

SITE RATIO'S - EXISTING:

SITE AREA	697.30m ²
BUILDING FOOTPRINT	190.52m ²
PORCH	6.20m ²
PAVED AREAS AND DRIVEWAY	124.21m ²
AREAS UNDER 2m WIDE	36.58m ²
SUM TOTAL	357.51m ²

SITE RATIO'S - PROPOSED:

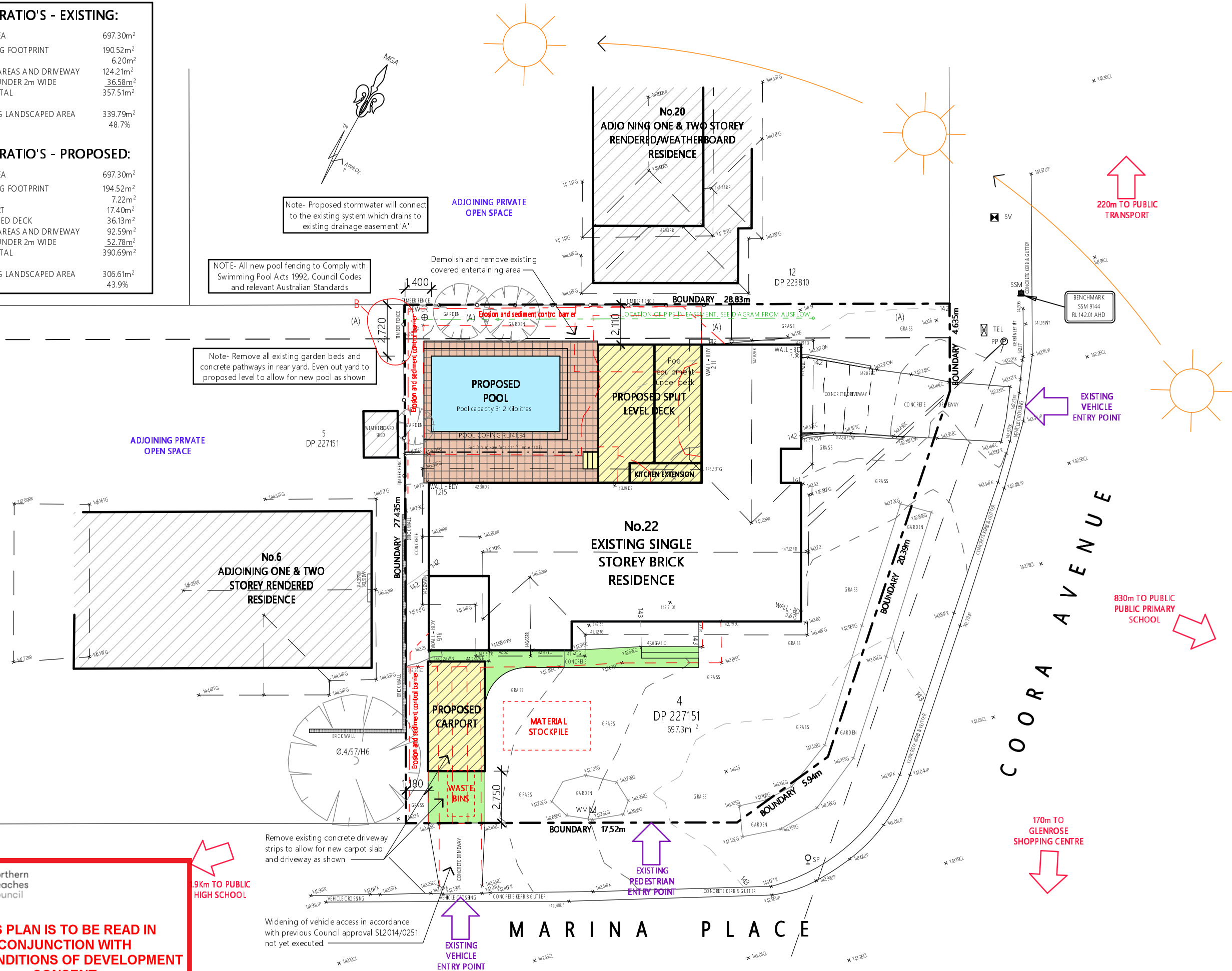
SITE AREA	697.30m ²
BUILDING FOOTPRINT	194.52m ²
PORCH	7.22m ²
CARPORT	17.40m ²
PROPOSED DECK	36.13m ²
PAVED AREAS AND DRIVEWAY	92.59m ²
AREAS UNDER 2m WIDE	52.78m ²
SUM TOTAL	390.69m ²

EXISTING LANDSCAPED AREA	339.79m ²
	48.7%
EXISTING LANDSCAPED AREA	306.61m ²
	43.9%

Note- Proposed stormwater will connect to the existing system which drains to existing drainage easement 'A'

NOTE- All new pool fencing to Comply with Swimming Pool Acts 1992, Council Codes and relevant Australian Standards

Note- Remove all existing garden beds and concrete pathways in rear yard. Even out yard to proposed level to allow for new pool as shown



NOTES

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Finished ground levels on the plan are subject to site conditions.

Do not scale from drawings. Use figured dimensions only and report any discrepancies to the designer prior to commencement.

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BASIC INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps

WATER COMMITMENTS:
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating
Swimming pool: Maximum size pool shall be 31.2 Kilolitres. It must have a pool pump timer, pool cover and not be heated.

INSULATION REQUIREMENTS:
External walls: The external walls shall be of an insulated facade system 70mm thick.
Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)
Ceilings: The new flat ceiling/pitched roof ceilings shall meet minimum R1.95 (upl).
Roof: The roof shall have a foil backed blanket (55mm) and be of dark colour (solar absorption >0.70)

WINDOWS, GLAZED DOORS & SKYLIGHTS:
All window, door & skylight numbers shown on the window/door/skylight schedule correspond to matching window/door/skylight numbers shown in the Basic certificate.
Sizes: The total area of glazing for each window/door/skylight shall be no greater than that shown on the Basic certificate
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A- PIPE IN EASEMENT SHOWN 13/07/20
B- POOL POSITION REVISED 11/08/20



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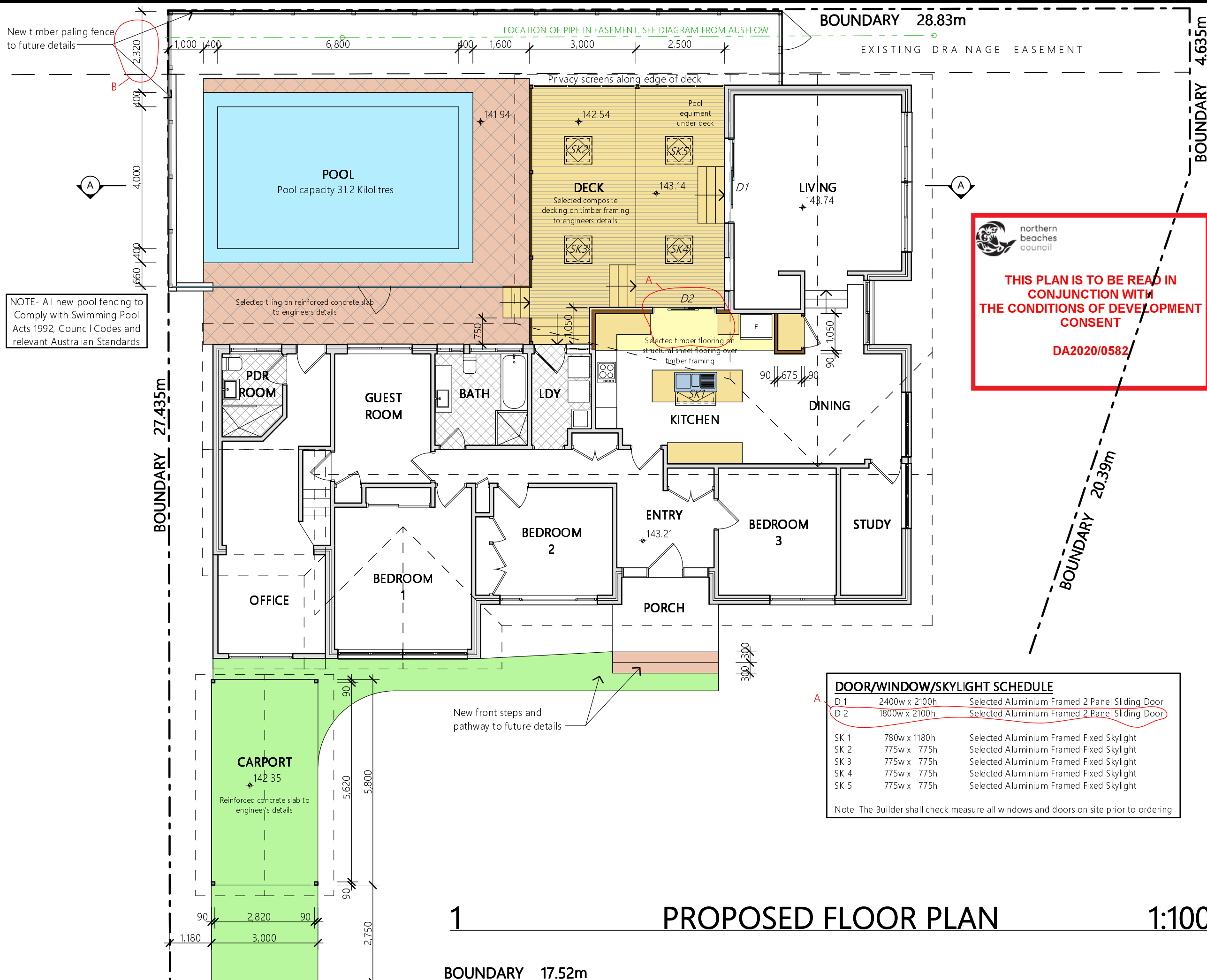
Client
MS. D. COOPER
Project Name
PROPOSED ALTERATIONS + ADDITIONS
22 COORA AVENUE
LOT 4, DP 227151
BELROSE NSW 2085

JAH
DESIGN SERVICES
ABN 22 630 690 834
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086
PH. 0410 410 064 EMAIL juke@jahdesigns.com.au

Drawing Title: SITE PLAN	
Scale: 1:200 @ A3	Date: MAY 2020
Status: DA submission	Checked By: JAH
Project No: 2001	Drawing No.: DA01
Plot Date:	11/08/2020

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0582

1 SITE PLAN 1:200
& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT



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A- W1 CHANGED TO D2. 9/6/20
B- POOL POSITION REVISED 11/08/20

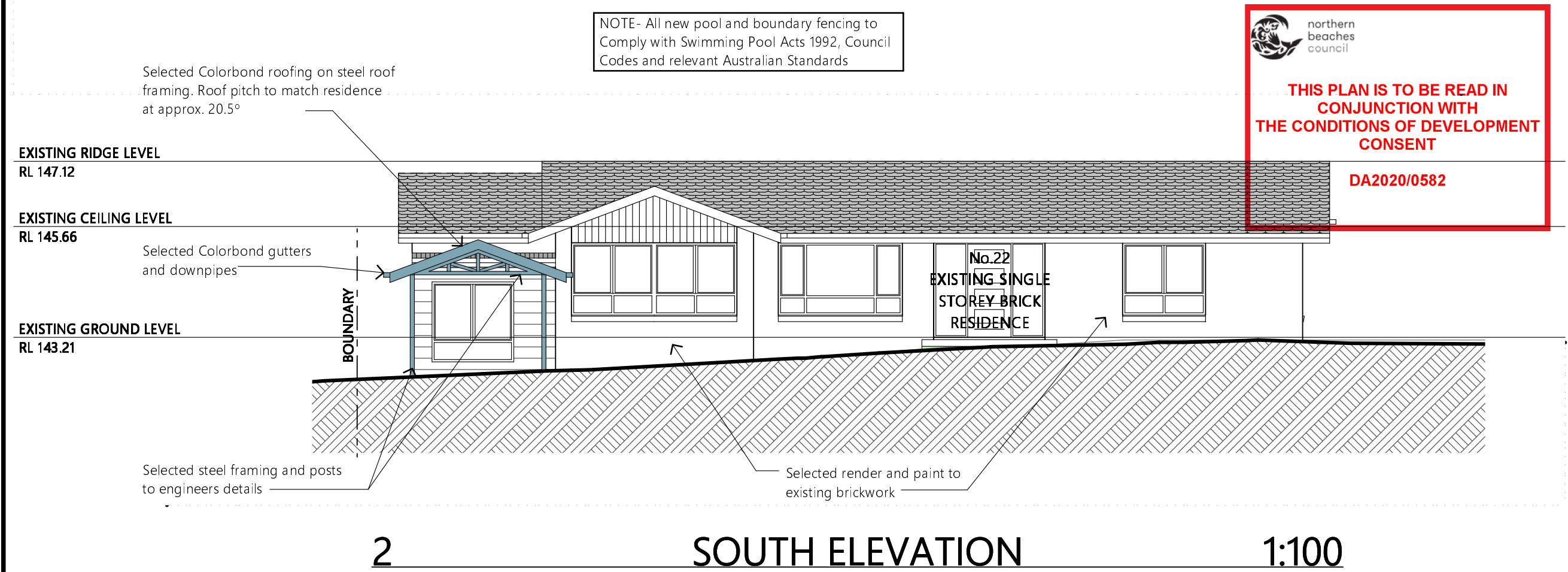
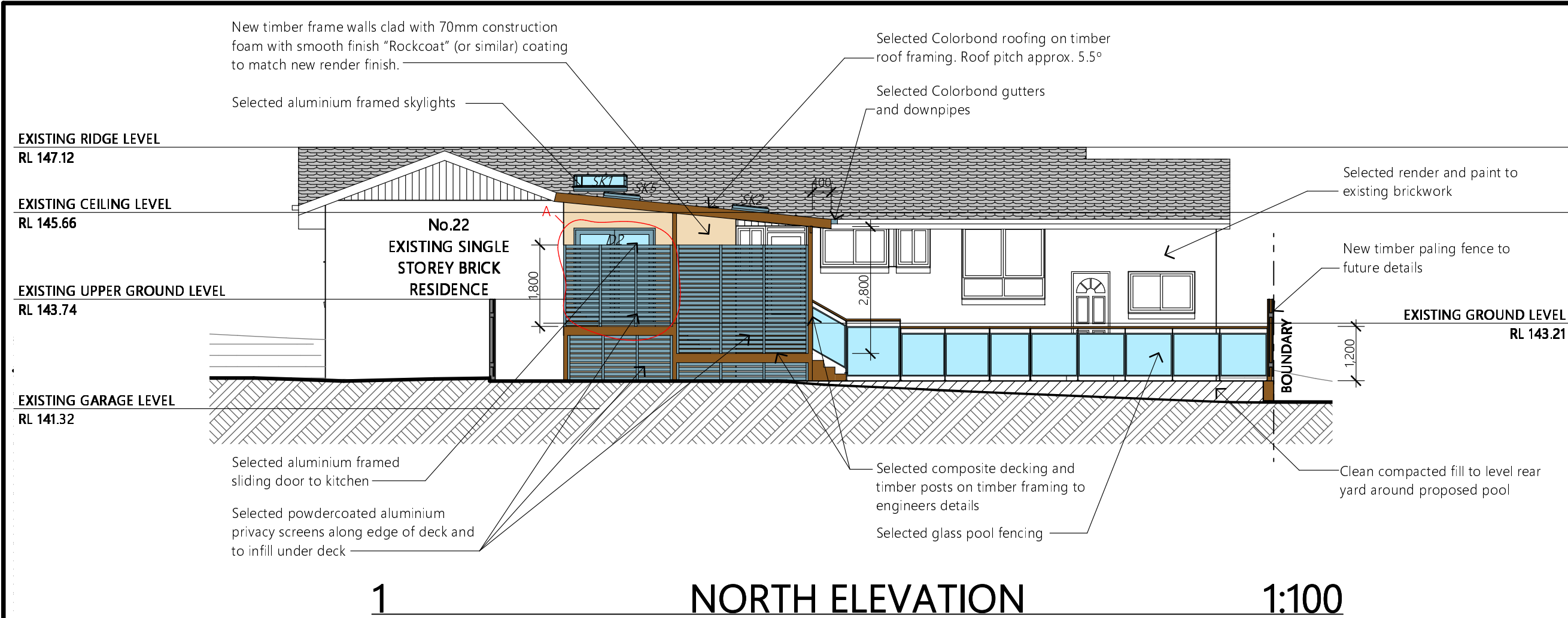
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Client
MS. D. COOPER
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ABN 22 630 690 834
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086
P.H. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:
PROPOSED FLOOR PLAN

Scale: 1:100 @ A3	Date: MAY 2020
Status: DA submission	Checked By: JAH
Project No: 2001	Drawing No.: DA03
Plot Date:	11/08/2020



NOTE- All new pool and boundary fencing to Comply with Swimming Pool Acts 1992, Council Codes and relevant Australian Standards

 **northern beaches council**

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DA2020/0582

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A- W1 changed to D2. 9/6/20

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22 COORA AVENUE
LOT 4 , DP 227151
BELROSE NSW 2085

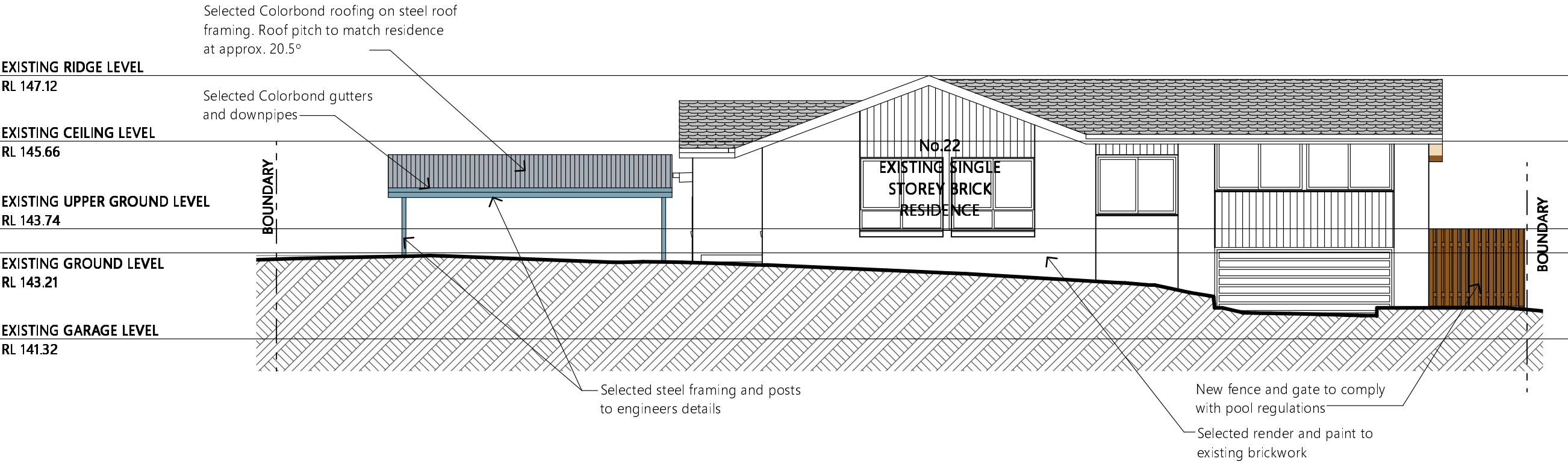


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Drawing Title:
NORTH & SOUTH ELEVATIONS

Scale: 1:100 @ A3	Date: MAY 2020
Status: DA submission	Checked By: JAH
Project No: 2001	Drawing No.: DA04

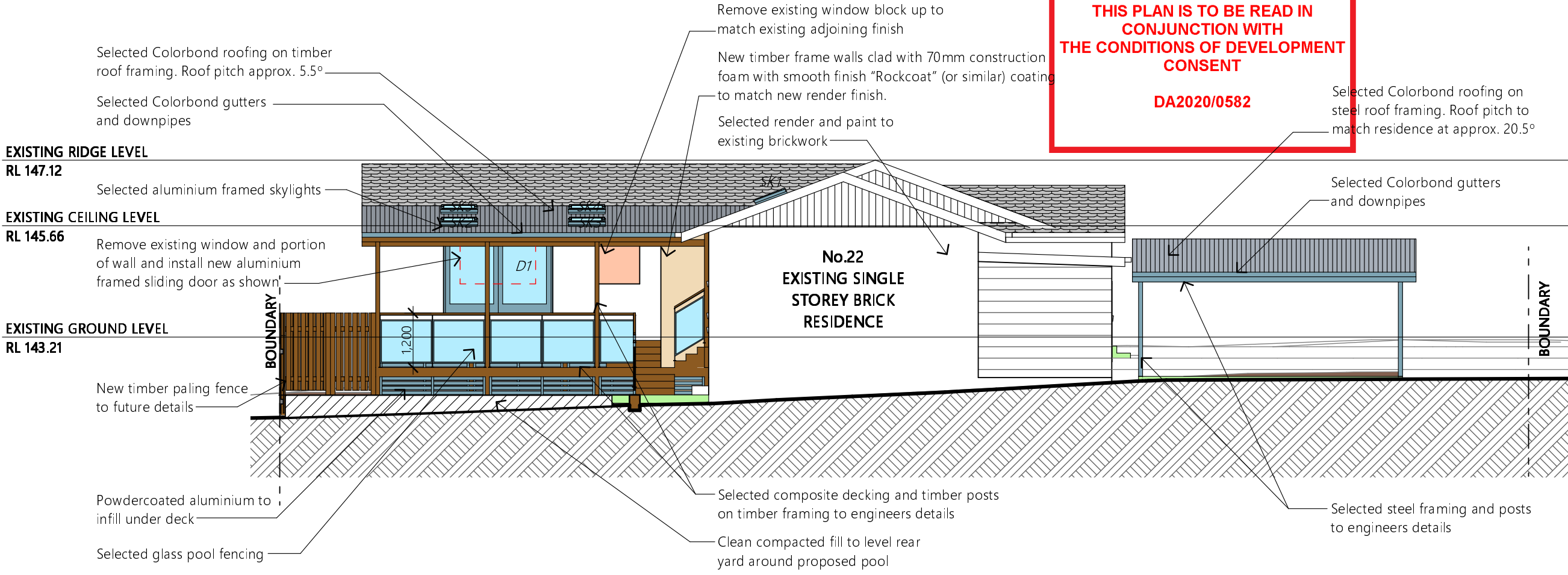
Plot Date: 11/08/2020



1

EAST ELEVATION

1:100



2

WEST ELEVATION

1:100

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BASIX INFORMATION REQUIREMENTS:

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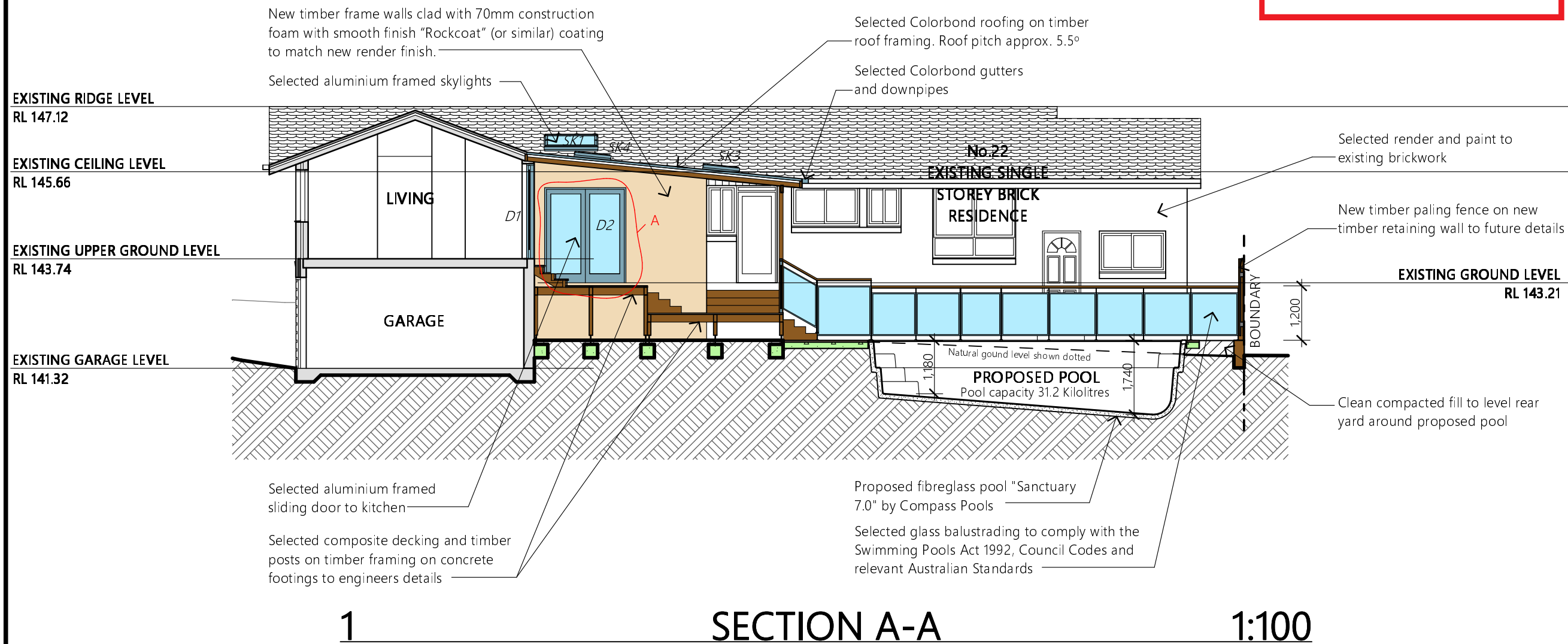
Client
MS. D. COOPER
Project Name
PROPOSED ALTERATIONS + ADDITIONS
22 COORA AVENUE
LOT 4 , DP 227151
BELROSE NSW 2085

ABN 22 630 690 834
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086
P.H. 0410 410 064 EMAIL: jule@jahdesigns.com.au

Drawing Title:
EAST & WEST ELEVATIONS

Scale: 1:100 @ A3	Date: MAY 2020
Status: DA submission	Checked By: JAH
Project No.: 2001	Drawing No.: DA05

Plot Date: 11/08/2020



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A- W1 CHANGED TO D2.	9/6/20
B- SECTIONS B-B AND C-C ADDED	13/07/20
C- SECTIONS B-B & C-C REMOVED	11/08/20

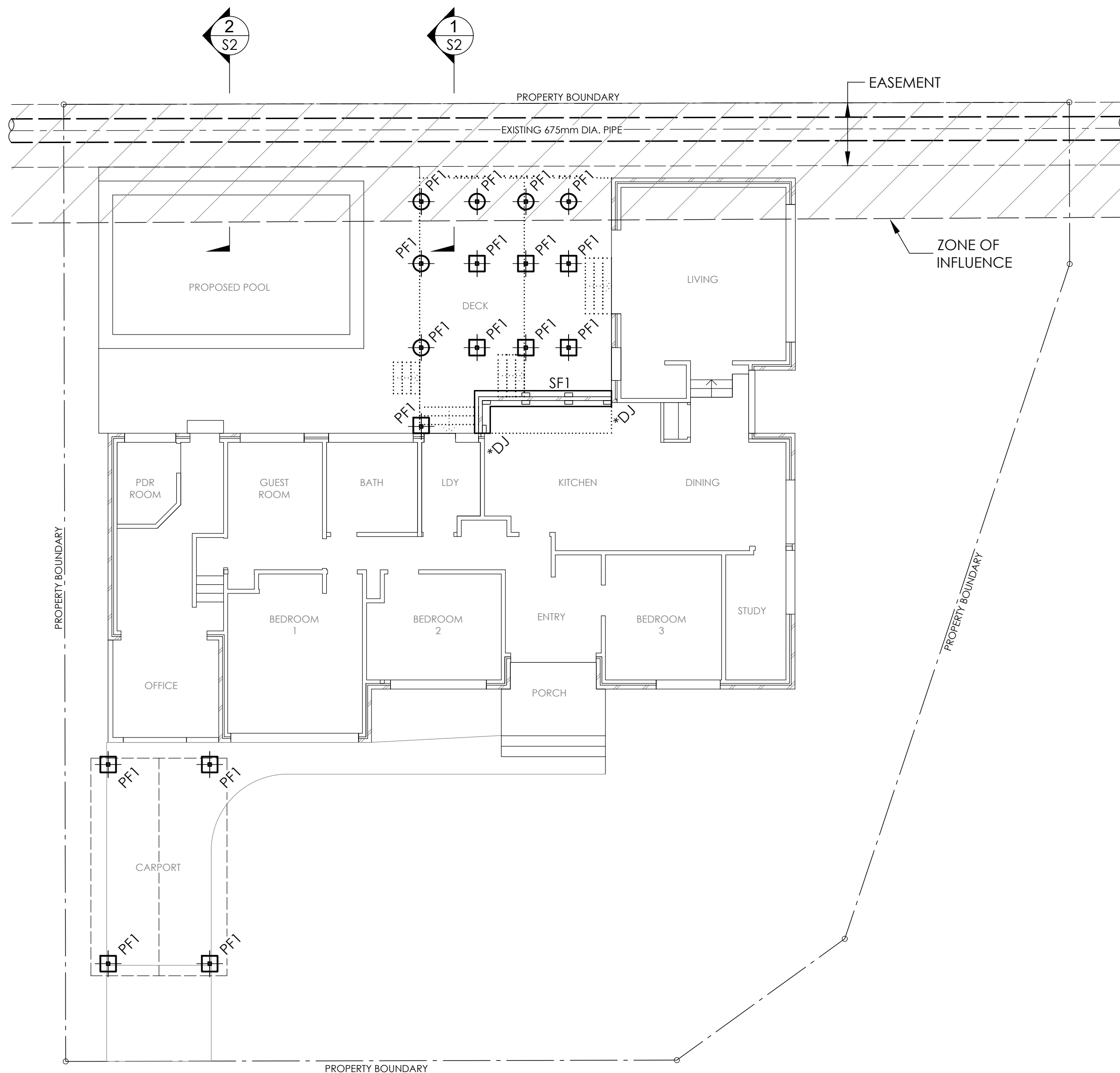
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Client
MS. D. COOPER

Project Name
**PROPOSED ALTERATIONS + ADDITIONS
22 COORA AVENUE
LOT 4 , DP 227151
BELROSE NSW 2085**



SECTIONS	
Scale: 1:100 @ A3	Date: MAY 2020
Status: DA submission	Checked By: JAH
Project No: 2001	Drawing No.: DA06 ^C
Plot Date: 11/08/2020	





northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0582

WALL IDENTIFICATION KEY

BRICK WALL

SITE CLASSIFICATION

THE SITE IS CLASSIFIED AS CLASS 'M.' FOOTINGS HAVE BEEN DESIGNED FOR A NATURAL STIFF CLAY FOUNDATION.

SITE & SLAB PREPARATION

- STRIP TOPSOIL AND GRASS ROOTS OR OTHER ORGANIC MATERIAL SHALL BE REMOVED FROM THE AREA ON WHICH THE SLAB IS TO REST.
- PROVIDE 50mm MIN. THICK LAYER OF WELL COMPACTED GRANULAR MATERIAL UNDER EACH SLAB. TYPICAL.
- PROVIDE DAMP PROOF MEMBRANE UNDER ALL SLABS U.N.O.

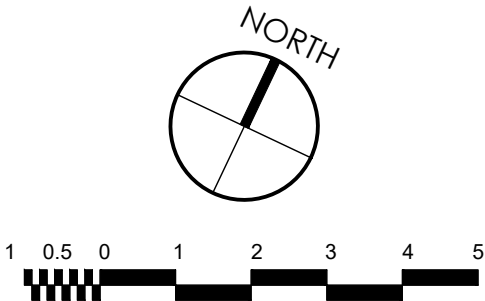
FOOTING REQUIREMENTS


THE FOOTINGS MUST BE INSPECTED BY THE ENGINEER DURING THE COURSE OF EXCAVATIONS, UNLESS GEOTECHNICAL ENGINEERS HAVE BEEN ENGAGED FOR FOUNDATION INSPECTIONS.

STRIP, PAD FOOTINGS & BORED PIERS

- SF1 450 DEEP x 450 WIDE STRIP FOOTING.
BP1 450mm DIA. BORED PIER FOUNDED 300mm BELOW INVERT OF ADJACENT SEWER MAIN.
PF1 450 DEEP x 450 x 450 DEEP PAD FOOTING.
*DJ DRILL AND EPOXY GROUT/CAST IN 150mm, 3N16 x 600mm LONG DOWELS TOP & BTM.

FOOTING & SEWER ZONE OF INFLUENCE PLAN (1:100)




0	10.08.20	PRELIMINARY	
REV	DATE	REVISIONS	SIGNED

GZCONSULTING
ENGINEERSPT
LTD

A.B.N. 69 168 996 585
SUITE 3,1725 PITTWATER ROAD, MONA VALE 2103
P.O. BOX 121, NARRABEEN NSW 2101
PHONE - (02) 9979 5329
EMAIL - info@gzengineers.com.au
GREG ZACCONE BEng MIEAust CPEng NER

CLIENT	MS D. COOPER
PROJECT & SITE	PROPOSED ALTERATIONS & ADDITIONS AT 22 COORA AVE, BELROSE, NSW 2085

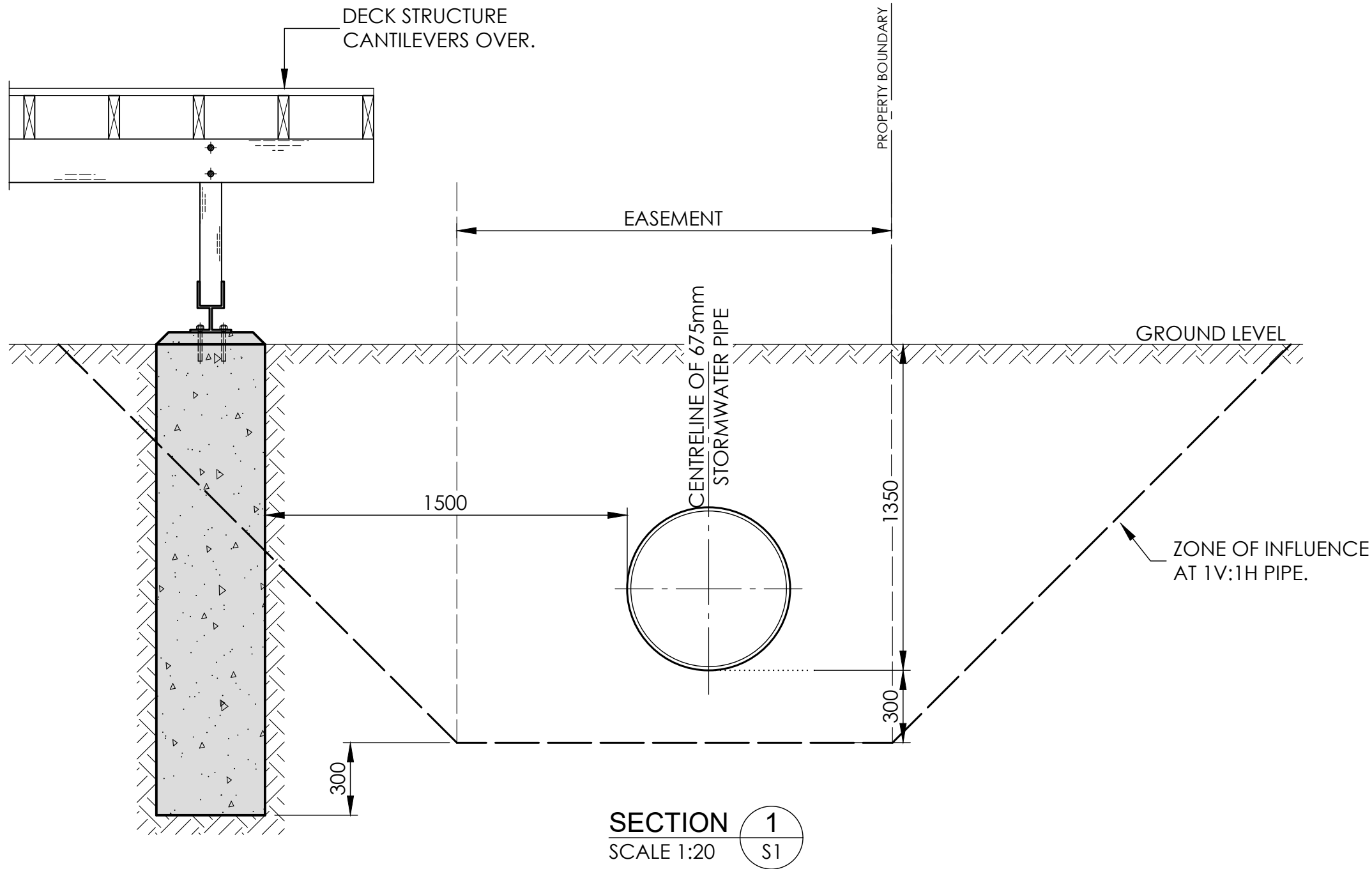
TITLE	FOOTING PLAN
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STATUS PRELIMINARY				
SCALE	DATE	DRAWN	DESIGN	SIGNED
AS SHOWN	10.08.20	M.J.W	G.Z	
PROJECT No.		DRAWING No.		SHEET SIZE
20055		S1		A2

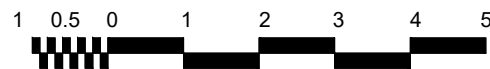
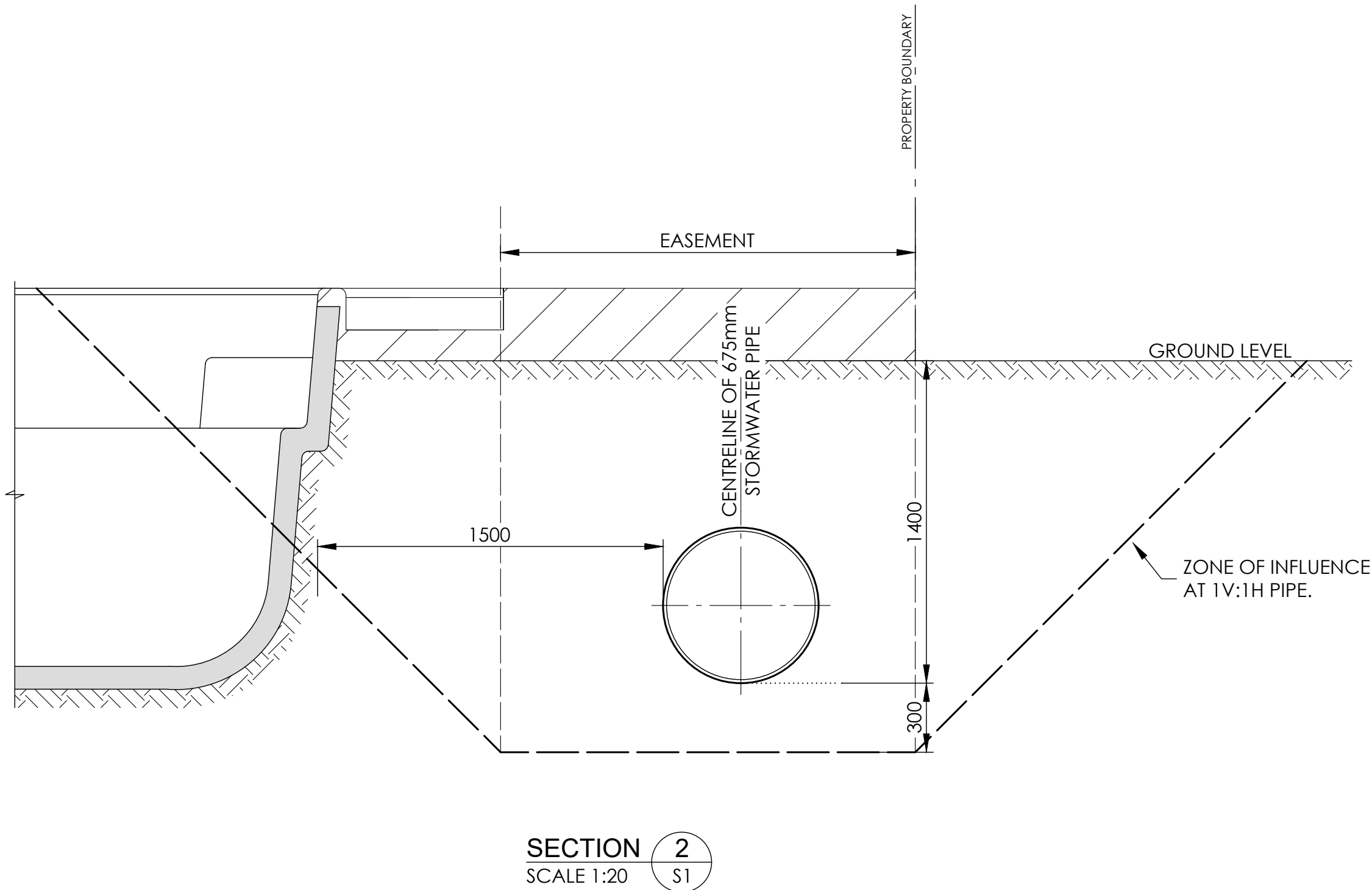


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DA2020/0582



NOTE
THE INTERFACE WITH THE STORMWATER MAIN HAS
BEEN DETAILED IN ACCORDANCE WITH WARRINGAH
COUNCIL TECHNICAL GUIDELINES.



0	10.08.20	PRELIMINARY	
REV	DATE	REVISIONS	SIGNED

GZCONSULTING
ENGINEERS PTY
LTD

A.B.N. 69 168 996 585
SUITE 3,1725 PITTWATER ROAD, MONA VALE 2103
P.O. BOX 121, NARRABEEN NSW 2101
PHONE - (02) 9979 5329
EMAIL - info@gzengineers.com.au
GREG ZACCONE BEng MIEAust CPEng NER

CLIENT	MS D. COOPER
PROJECT & SITE	PROPOSED ALTERATIONS & ADDITIONS AT 22 COORA AVE, BELROSE, NSW 2085

TITLE	ZONE OF INFLUENCE DETAILS
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STATUS PRELIMINARY				
SCALE AS SHOWN	DATE 10.08.20	DRAWN M.J.W	DESIGN G.Z	SIGNED
PROJECT No. 20055		DRAWING No. S2		SHEET SIZE A2