

DEVELOPMENT APPLICATION NO.82 LOWER GROUND WORKS

82 Bower Street Manly
82 Bower Street Manly NSW 2095 AUSTRALIA
John & Anna Lake
FEB 2019

SMITH & TZANNES

DRAWING LIST

Subset ID	No.	DESCRIPTION
DA	DA-A-000	TITLE
DA	DA-A-001	NOTES
DA	DA-A-010	SITE PLAN
DA	DA-A-030	SEDIMENT CONTROL PLAN
DA	DA-A-100	BASEMENT & LOWER GROUND
DA	DA-A-101	GROUND & LEVEL 1
DA	DA-A-102	ROOF
DA	DA-A-200	ELEVATIONS
DA	DA-A-201	SECTIONS
DA	DA-A-800	AREA CALCULATIONS
DA	DA-A-990	Neighbour Notification

BASIX REQUIREMENTS

No.82

LIGHTING
Ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluoroescnt or LED lamps

WATER RATING FOR FIXTURES:
Showerheads: No greater than 9l/min flow or 3 star water rating
Toilet: No greater than 4l/min flow or 3 star water rating
Taps: No greater than 9l/min flow or 3 star water rating

HOT WATER:
Gas instantaneous must be installed

RAINWATER TANK
Applicant must install rainwater tank of at least 754L collecting rainwater runoff from at least 50sqm of roof area.

SWIMMING POOL
Swimming pool must be outdoors, must not have a capacity greater than 11KL, must have a pool cover, must install a pool pump timer and must have a solar (gas boosted) heating system.

THERMAL REQUIREMENTS

EXTERNAL WALLS:
Cavity Brick: nil additional insulation
Framed (weatherboard, fibro, metal clad) R1.30 (or R1.70 including construction)

WINDOWS/DOORS
Standard Aluminium single clear windows U-Value: 6.44 SHGC:0.75
Skylightaluminium moulded plastic single clear U-Value: 6.21 SHGC:0.808

FLOOR/CEILINGS
Concrete slab on ground floor: nil
Suspended floor with enclosed subfloor: framed (R0.7) R0.60(down) (or R1.30 including construction)
Raked ceiling, pitched/skillion roof: ceiling: R1.74(up), roof:foil backed blanket (75mm)
Flat ceiling, flat roof: concrete/plasterboard internal: ceiling: R0.93(up), roof: 50mm foil backed polystyrene board.

ROOF
Solar absorptance 0.475 - 0.70

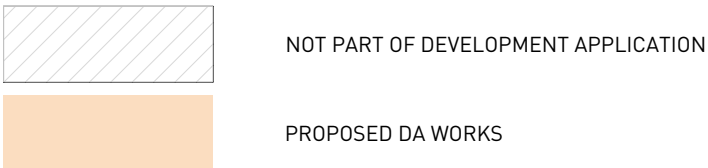
SELECTIONS LEGEND

REFER TO SELECTIONS SCHEDULE FOR MORE DETAIL

AD	ALUMINIUM FRAMED DOOR
AW	ALUMINIUM FRAMED WINDOW
B	BOLLARD
BAL#	BALUSTRADE TYPE #
BG	BOX GUTTER
BLK	BLOCKWORK
BK	BRICKWORK
CAR	CARPET
CONC	CONCRETE
CFT	CERAMIC FLOOR TILE FINISH
CWT	CERAMIC WALL TILE FINISH
D	DOOR
DW	DISHWASHER
DP	DOWNPIPE
EDB	ELECTRICAL DISTRIBUTION BOARD
EX	EXISTING
FB	FACE BRICK
FC	FIBRE CEMENT
FG	FIXED GLASS
FL	FLASHING
FR	FIRE RATED
FW	FLOOR WASTE
FFL	FINISHED FLOOR LEVE
FSL	FINISHED SLAB LEVEL
GD	GRATED DRAIN
GU	GUTTER
HR	HANDRAIL
HW	HOT WATER UNIT
LDY	LAUNDRY
LV	OPERABLE/FIXED LOUVRES
MB	METER BOX
ML	METAL LOUVRES
MR#	METAL ROOF SHEET TYPE #
P	PAINT
PAV	PAVING
PB	PLASTERBOARD
PF	POOL FENCE
POLY	POLYURETHANE FINISH
PR	PEBBLED ROOF
MSC	MESH CAGE
REF	REFRIGERATOR
REN	RENDER
RL	RELATIVE LEVEL (TO AUSTRALIAN HEIGHT DATUM
RWO	RAINWATER OUTLET
RWT	RAINWATER TANK
STD	SLIDING TIMBER DOOR
SG	STEEL GATE
SK	SKIRTING
SP	STONE PAVING
ST	STONE TILES
TIM	TIMBER SCREEN
TD	TIMBER DECKING
TF	TIMBER STRIP FLOORING
TW	TIMBER FRAMED WINDOW
TRG	TRANSLUCENT GLAZING (OBSCURE)

General Notes
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3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND
Refer to the notes page for legend that includes further notes and explanation of abbreviation



DOCUMENT
NOTES
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DEVELOPMENT APPLICATION
REV - 11.02.19

STAGE
DA SUBMISSION

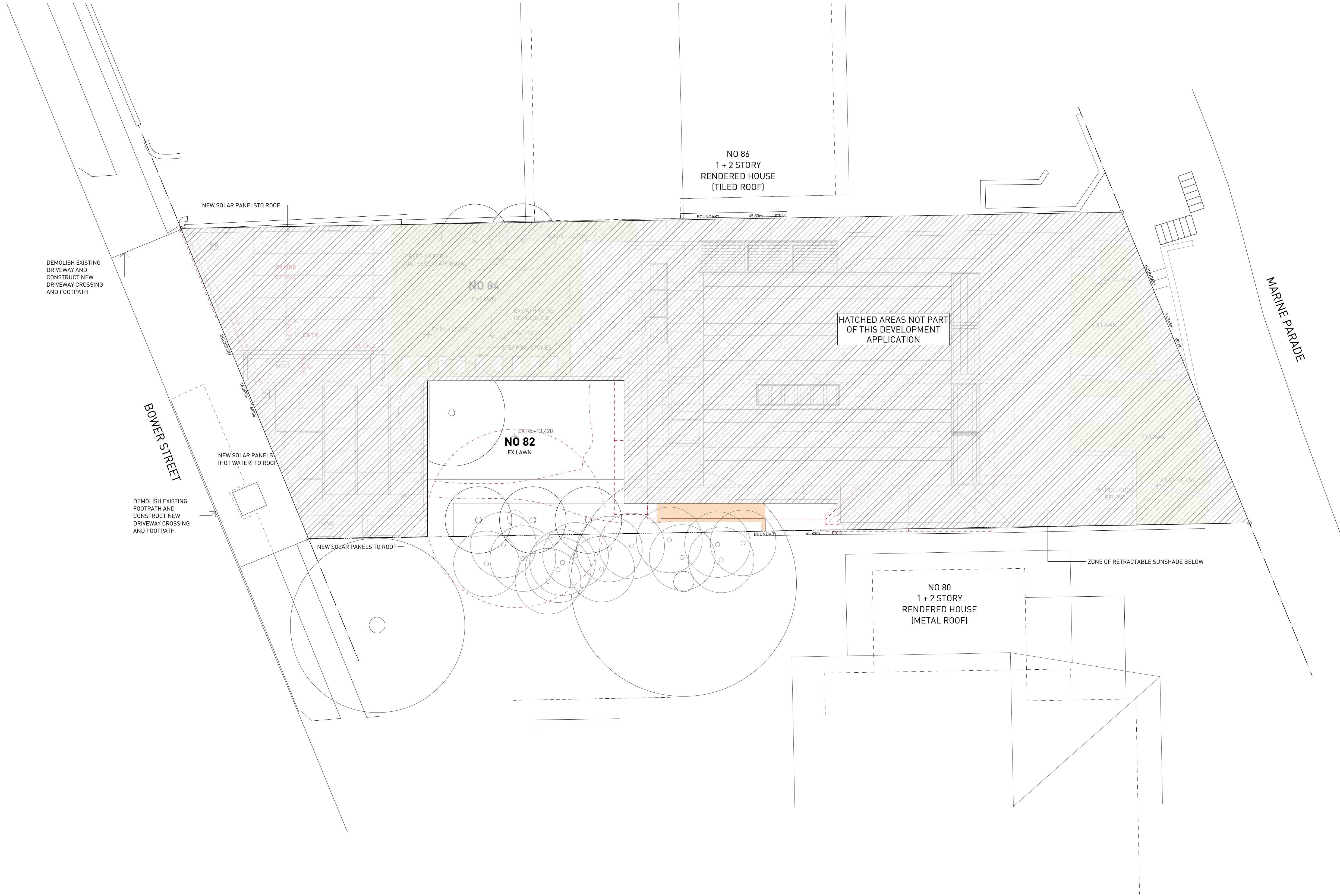
PROJECT
82 Bower Street Manly

82 Bower Street, Manly

CLIENT
John & Anna Lake

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Nominated Architect: Peter Smith (Reg 7024)





1 SITE PLAN/LANDSCAPE
1:100

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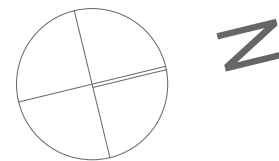
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PROPOSED DA WORKS



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SITE PLAN

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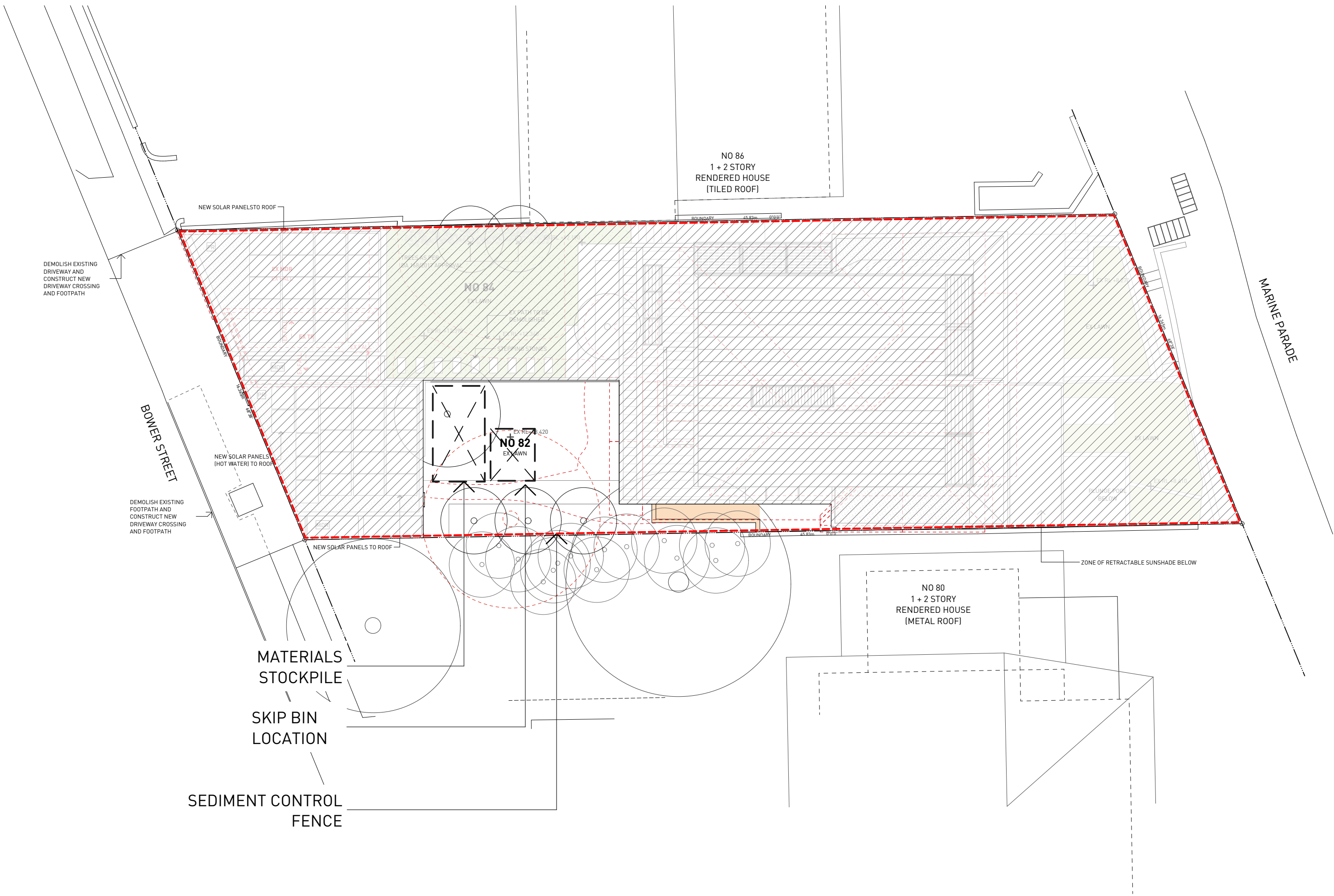
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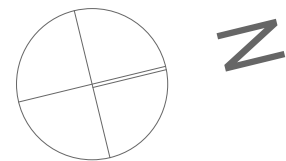
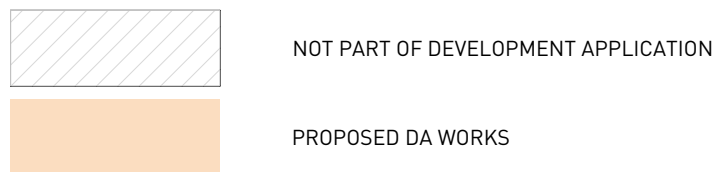
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DOCUMENT
SEDIMENT CONTROL PLAN
DOCUMENT
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PROJECT
82- 84 Bower Street Manly - Garages

82-84 Bower Street Manly

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CONSTRUCTION MANAGEMENT

MATERIALS HANDLING
Materials handling and vehicle operations will comply with the Road Transport Act 1999 (NSW) which incorporates the Mass Loading and Access Regulation 1996 and Safety Traffic Management Road Rules Regulations 1999. All loads will be covered to minimise dust and prevent the transfer of sediment onto the roadway.

DILAPIDATION SURVEY
A dilapidation survey is to be undertaken to record the physical condition of any existing structure or situation that may be effected by the proposed development.

TRAFFIC MANAGEMENT PLAN
A traffic management plan has been prepared to meet council and RTA ("Traffic Control Worksite Manual") requirements, by a suitably qualified person (minimum red card' qualification).

WASTE MANAGEMENT
The proposed development will incorporate the waste minimisation principles of Avoid, Reduce, Reuse and Recycle, and conform with the Waste Avoidance and Recovery Act 2001. Specific bins for waste and recycling shall be provided on site.

NOISE CONTROL
To reduce noise from construction and demolition sites, all activities should be carried out in accordance with the requirements of Australian Standard Guidelines AS2436-1981 "Guide to noise control on Construction Maintenance and Demolition sites."

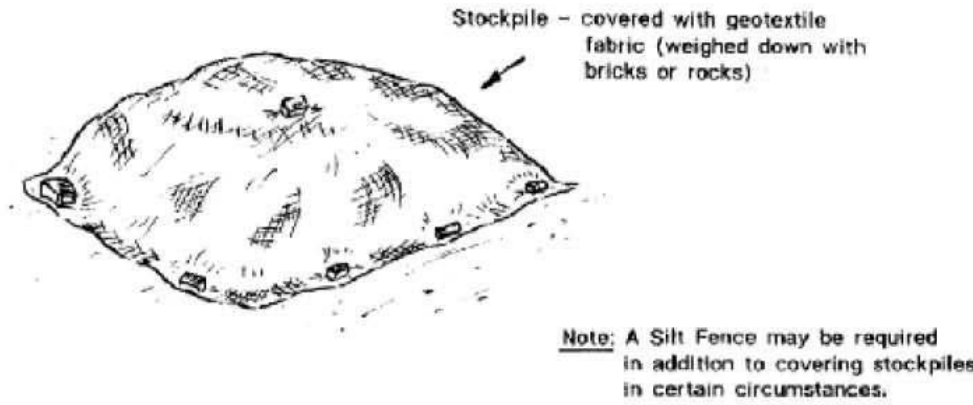
OCCUPATIONAL HEALTH AND SAFETY
All site works must comply with the occupational health and safety requirements of the New South Wales Work Cover Authority.

TOILET FACILITIES
During excavation, demolition and construction phases, toilet facilities are to be provided on the site, at the rate of one toilet for every twenty (20) persons or part of twenty (20) persons employed at the site.

SOIL AND WATER MANAGEMENT

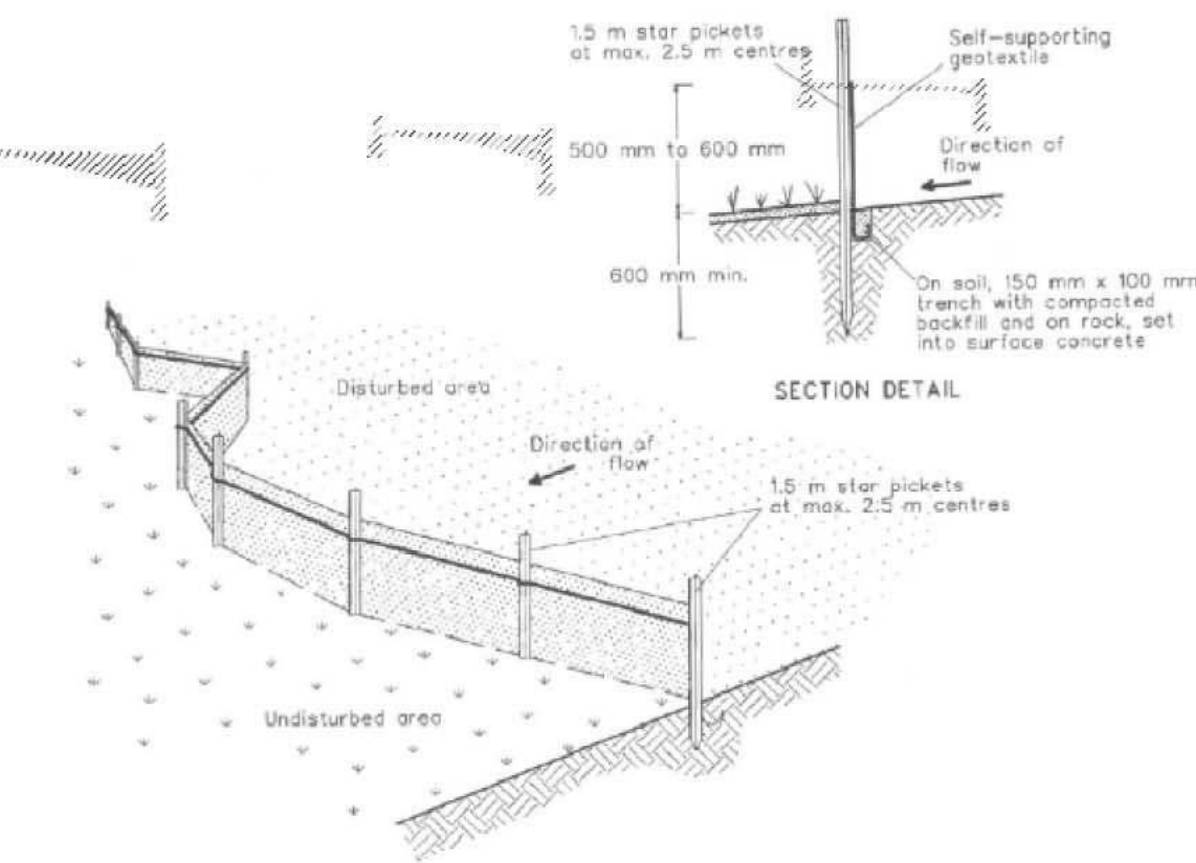
- Minimise the area of soils exposed at any one time.
- Conserve top soil.
- Protect proposed stockpile locations. Use only nominated stockpile locations.
- Preserve existing vegetation. Implement revegetation as specified on drawings A001 and A120.
- Prevent soil, sand and sediments leaving the site in an uncontrolled manner.
- Control surface water flows through the site in a manner that:
 - Diverts clean run-off around disturbed areas
 - Minimises slope gradient & flow distance within disturbed areas
 - Ensures surface run-off occurs at non-erodible velocities
 - Ensures disturbed areas are promptly rehabilitated.
- Sediment and erosion control measures are to be in place before work commences.
- Materials are not to be tracked onto the road by vehicles entering or leaving the site.
- Specified drainage is to be implemented to protect and drain the site during works.
- A durable sign, available from Council must be erected during the works in a prominent location on site, warning of penalties should appropriate measures required by the Soil and Water Management Plan not be maintained.

Stockpile Protection:

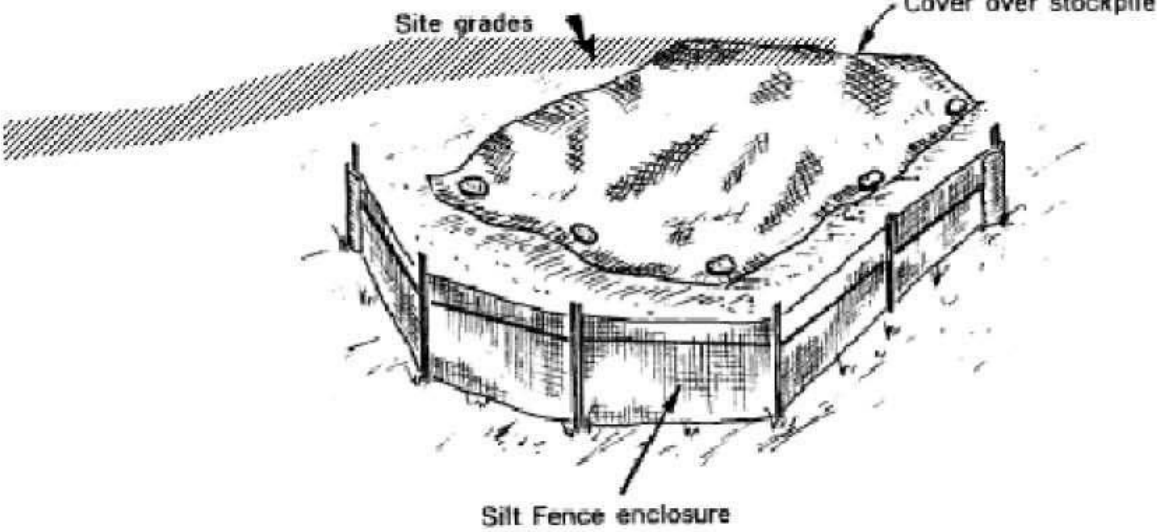


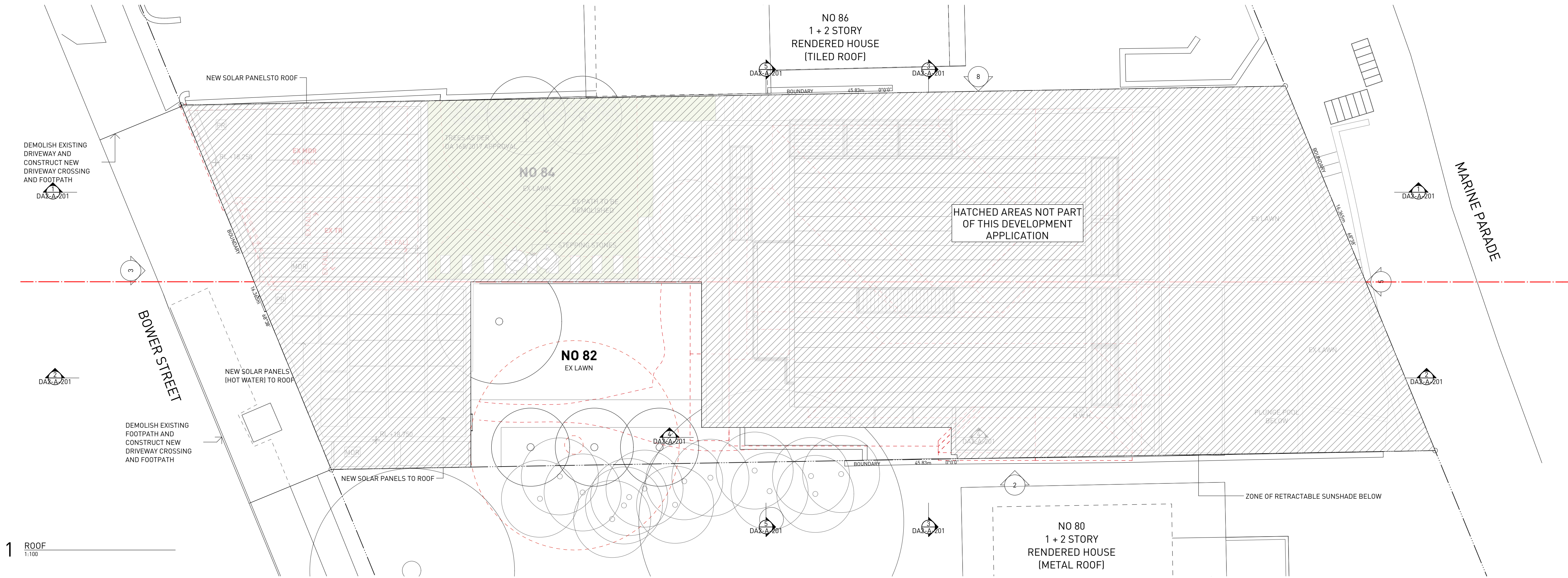
v. Drainage structure protection on and off the site (kerb and gutter, pits, culverts etc)

Silt Fence Diagram:



Silt Fence with returns:





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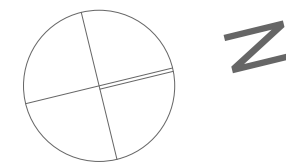
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ROOF

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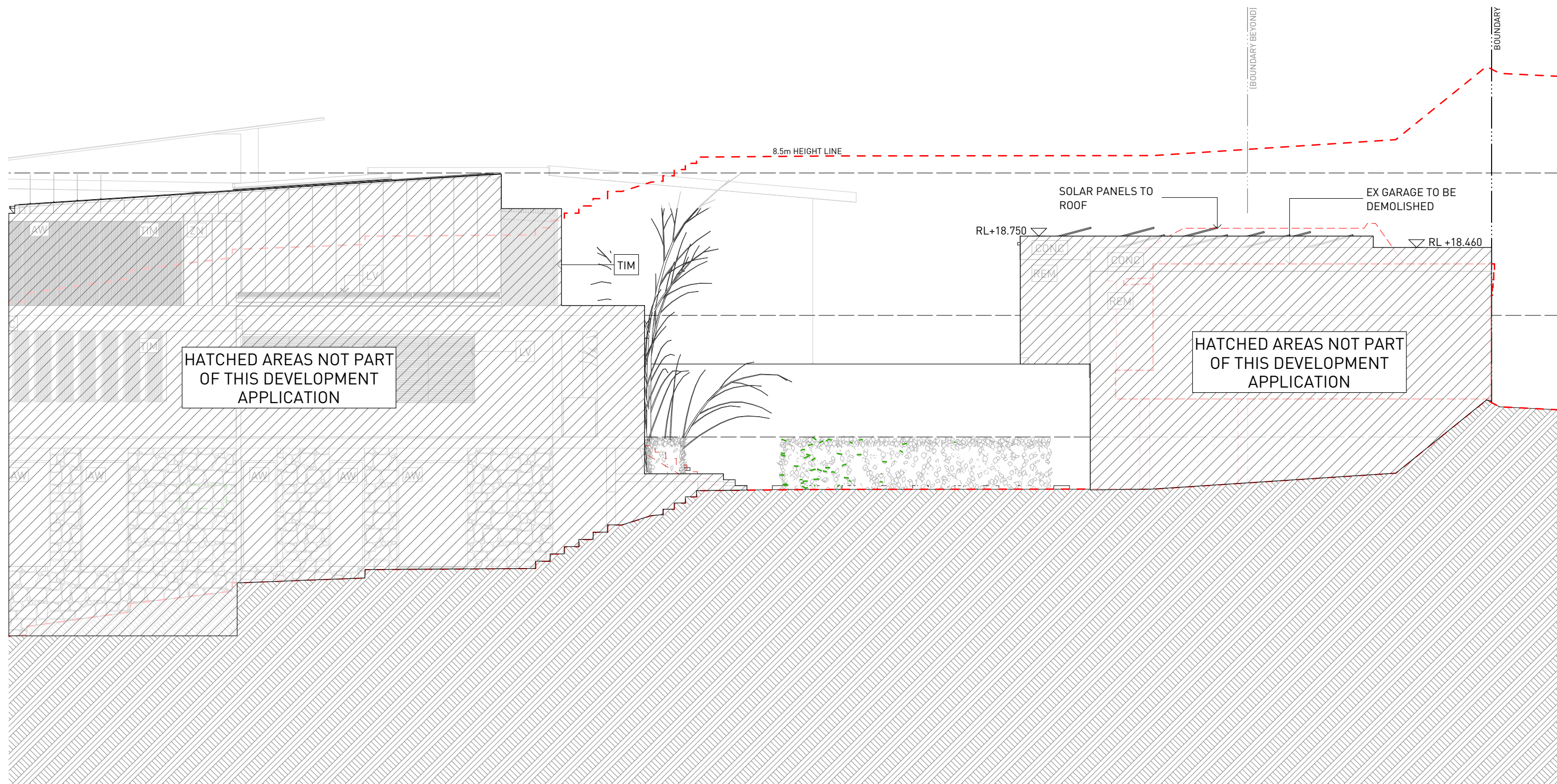
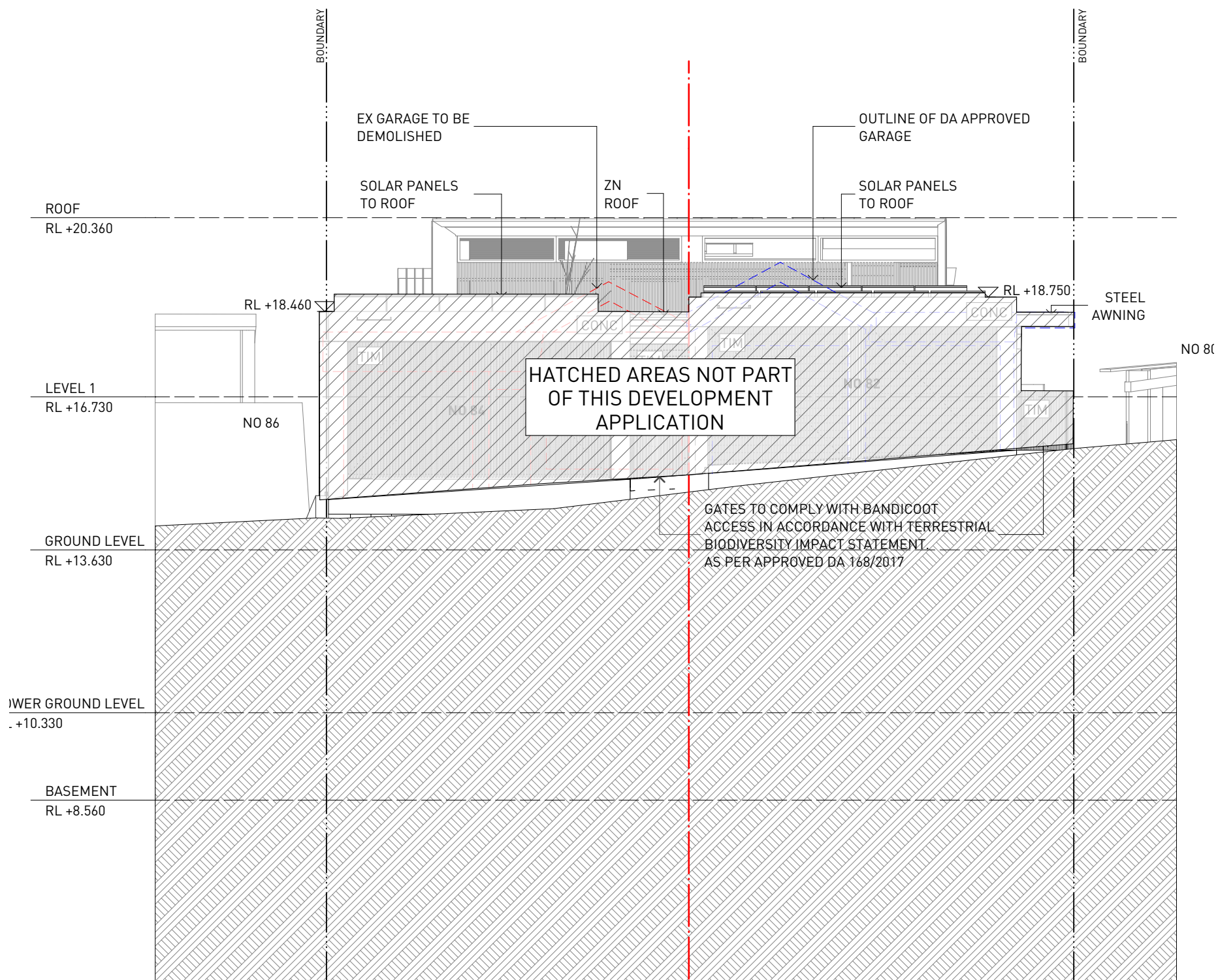
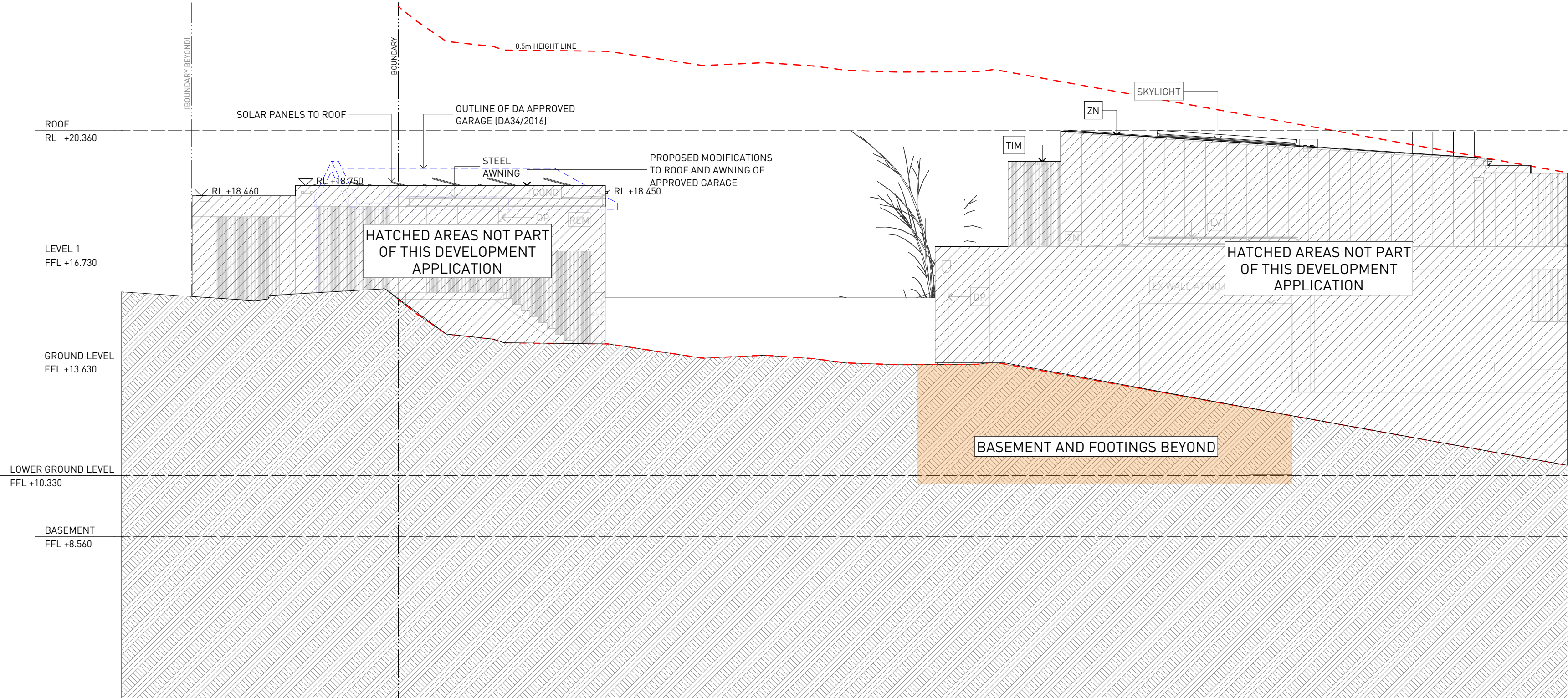
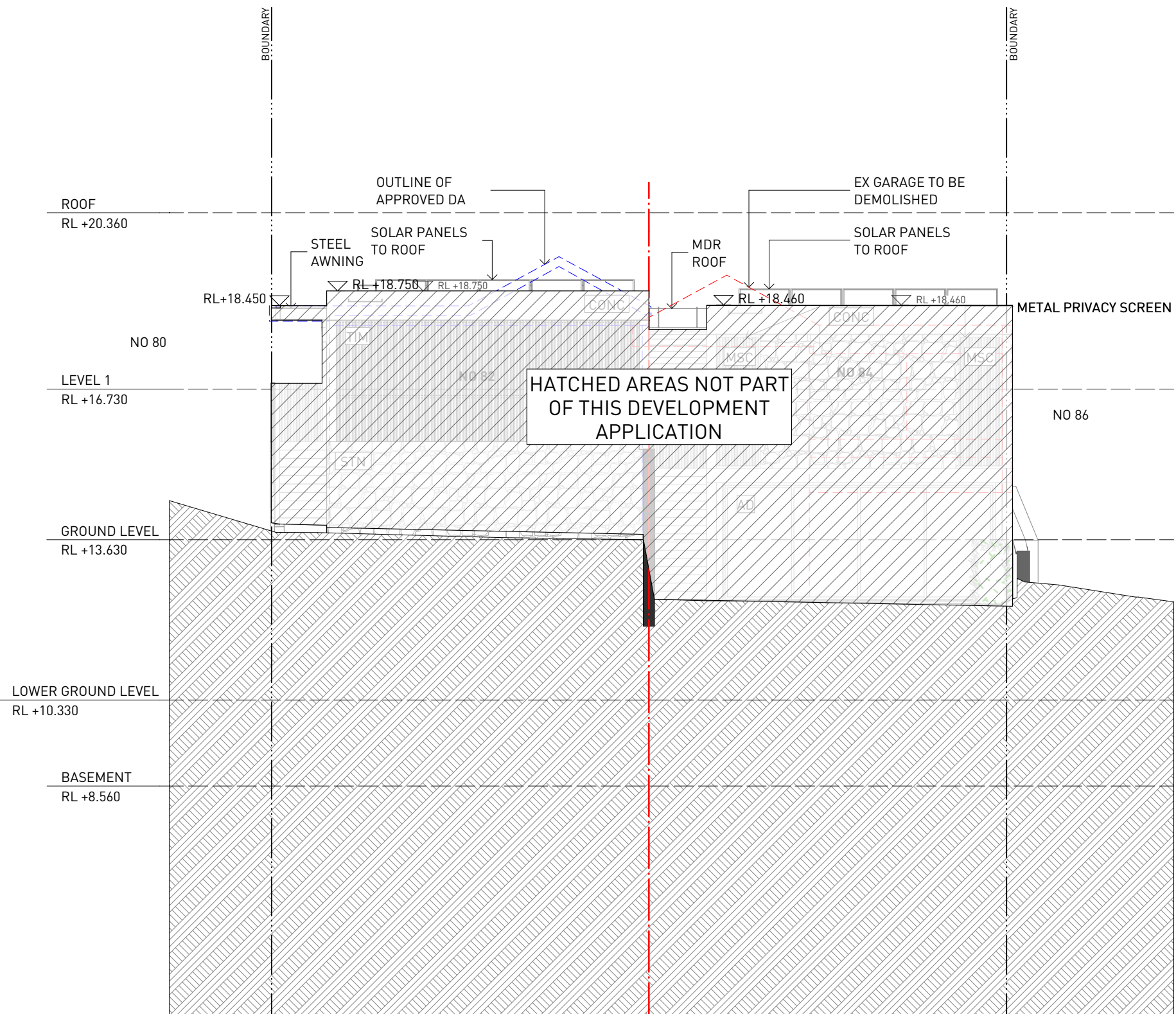
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