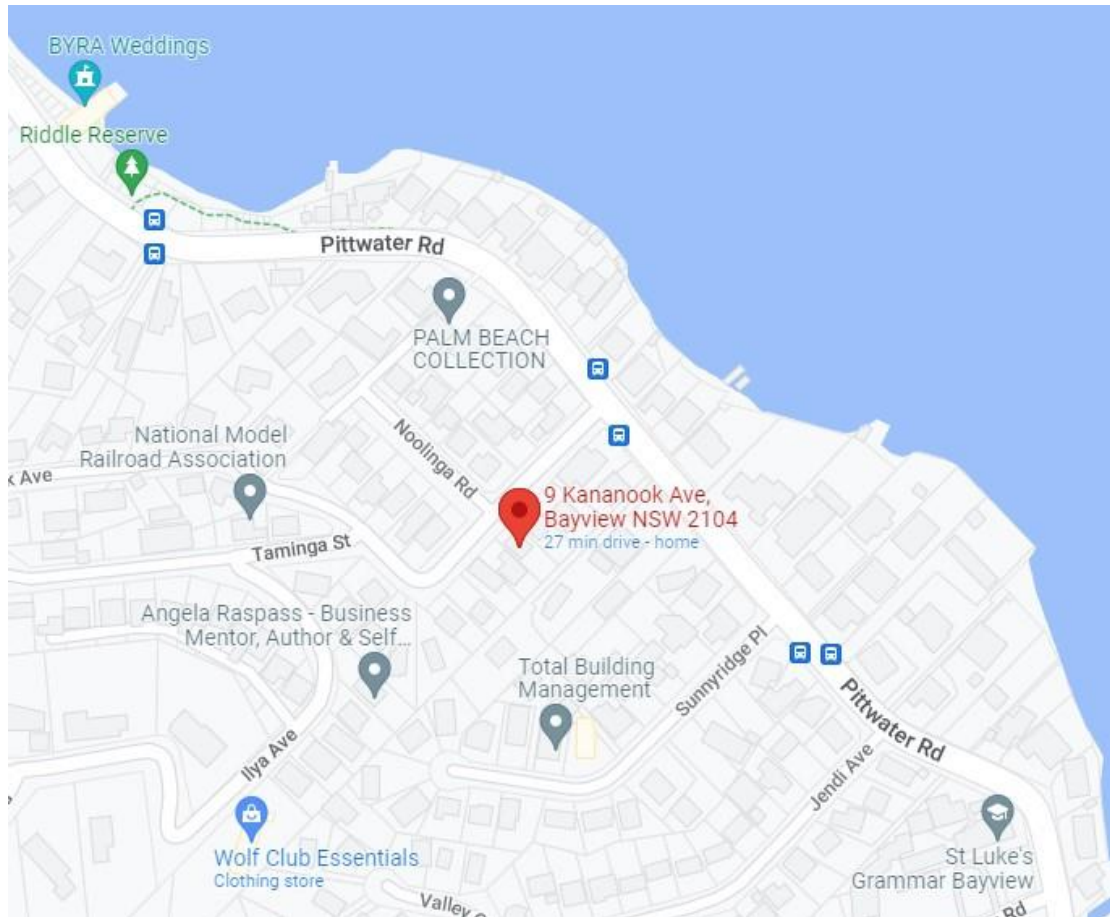


Figure 1: LOCATION PLAN, Source Google Maps

2.2 Local Authority

The local authority for this site is:
 Northern Beaches Council (Pittwater)
 Civic Centre, 725 Pittwater Road,
 Dee Why NSW 2099
 DX 9118 Dee Why
 Telephone: 9942 2111

2.3 Zoning

Lot 31 DP.11423 known as 9 Kananook Avenue, Bayview, has a Zoning of C4, Environmental Living. This property does not fall within a Conservation Area.

2.4 Planning Controls

Planning controls used for the assessment of this Development Application are:
Pittwater Local Environment Plan 2014
Pittwater Development Control Plan



Property Report

9 KANANOOK AVENUE BAYVIEW 2104



Property Details

Address: 9 KANANOOK AVENUE BAYVIEW 2104
Lot/Section /Plan No: 31/-/DP11423
Council: NORTHERN BEACHES COUNCIL

Summary of planning controls

Planning controls held within the Planning Database are summarised below. The property may be affected by additional planning controls not outlined in this report. Please contact your council for more information.

Local Environmental Plans	Pittwater Local Environmental Plan 2014 (pub. 30-5-2014)
Land Zoning	C4 - Environmental Living: (pub. 5-11-2021)
Height Of Building	8.5 m
Floor Space Ratio	NA
Minimum Lot Size	700 m ²
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Acid Sulfate Soils	Class 5
Terrestrial Biodiversity	Biodiversity

Detailed planning information

State Environmental Planning Policies which apply to this property

State Environmental Planning Policies can specify planning controls for certain areas and/or types of development. They can also identify the development assessment system that applies and the type of environmental assessment that is required.

FIGURE 2: Property report; 9 Kananook Avenue, Bayview,¹ Source Spatial Viewer DoPIE.

¹ DoPIE, Planning Portal <<https://www.planningportal.nsw.gov.au/spatialviewer/#/find-a-property/address>>.

2.5 Context and Streetscape

The house is situated in a street that is characterized by large trees and period homes. The street presents as typical of the garden suburb characterised by large lot properties, small shrubs and street trees.

The street trees are quite mature overhanging the road and the properties in the street have a mix of trees and small shrubs. The property is an existing two storey dwelling with residential dwellings directly opposite. Houses in the street are mainly single and double storey of varying periods with a mix of period homes & modern architectural style housing.

The locality is considered a large lot area. An important characteristic and element of Bayview significance as a garden suburb is the garden setting of its houses, and the flow of garden space around and between its houses.

2.6 Existing Areas of the Dwelling

The site has an existing two storey dwelling with concrete parking area to the basement at the front of the dwelling on the northern side.



Figure 3: Existing Street Frontage. Source Realestate.com

2.7 Existing off-street parking

There is parking available for two cars on the existing concrete driveway and garage areas. There is no necessity for street parking.

2.8 Existing Landscaping

The landscaping to the existing property consists of scattered shrubs with small and large trees used for screening on the property. To the rear yard there are scattered small, medium and large sized trees, with a flowing lawn area to the property. The existing landscaping is to be maintained where possible for this development.



Figure 4: Aerial View. Source NB Council

3 THE PROPOSAL

Visual character of the street will remain consistent with the local dwellings as one that maintains the garden suburb. The proposal will include the demolition of minor elements of the existing dwelling and the construction of a new alterations and additions to the existing dwelling. The appearance & bulk of the building is to be in keeping with surrounding properties and the existing dwelling.

The proposed works provide for minor alterations and additions to the existing deck areas located on the northern façade. This includes incorporating the existing northern side boundary deck areas into internal space that will provide increased amenity to the existing lower floor and upper floor bedrooms.

The existing ground floor level will include additions to the existing front and side deck areas that will add internal floor space to the existing ground floor bedrooms. Bedroom five will be increased providing for increased areas and a new ensuite. Bedroom two will be extended to provide increased floor area, the existing front deck will be incorporated into a new sunroom style living area. These works increasing the privacy to the existing neighbours as the existing side decks will be replaced via internal bedroom and living areas, reducing the overlooking to the northern neighbours

Works to the existing upper floor will incorporate a new addition to the existing master bedroom room to provide for increased floor space, the existing upper floor deck area will have the existing tiles removed and replaced due to ongoing leak issues, this will include a new glass handrail and awning roof to provide window shading to the lower floor works.

The proposal is in sympathy with the existing residence maintaining the scale and character of a house and the garden suburb.

3.1 Features of the Proposal

Externally the proposal encompasses:

- New ground floor alterations and additions
- New upper floor alterations additions
- Replace Upper floor deck tiles and water proofing
- New awning roof to new windows

Internally the proposal encompasses:

- New ground floor ensuite and bedroom additions
- New Sunroom
- New upper floor bedroom addition

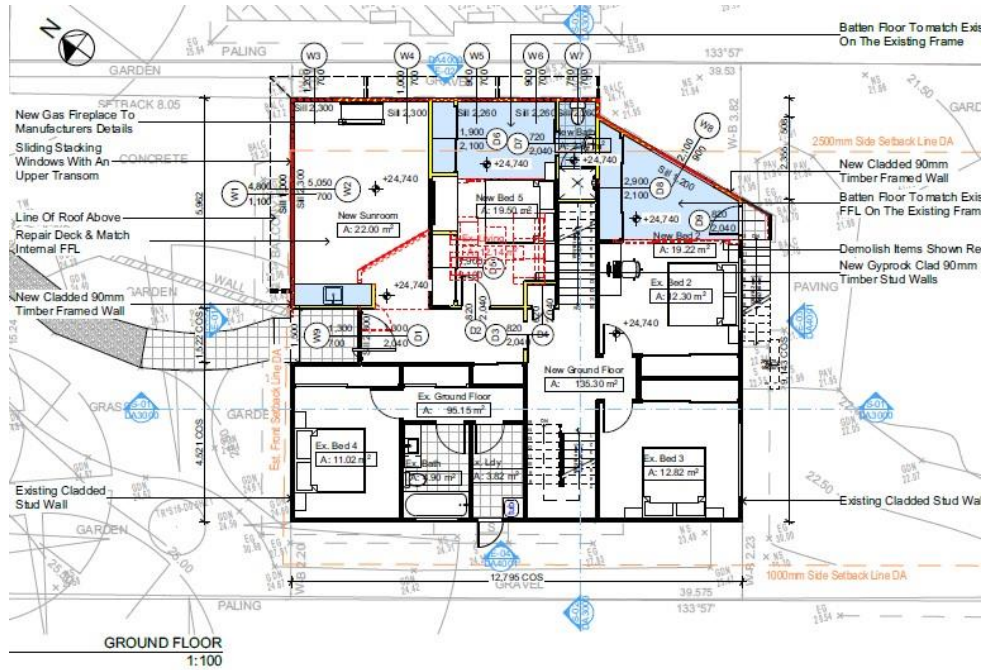


Figure 5: Ground Floor Plan

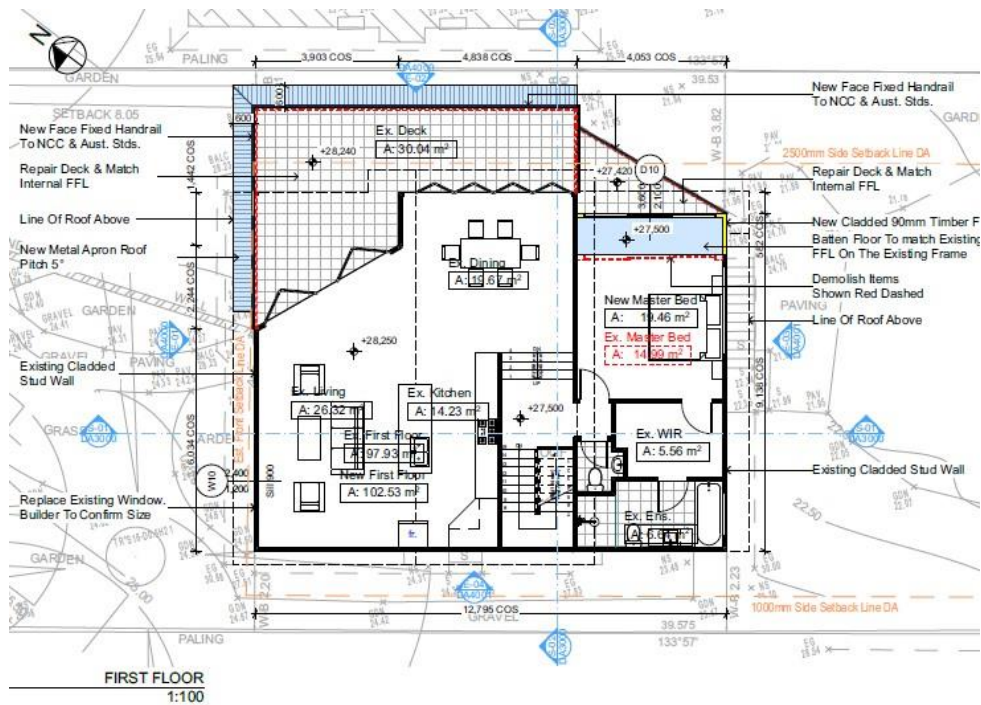


Figure 6: Upper Floor Plan

3.2 Present and Future uses of the Residence

The present use of the residence is as a detached private residence on its own title, and this will **not** change with the proposal.

3.3 Purpose for the new dwelling

The new proposal provides for the demolition of elements of the current old dwelling to provide for the construction of a new more efficient and sustainable dwelling providing better provision for privacy, living & entertaining areas for the residents whilst maintaining the bulk of the dwelling that is fitting for the Bayview area.

The owner is looking to provide a modernised sustainable dwelling that is usable for the owner's family as well as complimenting the aesthetics of the Bayview area. This incorporates the repairs works required to the existing deck areas as the existing waterproof membrane has failed in many areas.

The outdoor living area maximises the northerly and westerly aspect for the property towards Bayview and views to Pittwater. The design maximizes the existing area of land with landscaping maintained providing for better access and amenity for the new dwelling. The proposed development maintains the aspects improving the lifestyle for the resident as well as making the residence much more energy efficient and environmentally friendly.

3.4 Materials and finishes proposed to be used

Materials proposed to be used externally, are new, weatherproof, durable and aesthetically pleasing, reflecting and fitting in generally with the existing built environment and surrounding materials and reflecting the existing materials and design of the existing residence.

External materials used, and colours selected for finishing to new works are generally sympathetic to the local built environment, comprising of:

Cladded Exterior stud walls

Alloy/Timber windows & doors to match existing

Concrete and or Timber deck painted/stained

Metal deck Colourbond roofs and pergolas

3.5 Height

The height of the new development will not exceed the 8.5m height limit.

3.6 Site Controls

Proposed Development	Proposed	Allowable
Site Area	602.7 sq m	-
Height	9.140m (Exist)	8.5m
Landscape Open Space	343.33sq m (Exist)	60% (min)
Landscape Impervious	259.37 sq m (Exist)	Yes

The existing height & landscaped areas are maintained for this proposal.

3.7 Setbacks and Siting

Proposed Development	Proposed	Allowable
Front Set Back East Bdy	8.016m (Exist established)	8.016m
Rear Set Back (West Bdy)	18.525m	6.0m
Side Set Back (Nth – Sth)	Nth 0.995m Sth 2.198m	1.0m 2.5m

The side setback of the new addition with deck aligns vertically with the existing dwelling. The additions providing for an increased sense of openness to the property and is in keeping with the surrounding dwellings.

3.8 Access and Traffic

Due regard has been given to pedestrian and vehicular access. The proposal shows that the existing crossover access from 9 Kananook Avenue is to be maintained with the driveway there is existing parking to maintain the Council parking provision & provide safe vehicle movements. The proposed development will have no detrimental impact on traffic flow.

3.9 Privacy, Views and Outlook

The positioning of windows and open space in the proposed residence at No 9 Kananook Avenue has minimal impact on the visual and acoustic privacy of adjoining properties. The siting and design of the proposed addition minimizes overlooking into

neighbours' living areas and in fact increases the privacy to the northern neighbours, and recreation space with the proposed windows & doors facing the neighbours to have raised sills. The masonry, cladded stud walls and privacy screens provide a barrier to the neighbours on the adjacent boundaries and the new deck areas of the primary dwelling, this does not directly impact neighbouring properties.

3.10 Solar Access and Overshadowing

The site slopes up from the east to west. The location of the proposed dwelling has been designed to maximize the northerly solar aspect with minimal impact on neighbour's properties. The bulk of the wall & roof shadowing will be to the existing areas. Shadow diagrams show that adequate sunlight will be provided to the neighbours private open space areas with minimal impact to adjacent properties.

3.11 Acoustic Privacy

Acoustic privacy has been increased across the development. The masonry walls, cladded timber framed walls and insulated timber floors on the property act as a buffer to noise as well as careful planting. It is considered that this development imposes reduced noise impact to neighbours.

3.12 Water Management

Appropriate water management measures have been adopted in this development. Stormwater from new roofed areas will be fed into the existing stormwater drainage system and piped to the street gutter.

4 BIODIVERSITY CONSERVATION ACT 2016 NO 63

1.1 Name of Act

This Act is the *Biodiversity Conservation Act 2016*.²

1.2 Commencement

This Act commences on a day or days to be appointed by proclamation.

1.3 Purpose of Act

² NSW Government, Legislation, Biodiversity Conservation Act 2016;

<<https://legislation.nsw.gov.au/view/html/inforce/current/act-2016-063#statusinformation>>.

The purpose of this Act is to maintain a healthy, productive and resilient environment for the greatest well-being of the community, now and into the future, consistent with the principles of ecologically sustainable development (described in section 6(2) of the *Protection of the Environment Administration Act 1991*), and in particular—

- (a) to conserve biodiversity at bioregional and State scales, and
- (b) to maintain the diversity and quality of ecosystems and enhance their capacity to adapt to change and provide for the needs of future generations, and
- (c) to improve, share and use knowledge, including local and traditional Aboriginal ecological knowledge, about biodiversity conservation, and
- (d) to support biodiversity conservation in the context of a changing climate, and
- (e) to support collating and sharing data, and monitoring and reporting on the status of biodiversity and the effectiveness of conservation actions, and
- (f) to assess the extinction risk of species and ecological communities, and identify key threatening processes, through an independent and rigorous scientific process, and
- (g) to regulate human interactions with wildlife by applying a risk-based approach, and
- (h) to support conservation and threat abatement action to slow the rate of biodiversity loss and conserve threatened species and ecological communities in nature, and
- (i) to support and guide prioritised and strategic investment in biodiversity conservation, and
- (j) to encourage and enable landholders to enter into voluntary agreements over land for the conservation of biodiversity, and
- (k) to establish a framework to avoid, minimise and offset the impacts of proposed development and land use change on biodiversity, and
- (l) to establish a scientific method for assessing the likely impacts on biodiversity values of proposed development and land use change, for calculating measures to offset those impacts and for assessing improvements in biodiversity values, and
- (m) to establish market-based conservation mechanisms through which the biodiversity impacts of development and land use change can be offset at landscape and site scales, and
- (n) to support public consultation and participation in biodiversity conservation and decision-making about biodiversity conservation, and
- (o) to make expert advice and knowledge available to assist the Minister in the administration of this Act.

Objectives of the Biodiversity Act are to conserve biological diversity along with the traditional knowledge of its use, to promote its sustainable use and to ensure equitable sharing of any benefits that arise out of the use of this biological diversity and traditional knowledge

The proposed have minimal impacts to the existing landscaped areas with the proposed works generally elevated or over existing hard surface areas. The proposed design solution provides a private residence that is both architecturally and environmentally responsive to the needs of the site and local community with minimal impact of the existing vegetation and habitat.

The proposed additions are sympathetic and consistent with the existing character of the surrounding streetscape and residential density of Bayview.

5 ENERGY EFFICIENCY

Energy conservation is an important feature in the design of this development. Careful consideration has been given to promote sustainable design. Solar passive design will promote heating during winter months and cooling during summer months.

5.1 Orientation

The living spaces have been designed to make maximum use of the existing dwelling as well as the northerly & easterly aspects.

5.2 Passive Solar Heating

The living spaces have timber floors and masonry and timber framed walls. The outdoor areas are to be concrete to promote heating during the winter months. Materials that have good thermal mass have been proposed to maximize the heating potential of the sun. This is to reduce the need to use active systems for the heating of the living spaces.

5.3 Passive Cooling

Overhangs and pergola roofs have been designed to prevent the sun from entering the house during the summer months & to provide compliance with Basix certificate. There is the potential for cross ventilation cooling with the sliding open doors and windows maximizing the north-easterly breezes to assist in passive cooling.

5.4 Natural light

Large open windows and doors to the north & east enable the living spaces to have generous amounts of sun during the winter months and natural light during the summer months.

5.5 Insulation and Thermal Mass

The development will be constructed from a timber framed construction. As well as providing for acoustic and fire requirements this construction provides a good thermal mass for the house and building through sustainable timber products. The new works

to the house shall be thermally insulated in the floor with R0.7 insulation, R1.7 batts to the exterior walls and where necessary to the roof and ceiling areas.

5.6 Waste Management

This proposal promotes waste minimization and would have minimal impact on existing waste management strategies. Ample space for the separation and temporary storage of waste and recycling bins has been allowed in the existing garage. Household effluent will be disposed of to Sydney Water requirements. During construction onsite sedimentary controls, including hay bales and filter barriers, will be used to prevent stormwater pollution. On site sorting of construction waste will ensure maximum recycling occurs.

5.7 Siting and Setback

Bayview is noted for the uniformity and the site coverage siting. Most houses are free standing with the car access to the front or down one side. 9 Kananook Avenue is a good example of this in that it has its car parking in the front existing garage and driveway removing cars parked on the street. The siting of the house is relevant to the shape of the block & neighbouring properties with the entry to be maintained. There have been generous areas of ground dedicated to the planting of landscaped areas in both the front and the rear areas of the house.

5.8 Building Form

Residential buildings in Bayview are uniformly single and double storey and similar in bulk. They are similar in shape but remain individually designed.

The new wall facades are to be cladded in sympathy with surrounding dwellings. The new works have been designed to provide an overall look of the building form & to create a modern design that suites the area.

5.9 Roof Form

Roofs of this housing period are usually quite simple and accentuate the single and double storey scale of the house. The new dwelling has a pitched metal roof under this proposal.

5.10 Walls

A distinctive feature of the Bayview house is that the walls are constructed from masonry and cladded timber frame. The design incorporates these walls into the new

works to create a seamless finish to the property.

5.11 Windows and Doors

A variety of window shapes and sizes can be found in the Bayview area. These individualize each of the homes giving each a unique character. Windows are typically rectangular in shape and are of a vertical proportion. Bay windows are also used although sliding, double hung and casement types are more typical. Windows and doors are usually made from alloy or timber and are invariably painted.

The proposed sliding windows and doors at 9 Kananook Avenue are to be constructed in timber or aluminium. Care has been taken not to create privacy issues with neighbouring properties & provide ample natural light & airflow for the owners.

5.12 Garages and Carports

The freestanding houses in Bayview allowed for the cars to drive to the front or down the side of the house. This development maintains existing garage with parking available on the existing driveway for multiple vehicles.

5.13 Colour Scheme

The colour scheme of the proposed addition will be in sympathy with the period of the original house.

Please refer to Appendix 1 for the Colour Scheme schedule

5.14 Fences and Gates

Fences & gates are maintained for this development.

5.15 Garden Elements

The garden areas are to be maintained for this development promoting the concept of a garden suburb.

6 CONCLUSION

6.1 Summary

This proposal is considered suitable for the site and provides a balance between environmental living, amenity and outdoor space. The proposed alterations and additions to 9 Kananook Avenue are sympathetic and consistent with the existing character of the surrounding streetscape and residential density of Bayview. The proposed design solution provides a private residence that is both architecturally and environmentally responsive to the needs of the site and local community. Cladded walls, timber floors, window orientation, natural daylight and ventilation combine to greatly improve the immediate and future amenity of this residence. These factors work together to minimize the impact of the proposed development on adjoining properties and enhance the amenity of the surrounding area. We consider that the proposal will impose minimal impact and request that council support the Development Application.

7 APPENDIX 1 – Schedules

7.1 Schedule of finishes

Schedule of Exterior Materials, Finish and Colours

EXTERIOR ELEMENT	MATERIAL	FINISH	AS 2700 1996 COLOUR
7.1.1 Walls	Cladded Stud	Paint	By Owner
7.1.2 Gutter	Colorbond	Light, Medium & Dark	By Owner
7.1.3 Deck Posts	Timber/Steel	Paint	By Owner
7.1.4 Door frame	Timber/Aluminium	Paint	By Owner
7.1.5 Door	Timber & glass	Paint	By Owner
7.1.6 Window	Timber/Aluminium & glass	Paint	By Owner
7.1.7 Decks	Timber	Tile/Boards	By Owner
7.1.8 Handrails	Glass	Glass	By Owner