



ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

DEVELOPMENT APPLICATION

THESE PLANS ARE FOR DEVELOPMENT APPROVAL ONLY.

ITEM DETAILS		DEVELOPMENT APPLICATION		
ADDRESS	174 WOORARRA AVENUE, ELANORA HEIGHTS NSW 2101			
LOT & DP/SP	LOT 1 DP 514777			
COUNCIL	NORTHERN BEACHES COUNCIL (PITTWATER)			
SITE AREA	645m ²			
FRONTAGE	19.2m			
CONTROLS	PERMISSIBLE / REQUIRED	EXISTING	PROPOSED	COMPLIANCE
	<i>m / m² / %</i>	<i>m / m² / %</i>	<i>m / m² / %</i>	
LEP				
LAND ZONING	E4 – ENVIRONMENTAL LIVING	<i>E4</i>	<i>E4</i>	YES
MINIMUM LOT SIZE	550m ²	<i>645m²</i>	<i>UNCHANGED</i>	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	<i>N/A</i>	<i>N/A</i>	N/A
MAXIMUM BUILDING HEIGHT	8.5m	<i>6.9m</i>	<i>UNCHANGED</i>	YES
HAZARDS				
ACID SULFATE SOILS	CLASS 5	<i>N/A</i>	<i>N/A</i>	N/A
BIODIVERSITY	IDENTIFIED	<i>N/A</i>	<i>N/A</i>	N/A
BUSHFIRE PRONE LAND	VEGETATION CATEGORY 1	<i>N/A</i>	<i>N/A</i>	N/A
GEOTECHNICAL HAZARD H1/H2	H1	<i>N/A</i>	<i>N/A</i>	N/A
SEPP COASTAL MANAGEMENT	IDENTIFIED	<i>N/A</i>	<i>N/A</i>	N/A
DCP				
SIDE BOUNDARY ENVELOPE	3.5m	<i>N/A</i>	<i>N/A</i>	YES
SIDE BOUNDARY SETBACKS	W: 2.5m	<i>W: 1.272m</i>	<i>W: UNCHANGED</i>	NO
	E: 1m	<i>E: 0.913m</i>	<i>E: UNCHANGED</i>	NO
FRONT BOUNDARY SETBACK	6.5m	<i>7.045m</i>	<i>UNCHANGED</i>	YES
REAR BOUNDARY SETBACK	6.5m	<i>20.075m</i>	<i>UNCHANGED</i>	YES
LANDSCAPE OPEN SPACE	AREA 1 60% (387m ²)	<i>50% (334.54m²)</i>	<i>48% (309.97m²)</i>	NO
PRIVATE OPEN SPACE	80m ²	<i>89m²</i>	<i>UNCHANGED</i>	YES

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
DA00	COVER	15/09/2020
DA01	NOTATION	15/09/2020
DA02	SITE ANALYSIS	15/09/2020
DA03	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	15/09/2020
DA04	EXISTING GROUND FLOOR PLAN	15/09/2020
DA05	PROPOSED GROUND FLOOR PLAN	15/09/2020
DA06	EXISTING FIRST FLOOR PLAN	15/09/2020
DA07	PROPOSED FIRST FLOOR PLAN	15/09/2020
DA08	NORTH / EAST ELEVATION	15/09/2020
DA09	SOUTH / WEST ELEVATION	15/09/2020
DA10	LONG / CROSS SECTION	15/09/2020
DA11	CARPORT LONG / CROSS SECTION	15/09/2020
DA12	AREA CALCULATIONS / SAMPLE BOARD	15/09/2020
DA13	WINTER SOLSTICE 9 AM	15/09/2020
DA14	WINTER SOLSTICE 12 PM	15/09/2020
DA15	WINTER SOLSTICE 3 PM	15/09/2020
DA16	BASIX COMMITMENTS	15/09/2020

174 WOORARRA AVENUE,
ELANORA HEIGHTS NSW 2101



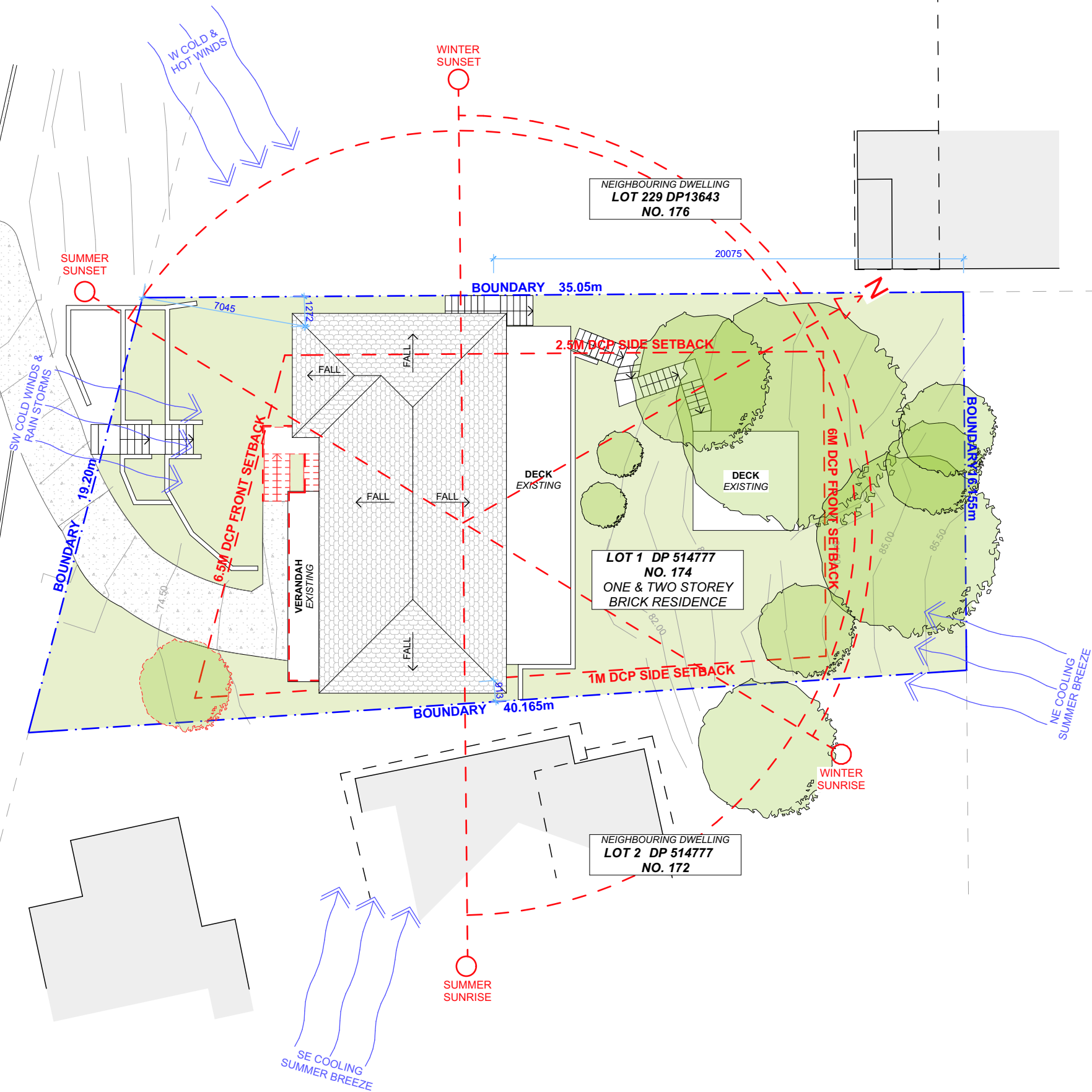
NCC & AS COMPLIANCES SPECIFICATIONS

- EARTHWORKS - PART 3.1.1 OF NCC
- EARTH RETAINING STRUCTURES - PART 3.1.2 OF NCC
- DRAINAGE - PART 3.1.3 OF NCC
- TERMITE-RISK MANAGEMENT - PART 3.1.4 OF NCC
- FOOTINGS & SLAB - PART 3.2 OF NCC INCLUDING AS 2870-2011
- MASONRY - PART 3.3 OF NCC INCLUDING AS 3700:2018
- FRAMING - PART 3.4 OF NCC
- SUB FLOOR VENTILATION - PART 3.4.1 OF NCC
- ROOF CLADDING AND WALL-CLADDING - PART 3.5 OF NCC
- GLAZING - PART 3.6 OF NCC INCLUDING AS 1288
- FIRE SAFETY - PART 3.7 OF NCC
- FIRE SEPARATION OF EXTERNAL WALLS - PART 3.7.2 OF NCC
- FIRE PROTECTION OF SEPARATING WALLS AND FLOORS- PART 3.7.3 OF NCC
- SMOKE ALARMS - PART 3.7.5 OF NCC
- WET AREAS AND EXTERNAL WATERPROOFING - PART 3.8.1 OF NCC
- ROOM HEIGHTS - PART 3.8.2 OF NCC
- FACILITIES - PART 3.8.3 OF NCC
- LIGHT - PART 3.8.4 OF NCC
- VENTILATION - PART 3.8.5 OF NCC
- SOUND INSULATION - PART 3.8.6 OF NCC
- STAIRWAYAND RAMP CONSTRUCTION - PART 3.9.1 OF NCC
- BARRIERS AND HANDRAILS - PART 3.9.2 OF NCC
- SWIMMING POOLS - PART 3.10.1 OF NCC
- CONSTRUCTION IN BUSHFIRE PRONE AREAS - PART 3.10.5 OF NCC
- FENCING & OTHER PROVISIONS - REGS & AS1926.1 2012
- DEMOLITION WORKS - AS2601-2001 THE DEMOLITION OF STRUCTURES.
- WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740-2010
- ALL PLUMBING & DRAINAGE WORK TO COMPLY WITH AS 3500:2018
- ALL PLASTERBOARD WORK TO COMPLY WITH AS 2588:2018
- ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 4100-1992 & AS 1554
- ALL CONCRETE WORK TO COMPLY WITH AS 3600:2018
- ALL ROOF SHEETING WORK TO COMPLY WITH AS 1562.1-2018
- ALL SKYLIGHTS TO COMPLY WITH AS 4285-2019
- ALL CERAMIC TILING TO COMPLY WITH AS 3958.1-2007 & 3958.2-1992
- ALL GLAZING ASSEMBLIES TO COMPLY WITH AS 2047-2014 & 1288
- ALL TIMBER RETAINING WALLS ARE TO COMPLY WITH AS 1720.1-2010, AS 1720.2-2006, AS 1720.4-2006, AS 1170.1-2002 & AS 1170.4-2007
- ALL RETAINING WALLS ARE TO COMPLY WITH 3700:2018 & AS 3600:2018
- ALL CONSTRUCTION TO COMPLY WITH AS 3959:2018

NOTES

- APPROVED MEANS BY THE ‘RELEVANT LOCAL AUTHORITY’ OR COUNCIL
- THE OWNER WILL DIRECTLY PAY THE FEES ASSOCIATED WITH THE FOLLOWING:
BUILDING APPROVAL FROM COUNCIL, FOOTPATH AND KERB DEPOSITS WITH THE LOCAL COUNCIL, INSURANCE FEE TO BUILDING SERVICES CORPORATION, LONG SERVICE LEAVE SERVICE LEVY FEE AND APPROVAL FEE BY WATER AND SEWERAGE AUTHORITY. ALL OTHER FEES ARE TO BE PAID BY THE BUILDER. THE AMOUNT OF ANY LOCAL AUTHORITY DEPOSITS WHICH ARE FORFEITED DUE TO DAMAGE OR OTHER CAUSE WILL BE DEDUCTED FROM THE PAYMENTS DUE TO THE BUILDER.
- THE BUILDER IS TO PROVIDE AT HIS/HER OWN EXPENSE ADEQUATE PUBLIC RISK INSURANCE AND ARRANGE INDEMNIFICATION UNDER THE WORKERS COMPENSATION ACT. WORKS INSURANCE TO BE STATED IN THE CONTRACT CONDITIONS.
- ALL WORK TO BE CARRIED OUT IN A TRADESMEN LIKE MANNER AND IN ACCORDANCE WITH THE STANDARDS CODES AND REGULATIONS OF THE STANDARDS ASSOCIATION OF AUSTRALIA, BUILDING CODE OF AUSTRALIA AND ANY STATUTORY AUTHORITY HAVING JURISDICTION OVER THE WORK.
- ALL TENDERERS ARE TO VISIT THE SITE TO SATISFY THEMSELVES AS TO THE NATURE AND EXTENT OF THE WORKS, FACILITIES AVAILABLE AND DIFFICULTIES ENTAILED IN THE WORKS AS VARIATIONS WILL NOT BE ALLOWED DUE TO WORK ARISING OWING TO NEGLIGENCE OF THIS CLAUSE.
- ALL WORK AND MATERIALS TO COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS AT THE TIME OF COMMENCEMENT WERE APPLICABLE.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL STRUCTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH ANY SUCH WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- SET OUT DIMENSIONS SHOWN ON THIS DRAWING SHALL BE VARIFIED BY THE BUILDER ON SITE BEFORE COMMENCEMENT OF ANY WORK. DIMENSIONS SHOULD NOT BE OBTAINED BY SCALING THE DRAWINGS. USE ONLY FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN MILLIMETRES.
- THE BUILDER IS TO ENSURE ALL CONSTRUCTION, LEVELS AND OTHER ITEMS COMPLY WITH THE CONDITIONS OF THE BUILDING APPROVAL.
- THE BUILDER IS TO COMPLY WITH ALL ORDINANCES, LOCAL AUTHORITY REGULATIONS AND THE REQUIREMENTS OF ALL SERVICES SUPPLY AUTHORITIES HAVING JURISDICTION OVER THE WORKS.
- ALL PLUMBING AND DRAINAGE WORK TO BE INSTALLED AND COMPLETED BY A LICENCED TRADESMAN AND IN ACCORDANCE WITH THE STATUTORY BODY HAVING AUTHORITY OVER THE WORKS. CONNECT ALL WASTE TO SYDNEY WATER SEWER LINE
- ALL NEW DOWNPIPES ARE TO BE CONNECTED TO THE EXISTING STORM WATER SYSTEM.
- ALL POWER AND STORMWATER OUTLET LOCATIONS SHALL BE DETERMINED ON SITE BY THE OWNER.
- SMOKE DETECTOR ALARM TO BE INSTALLED IN ACCORDANCE WITH AS3786 AND THE BUILDING CODE OF AUSTRALIA.
- ELECTRICAL WORK TO BE IN ACCORDANCE WITH SAA WIRING RULES AND BE DONE BY A LICENCED TRADESMAN
- ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL, EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS SUPPLIED BY THE ENGINEER.
- ALL TIMBER SIZES AND CONCRETE DETAILS TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL STRUCTURAL WORK IS TO BE IN ACCORDANCE WITH THE STRUCTURAL DETAILS PREPARED BY A STRUCTURAL ENGINEER (i.e.) PIERS, FOOTINGS, CONCRETE SLABS, RETAINING WALLS, STEELWORK, FORMWORK, UNDERPINNING, ADDITIONAL STRUCTURAL LOADS, TIMBER FRAMING, WIND BRACING AND ASSOCIATED CONNECTIONS. BUILDER TO OBTAIN PRIOR TO FINALISING TENDER.
- ANY WORK INDICATED ON THE PLANS BUT NOT SPECIFIED, AND ANY ITEM NOT SHOWN ON THE PLAN WHICH IS OBVIOUSLY NECESSARY AS A PART OF CONSTRUCTION AND/OR FINISH IS TO BE CONSIDERED AS SHOWN AND SPECIFIED, AND IS TO BE DONE AS PART OF THE CONTRACT. VARIATIONS WILL NOT BE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE OWNER.
- THE BUILDER SHALL PROVIDE SEDIMENT AND SILTRATION CONTROL MEASURES AS REQUIRED BY COUNCIL AND MAINTAIN THEM THROUGH THE DURATION OF THE WORKS.
- A LEGIBLE COPY OF THE PLANS BEARING APPROVAL STAMPS MUST BE MAINTAINED ON THE JOB AT ALL TIMES. HOURS OF CONSTRUCTION WILL BE RESTRICTED TO THE TIMES AS REQUIRED BY THE BUILDING APPROVAL.
- THE BUILDER IS TO ARRANGE FOR ALL INSPECTIONS REQUIRED BY THE AUTHORITIES AND LENDING INSTITUTIONS TO THEIR REQUIREMENTS.
- THE BUILDER IS TO OBTAIN APPROVAL FOR INTERRUPTIONS TO EXISTING SERVICES AND MINIMISE THE DURATION AND NUMBER OF INTERRUPTIONS. ANY INTERRUPTIONS WITH EXISTING SERVICES AND EQUIPMENT TO BE ATTENDED TO BY THE APPROPRIATELY SKILLED TRADESMEN.
- THE BUILDER SHALL RESTORE, REINSTATE OR REPLACE ANY DAMAGE CAUSED TO EXISTING STRUCTURES OR LANDSCAPING BY CONSTRUCTION WORK OR WORKMEN. PROVIDE PROTECTION TO EXISTING TREES TO REMAIN AS REQUIRED BY APPROVAL CONDITIONS.
- ALL BRICKWORK IS TO BE SELECTED BY OWNER AND IS TO COMPLY WITH AS1640
- ALL MASONRY TO COMPLY WITH AS3700
- ALL METALWORK AND FLASHING ITEMS NECESSARY TO SATISFACTORY COMPLETE WORK SHALL BE PROVIDED.
- ALL GUTTERS, DOWNPIPES TO BE COLORBOND.
- ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARD 1684 “TIMBER FRAMING CODE”
- ALL GLAZING INSTALLED TO COMPLY WITH AS1288, 2047 AND IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION
- ALL WALL AND CEILING LININGS TO BE PLASTERBOARD OR CEMENT RENDER AS SELECTED AND VILLA BOARD IN WET AREAS, TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS OR INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION.
- ALL BATHROOMS AND WET AREAS TO BE ADEQUATELY WATERPROOFED TO MANUFACTURERS SPECIFICATION AND AS3740 AND PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISIONS
- STAIRS AND BALUSTRADES TO COMPLY WITH PART 3.9.1 & 3.9.2 OF THE BUILDING CODE OF AUSTRALIA HOUSING PROVISION.
- TERMITE PROTECTION MEASURES TO COMPLY WITH AS 3660 AND BE INSTALLED TO MANUFACTURERS SPECIFICATION.
- ANY DETAILING ADDITIONAL TO THAT SUPPLIED, SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER TO THE OWNERS APPROVAL. EXCEPT FOR ANY STRUCTURAL DETAILS OR DESIGN WHICH IS TO BE SUPPLIED BY THE STRUCTURAL ENGINEER.

WOORARRA AVENUE



STREET VIEW



LOCATION MAP



AERIAL MAP

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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C	01/09/20	SECOND DESIGN AMENDMENT	RNA
D	14/09/20	DA DOCUMENTATION	LRP

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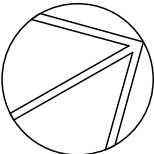
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DRAWING NO.
DA02

DATE
Tuesday, 15
September 2020

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SITE ANALYSIS

SCALE
1:200 @A3





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DA03

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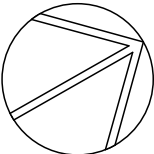
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September 2020

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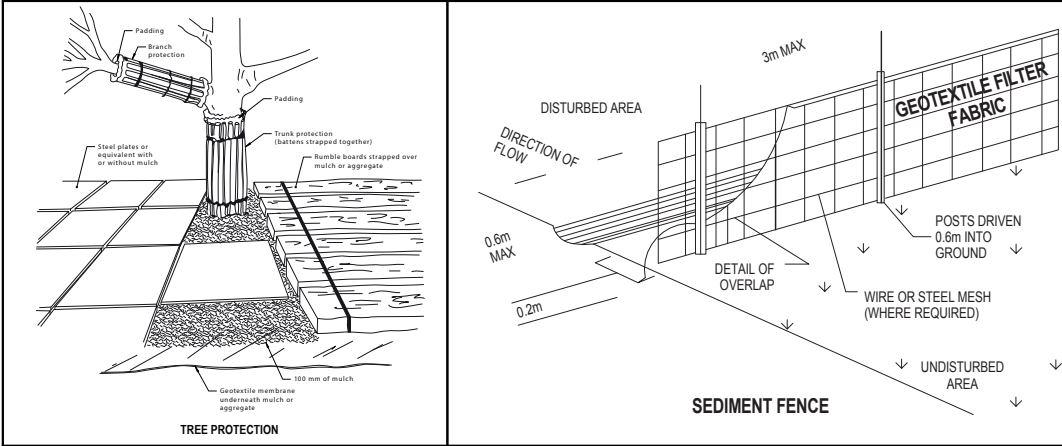
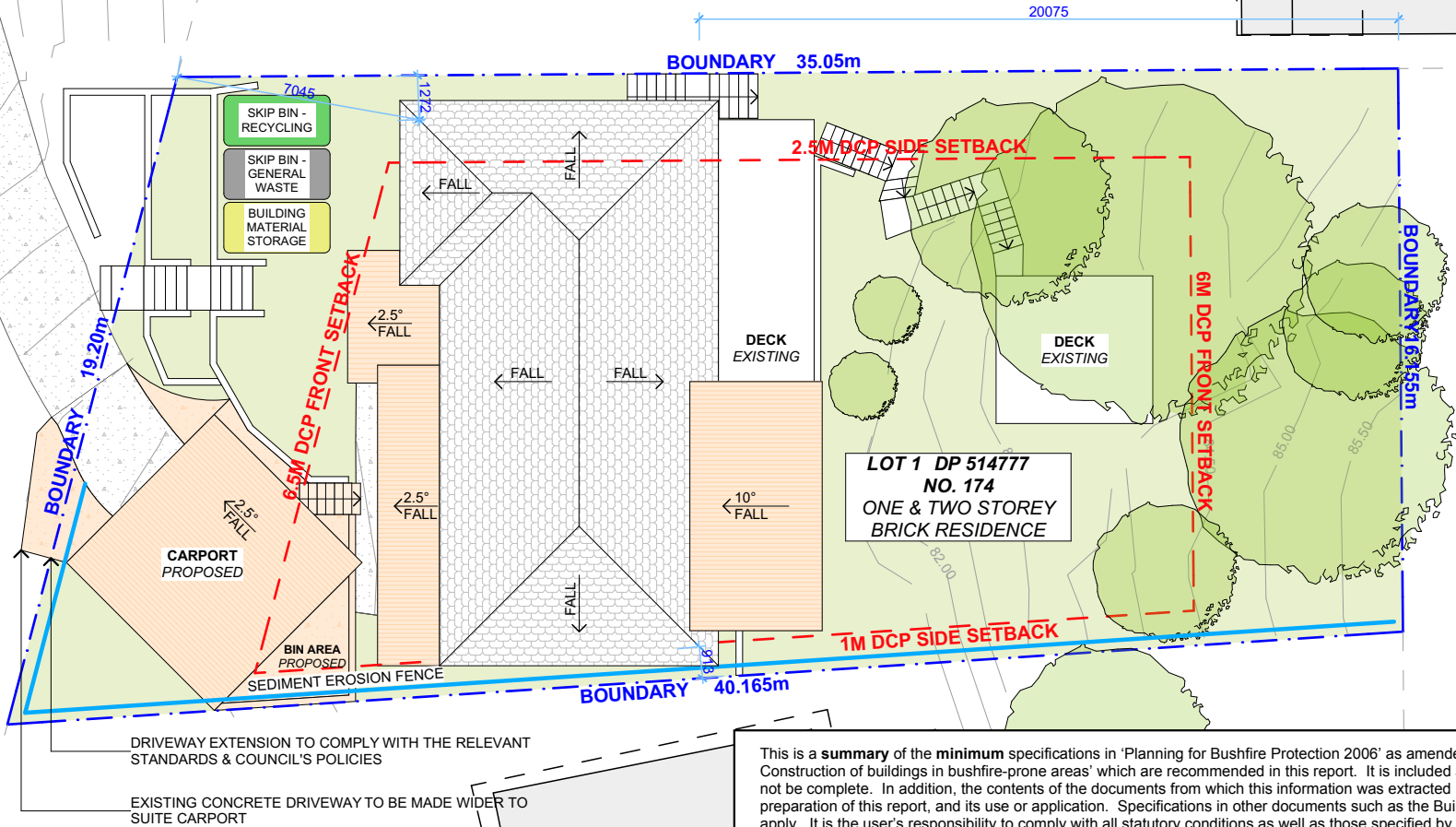
SITE / ROOF / SEDIMENT EROSION /
WASTE MANAGEMENT /
STORMWATER CONCEPT PLAN

SCALE

1:200 @A3



WOORARRA AVENUE



NOTES REGARDING BOUNDARY

THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :

ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

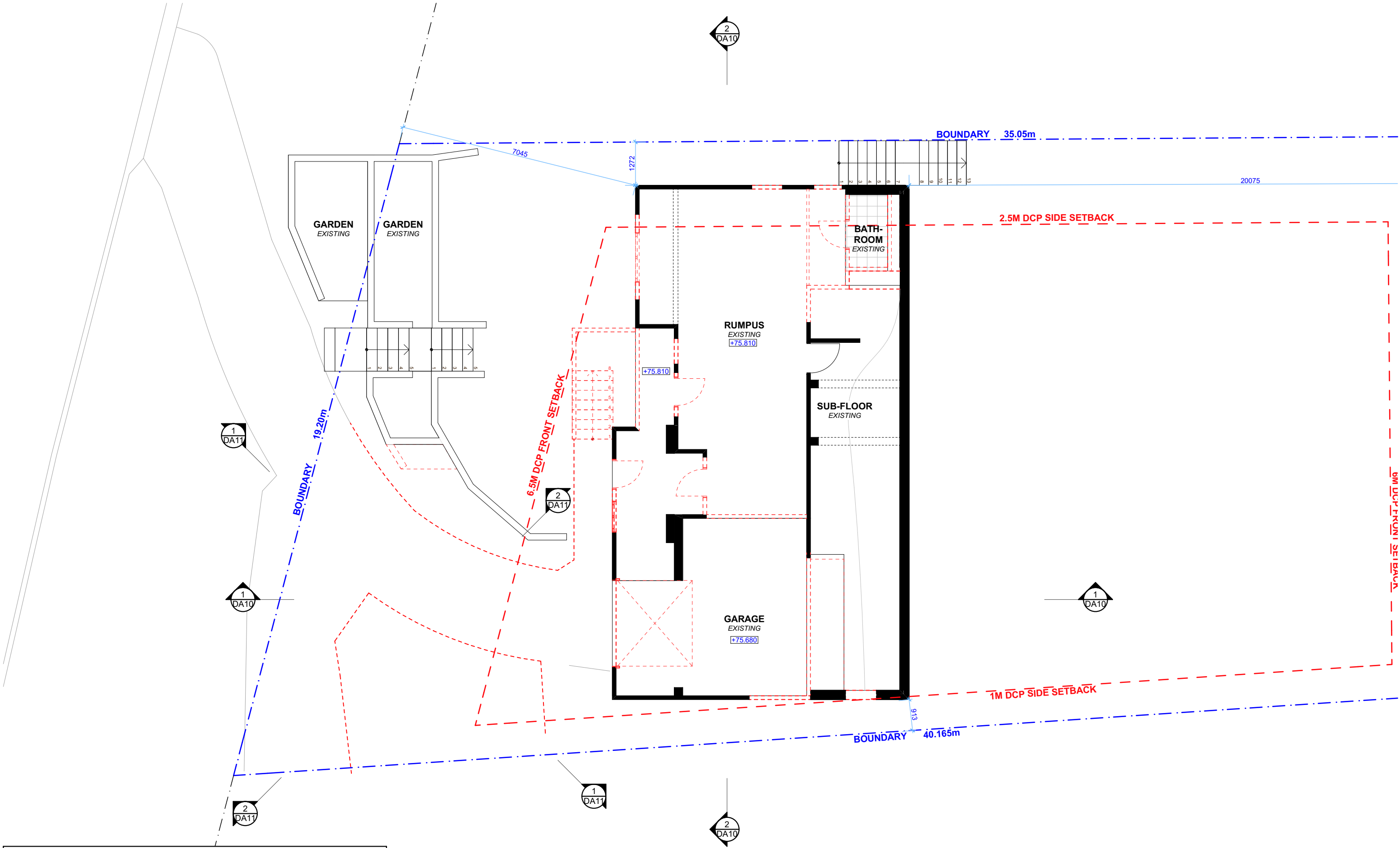
GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING

This is a **summary** of the **minimum** specifications in 'Planning for Bushfire Protection 2006' as amended in 2010 and 'AS 3959 2009 – Construction of buildings in bushfire-prone areas' which are recommended in this report. It is included as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application. Specifications in other documents such as the Building Code of Australia (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

		BAL-12.5	BAL-19	BAL-29	BAL-40
Floor	Slab OK				
	Timber <400mm ag	FRT or lined or enclosed			Non-combustible or FRT or enclosed
Floor posts	Timber >400mm ag	OK			
		FRT or enclosed			Enclosed or non-combustible
External walls		400mm FRT or non-combustible		FRT or non-combustible	Non-combustible
Windows	Frame	FRT or metal			Metal
	Screens	Al, Fe or Br mesh on all openable			Fe or Br mesh on all, 6mm toughened glass, or shutters
External doors	Sliding	Safety glass	5mm toughened glass	6mm toughened glass or full mesh	6mm toughened glass plus full mesh or shutter
	Screens	Al, Fe or Br, if fitted			Fe or Br
	Timber frames	FRT			Metal only
	Garage	Lower 400mm FRT or non-combustible		FRT or non-combustible	Non-combustible
Vents etc	Mesh	Al, Fe or Br mesh 2mm			Fe or Br mesh 2mm
Roofs	Tiled	Fully sarked (Flammability Index <5)			
	Sheeted Non	-combustible, fully sarked (Flammability Index <5)			
	Rooflights	Non-combustible sleeve/lining, 4mm safety glass			FRL -/30/-
Verandahs, decks etc	Enclosed	Any supports, <3mm spaced deck, FRT or non-combustible			Any supports, unspaced deck, non-combustible
	Unenclosed	FRT or non-combustible, <3mm spaced deck			All non-combustible, unspaced deck
	<300mm to glass	300mm wide FRT or non-combustible		FRT or non-combustible	Non-combustible
		Exposed water & gas pipes to metal			
Services	Ag	Above ground	FRT	Fire Resistant Timber	Al Aluminium Fe Stainless steel Br Bronze



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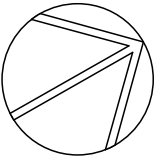
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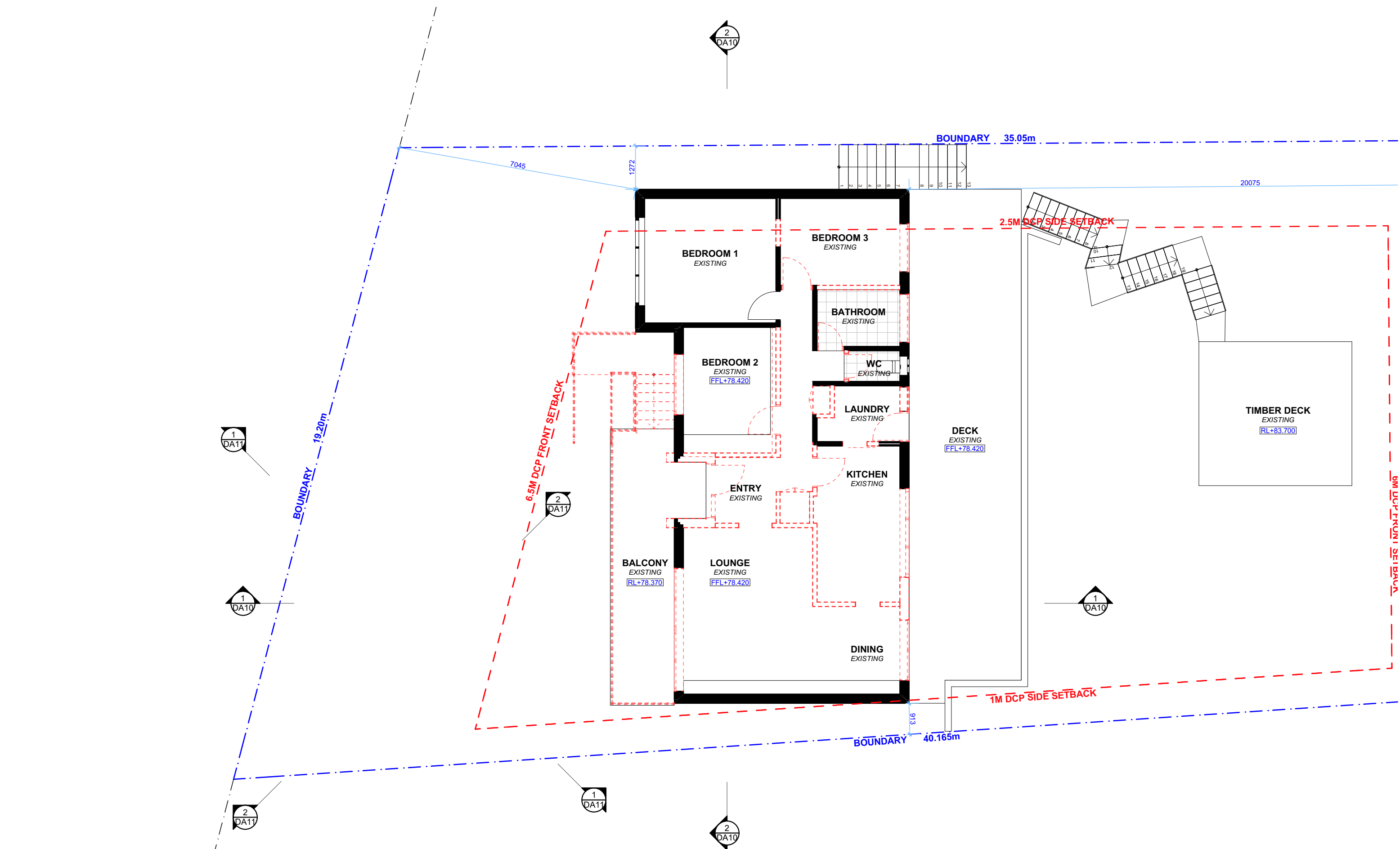
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DA04

DATE
Tuesday, 15
September 2020

DRAWING NAME
EXISTING GROUND FLOOR PLAN

SCALE
1:100 @A3





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LEGEND

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DA06

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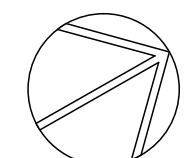
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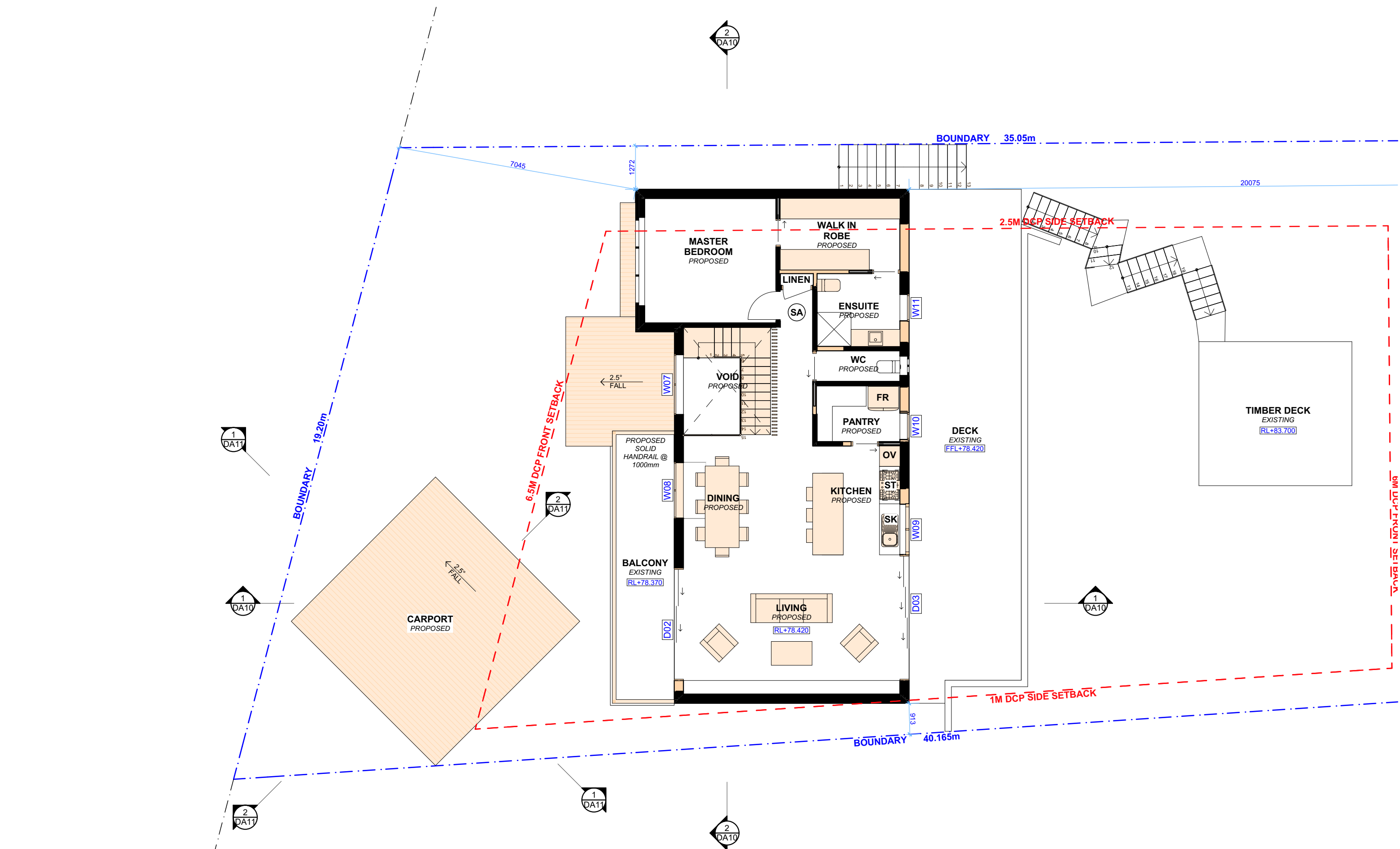
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EXISTING FIRST FLOOR PLAN

SCALE

1:100 @A3





NOTE: REFER TO BUSHFIRE NOTE ON PAGE DA03



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B	21/08/20	FIRST DESIGN AMENDMENT	AL	
C	01/09/20	SECOND DESIGN AMENDMENT	RNA	
D	14/09/20	DA DOCUMENTATION	LRP	

LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

SEAN & KATHRYN TAPP

PROJECT ADDRESS

174 WOORARRA AVENUE, ELANORA HEIGHTS NSW 2101

DRAWING NO.

DA07

DATE

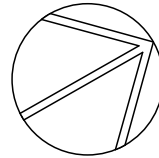
Tuesday, 15 September 2020

DRAWING NAME

PROPOSED FIRST FLOOR PLAN

SCALE

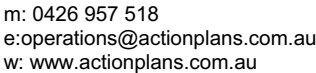
1:100 @A3





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	BAL-12.5	BAL-19	BAL-29	BAL-40
Floor	Slab OK Timber >400mm ag	FRT or lined or enclosed OK	Non-combustible or FRT or enclosed	Non-combustible or FRT or enclosed
Floor joists	Timber >400mm ag	OK	Unstayed or non-combustible	Unstayed or non-combustible
External walls	400mm FRT or non-combustible	FRT or non-combustible	FRT or non-combustible	Non-combustible
Windows	Frame Screens Al, Fe or Br mesh on all operable	FRT or metal Al, Fe or Br mesh on all operable	Fe or Br mesh on all operable, 3mm toughened glass, or shutters	Fe or Br mesh on all, 6mm toughened glass, or shutters
External doors	Sliding Screens Timber frames Screens Mesh	Safety glass 5mm toughened glass Al, Fe or Br, if fitted	6mm toughened glass or full mesh Metal only	6mm toughened glass or full mesh Fe or Br Metal only
Vents etc	Lowest 400mm FRT or non-combustible	FRT or non-combustible	Non-combustible	Non-combustible
Roofs	Shedded Non- Rooflights Unenclosed Unenclosed Unenclosed	Non-combustible sleeved/lamin, 4mm safety glass Any spaced, <3mm spaced deck, FRT or non-combustible FRT or non-combustible, <3mm spaced deck	Any spaced (Flammability Index <5) -combustible, fully larked (Flammability Index <5) Non-combustible sleeved/lamin, 4mm safety glass Any spaced deck, FRT or non-combustible FRT or non-combustible, <3mm spaced deck	FRT >300 Any supports, unspaced deck, non-combustible All non-combustible, unspaced deck
Verandahs, decks etc				
Services	<300mm to glass	300mm wide FRT or non-combustible	FRT or non-combustible	FRT or non-combustible
Ac Above ground	FRT	Fire Resistant Timber	Aluminium	Fe Stainless steel
Br Below ground	FRT	Aluminium	Fe Stainless steel	Br Bronze



NOTES

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 EXISTING
 PROPOSED
 DEMOLISHED

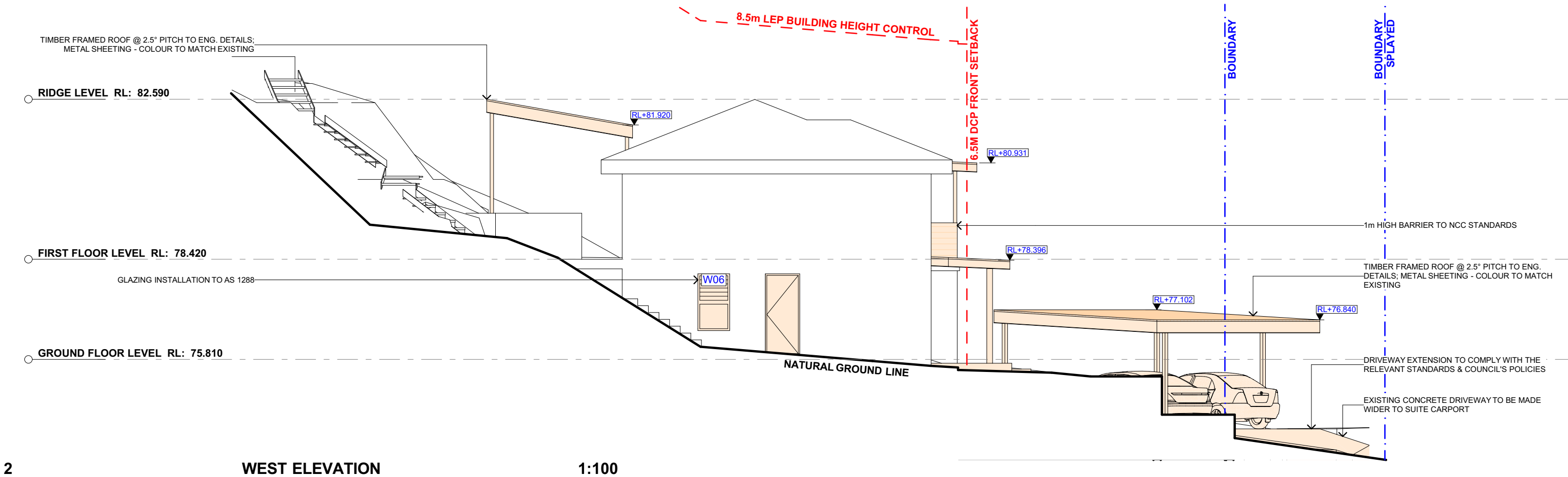
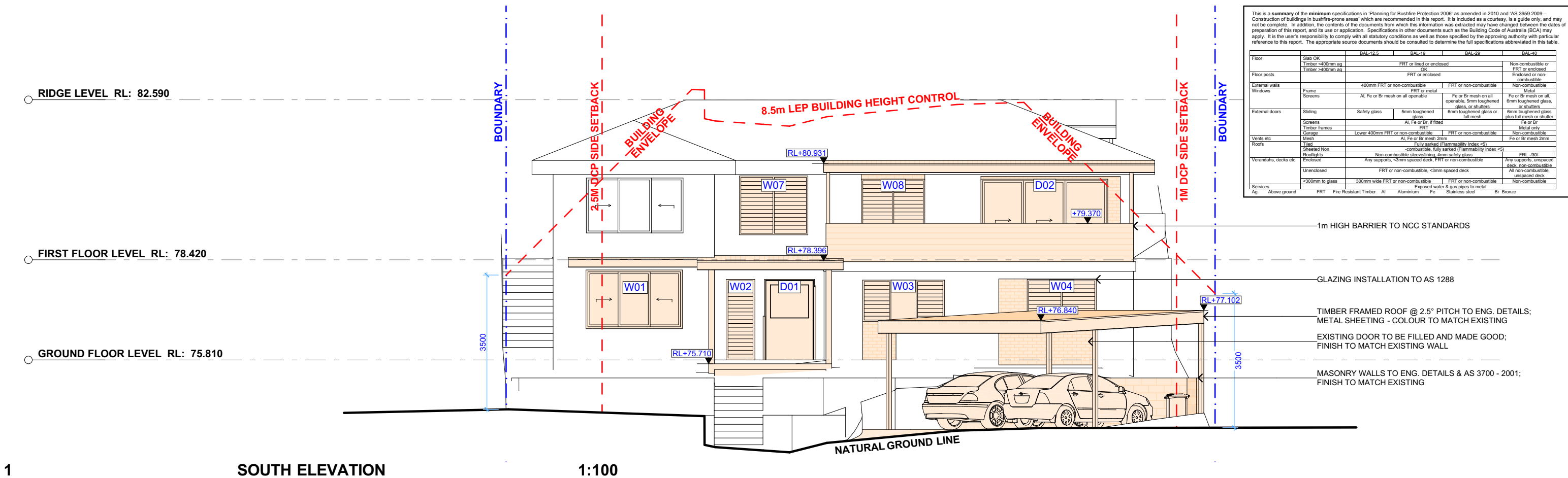
PROJECT ADDRESS
174 WOORARRA
AVENUE, ELANORA
HEIGHTS NSW 2101

DATE
Tuesday, 15
September 2020

SCALE
1:100 @A3




This is a summary of the minimum specifications in Planning for Bluefire Protection 2008® as included in 2010 and AS 3699 2009 – Construction of buildings in bushfire-prone areas which are recommended in this report. It is intended as a courtesy, it is aged twenty years, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed through the passage of time, and its use or application, Specifications in force at the time of publication as well as those specified by the Building Code of Australia (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

	BAL-12.5	BAL-19	BAL-29	BAL-40
Floor	Slab OK Timber >40mm ag Timber >40mm ag	FRT or lined or enclosed OK FRT or enclosed		Non-combustible or FRT or enclosed
Floor posts			Enclosed or non-combustible	Enclosed or non-combustible
External walls		400mm FRT or non-combustible	FRT or non-combustible	Non-combustible
Windows	Frame Screens Screens All Fe or Br mesh on all operable glass, or shutters	FRT or enclosed All Fe or Br mesh on all operable glass, or shutters	FRT or non-combustible Fe or Br mesh on all operable, 5mm toughened glass, or shutters	Fe or Br mesh on all, 6mm toughened glass, or shutters
External doors	Sliding Screens Screens All Fe, Fe or Br, if fitted	Safety glass 5mm toughened glass, or full mesh All Fe, Fe or Br, if fitted	6mm toughened glass or full mesh	6mm toughened glass plus full mesh shutter Fe or Br Metal only
Vents etc	Roofed Garages Mesh Mesh	Lower 400mm FRT or non-combustible All Fe or Br mesh 2mm	FRT or non-combustible If fully parked (Flammability Index <5) -combustible, fully parked (Flammability Index <5)	Fe or Br mesh 2mm
Roofs	No sheeting No sheeting No sheeting	Non-combustible steel/cladding, 4mm safety glass Any supports - 3mm spaced deck, FRT or non-combustible	-combustible, fully parked (Flammability Index <5)	FRT, >20° Any supports, unspaced deck, non-combustible
Verandahs, decks etc				All non-combustible, unspaced deck
	Unenclosed <300mm to glass	FRT or non-combustible, <3mm spaced deck 300mm wide timber or non-combustible	FRT or non-combustible	
Services		Liquid water & gas pipes to meet		
A/C Above ground	FRT Fire Resistant Timber	Aluminium	Fire Stainless steel	Br Bronze



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B	21/08/20	FIRST DESIGN AMENDMENT	AL	
C	01/09/20	SECOND DESIGN AMENDMENT	RNA	
D	14/09/20	DA DOCUMENTATION	LRP	

LEGEND

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	PROPOSED
	DEMOLISHED

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PROJECT ADDRESS
174 WOORARRA
AVENUE, ELANORA
HEIGHTS NSW 2101

DRAWING NO.
DA09

DATE
Tuesday, 15
September 2020

DRAWING NAME
SOUTH / WEST ELEVATION

SCALE
1:100 @A3



This is a summary of the minimum specifications in Planning for Bushfire Protection 2008 as amended in 2010 and AS 3959 2009 – Construction of buildings in bushfire-prone areas' which are recommended in this site. It is intended as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application to specifications in the Planning Code of the Planning Code of the Planning Code (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

	BAL-12.5	BAL-19	BAL-29	BAL-40
Floor	Slab OK Timber <40mm ag Timber >40mm ag	FRT or lined or enclosed OK		Non-combustible or FRT or enclosed
Floor joists		FRT or enclosed		Enclosed or non-combustible
External walls	400mm FRT or non-combustible	FRT or masonry	FRT or non-combustible	Non-combustible
Windows	Frame Screens	FRT or metal Al, Fe or Br mesh on all operable	Fe or Br mesh on all operable, 5mm toughened glass, or shutters	Fe or Br mesh on all, 6mm toughened glass, or shutters
External doors	Sliding Screens	Safety glass 5mm toughened glass or full mesh	6mm toughened glass or full mesh	6mm toughened glass plus full mesh, or shutters, Fe or Br
Roofs	Timber frames Gable Mesh	Lower 400mm FRT or non-combustible Al, Fe or Br mesh 2mm	400mm FRT or non-combustible Al, Fe or Br mesh 2mm	Metal only Fe or Br mesh 2mm
Verandahs, decks etc	Sheeted Roofs Unenclosed	Non-combustible steel/cladding, 4mm safety glass Any supports, <3mm spaced deck, FRT or non-combustible	Non-combustible, 4mm safety glass Any supports, <3mm spaced deck, FRT or non-combustible	FRT, <20° Any supports, unspaced deck, non-combustible
Services	<300mm to glass Ag Above ground	300mm wide FRT or non-combustible FRT	300mm wide FRT or non-combustible FRT	300mm wide FRT or non-combustible FRT



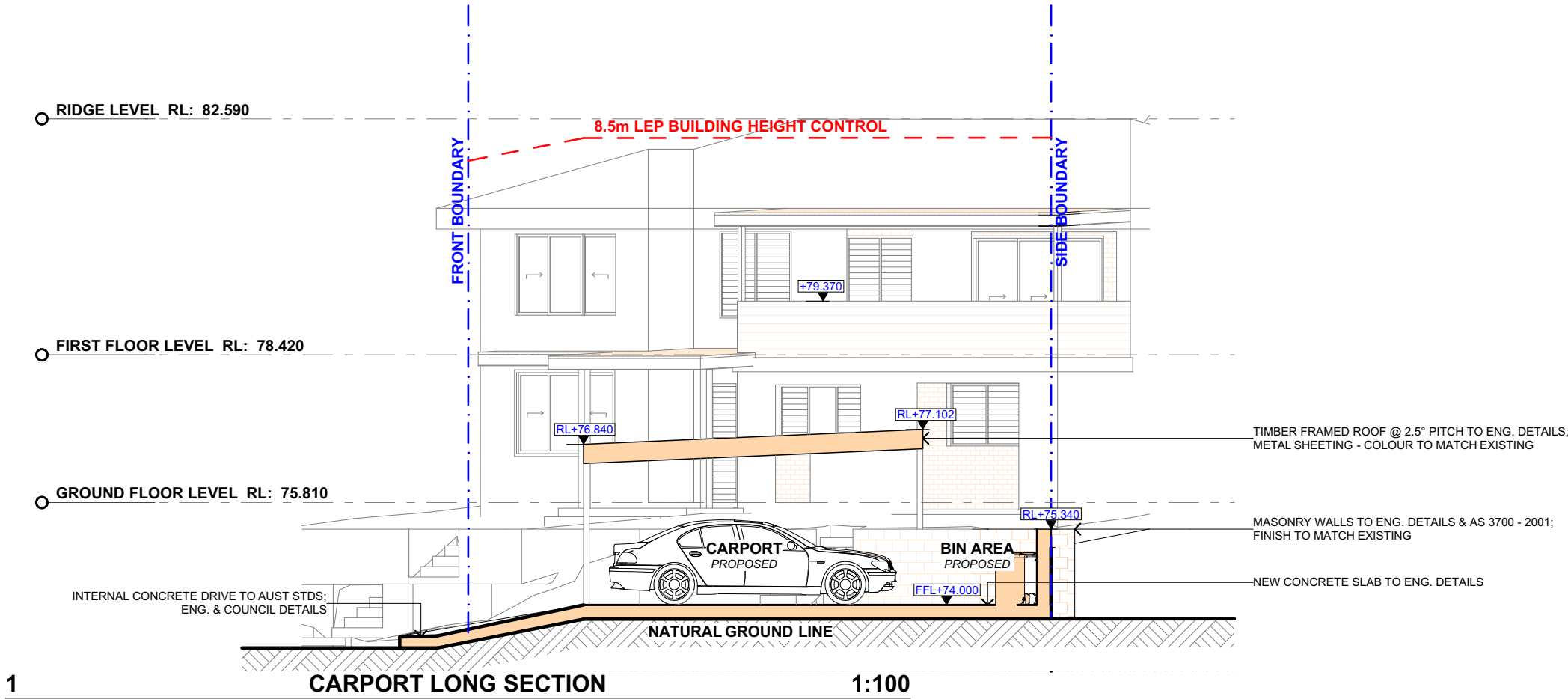
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	PROPOSED
	DEMOLISHED

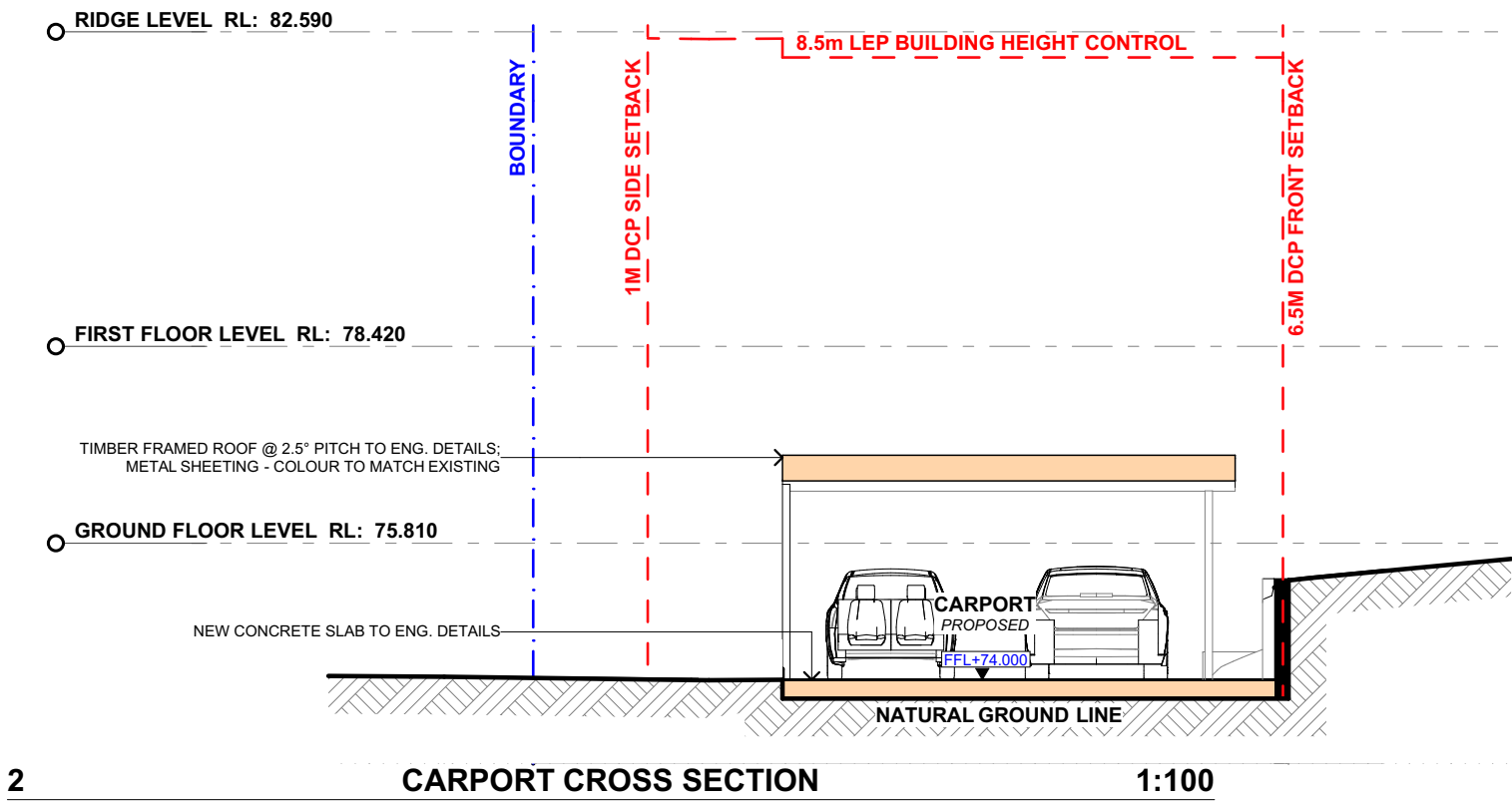
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AVENUE, ELANORA
HEIGHTS NSW 2101

DATE
Tuesday, 15
September 2020

SCALE
1:100 @A3



1 CARPORT LONG SECTION 1:100



2 CARPORT CROSS SECTION 1:100

This is a **summary** of the **minimum** specifications in 'Planning for Bushfire Protection 2006' as amended in 2010 and 'AS 3959 2009 - Construction of buildings in bushfire-prone areas' which are recommended in this report. It is included as a courtesy, is a guide only, and may not be complete. In addition, the contents of the documents from which this information was extracted may have changed between the dates of preparation of this report, and its use or application. Specifications in other documents such as the Building Code of Australia (BCA) may apply. It is the user's responsibility to comply with all statutory conditions as well as those specified by the approving authority with particular reference to this report. The appropriate source documents should be consulted to determine the full specifications abbreviated in this table.

		BAL-12.5	BAL-19	BAL-29	BAL-40
Floor	Slab OK				
	Timber <400mm ag	FRT or lined or enclosed			Non-combustible or FRT or enclosed
	Timber >400mm ag	OK			Non-combustible or FRT or enclosed
Floor posts		FRT or enclosed			Enclosed or non-combustible
External walls		400mm FRT or non-combustible	FRT or non-combustible		Non-combustible
Windows	Frame	FRT or metal			Metal
	Screens	Al, Fe or Br mesh on all operable	Fe or Br mesh on all operable, 5mm toughened glass, or shutters	Fe or Br mesh on all operable, 5mm toughened glass, or shutters	Fe or Br mesh on all operable, 5mm toughened glass, or shutters
External doors	Sliding	Safety glass	5mm toughened glass	6mm toughened glass or full mesh	6mm toughened glass plus full mesh or shutter
	Screens	Al, Fe or Br, if fitted			Fe or Br
	Timber frames	FRT			Metal only
Garage	Mesh	Lower 400mm FRT or non-combustible	FRT or non-combustible		Non-combustible
Verits etc	Mesh	Al, Fe or Br mesh 2mm			Fe or Br mesh 2mm
Roofs	Steel	Fully barked (Flammability Index <5)			FRL <50
	Shedded Non	Non-combustible, fully barked (Flammability Index <5)			FRL <50
Verandahs, decks etc	Enclosed	Any supports, <3mm spaced deck, FRT or non-combustible			Any supports, unspaced deck, non-combustible
	Unenclosed	FRT or non-combustible, <3mm spaced deck			Al non-combustible, unspaced deck
	<300mm to glass	300mm wide FRT or non-combustible	FRT or non-combustible		Non-combustible
Services	Ag	Exposed water & gas pipes to metal			
		FRT Fire Resistant Timber	Al Aluminium	Fe Stainless steel	Br Bronze



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C	01/09/20	SECOND DESIGN AMENDMENT	RNA	
D	14/09/20	DA DOCUMENTATION	LRP	

LEGEND

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DEMOLISHED

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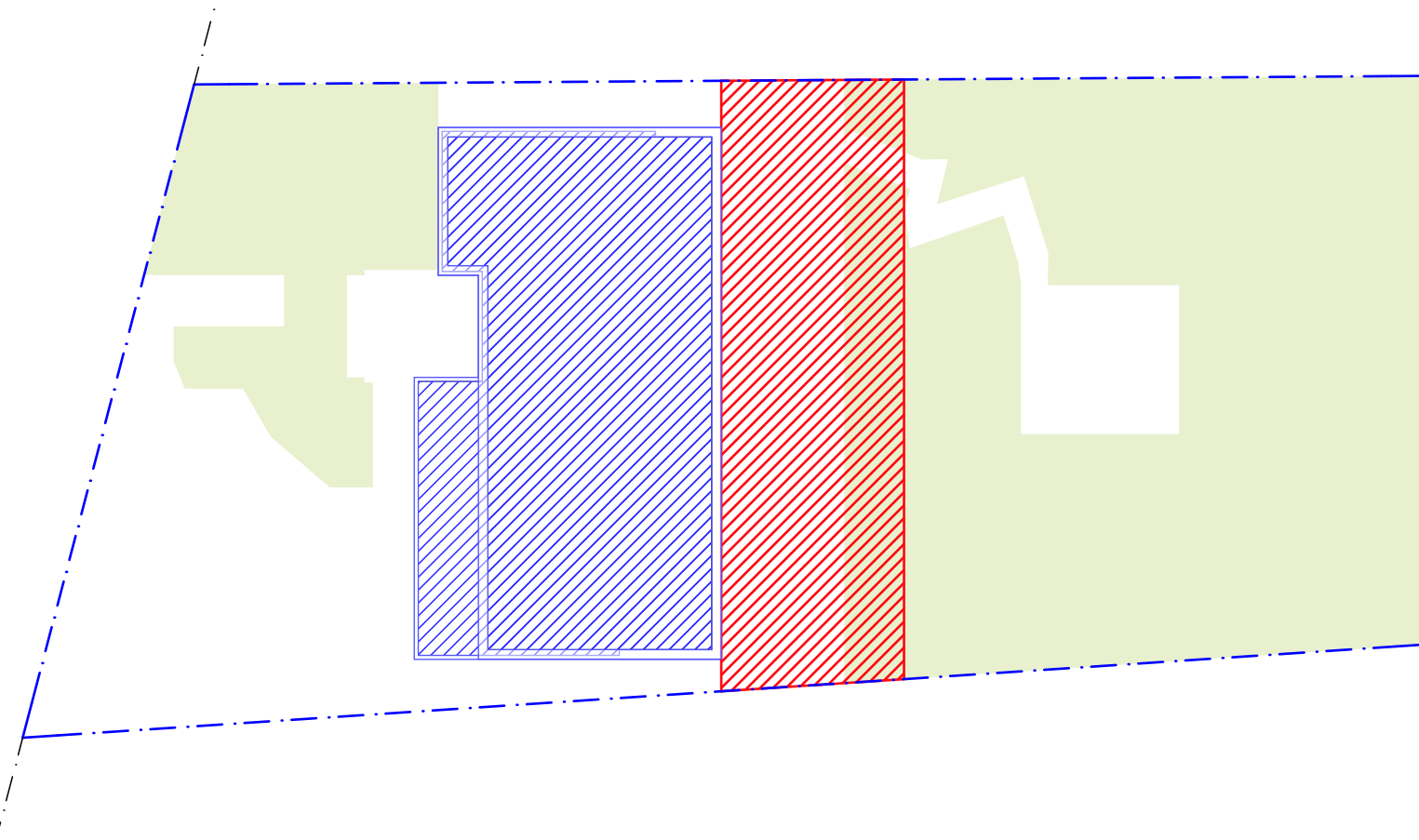
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AVENUE, ELANORA
HEIGHTS NSW 2101

DRAWING NO.
DA11

DATE
Tuesday, 15
September 2020

DRAWING NAME
CARPORT LONG / CROSS
SECTION

SCALE
1:100 @A3



ITEM DETAILS	DEVELOPMENT APPLICATION			
ADDRESS	174 WOORARRA AVENUE, ELANORA HEIGHTS NSW 2101			
LOT & DP/SP	LOT 1 DP 514777			
COUNCIL	NORTHERN BEACHES COUNCIL (PITTWATER)			
SITE AREA	645m ²			
FRONTAGE	19.2m			
CONTROLS	PERMISSIBLE / REQUIRED <i>m / m² / %</i>	EXISTING <i>m / m² / %</i>	PROPOSED <i>m / m² / %</i>	COMPLIANCE
LEP				
MINIMUM LOT SIZE	550m ²	645m ²	UNCHANGED	YES
FLOOR SPACE RATIO	NOT IDENTIFIED	N/A	N/A	N/A
DCP				
LANDSCAPE OPEN SPACE	AREA 1 60% (389.22m ²)	50% (334.54m ²)	48% (309.97m ²)	NO
PRIVATE OPEN SPACE	80m ²	89m ²	UNCHANGED	YES



MT-01
COLOURBOND METAL ROOF SHEETING
COLOUR TO BE CONFIRMED BY CLIENT
WHERE MARKED ON ELEVATION.

CS-01
CONCRETE STAIRS
COLOUR TO BE CONFIRMED BY CLIENT
AND COMPLY WITH NCC STANDARDS




AWF
ALUMINIUM WINDOW FRAME
TO COMPLY WITH BASIX SPECIFICATIONS
WHERE MARKED ON ELEVATION.



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C	01/09/20	SECOND DESIGN AMENDMENT	RNA	
D	14/09/20	DA DOCUMENTATION	LRP	

LEGEND

-  FLOOR SPACE RATIO
 LANDSCAPE AREA
 PRIVATE OPEN SPACE

CLIENT

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AVENUE, ELANORA
HEIGHTS NSW 2101

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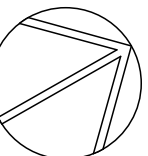
DA12

DATE
Tuesday, 15
September 2020

DRAWING NAME

AREA CALCULATIONS /
SAMPLE BOARD

SCALE
1:200 @A3



WOORARRA AVENUE

NEIGHBOURING DWELLING
LOT 229 DP13643
NO. 176

BOUNDARY 35.05m

2.5M DCP SIDE SETBACK

6M DCP FRONT SETBACK

BOUNDARY 16.15m

LOT 1 DP 514777
NO. 174
ONE & TWO STOREY
BRICK RESIDENCE

1M DCP SIDE SETBACK

BOUNDARY 40.165m

NEIGHBOURING DWELLING
LOT 2 DP 514777
NO. 172



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LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

CLIENT
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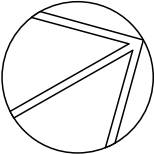
PROJECT ADDRESS
174 WOORARRA
AVENUE, ELANORA
HEIGHTS NSW 2101

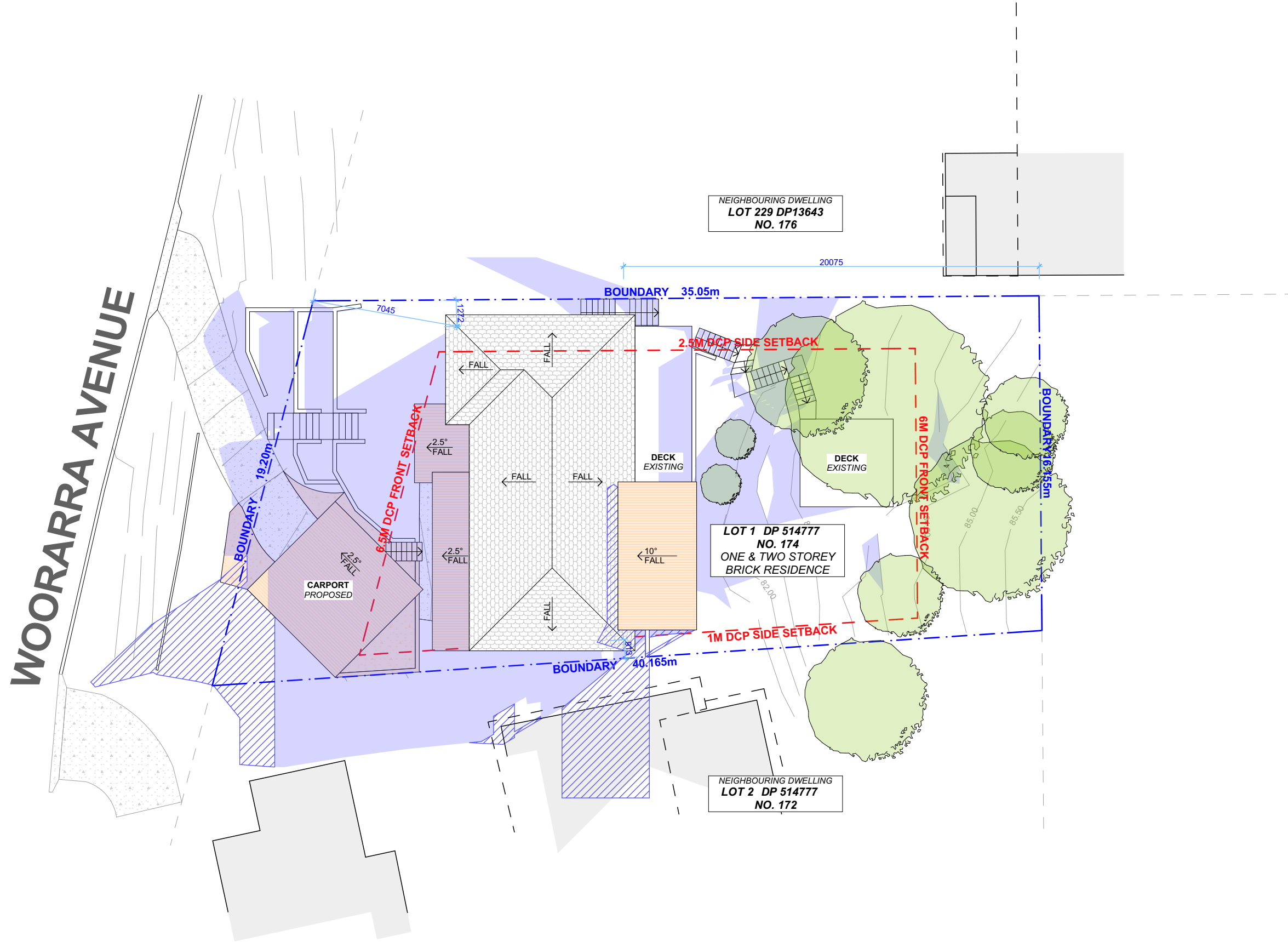
DRAWING NO.
DA13

DATE
Tuesday, 15
September 2020

DRAWING NAME
WINTER SOLSTICE 9 AM

SCALE
1:200 @A3





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REV.	DATE	COMMENTS	DRWN
A	11/08/2020	INITIAL DESIGN PLAN	AL
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LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

CLIENT
SEAN & KATHRYN
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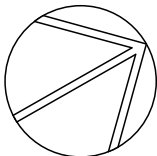
PROJECT ADDRESS
174 WOORARRA
AVENUE, ELANORA
HEIGHTS NSW 2101

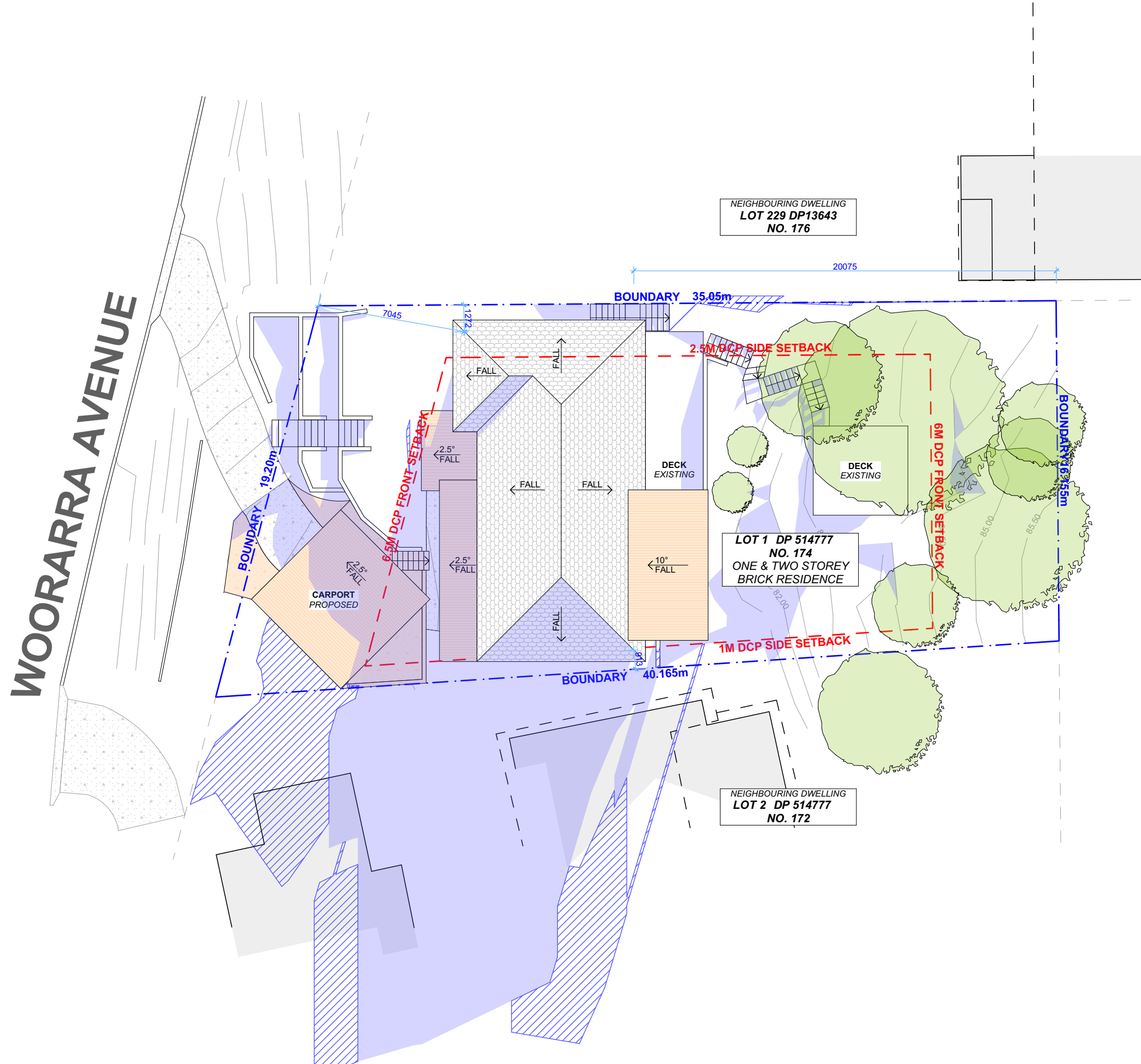
DRAWING NO.
DA14

DATE
Tuesday, 15
September 2020

DRAWING NAME
WINTER SOLSTICE 12 PM

SCALE
1:200 @A3





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REV.	DATE	COMMENTS	DRWN
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LEGEND

EXISTING SHADOWS

PROPOSED SHADOWS

CLIENT
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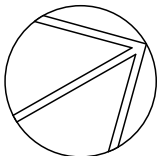
PROJECT ADDRESS
174 WOORARRA
AVENUE, ELANORA
HEIGHTS NSW 2101

DRAWING NO.
DA15

DATE
Tuesday, 15
September 2020

DRAWING NAME
WINTER SOLSTICE 3 PM

SCALE
1:200 @A3



Alterations and Additions

Certificate number: A389954

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11, September 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	174 WOORARRA AVENUE, ELANORA HEIGHTS NSW 2101
Street address	174 WOORARRA Avenue ELANORA HEIGHTS 2101
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 514777
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Action Plans
ABN (if applicable): 17118297587

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:							✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	✓
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.							✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓
Pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must overlap in plan view.							✓	✓
Windows and glazed doors glazing requirements								
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W01	S	3.84	0	0	eave/verandah/pergola/balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W02	S	1.58	0	0	eave/verandah/pergola/balcony ≥900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W03	S	2.3	0	0	eave/verandah/pergola/balcony ≥600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W04	S	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W05	E	1.98	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W06	W	1.23	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W07	S	2.74	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W08	S	1.99	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W09	N	1.65	0	0	pergola (adjustable shade) >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W10	N	0.86	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
W11	N	0.88	0	0	external louvre/blind (adjustable)	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
D01	S	2.73	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
D02	S	6.94	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		
D03	N	7.76	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



ACTION PLANS

m: 0426 957 518
e: operations@actionplans.com.au
w: www.actionplans.com.au

REV.	DATE	COMMENTS	DRWN
A	11/08/2020	INITIAL DESIGN PLAN	AL
B	21/08/2020	FIRST DESIGN AMENDMENT	AL
C	01/09/2020	SECOND DESIGN AMENDMENT	RNA
D	14/09/2020	DA DOCUMENTATION	LRP

NOTES

This drawing is the copyright of Action Plans and not be altered, reproduced or transmitted in any form or by any means in part or in whole without the written permission of Action Plans.

Do not scale measure from drawings. Figured dimensions are to be used only.

The Builder/Contractor shall check and verify all levels and dimensions on site prior to commencement of any work, creation of shop drawings, or fabrication of components.

All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

All window & door dimensions, orientation, glazing materials, opening types, frame types are to be confirmed by a suitably qualified person prior to the ordering of any such materials are to take place.

U value takes precedence over glazing type/colour in all cases.

all new glazing must meet the BASIX specified frame and glass type, OR meet the ecified U value and SHGC value.

CLIENT

SEAN & KATHRYN
TAPP

PROJECT ADDRESS

174 WOORARRA
AVENUE, ELANORA
HEIGHTS NSW 2101

DRAWING NO.

DA16

DATE _____

Tuesday, 15
September 2020

DRAWING NAME

BASIX COMMITMENTS