

40 Myoora Road

40 Myoora Road, Terrey Hills NSW 2084

Gardoxi P/L (Norwest)

For Development Approval



Drawing List - Development Application				
Status	Sheet Number	RTVRev	RTVRev Date	Sheet Name
AD	DA1-0000	20	21/05/25	Title Sheet & Drawing List
AD	DA1-0110	08	07/04/25	Materials Palette
AD	DA1-0200	08	07/04/25	General Notes & Abbreviations - Sheet 01
AD	DA1-0201	08	07/04/25	Keynotes
AD	DA1-0400	08	07/04/25	Existing Location Plan
AD	DA1-0401	14	07/04/25	Existing Site Analysis Plan
AD	DA1-0410	14	07/04/25	Site Plan - Existing & Demolition
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AD	DA1-9000	16	21/05/25	Area Plan & Schedule - Proposed
AD	DA1-9010	16	21/05/25	Site Cover Plan & Schedule - Proposed
AD	DA1-9020	10	21/05/25	Gross Floor Area Plan & Schedule - Proposed
AD	DA1-9030	09	21/05/25	Fire Compartmentation - Proposed
AD	DA1-9200	11	07/04/25	Shadow Diagrams - Winter 21st June 9am
AD	DA1-9201	11	07/04/25	Shadow Diagrams - Winter 21st June 12pm
AD	DA1-9202	11	07/04/25	Shadow Diagrams - Winter 21st June 3pm
AD	DA1-9203	11	07/04/25	Shadow Diagrams - Summer 21st December 9am
AD	DA1-9204	11	07/04/25	Shadow Diagrams - Summer 21st December 12pm
AD	DA1-9205	11	07/04/25	Shadow Diagrams - Summer 21st December 3pm

20	21.05.25	For DA: Amended Scheme - Additional Carparking
19	07.04.25	For Development Approval: Amended Scheme
18	28.03.25	Issue for Information
17	28.03.25	Issue for Information
16	28.02.25	Issue For Information
15	21.02.25	Issue for Information
14	14.02.25	Issue for Information
13	01.10.24	For Development Approval
12	03.09.24	For Development Approval
11	14.08.24	Issue for Information

RevDateAmendments

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Nominated Architect: Glenn Cunningham #6415

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Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	
Drawing #	DA1-0000	Rev 20

21/05/2025 1:05:10 PM



Tmb01



Ste01



Ste02



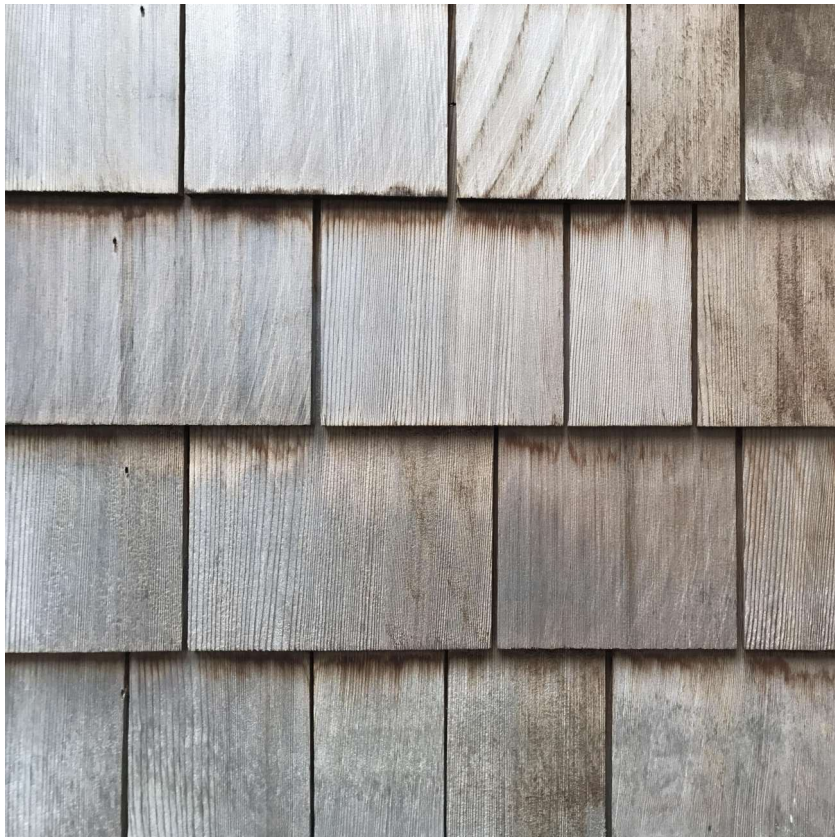
Stn01



Poly01



Tmb02



Tmb03



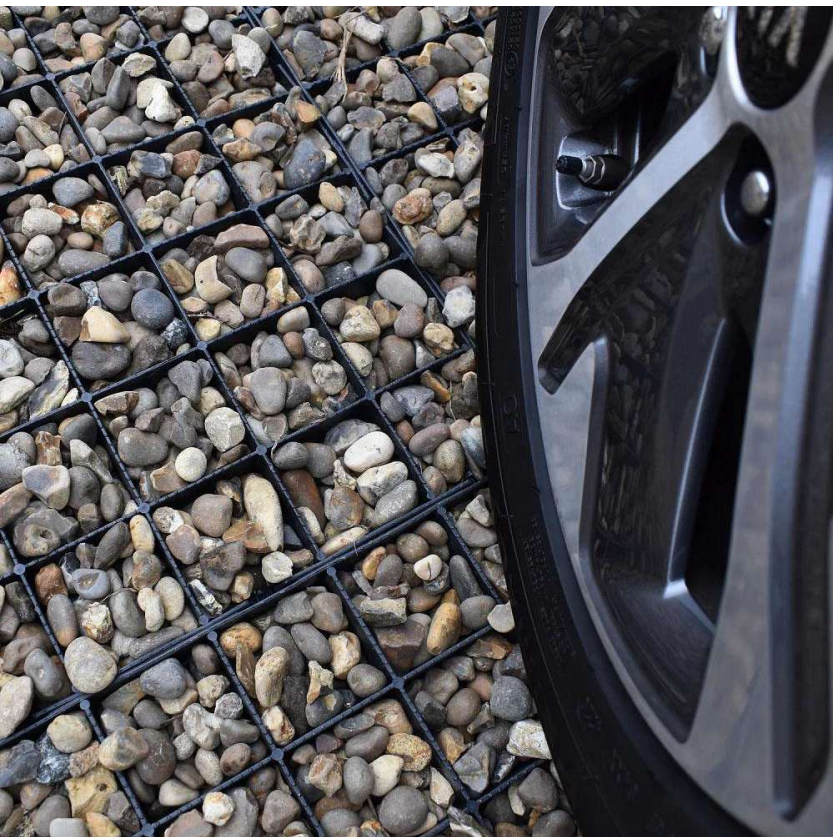
Brk01



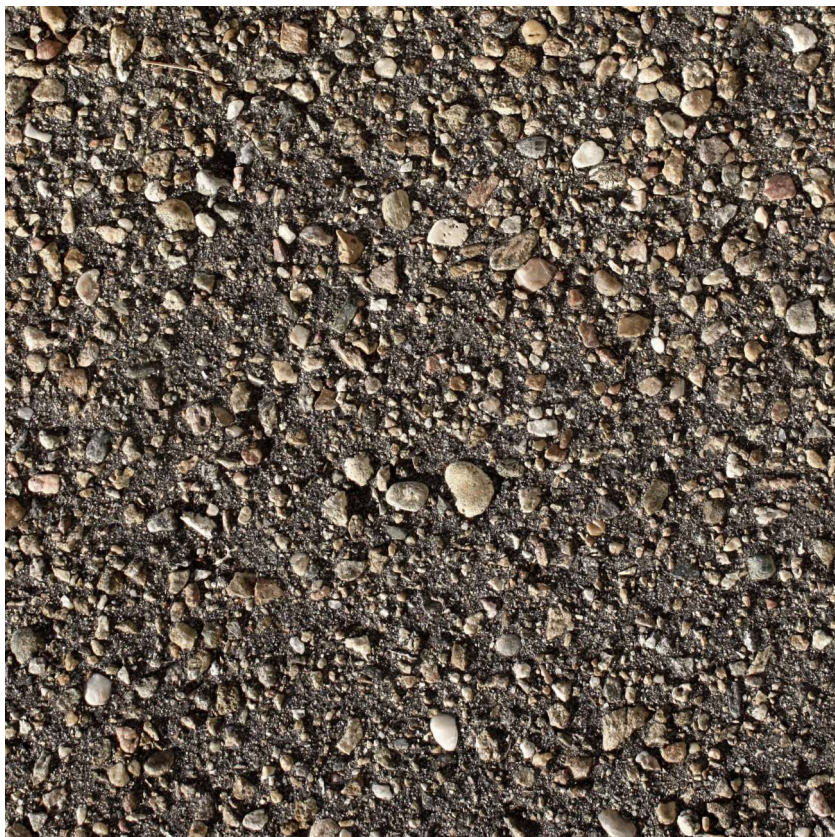
Con02



Con03



Peb01



Ash01



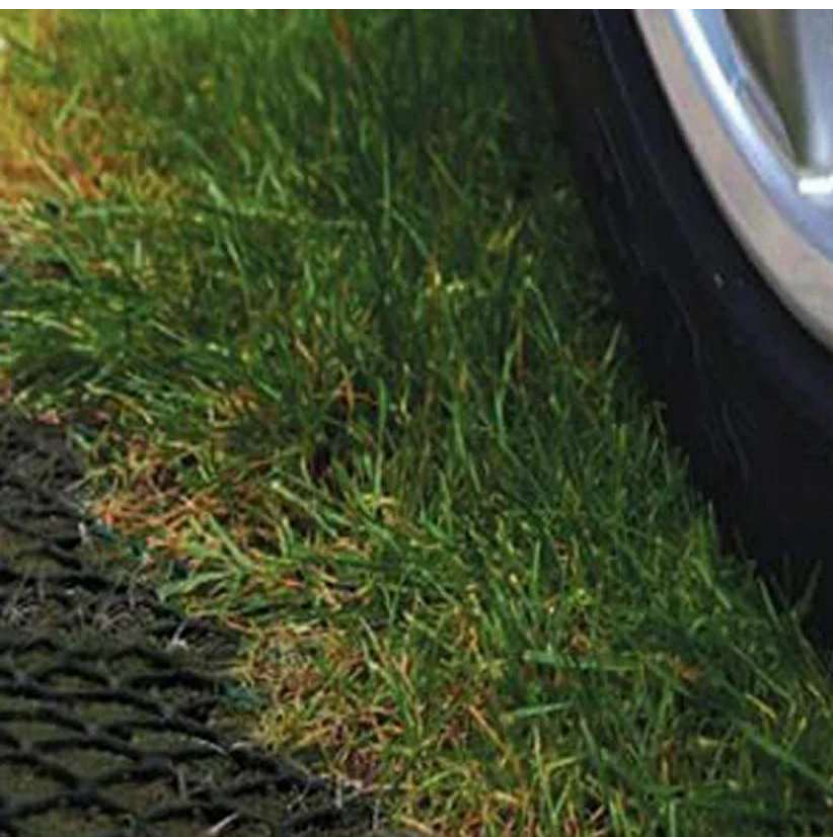
Con01



Con04



Pav01



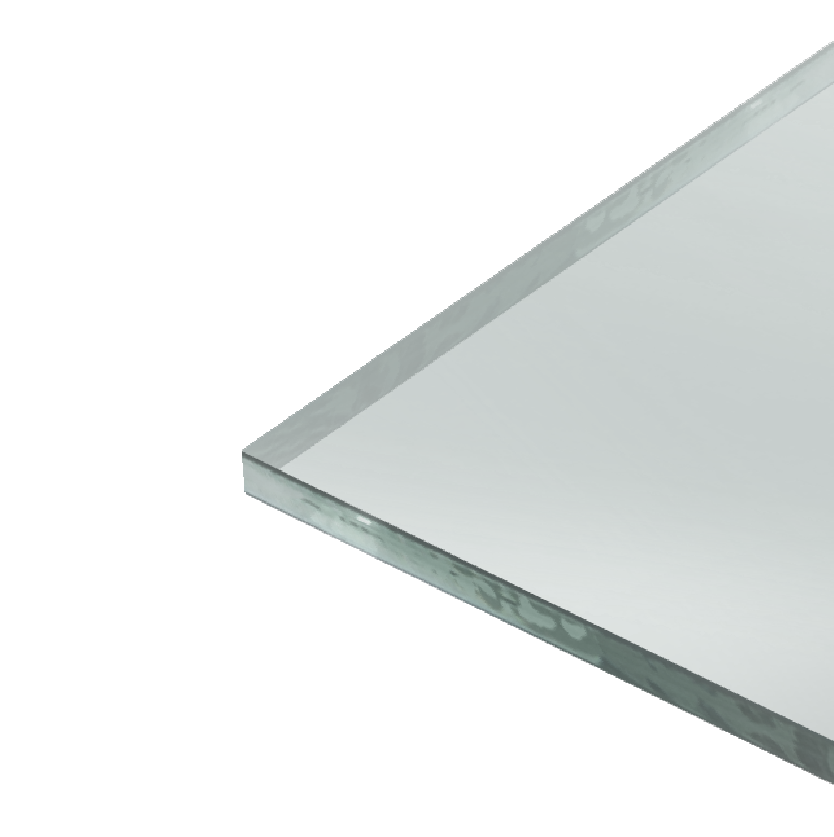
Gra01



Tmb04



AI01



Gla01



AI02

Materials & Finishes Legend

AI01	Aluminium Framed Windows and Doors Powder Coat Finish
AI02	Aluminium Weather Louvre Powder Coat Finish
Ash01	Asphalt Surfacing
Brk01	Reclaimed Sandstock Brickwork
Con01	Concrete Hardstand Exposed Aggregate
Con02	Insitu Concrete Walls & Retaining
Con03	Insitu Concrete Feature Embedded Stone
Con04	Concrete Paving Honed Finish
Gla01	Clear Performance Laminated Glazing
Gra01	Grass Reinforcement Mesh
Pav01	Permeable Paving Refer to Landscape Architect's Specifications
Peb01	Permeable Pebble Road Surfacing
Poly01	Corrugated Polycarbonate Roofing
Ste01	Galvanised Corrugated Steel Wall Cladding & Roofing
Ste02	Galvanised Steel Structural & Detail Elements
Stn01	Sandstone Retaining Locally Sourced
Tmb01	Hardwood Timber Framing Structural & Detail Elements
Tmb02	Hardwood Timber Cladding Lap & Cap
Tmb03	Hardwood Timber Cladding Square Cut Shingle
Tmb04	Timber Framed Windows and Doors

- Construction to comply with Building Class, Construction Type and FRLs in accordance BCA Compliance Assessment Report.
- External wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 and external wall colour to a maximum solar absorptance of 0.60 in accordance with Section J DTS Assessment and Report.
- Internal wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 in accordance with Section J DTS Assessment and Report.
- External roof construction to comply with total system R-value of R3.70 and external wall colour to a maximum solar absorptance of 0.45 in accordance with Section J DTS Assessment and Report.
- Floors to unconditioned spaces constructed to comply with total system R-value of R2.00 in accordance with Section J DTS Assessment and Report.
- External glazing suites to have a total system U-value of U4.30 and a SHGC of 0.52 generally in accordance with Section J DTS Assessment and Report.
- Roof lights to have a total system U-value of U3.90 and a SHGC of 0.29 with shaft insulation to comply with total system R-value of R1.40 generally in accordance with Section J DTS Assessment and Report.

General Notes

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This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

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01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval
04	21.02.25	Issue for Information
05	26.02.25	Issue For Information
06	26.03.25	Issue for Information
07	26.03.25	Issue for Information
08	07.04.25	For Development Approval: Amended Scheme

Rev	Date	Amendments
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Project
40 Myoora Road

Client
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Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Materials Palette

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Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	07/04/25
Drawing #	DA1-0110	Rev 08

General Notes - Approval Documenation (AD)

General notes, abbreviations & specifications Refer also to any general notes, abbreviations and specifications provided in relation to this document set. Note that written specifications, where provided, take precedence to the extent of any discrepancy.	Conservation management plan Refer to the Conservation Management Plan. Coordinate the requirements of the Conservation Management Plan with the intent of the project documentation. Where a discrepancy is identified notify the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.
Coordination Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation and/or statutory or other authority requirements to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.	Levels Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. Unless noted otherwise surveyed levels are indicated relative to the Australian Height Datum. Prior to the commencement of construction, levels and datum are to be confirmed on site by a licensed surveyor with reference to the site survey documents.
Detail Drawings Unless noted otherwise, where available, refer to detail drawings for set-out and detailed construction information. Where a discrepancy arises drawings at larger scales generally take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.	Falls Finish surfaces in wet and/or external areas to fall, as required and in accordance with NCC and AS requirements, to facilitate effective drainage.
Units of measurement Unless noted otherwise: - Dimensions are shown in millimetres; and - Levels are shown in meters	INTERPRETATION "Approved" or "Approval" UNO means, depending upon the context of the related part of the works, to the approval of the Project Administrator or party authorised by the Project Administrator to grant approval, or as approved by the relevant consent authority in relation to the related part of the works.
Access and Mobility Compliance Report Where applicable refer to and execute the works in accordance with the current Access and Mobility Compliance Report. Where a discrepancy arises between the requirements of the Access and Mobility Compliance Report and this documentation the Access and Mobility Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.	"BCA (Building Code of Australia)" refers to the current and/or applicable edition of the BCA. Any reference made to the BCA or Building Code of Australia, unless in relation to a specific provision of a previous issue of the BCA, is to be interpreted to refer to the current and/or applicable edition of the BCA. "Documentation" means the current version of the complete documents for the works including the relevant drawings, specifications from all consultants and the relevant statutory requirements. "If (where or as) required" is a conditional term for work which may be shown on or implied by the documentation for the practical construction and whole completion of the works or works that are required by legislation or other relevant authority requirements.
Acoustic Compliance Report Where applicable refer to and execute the works in accordance with the current Acoustic Compliance Report. Where a discrepancy arises between the requirements of the Acoustic Compliance Report and this documentation the Acoustic Compliance Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.	"NCC (National Construction Code)" refers to the current and/or applicable edition of the NCC. Note that from May 2011 the NCC incorporates the BCA. "PCA" means "Principal Certifying Authority". "Principal" has the same meaning as "owner", "client" and "proprietor" and refers to the party to whom the Contractor is legally bound, under the terms of the construction contract, to construct the works. "Project administrator" has the same meaning as "Contract administrator", "architect" or "superintendent" as applicable to a particular project and is the person appointed by the "owner", "principal" and/or "proprietor" with authority to issue approvals and/or instructions under the contract. "Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference number. "Provide" means to supply and install.
Fire Engineering (and/or Alternate Solution) Report Where applicable refer to and execute the works in accordance with the current Fire Engineering (and/or Alternate Solution) Report. Where a discrepancy arises between the requirements of this documentation and any applicable Fire Engineering (and/or Alternate Solution) the Fire Engineering (and/or Alternate Solution) will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.	

"Required" means required by the contract documents, and/or by the Local or Statutory Authorities and/or to contribute to complete the execution of the works in accordance with the intent of the documentation. "Selected" means a material, finish, fitting or fixture to be selected by the Architect, Project Administrator and/or Proprietor. Refer to the relevant specification or schedule. If no selection is apparent notify the Project Administrator for direction. "... to detail" in reference to an item or element of the works means that the applicable item is to be in accordance with the relevant Architect's detail. If a relevant detail is not evident notify the Project Administrator for direction prior to proceeding with the affected part of the works. "Refurbish" means to repair any existing damage and return the element to a standard of operation and finish generally consistent with a similar new element. "UNO" means "unless noted otherwise". "Water resistant" describes the property of a material that restricts moisture movement and will not degrade under conditions of moisture. "Waterproof" describes the property of a material that does not allow moisture to penetrate through it.	Hydraulic works Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be designed and constructed to achieve the design intent implied by the architectural documentation, coordinate with other structure and services and in accordance with the Local Authority, Statutory Authority, Hydraulic and/or Civil Works Consultant's requirements. Coordinate with the hydraulic consultant and contractors to ensure that all required certifications are provided in accordance with the relevant service authority and statutory requirements to the PCA's satisfaction. Mechanical works Mechanical works including air-conditioning, ventilation, exhaust etc. are to be designed and constructed to achieve the design intent implied by the architectural documentation, coordinate with other structure and services and be accordance with the Local Authority, Statutory Authority, Mechanical Consultant's requirements. Coordinate with the mechanical consultant and contractors to ensure that all required certifications are provided in accordance with the relevant service authority and statutory requirements to the PCA's satisfaction. Structural works Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be constructed to achieve the design intent implied by the relevant aspects of the structural engineer's design and specification, architectural documentation and other design and services consultant's documentation. Coordinate the structural works with the architectural documentation and other design and services consultant's documentation as required. Provide cleats, brackets, holes, spacers, etc as required to achieve the implied design intent whether specifically detailed or not. Where cleats, brackets, holes, spacers, etc are required and are not specifically detailed, submit proposed details to the Project Administrator for approval prior to fabrication. Coordinate with the structural engineer to ensure that all required certifications are provided in accordance with statutory requirements to the PCA's satisfaction.
EXECUTION OF THE WORKS Compliance Execute the works in compliance with the relevant provisions of the current editions (as amended at the time of execution of the works) of: - The National Construction Code (NCC) and Building Code of Australia (BCA), refer to the BCA Compliance Schedule for reference where provided with this documentation; - Applicable Australian and other published Standards, codes and policies; - Relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works; and - Where available, the associated BCA and/or Development Consent Compliance Report.	Existing Buildings & Structures including finished levels & details of external works Details of existing buildings and structures, including finished levels and details of external works shown are consistent w ith the associated detail survey and may also reflect measurements on site. Confirm the veracity, in regard to location, extent and levels of existing building elements on site. Where a discrepancy arises notify the Project Administrator for direction prior to proceeding with associate works to the extent that they are affected by the discrepancy. Erosion & Sediment Control Apply erosion and sediment control measures in accordance with the Local Authority and, where applicable, Hydraulic or Civil Works Consultant's requirements to avoid erosion, sedimentation and/or contamination of the site, surrounds and stormwater drainage system. Apply measures to ensure that the site remains free of water and to prevent water flow over the new work. Erosion & sediment control measures are to be effective from commencement of the works (including demolition) and maintained throughout the course of the works until the site is fully stabilised.

Standard Abbreviations Legend (AD)

General	General	General	General
#	Where indicated to designate a particular type of a referenced item. Refer to the relevant schedule for specifications.	Fla	Flashing
AC	Air-conditioning	Flr	Floor
Acst	Acoustic	FR	Fire rated
Adj	Adjustable / adjacent	Frm	Frame / framing
AFFL	Above finished floor level	FS	Flush set
Agmt	Arrangement	FT#	Floor type #
Amd(t)	Amend(ed) / Amendment	FW	Aprvd proprietary floor waste to suit floor finish and WPM reqs
AP	Access Panel	G#	General Arrangement
Aprv(d/l)	Approved by / Approval of the PA and/or relevant authority	Gd#	Grid #
Aprx	Approximate	Gd#	Grated Drain#
Arch	Architect	Gnd	Ground
AS	Australian Standard	HC	Hose cock
Avg	Average	Hd	Head
AWC	Accessible water closet	Hdl	Handle
Awn	Awning	Hor	Horizontal
Bal	Balustrade	HR	Hand Rail
Bat(s)	Batten(s)	Ht	Height
BCA	Building Code of Australia	Hyd	Hydraulic
Bdy	(Property) Boundary	HWB#	Hand wash basin #
BG	Box Gutter to detail	IAW	In accordance with...
Bhd	Bulkhead	Incl	Include / included / inclusive
Bldg	Building	Ind	Indicator
BOR	Bottom of ramp	Ins	Inside / Inside of...
BOS	Bottom of stair	Ins#	Insulation #
BT	Proprietary SS bucket trap easily removable & integrated with FW	Inst	Instruction(s)
Cav	Cavity	Int	Internal
CC	Construction certificate	IO	Inspection opening
Ceil	Ceiling	IR	Impact resistant
Chg(d)	Change / changed	J?.#	Joinery item # (? : Level)
Chk	Check	KE	Kitchen Exhaust
Chnl	Channel	Lvl	Level
CJ	Control joint / Construction joint	Lvr	Louvre / louvered
CL	Centre line	Man(s)	Manufacturer(s)
Clr	Clear / Clearance / closer	Max	Maximum
Cnr	Corner	Mech	Mechanical
Col	Colour / Column	Min	Minimum
Con(s)	Consultant(s)	MR	Mirror rev / Moisture resistant
Cont(s)	Contractor(s)	Mtr	Mitre / Mitred
Coord	Coordinate (with...)	NA	Not applicable
COS	Check / confirm on site	NCC	National Construction Code
Cpd	Cupboard	Nom	Nominal
Crs	Centres	NTS	Not to scale
CT#	Ceiling #	OA	Overall
Ctr	Centre / contour	Obs	Obscure
D?.#	Door # (? : Level)	OH	Over head
DA	Development Application	OF	Overflow
Demo	Demolish and remove from site	Orig	Original (building fabric)
Det(s)	Detail(s)	OS	Outside / Outside of... / On site
Dia	Diameter	Own	Owner / Proprietor / Principal
Dim	Dimension	PA	Project Administrator
Doc(s)	Documentation, documents	Pav	Paving
DP	Down pipe	PCA	Principal certifying authority
Dwg(s)	Drawing / drawings	PFC	Parallel flange channel
EA	Equal angle	Plt	Plate
EG	Eaves Gutter	PM	Project Manager
Elev	Electrical	Prelim	Preliminary
Elev	Elevation	Proj	Project
Eng'(s)	Engineer'(s)	Prop	Proposed
Eq	Equal	Prt#	Part / Partition #
Est	Estimated	Qty	Quantity
Ex / Exst	Existing when referring to building elements	R / Rad	Radius
Exh	Exhaust	RCP(s)	Reflected Ceiling Plan(s)
Ext	External / exterior	Re	Reinforced / reinforcement
FCL	Finished ceiling level	Recb	Rebate
FE	Fire...escape / exit / extinguisher	Recyc	Demolish, stockpile and recycle into the works as req
FF#	Floor finish type #	Ref	Reference, refer (to...)
FFL	Finished floor level	Rem	Remove, take care to avoid damage to substrate materials and structure, and dispose of
FG	Fixed glazing	Rep	Replace, UNO to match exst
FGL	Finished ground level	Req(s)	Required / Requirement(s)
FH	Fire hydrant	Rev#	Revision #
FHR	Fire Hose Reel	RFR	Recover without damage, protect, store and prepare for reuse within the works as req
FIP	Fire Indicator Panel	RFO	Recover without damage for the Owner to remove
Fix	Fixing / fixings		
FJ	Floor joist		

	Rectangular hollow section	Materials & Finishes	
RI	Rough in (cap and/or terminate as req for future connection)	Acr	Acrylic
RL	Reduced / relative level (to datum)	Adh	Adhesive (compatible with substrate and fit-for-purpose)
RT#	Roof type #	Agd	Aged / Antiqued
RWO	Rain Water Outlet	Al	Aluminium
S4.55	Section 4.55 Application to amend a Development Consent	An	Anodised
SBt	Split batten (fixing)	Bit	Bitumen
Schd(s)	Schedule(s)	Blk	Block / Blockwork
Scr#	Screen # to detail	Brk	Brick / Brickwork
SDr	Surface drainage	Brs	Brass
Sect	Section	Brz	Bronze
Sel	Selected... typically referring to a finish to be selected by the architect, client, PA or PM	CB	Colourbond (finish)
Serv(s)	Services	CFC	Compressed fibre cement
SFL	Structural floor level	CLam	Compact laminate
SHS	Square hollow section	Conc	Concrete
S#	Sign# / Signage to detail	Cpt	Carpet
Sk	Sink / Sketch	CR	Cement render
Skt	Skirting	Cu	Copper
Sl	Seal / sealant	Epxy	Epoxy
SL	Surface level / Shadow-line	FBrk	Face brick / Face brickwork
Slid	Sliding	Fab	Fabric
Smk	Smoke	FC	Fibre cement
SN	Stair nosing	Gal	Galvanized
Sof	Soffit	Gla#	Glass # / Glazing #
Spec(s)	Specification(s)	HDG	Hot dipped galvanized
SR#	Service(s) riser #	HMR	Heat & moisture resistant
SSD	Sub-surface drainage	Lam	Laminate / Laminate overlaid... / Laminate(d)
SSL	Structural slab level	Lam#	Laminate #/ Laminate overlaid...
Std	Standard	MB	Mortar bed
Str	Store / Storage	MDF	Medium density fibreboard
Struct	Structure / Structural	Mel	Melamine overlaid
SWP	Storm water pit	MIO	Micaceous iron oxide
TBA	To be advised (UNO generally by the PA, Arch and/or Owner)	MSt	Metal stud (framing)
TBC	To be confirmed (UNO generally by the Contractor)	Obs	Obscure
TD	Tun dish to aprvd detail iaw Hyd	OFc	Off form (reinforced) concrete
TGS#	Tactile ground surface indicators	Pav#	Paving
TO	Top of...	Pb	Plasterboard
TOG	Top of gutter	PC	Powdercoat
TOK	Top of kerb	Pcb	Polycarbonate
Tol	Tolerance	PCC	Pre cast concrete
TOR	Top of ramp	PF#	Selected paint finish #
TOS	Top of stair	Ply	Plywood
TOW	Top of wall	Ptb	Particleboard
Tr	Tree	Rbd	Renderboard
Typ	Typical	RC	Reinforced concrete to Struct Eng spec
UA	Unequal angle	SCP	Satin chrome plated
UB	Universal beam	SS	Stainless steel
UC	Universal column / under cut	SSS	Satin stainless steel
UG	Under ground	Ste	Steel
UNO	Unless noted otherwise	Stn#	Stone # to sched and/or spec
Ur#	Urinal #	Til#	Tile #
US	Underside	Tmb#	Timber #
VB	Vapor barrier	TSt	Timber stud (framing)
Vert	Vertical	TV	Timber veneer
Vent	Ventilation (grille)	Vbd	"Villaboard" or aprvd equal fibre cement lining board
W	With	Vin	Vinyl
W?.	Window #, Glazing # and/or Shop Front element # (? : Level)	Zn	Zinc / Zincalume
WC#	Water closet / Toilet Pan #		
Win	Window		
WF#	Wall finish type #		
WO	Without		
WP	Water proof		
WPM	Water proof membrane		
WT#	Wall type #		

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Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing General Notes & Abbreviations - Sheet 01

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Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	
Drawing #	DA1-0200	Rev 08

Demolition Keynote Legend	
Key Value	Keynote Text

De.01	Demolish existing building.
De.02	Remove existing tree in accordance with arborist impact assessment.
De.03	Demolish existing paving, hardstand and driveway surfaces.
De.04	Extent of excavation in accordance with cut and fill plan prepared by civil engineer.
De.05	Existing power pole to be removed.

Base Build Keynote Legend	
Key Value	Keynote Text

BB.01	Traversable green roof constructed above basement. Minimum soil depth 1000mm.
BB.02	Tiered planters constructed above basement. Minimum soil depth 1000mm.
BB.03	Outdoor double sided wood burning fireplace. Flue and chimney height to manufacturer's specifications.
BB.04	Outdoor burning fireplace integrated into retaining wall. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.
BB.05	Indoor wood burning fireplace. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3.
BB.06	Industrial automatic steel sliding privacy gate. 2700mm high.
BB.08	Hardwood timber pergola.

Site Works Keynote Legend	
Key Value	Keynote Text

Si.03	Hardwood post and rail fencing.
Si.04	Sandstone block and log fencing and retaining walls.
Si.05	Palisade providing secure separation for kids play to at grade parking.
Si.06	Tiered retaining wall.
Si.07	Proposed new public and service vehicle entry.
Si.08	Proposed kerb ramps to provide pedestrian access within council's road reserve.
Si.09	Illuminated digital traffic signage for overflow parking to future detail.
Si.10	Illuminated traffic way finding signage to future detail.
Si.11	External lighting integrated into retaining wall and planters to illuminate driveway in accordance with as/nzs 1158.3.1.
Si.12	External lighting integrated into retaining wall and planters to illuminate parking in accordance with as/nzs 1158.3.1.

Services Keynote Legend	
Key Value	Keynote Text

Se.01	Provisional location for booster assembly.
Se.02	On site detention tank installed under ground below on grade parking. Refer to civil engineer's documentation for further details.
Se.03	Provision for public electrical vehicle charging bay.
Se.08	Cpex riser with exhaust integrated into outdoor fireplace.
Se.09	Ducted-split actron to service restaurant 02 and restaurant 03.
Se.10	Garbage exhaust duct riser. Provide (min.). Duct to connect to roof-mounted cowl fan.
Se.11	Toilet exhaust duct riser. Duct to connect to roof-mounted cowl fan.
Se.12	Duct riser to serve restaurant. Duct riser to be connected to cowl fan.
Se.13	Supply duct riser to serve kitchen area and amenities. Duct riser to be connected to cowl fan.
Se.14	Supply duct riser to serve kitchen area. Duct riser to connect to roof-mounted cowl fan.
Se.15	Kitchen exhaust duct riser to connect to roof-mounted cowl fan.
Se.16	Pit inlets. Refer to civil engineer's documentation for further details.
Se.18	Live fuel cooking system.
Se.19	Blue hatched areas indicate potential locations for pv panels. To be refined by supplier/operator taking into account overshadowing from trees and roof limitations
Se.20	Proprietary 10kl underground water tank. Minimum 1000mm soil depth above tank.
Se.21	Proposed location of power pole.

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Rev	Date	Amendments
01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval
04	21.02.25	Issue for Information
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06	28.03.25	Issue for Information
07	28.03.25	Issue for Information
08	07.04.25	For Development Approval: Amended Scheme

Rev	Date	Amendments



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PO Box 490 Darlinghurst NSW 1300

Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing Keynotes

For Development Approval

Scale @ A1	Drawn by	Checked by
Scale @ A3		
Project Start Date	Issue Date	Sheet Issue Date
Project #	2725	07/04/25
Drawing #	DA1-0201	Rev 08



Site Analysis Legend

- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Neighbouring Public Buildings
- Neighbouring Recreation, Commercial & Hospitality Buildings
- RU4 Land Zoning
- Strahler System 1st Order Watercourse as per Warringah DCP 2011 Waterways and Riparian Lands Northern Beaches Map Data
- Predominant Wind Direction
- Noise Source
- Pedestrian Access
- Public Vehicle Entry / Exit
- Service Vehicle Entry / Exit

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Rev	Date	Amendments
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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

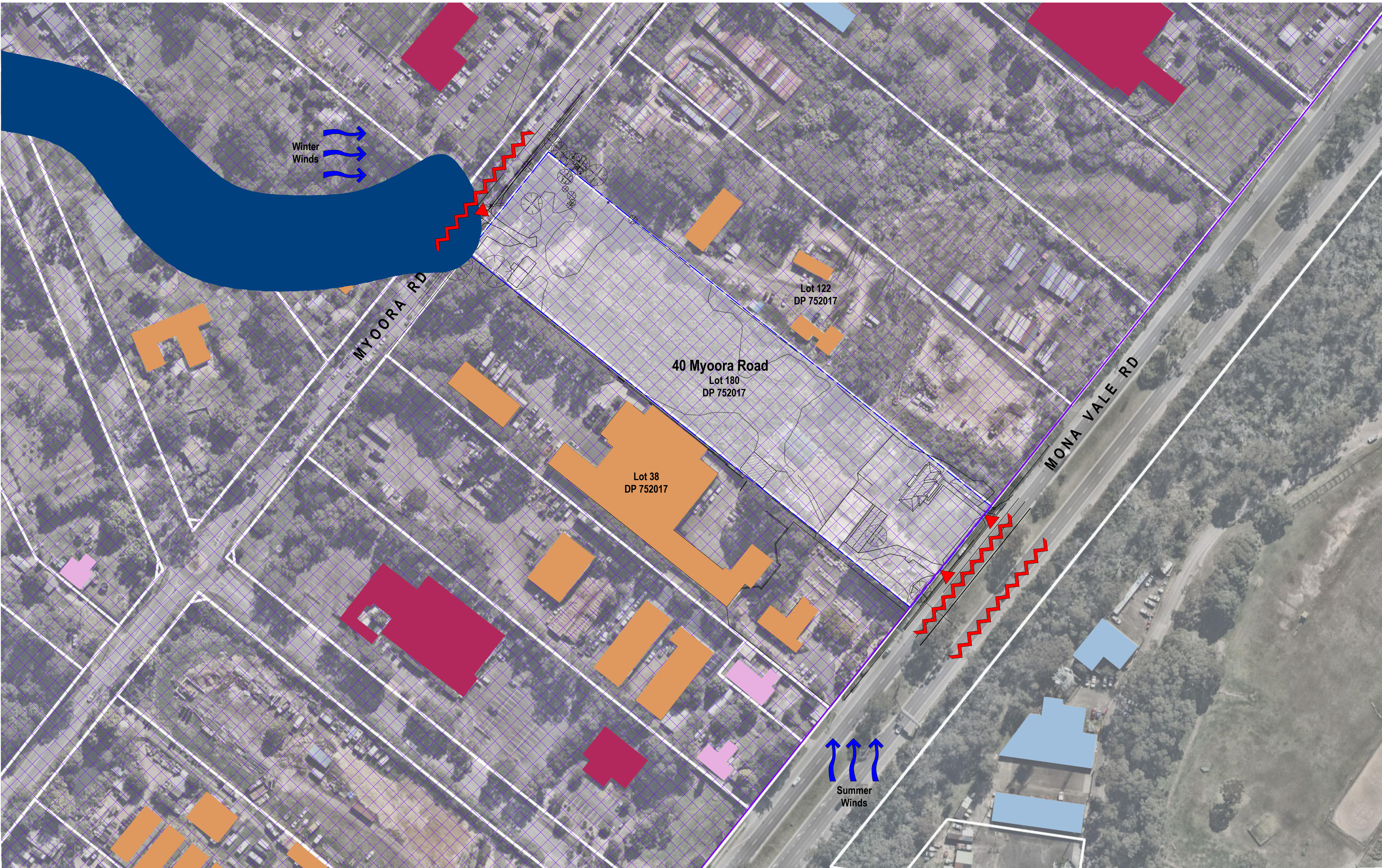
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Existing Location Plan

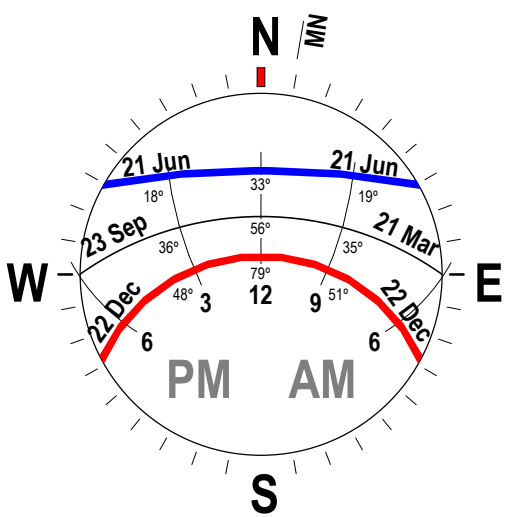
For Development Approval

Scale @ A1	1:2500	Drawn by	Checked by
Scale @ A3	1:5000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0400	Rev	08



Site Analysis Legend

- Neighbouring Light Industrial Buildings
- Neighbouring Residential Buildings
- Neighbouring Public Buildings
- Neighbouring Recreation, Commercial & Hospitality Buildings
- RU4 Land Zoning
- Strahler System 1st Order Watercourse as per Warringah DCP 2011 Waterways and Riparian Lands Northern Beaches Map Data
- Predominant Wind Direction
- Noise Source
- Pedestrian Access
- Public Vehicle Entry / Exit
- Service Vehicle Entry / Exit



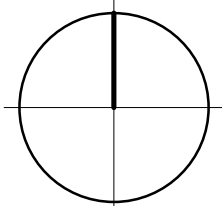
For Development Approval

Scale @ A1	1:1000	Drawn by	Checked by
Scale @ A3	1:2000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0401	Rev	14

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03	19.03.24	Consultant Issue
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05	03.05.24	Issued for Landscape Coordination
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07	26.07.24	Issue for Information
08	14.08.24	Issue for Information

Rev	Date	Amendments
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12	28.03.25	Issue for Information
13	28.03.25	Issue for Information
14	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Existing Site Analysis Plan



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		

For Development Approval

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

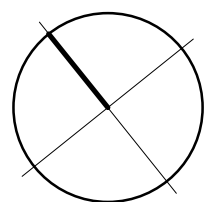
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Plan - Existing & Demolition

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-0410	Rev	14

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Rev Date Amendments

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09	26.07.24	Issue for Information
10	14.08.24	Issue for Information

Rev Date Amendments

11	03.09.24	For Development Approval
12	14.02.25	Issue for Information
13	21.02.25	Issue for Information
14	28.02.25	Issue For Information
15	28.03.25	Issue for Information
16	28.03.25	Issue for Information
17	07.04.25	For Development Approval: Amended Scheme
18	21.05.25	For DA: Amended Scheme - Additional Carparking

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Plan - Proposed

For Development Approval

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-0500	Rev	18

DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

MYOORA ROAD

1

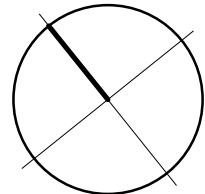
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3

4

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10	26.07.24	Issue for Information
11	14.08.24	Issue for Information

Rev	Date	Amendments
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15	28.02.25	Issue for Information
16	28.03.25	Issue for Information
17	28.03.25	Issue for Information
18	07.04.25	For Development Approval: Amended Scheme
19	21.05.25	For DA: Amended Scheme - Additional Carparking

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
**General Arrangement Plan - Myoora Road Venue
Entry & Basement**

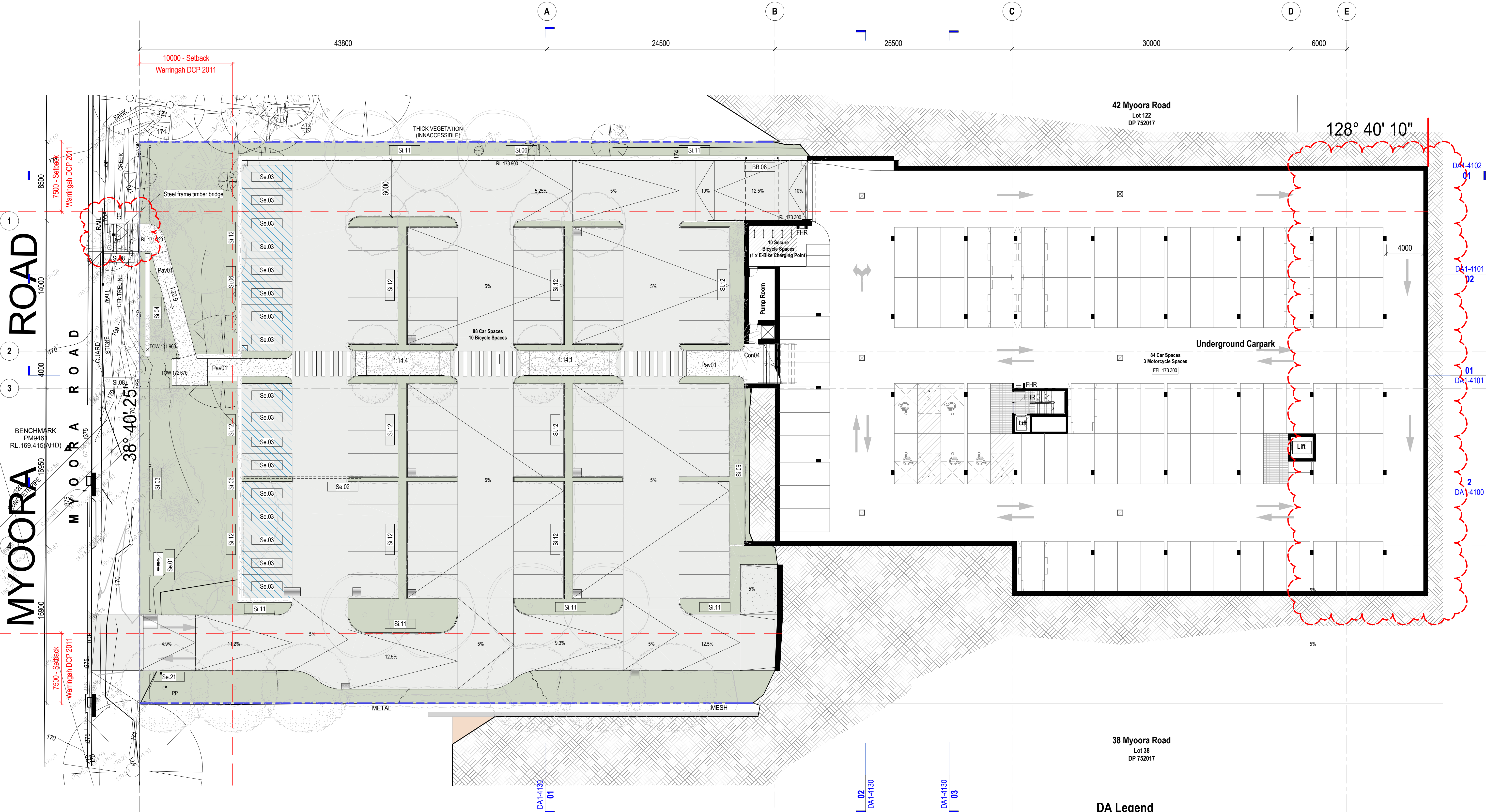
For Development Approval

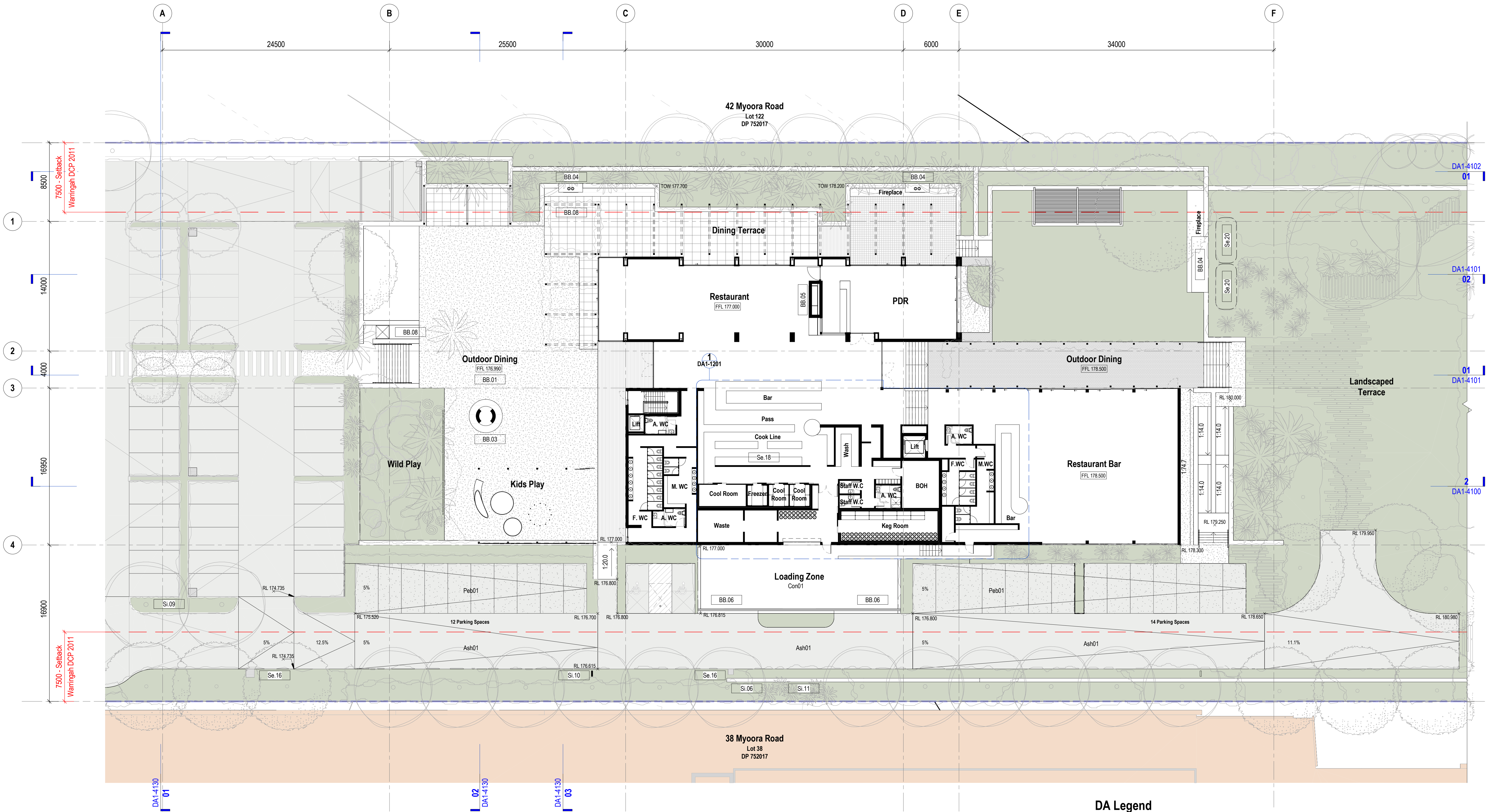
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Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-1010	Rev	19

DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data





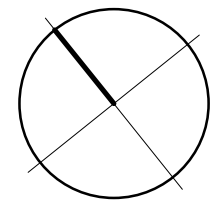
DA Legend

- UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:
- Proposed new building fabric
 - Neighbouring Light Industrial Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
 - Area of proposed demolition
 - Neighbouring Residential Buildings
 - Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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02	16.10.23	Issue for Information
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09	26.07.24	Issue for Information

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13	21.02.25	Issue for Information
14	28.02.25	Issue for Information
15	28.03.25	Issue for Information
16	28.03.25	Issue for Information
17	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

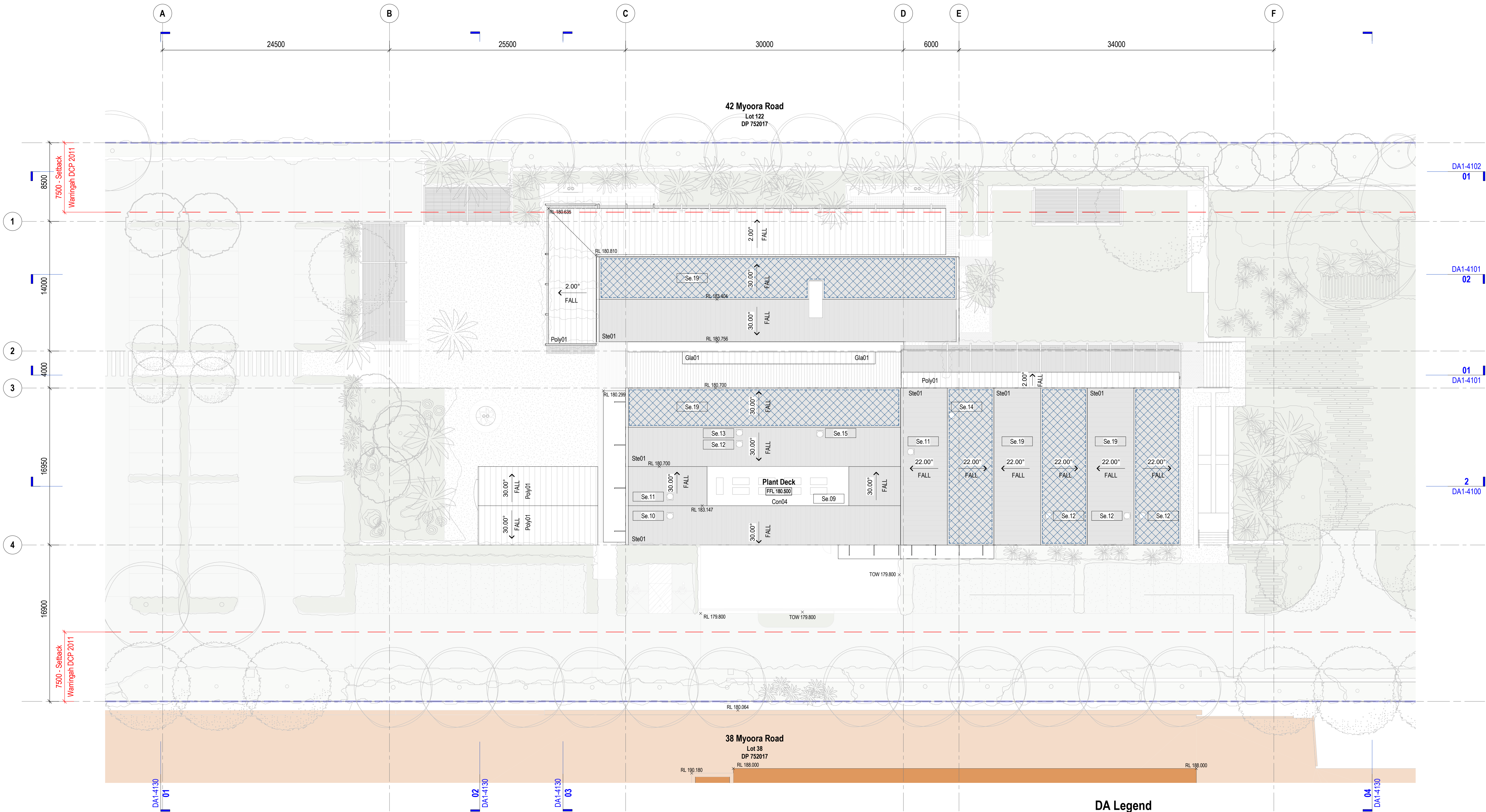
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Restaurant

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1013	Rev	17



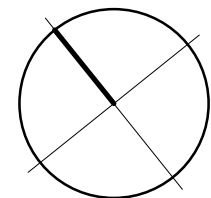
DA Legend

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 - Neighbouring Light Industrial Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
 - Area of proposed demolition
 - Neighbouring Residential Buildings
 - Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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07	03.05.24	Issued for Landscape Coordination
08	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
09	26.07.24	Issue for Information

Rev	Date	Amendments
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13	21.02.25	Issue For Information
14	28.02.25	Issue For Information
15	28.03.25	Issue for Information
16	28.03.25	Issue for Information
17	07.04.25	For Development Approval: Amended Scheme

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

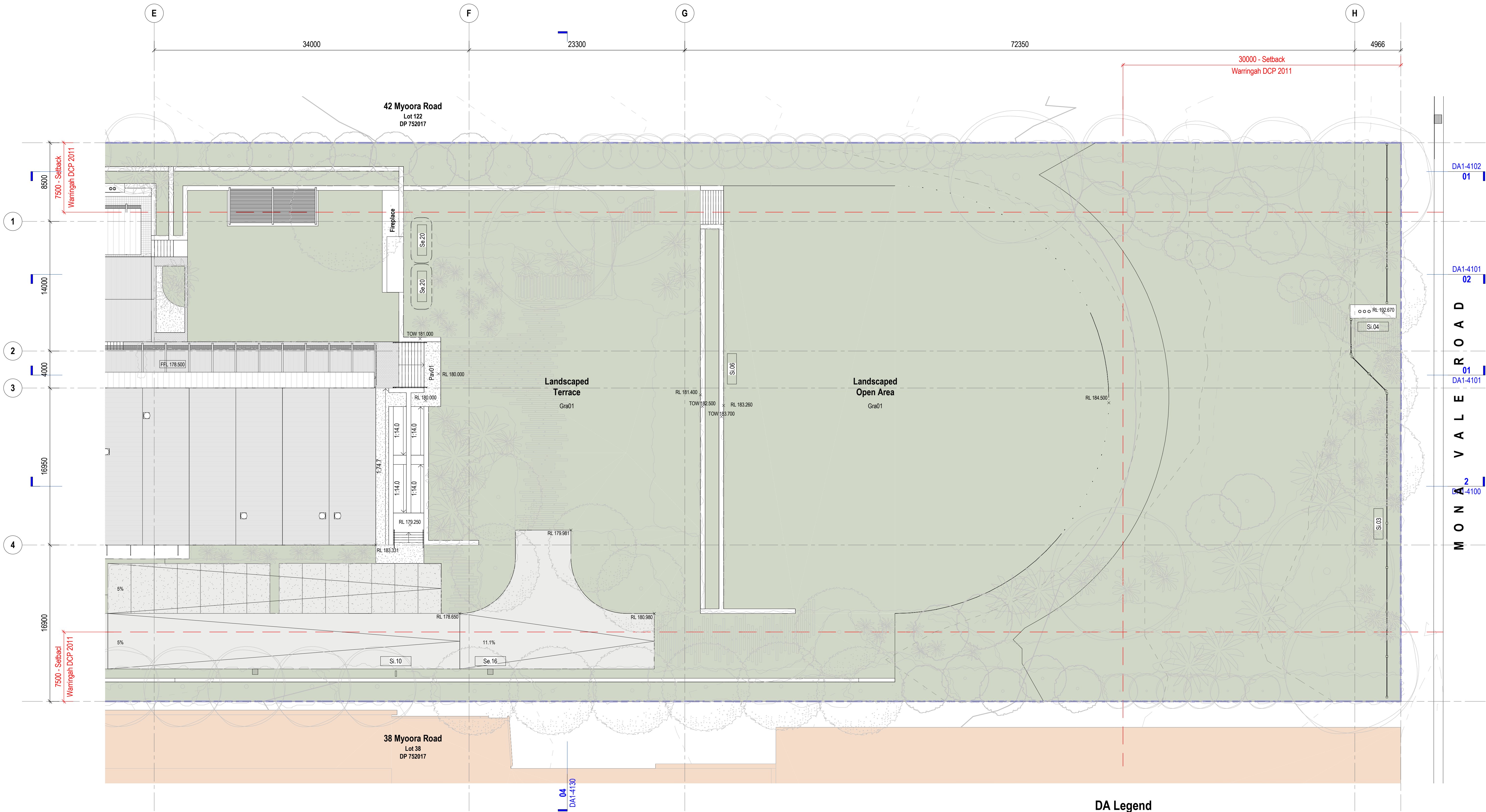
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Roof

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1023	Rev	17



DA Legend

- UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:
- Proposed new building fabric
 - Neighbouring Light Industrial Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
 - Area of proposed demolition
 - Neighbouring Residential Buildings
 - Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

General Notes

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07	28.03.25	Issue for Information
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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

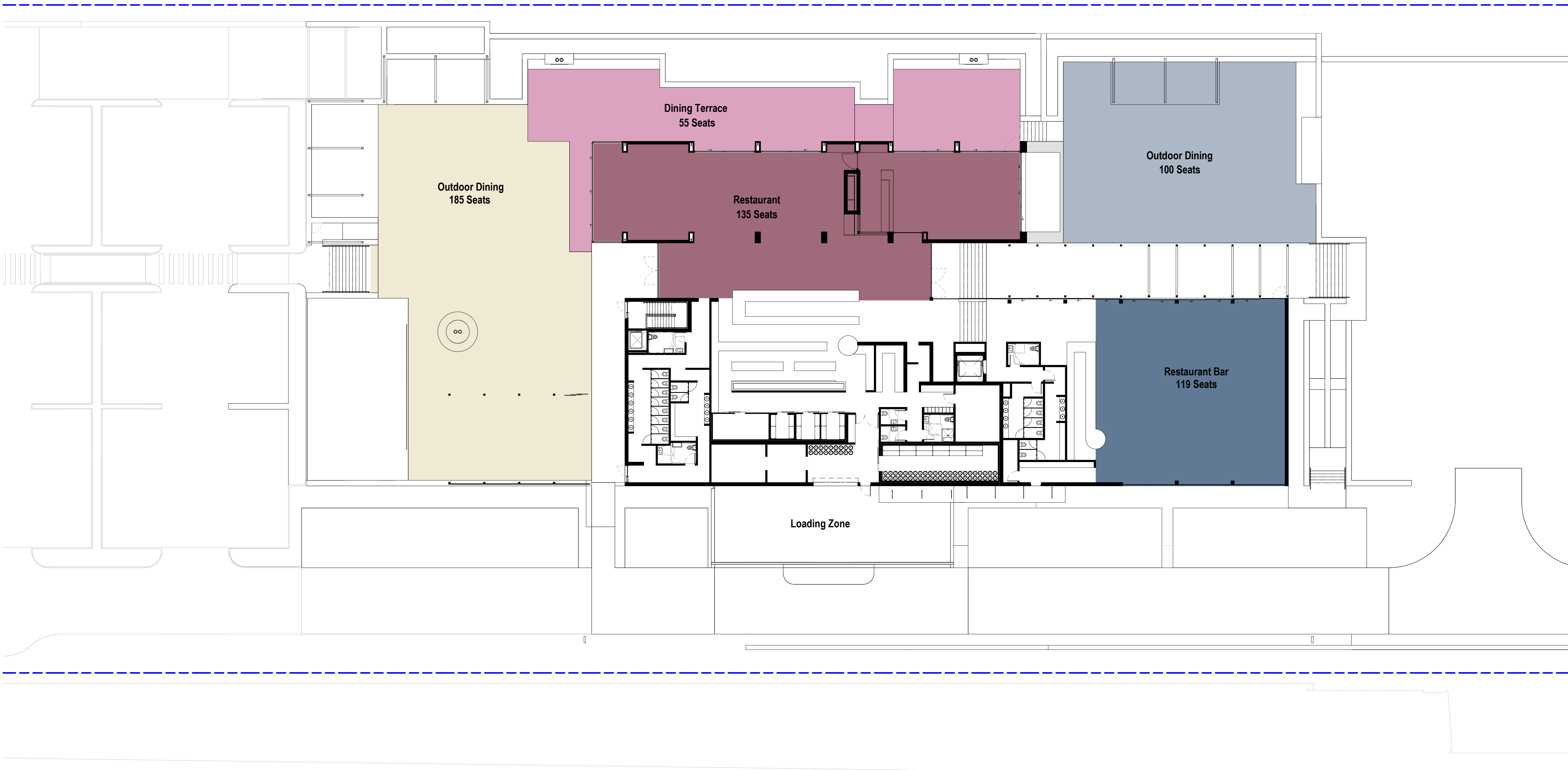
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
General Arrangement Plan - Landscaped Open Area & Mona Vale Road

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1024	Rev	08



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

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- Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
- Area of proposed demolition
- Neighbouring Residential Buildings
- Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

For Development Approval

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Rev	Date	Amendments
01	01.10.24	For Development Approval
02	21.02.25	Issue for Information
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04	28.03.25	Issue for Information
05	28.03.25	Issue for Information
06	07.04.25	For Development Approval: Amended Scheme

Rev	Date	Amendments
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Nominated Architect: Glenn Cunningham #6415

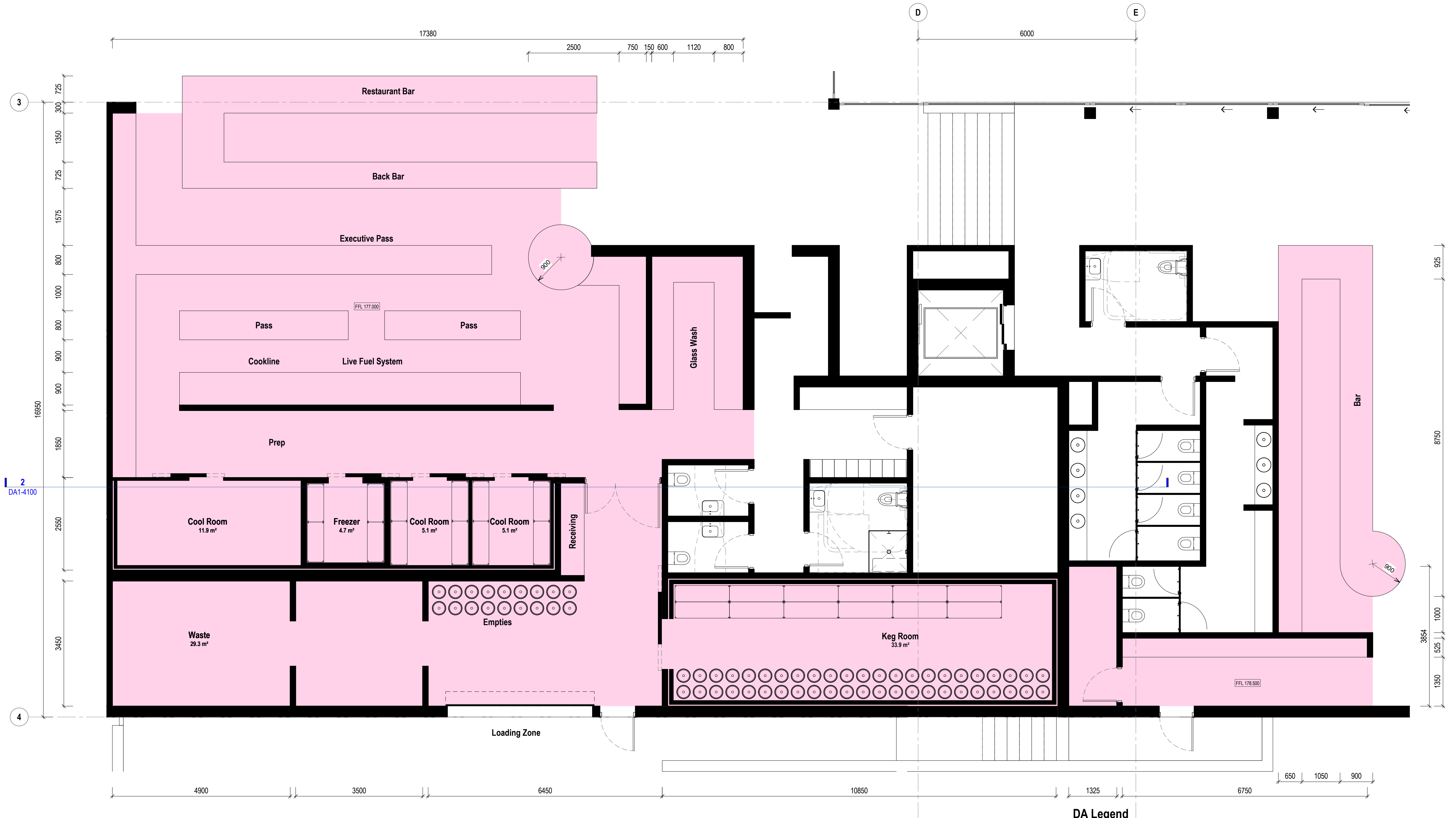
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Seating Plan - Restaurant

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1100	Rev	06



1 Detail Plan - Restaurant & Bar - Kitchen & Bar
DA1-1013

DA Legend

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- Proposed new building fabric
 - Neighbouring Light Industrial Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
 - Area of proposed demolition
 - Neighbouring Residential Buildings
 - Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

General Notes
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Rev	Date	Amendments
01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval
04	21.02.25	Issue for Information
05	28.02.25	Issue For Information
06	28.03.25	Issue for Information
07	28.03.25	Issue for Information
08	07.04.25	For Development Approval: Amended Scheme

Rev	Date	Amendments

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

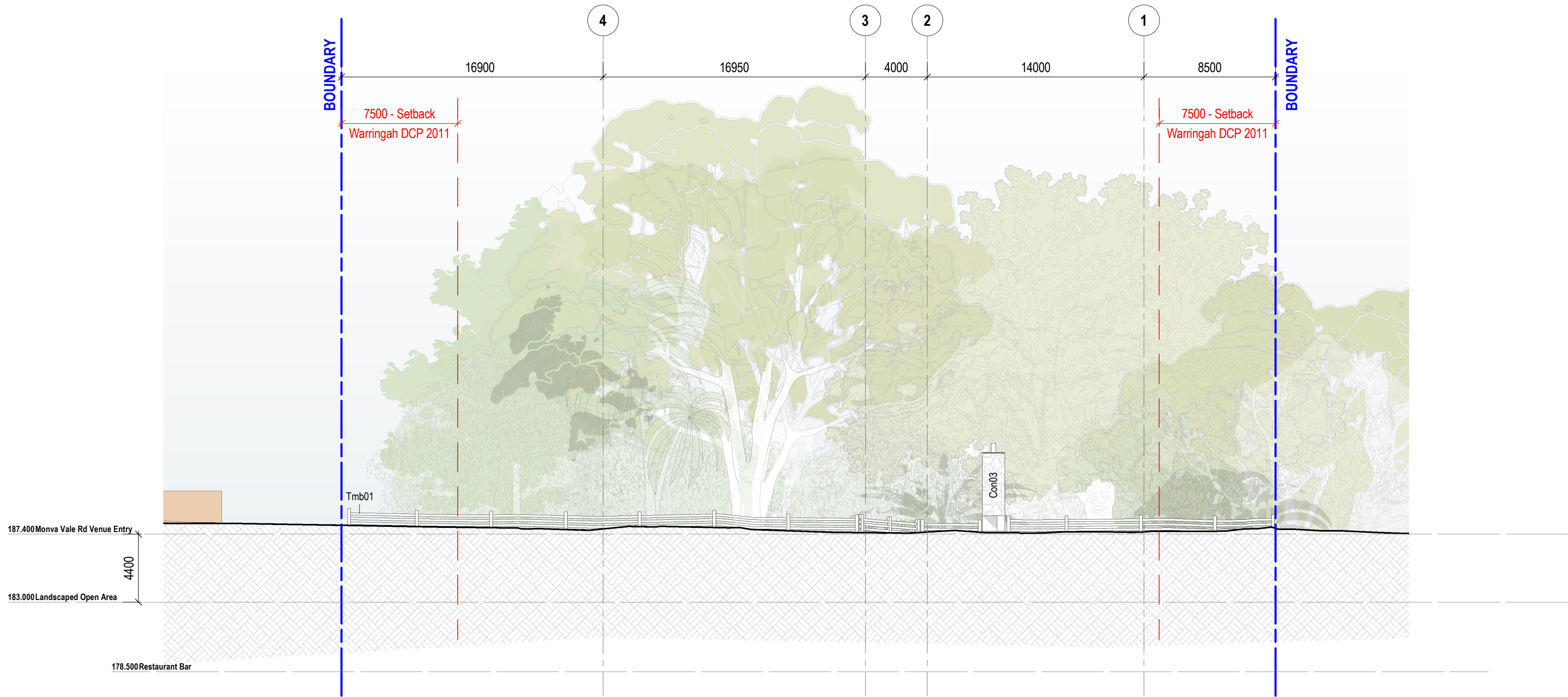
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

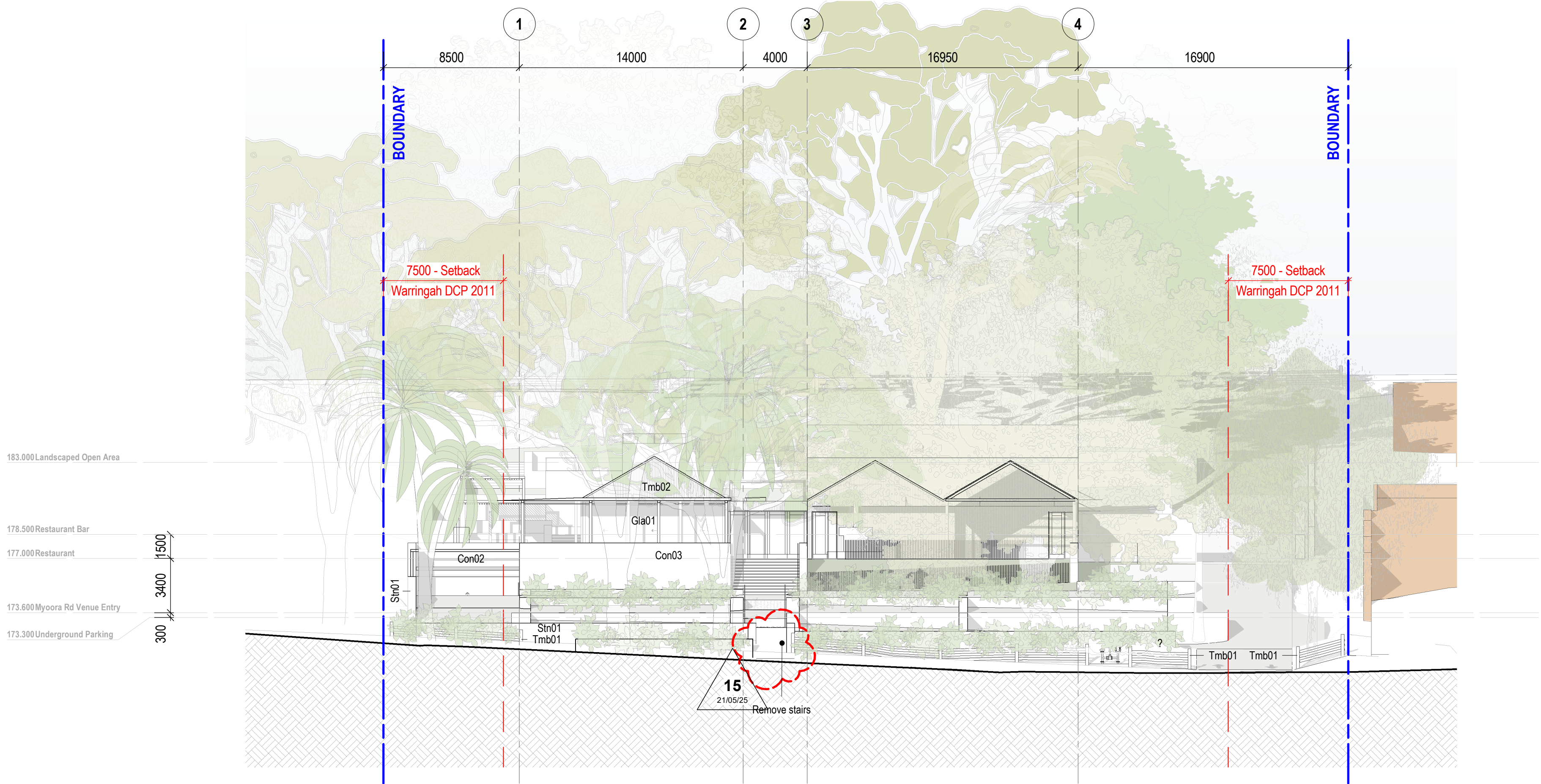
Drawing
Detail Plan - Restaurant

For Development Approval

Scale @ A1	1:50	Drawn by	Checked by
Scale @ A3	1:100		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-1201	Rev	08



01 Site Elevation - Mona Vale Rd



02 Site Elevation - Myoora Rd

DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Rev Date Amendments

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08	14.08.24	Issue for Information

Rev Date Amendments

09	03.09.24	For Development Approval
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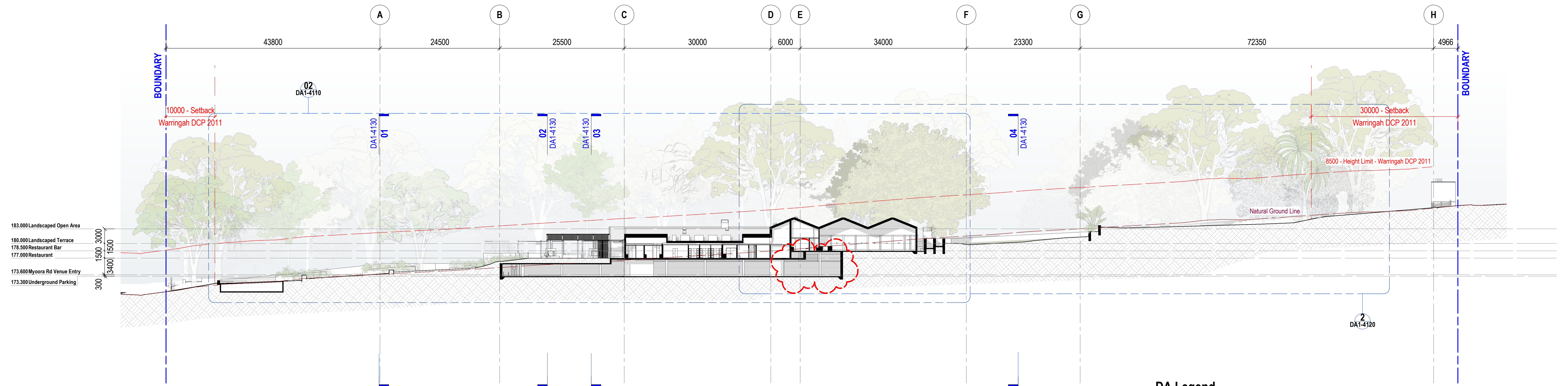
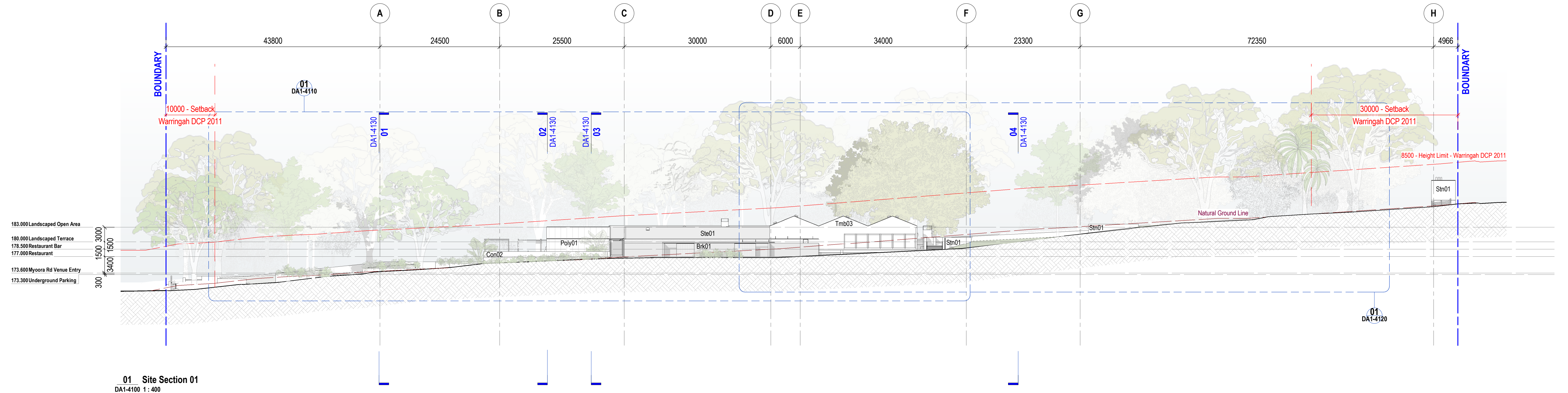
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Streetscape Elevations - Proposed


For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-3100	Rev	15



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

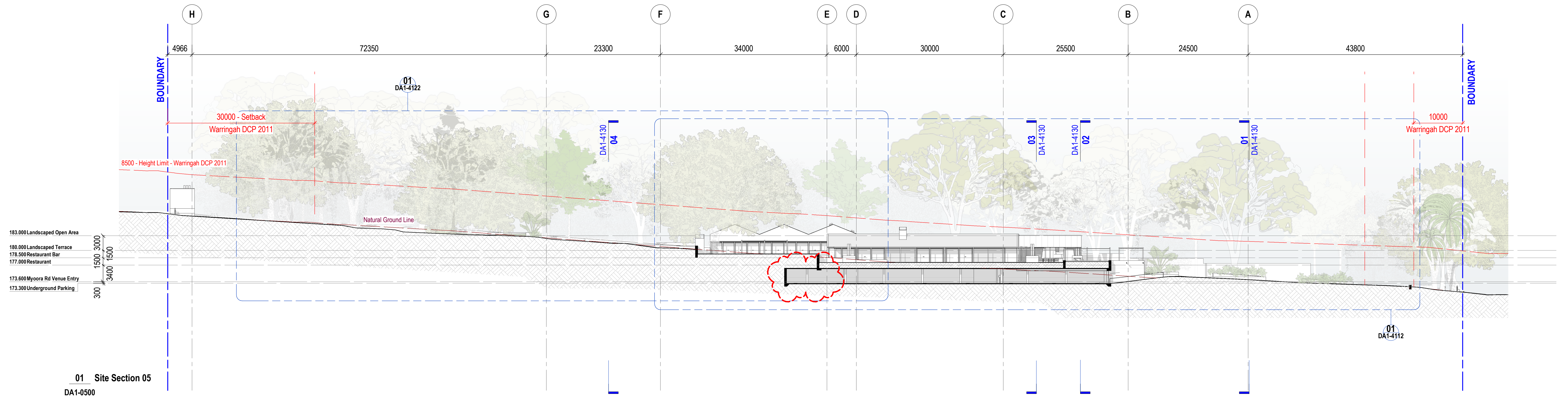
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 01

For Development Approval

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4100	Rev	17



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

<div></div>	Proposed new building fabric	<div></div>	Neighbouring Light Industrial Buildings	<div></div>	Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
<div></div>	Area of proposed demolition	<div></div>	Neighbouring Residential Buildings	<div></div>	Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Sections - Proposed - Sheet 03

Scale @ A1	1:400	Drawn by	Checked by
Scale @ A3	1:800		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4102	Rev	16



01 Section 01 - North West
DA1-4110 1:200



02 Section 01 - North West
DA1-4110 1:200

17
21/05/25
DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

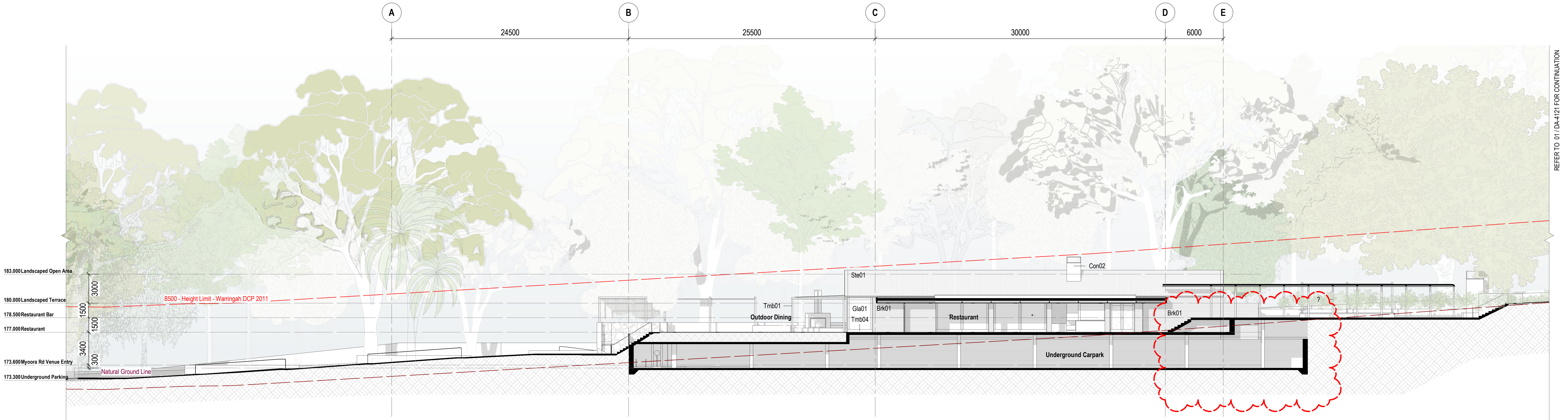
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

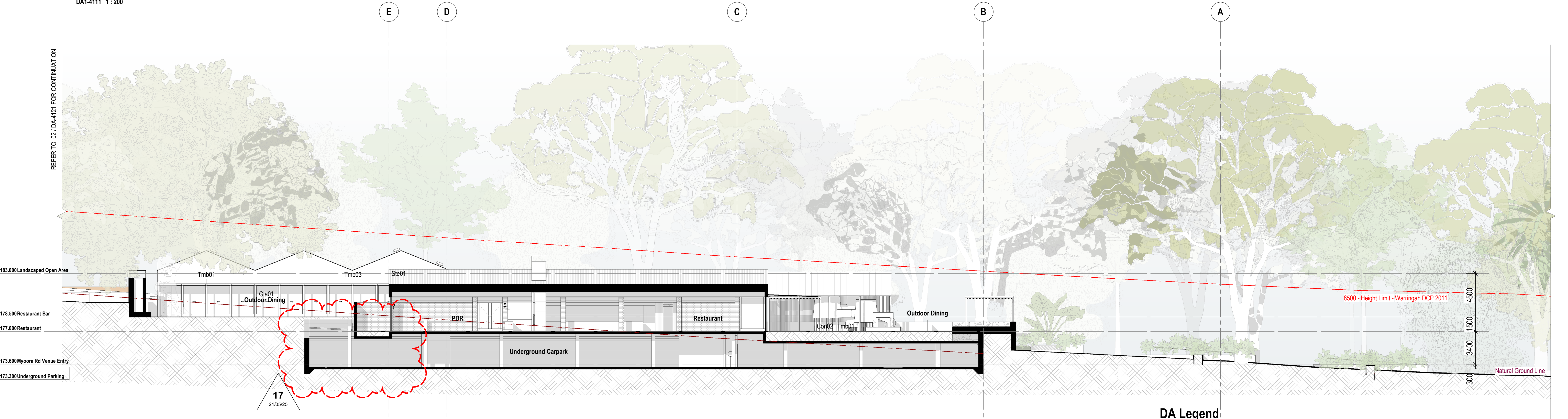
Drawing
North West - Proposed Sections - Sheet 01

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4110	Rev	17



01 Section 03 - North West
DA1-4111 1 : 200



02 Section 04 - North West
DA1-4111 1 : 200

DA Legend

- UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:
- Proposed new building fabric
 - Neighbouring Light Industrial Buildings
 - Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
 - Area of proposed demolition
 - Neighbouring Residential Buildings
 - Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

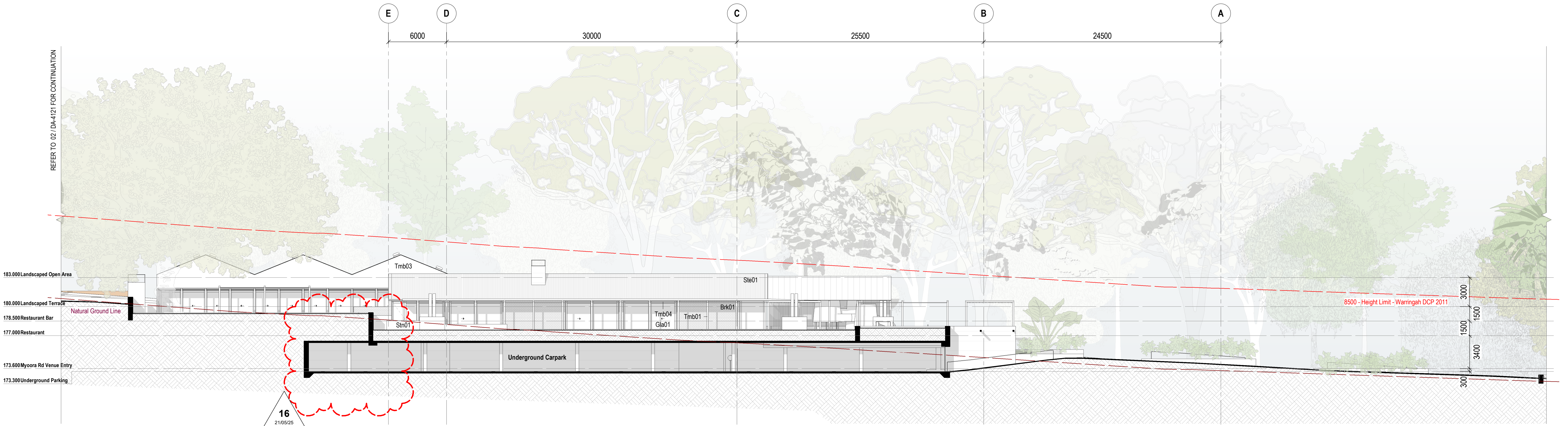
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
North West - Proposed Sections - Sheet 02

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4111	Rev	17



01 Section 05 - North West
DA1-4112 1 : 200

DA Legend

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	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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08	26.07.24	Issue for Information

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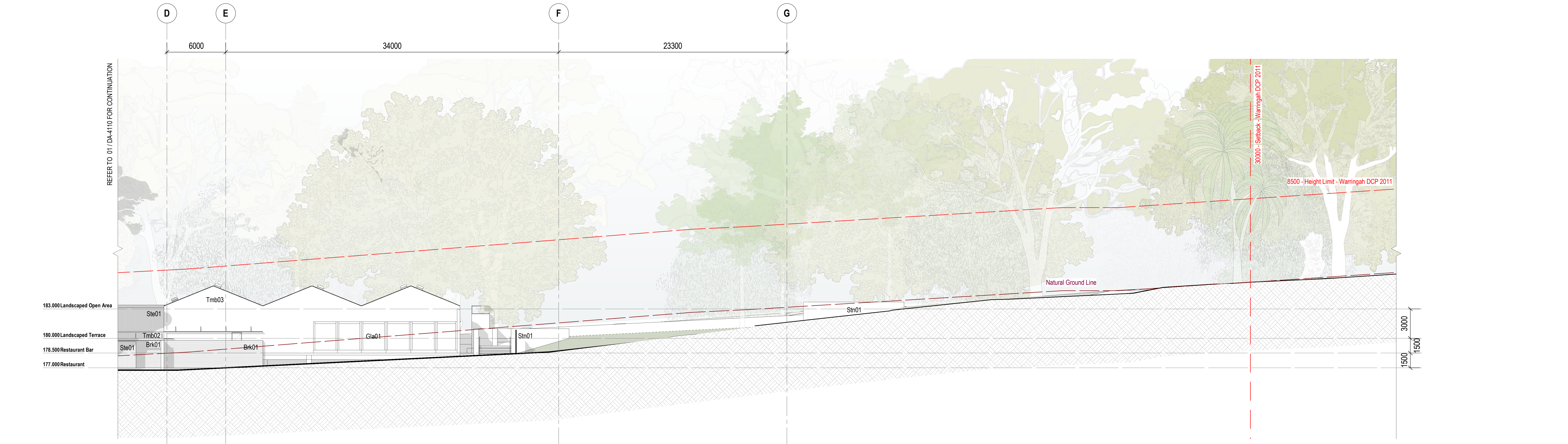
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

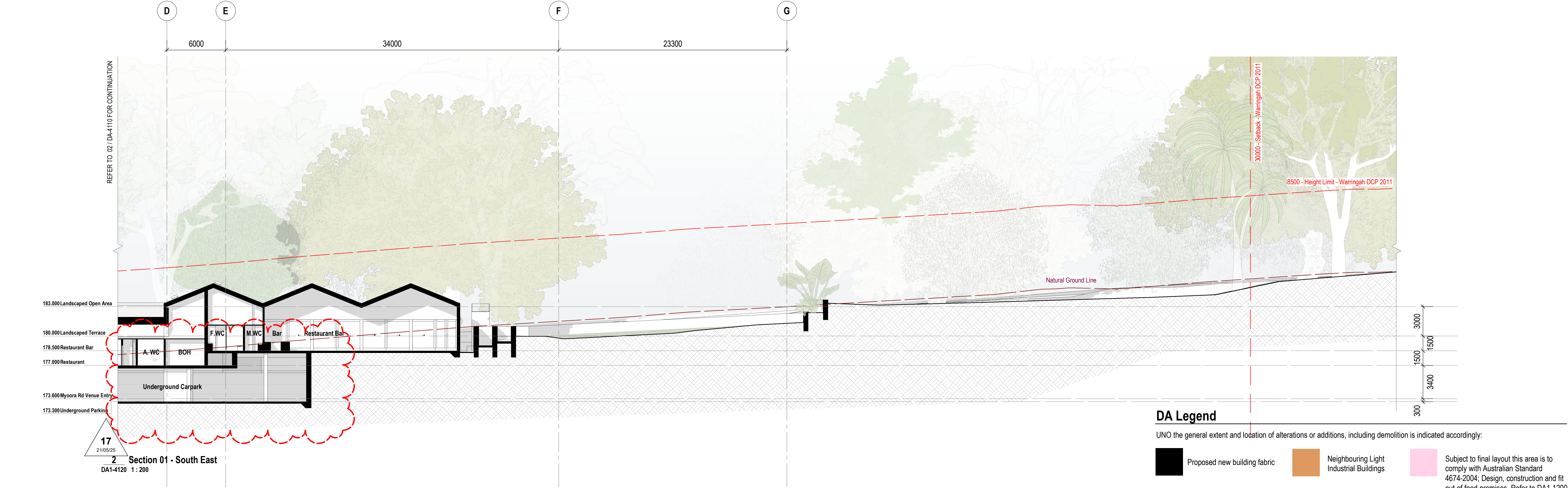
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
North West - Proposed Sections - Sheet 03

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4112	Rev	16



01 Section 01 - South East
DA1-4120 1 : 200



2 Section 01 - South East
DA1-4120 1 : 200

DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings	
	Area of proposed demolition		Neighbouring Residential Buildings	

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Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

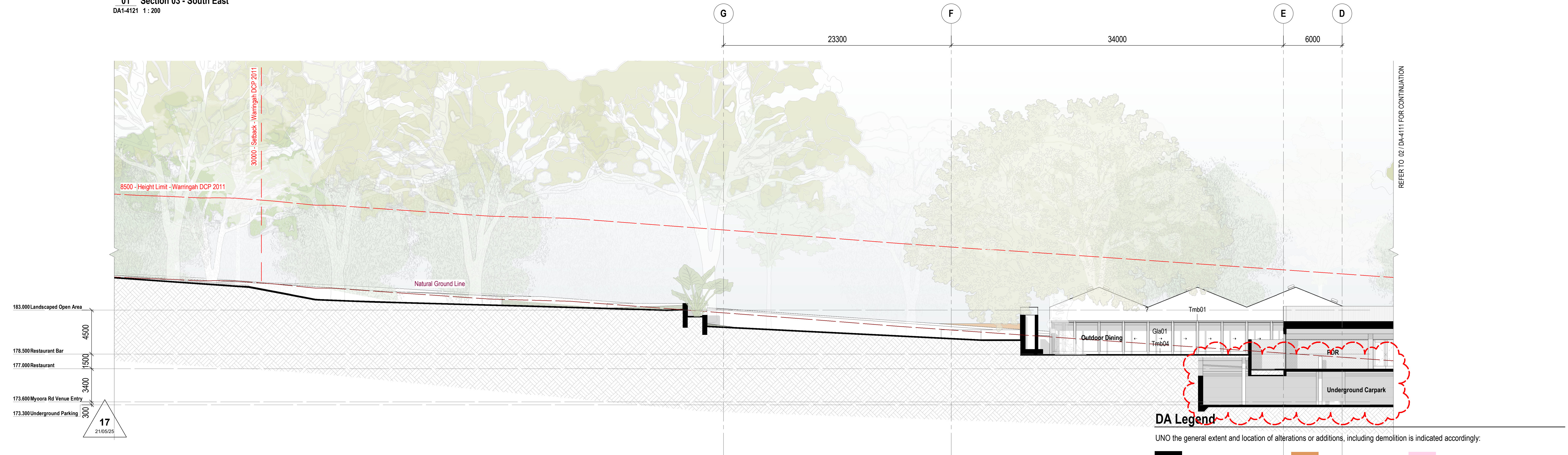
Drawing
South East - Proposed Sections - Sheet 01

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4120	Rev	17



01 Section 03 - South East
DA1-4121 1:200



02 Section 04 - South East
DA1-4121 1:200

DA Legend

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	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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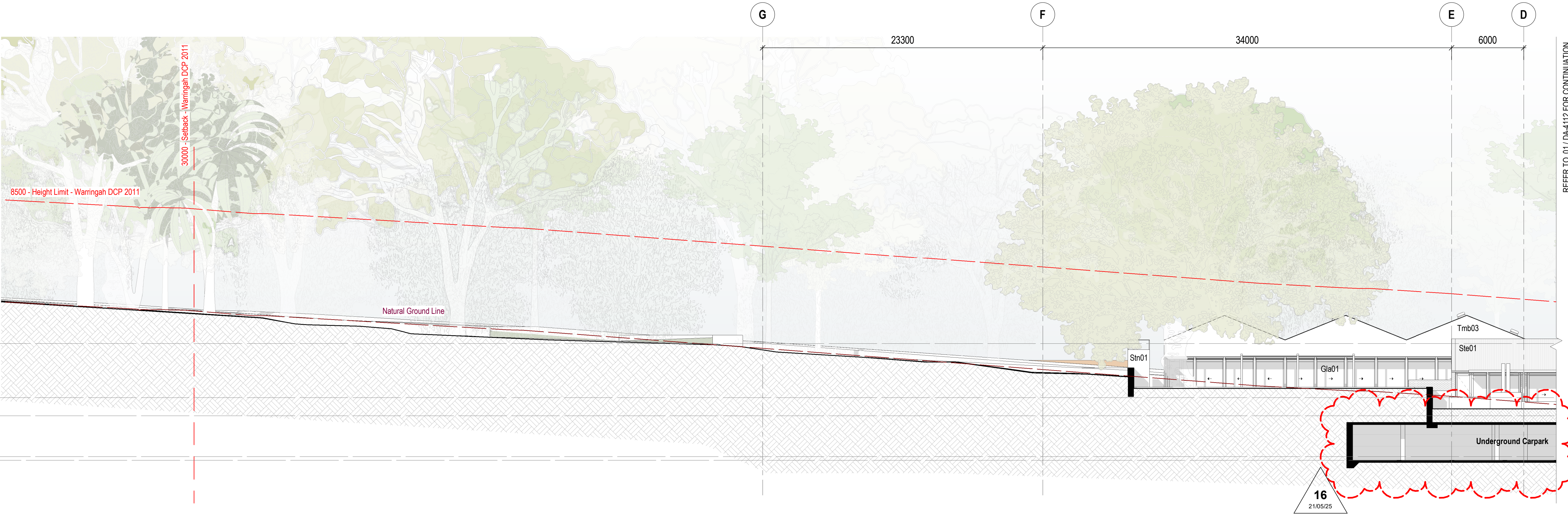
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
South East - Proposed Sections - Sheet 02

For Development Approval

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4121	Rev	17



01 Section 05 - South East
DA1-4122 1 : 200

DA Legend

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<div></div>	Proposed new building fabric	<div></div>	Neighbouring Light Industrial Buildings	<div></div>	Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
<div></div>	Area of proposed demolition	<div></div>	Neighbouring Residential Buildings	<div></div>	Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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Nominated Architect: Glenn Cunningham #6415

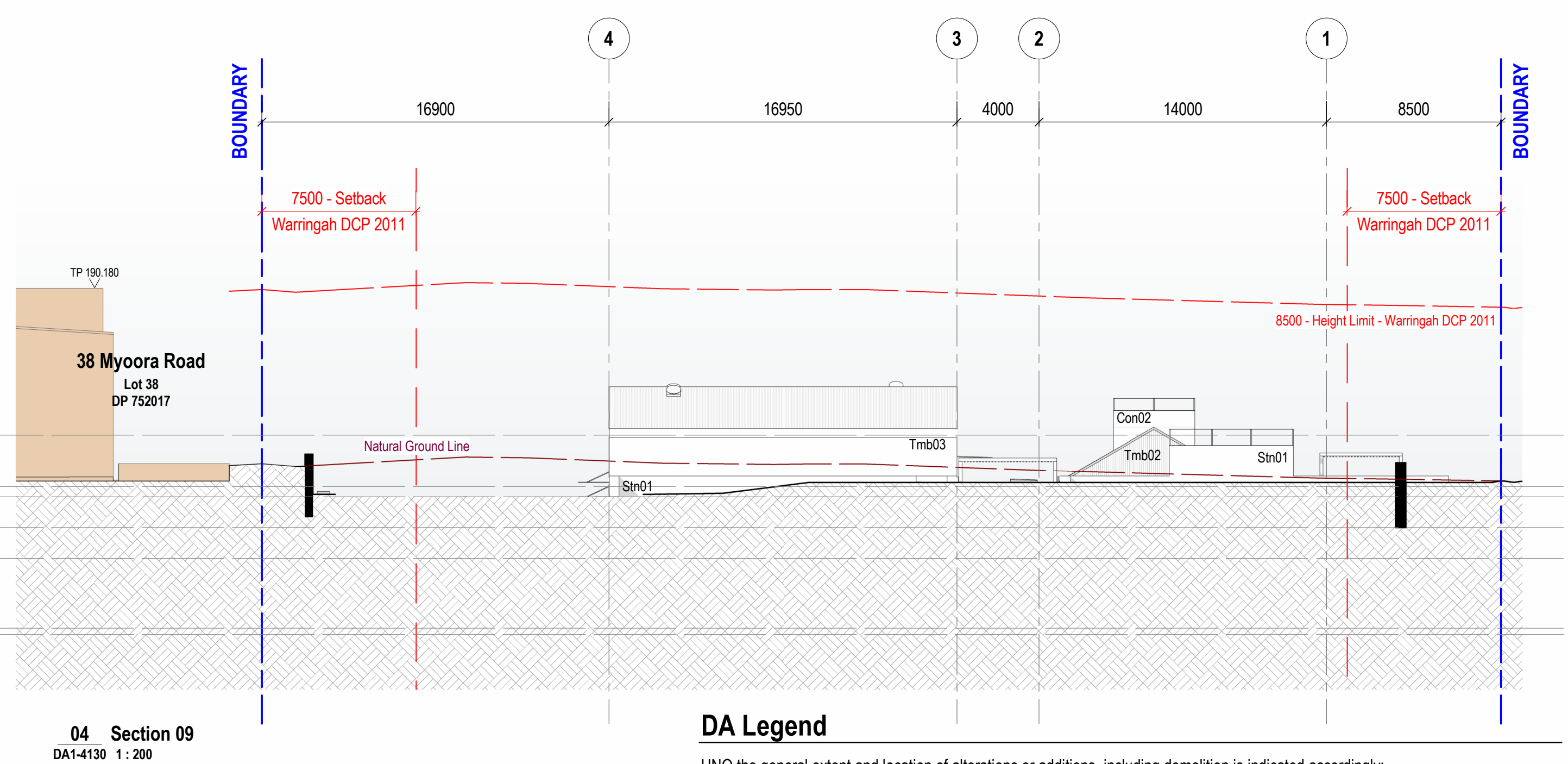
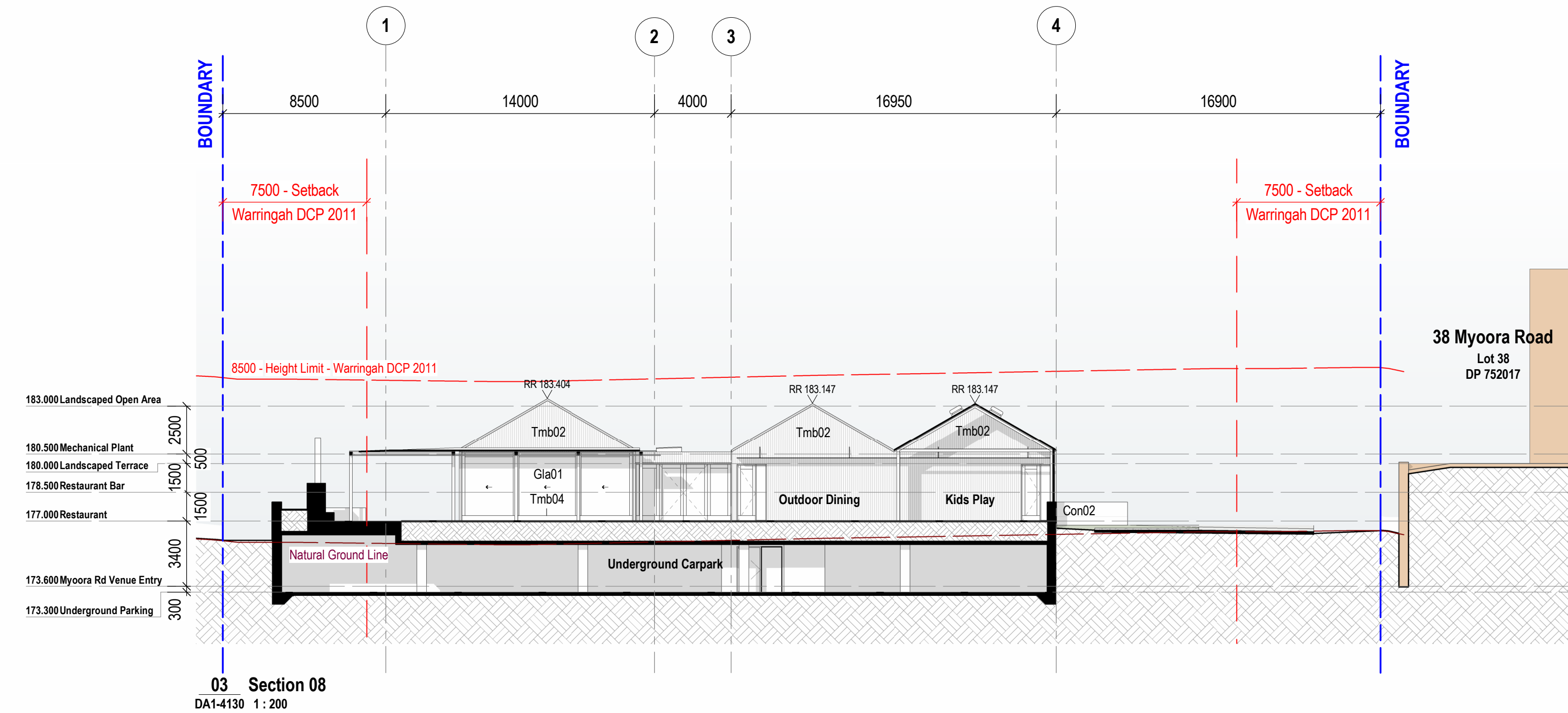
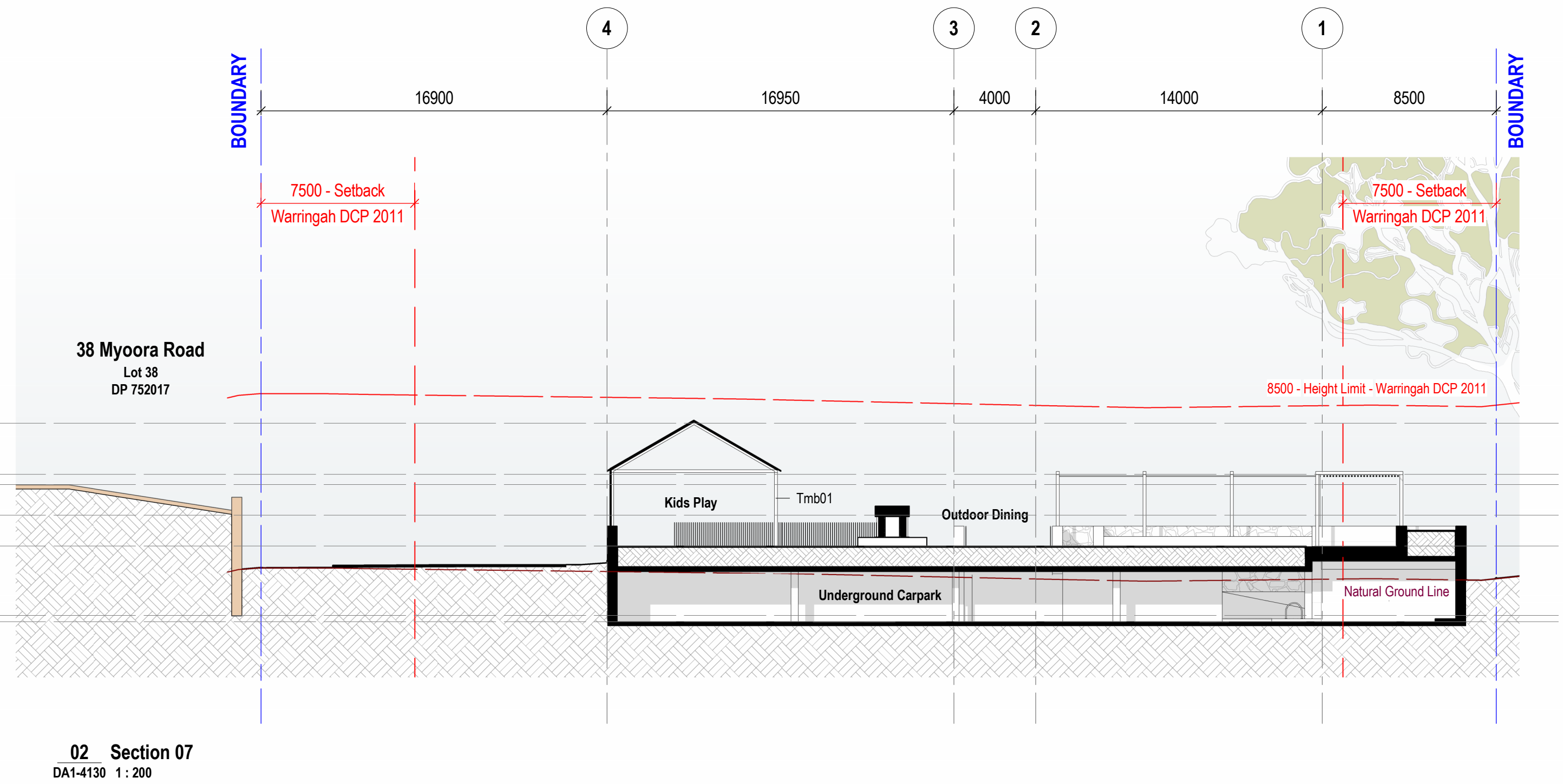
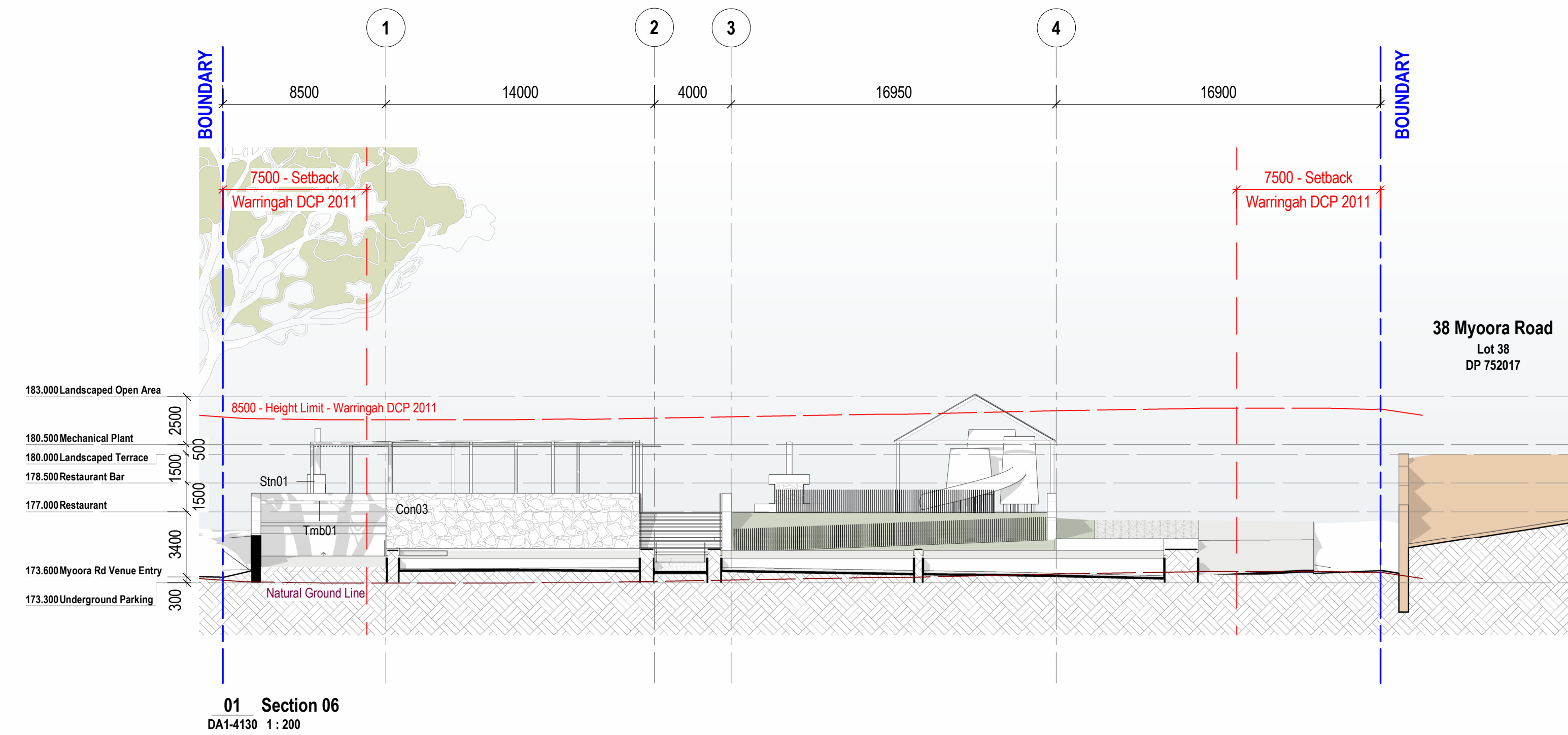
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
South East - Proposed Sections - Sheet 03

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-4122	Rev	16



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

	Proposed new building fabric		Neighbouring Light Industrial Buildings		Subject to final layout this area is to comply with Australian Standard 4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.
	Area of proposed demolition		Neighbouring Residential Buildings		Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

For Development Approval

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Rev	Date	Amendments
01	16.10.23	Issue for Information
02	27.10.23	Issue for Information
03	31.10.23	Issue for Information
04	19.03.24	Consultant Issue
05	02.04.24	Issue for Information: Pre-DA Meeting
06	03.05.24	Issued for Landscape Coordination
07	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
08	26.07.24	Issue for Information

Rev	Date	Amendments
09	14.08.24	Issue for Information
10	03.09.24	For Development Approval
11	21.02.25	Issue for Information
12	28.02.25	Issue For Information
13	28.03.25	Issue for Information
14	28.03.25	Issue for Information
15	07.04.25	For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

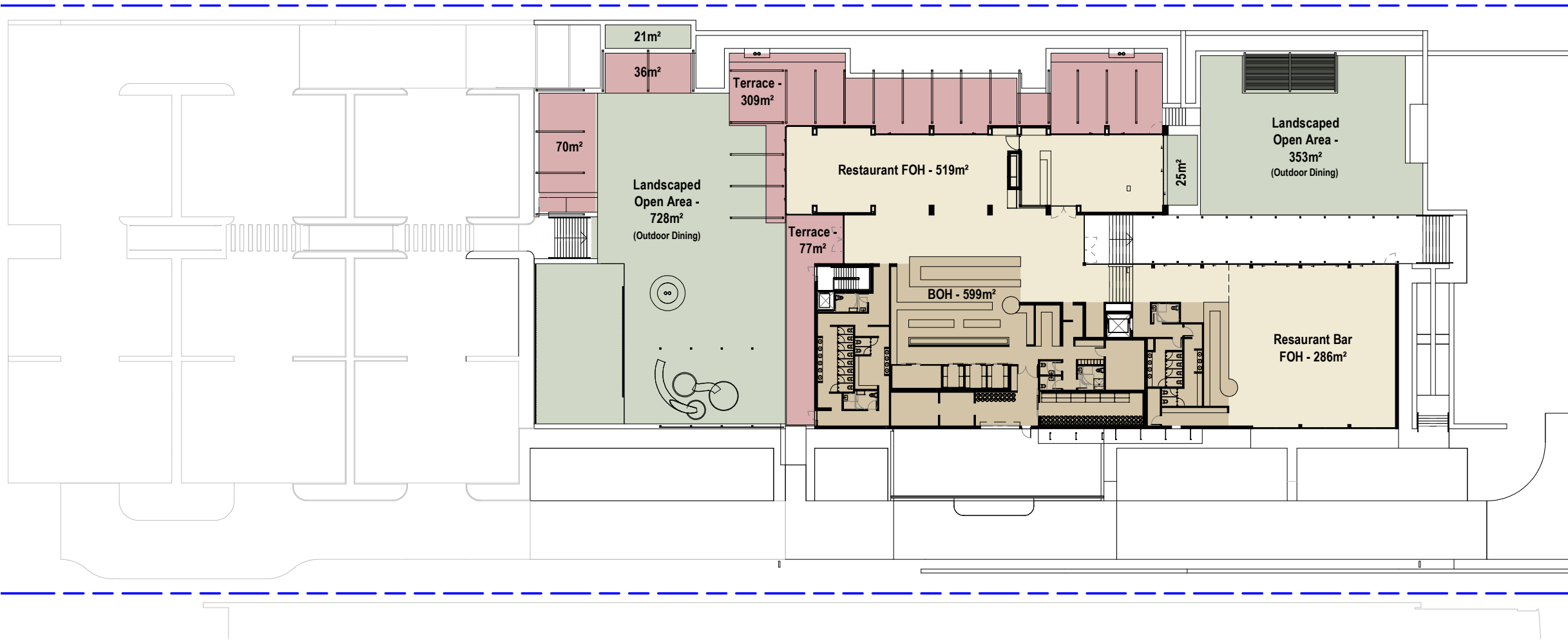
Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

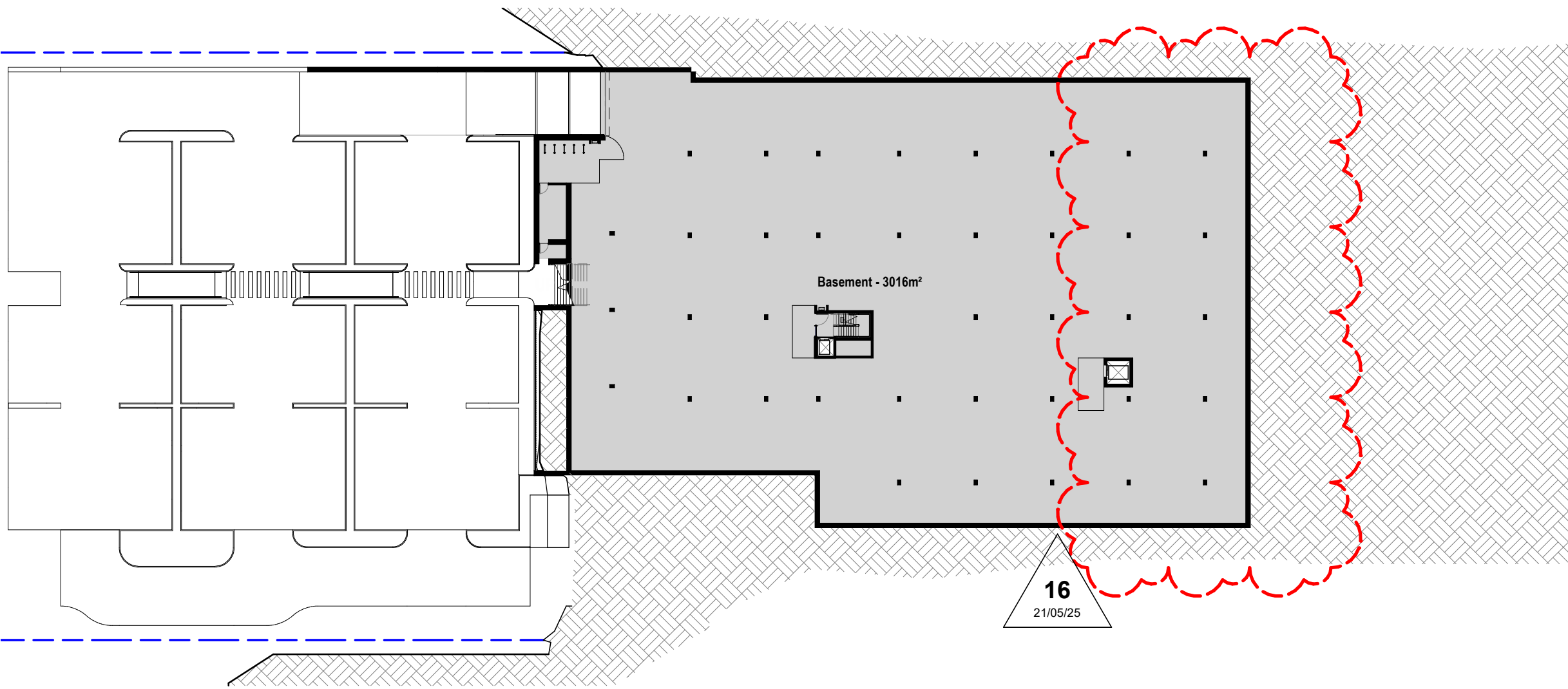
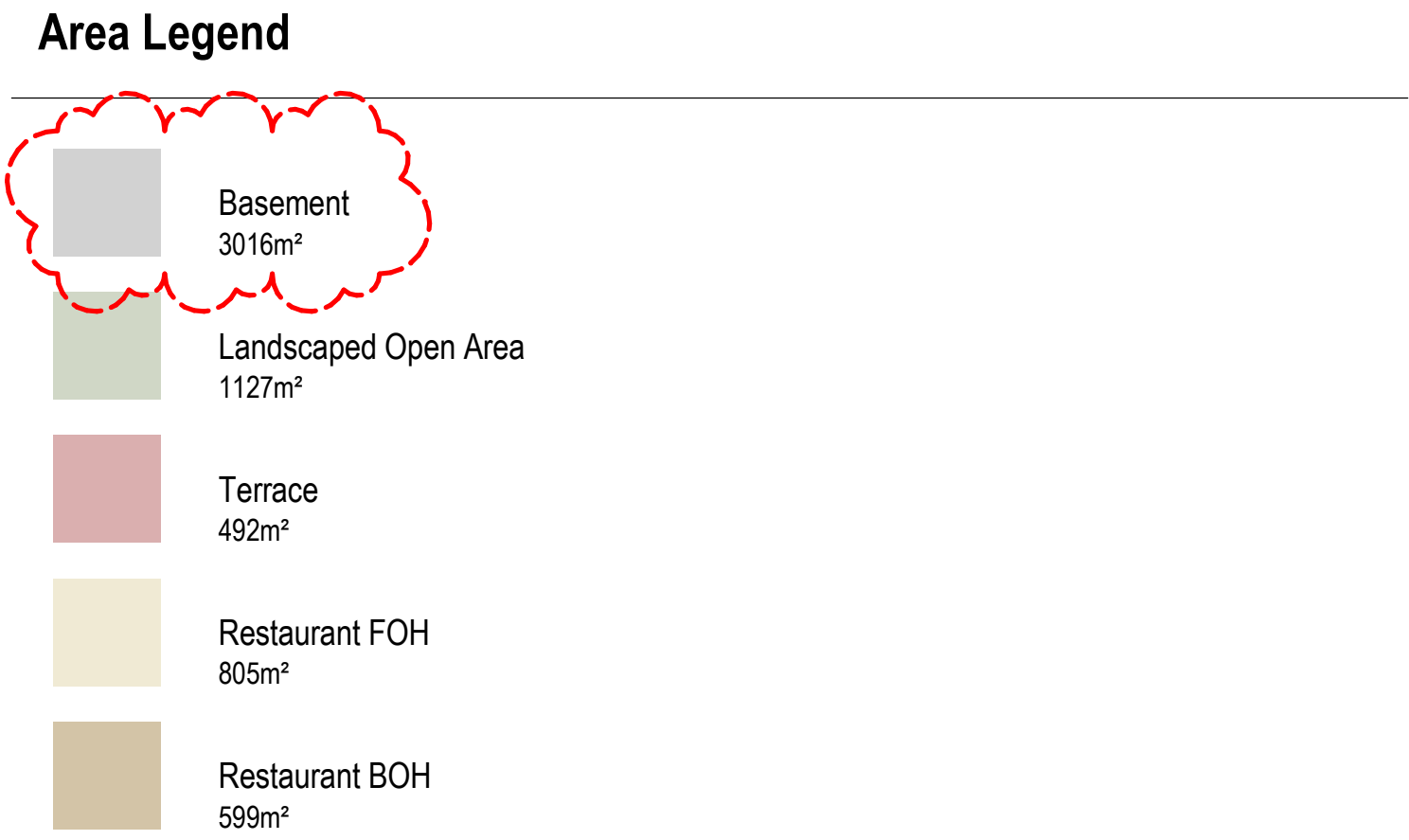
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Building Sections - Sheet 01

Scale @ A1	1:200	Drawn by	Checked by
Scale @ A3	1:400		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-4130	Rev	15



2 Restaurant 01 & 02 - Proposed
DA1-9000 1 : 500



1 Venue Entry & Carparking - Proposed
DA1-9000 1 : 500

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Rev	Date	Amendments
01	28.09.23	Preliminary Issue for Information
02	16.10.23	Issue for Information
03	27.10.23	Issue for Information
04	31.10.23	Issue for Information
05	19.03.24	Consultant Issue
06	02.04.24	Issue for Information: Pre-DA Meeting
07	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
08	26.07.24	Issue for Information

Rev	Date	Amendments
09	14.08.24	Issue for Information
10	03.09.24	For Development Approval
11	21.02.25	Issue for Information
12	28.02.25	Issue For Information
13	28.03.25	Issue for Information
14	28.03.25	Issue for Information
15	07.04.25	For Development Approval: Amended Scheme
16	21.05.25	For DA: Amended Scheme - Additional Carparking



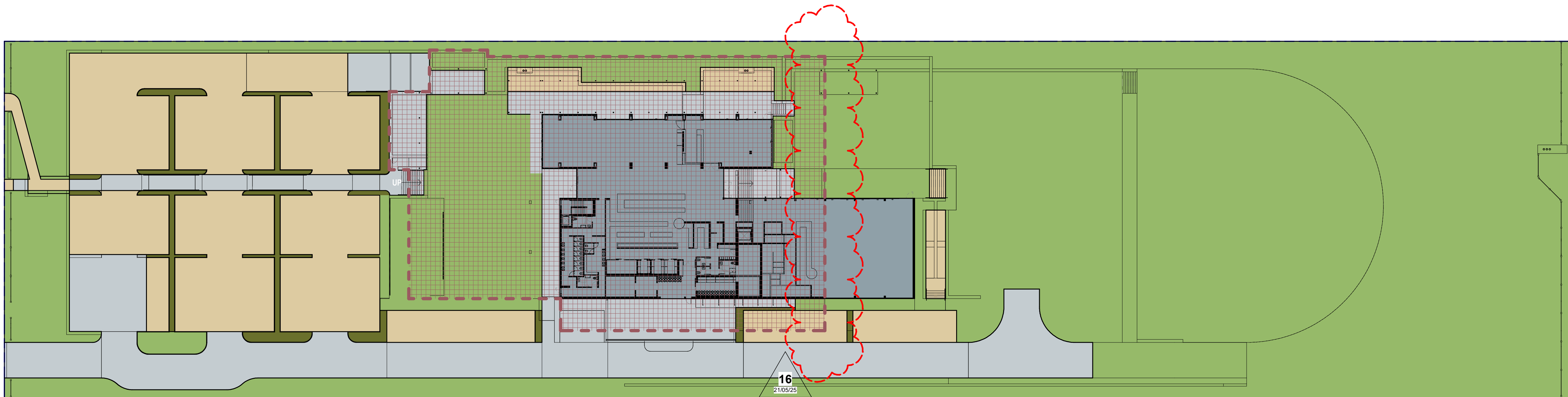
Suite 4.02, 80 Cooper Street
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Humphrey & Edwards Pty Ltd | ABN 89056638227
Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

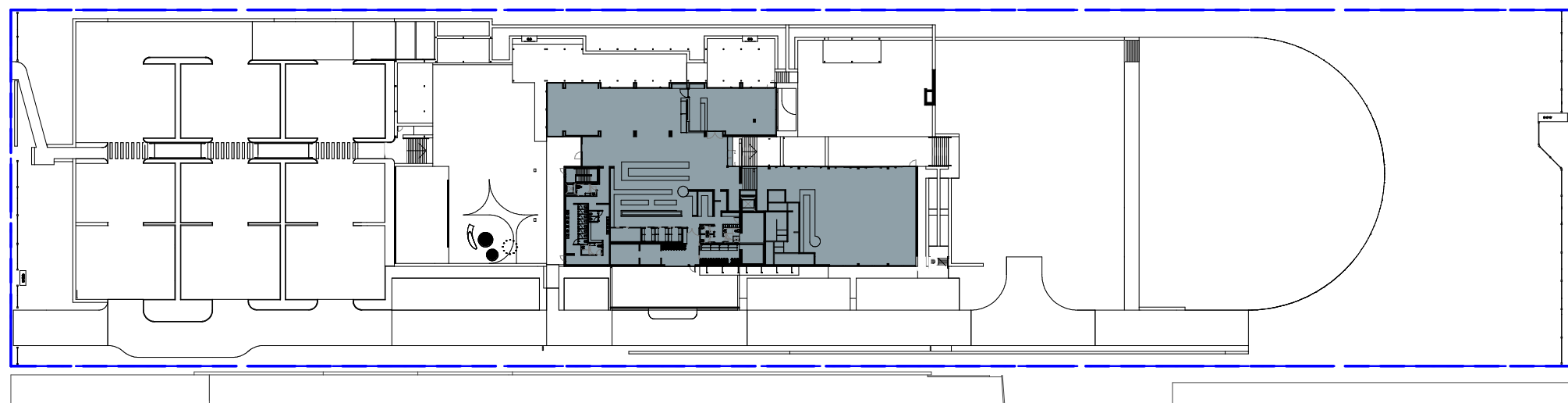
Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing Area Plan & Schedule - Proposed

For Development Approval

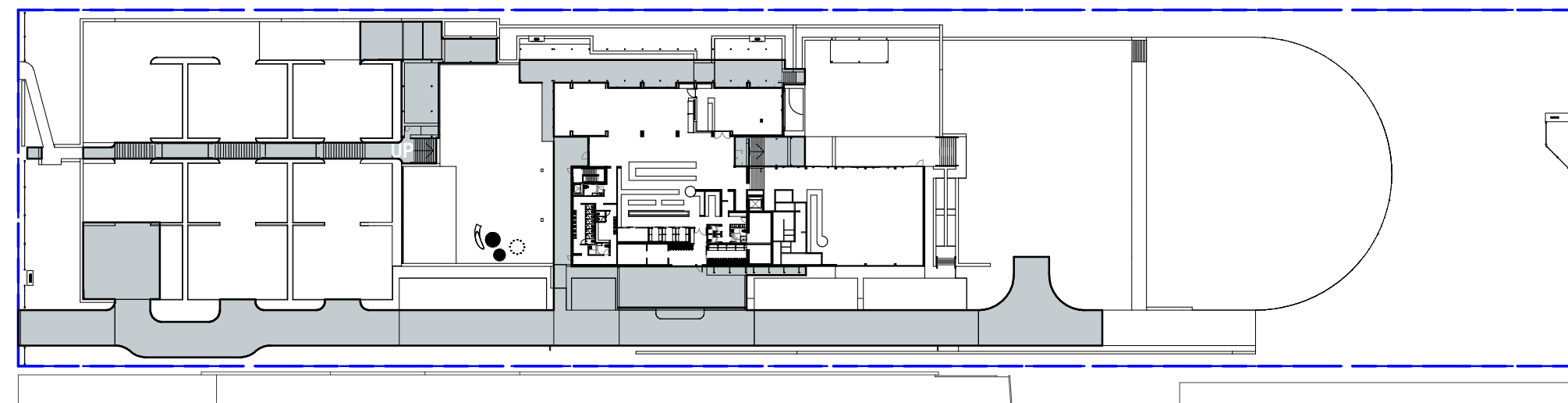
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Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-9000	Rev	16



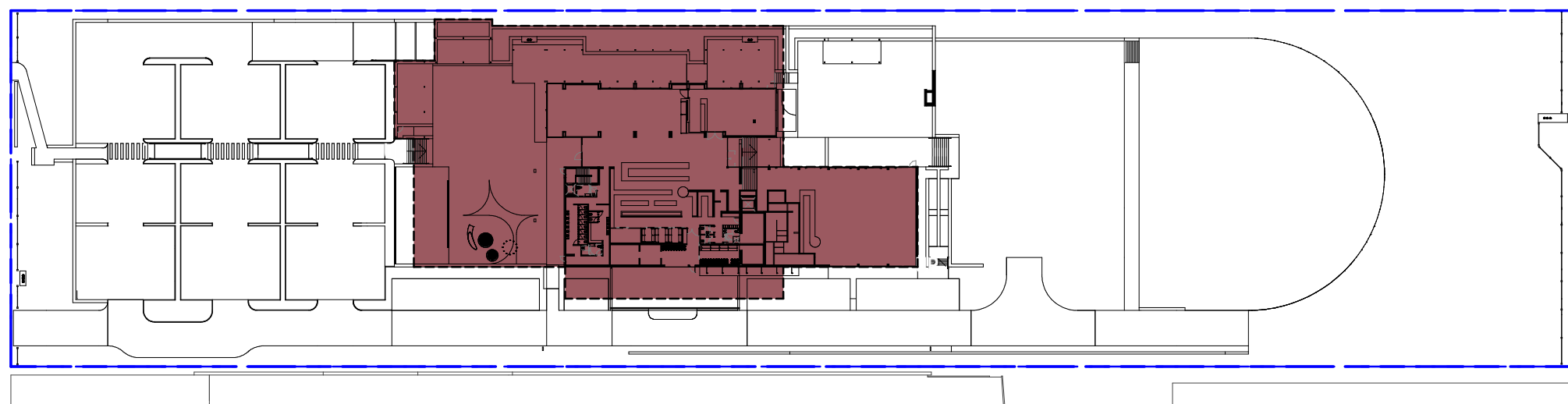
1 Site Cover Plan
1 : 400



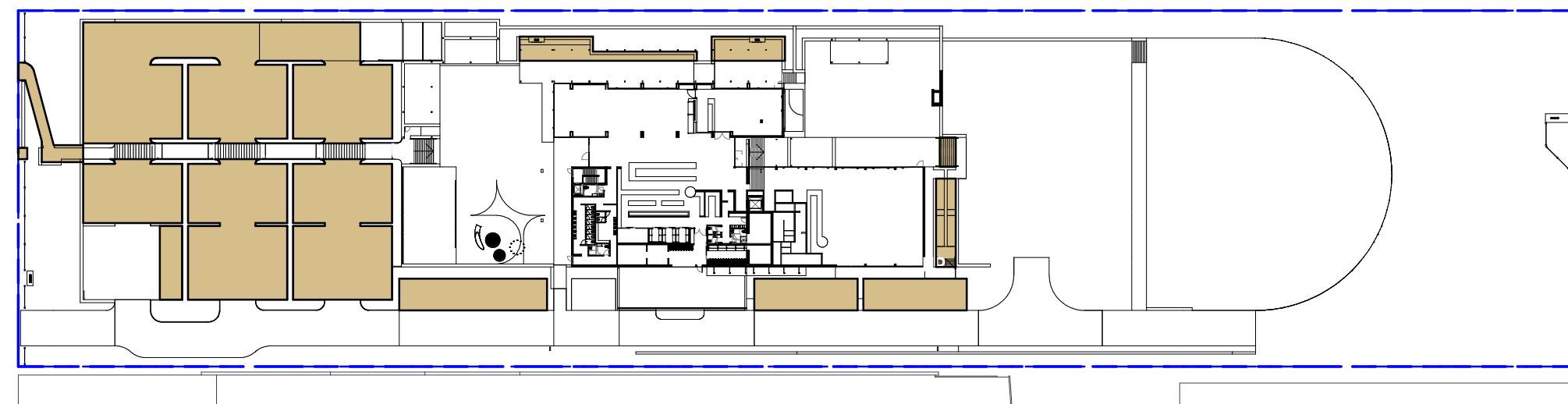
2 Site Cover Plan - Building Footprint at Finished Ground Level
1 : 1000



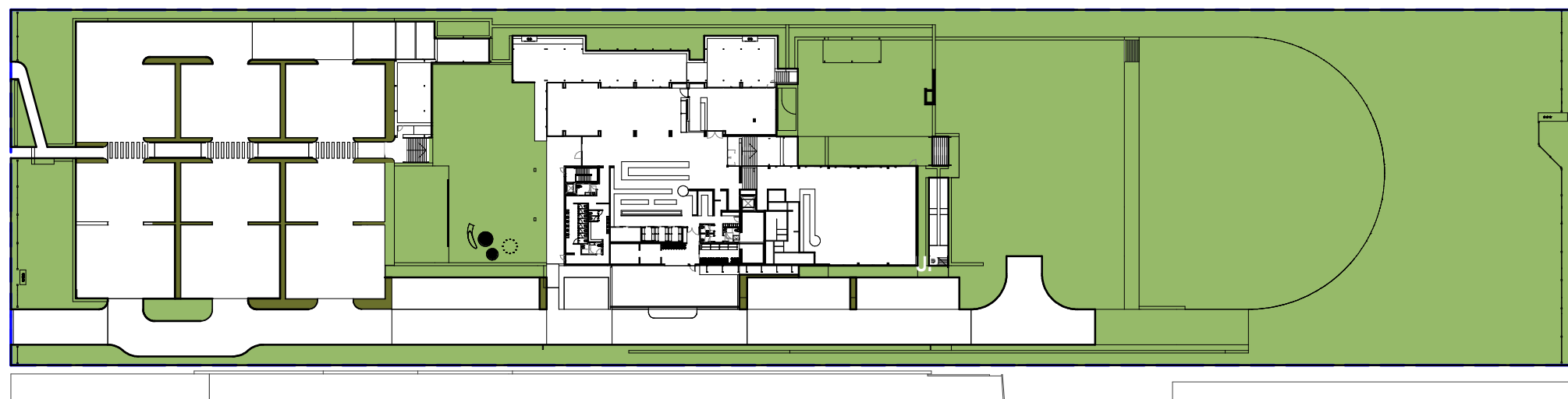
5 Site Cover Plan - Impermeable Area
1 : 1000



3 Site Cover Plan - Total Building Footprint
1 : 1000









6 Site Cover Plan - Permeable Area
DA1-9010 1 : 1000



4 Site Cover Plan - Open Landscape Area
1 : 1000

Area Legend

	Building Footprint at Finished Ground Level 1484m ² (9.2%)		Impermeable Area 2396m ² (15.0%)
	Total Building Footprint 3180m ² (19.9%)		Permeable Area 2527m ² (15.8%)
	Open Landscape Area 9314m ² (58.4%)		Additional Landscaping 247m ² (1.5%)

Total Area: 15960m²

General Notes

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Rev Date Amendments

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01	16.10.23	Issue for Information
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06	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
07	26.07.24	Issue for Information
08	14.08.24	Issue for Information

Rev Date Amendments

Rev	Date	Amendments
09	03.09.24	For Development Approval
10	14.02.25	Issue for Information
11	21.02.25	Issue for Information
12	28.02.25	Issue For Information
13	28.03.25	Issue for Information
14	28.03.25	Issue for Information
15	07.04.25	For Development Approval: Amended Scheme
16	21.05.25	For DA: Amended Scheme - Additional Carparking

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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

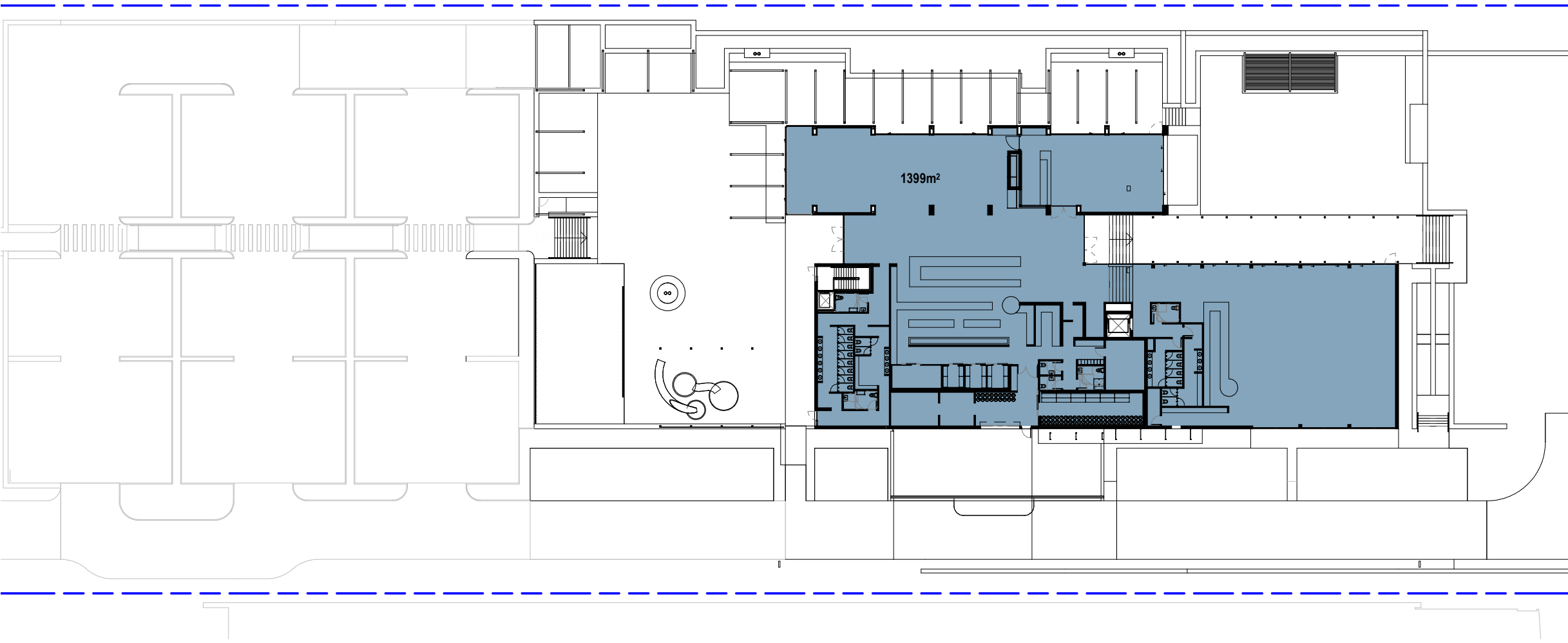
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

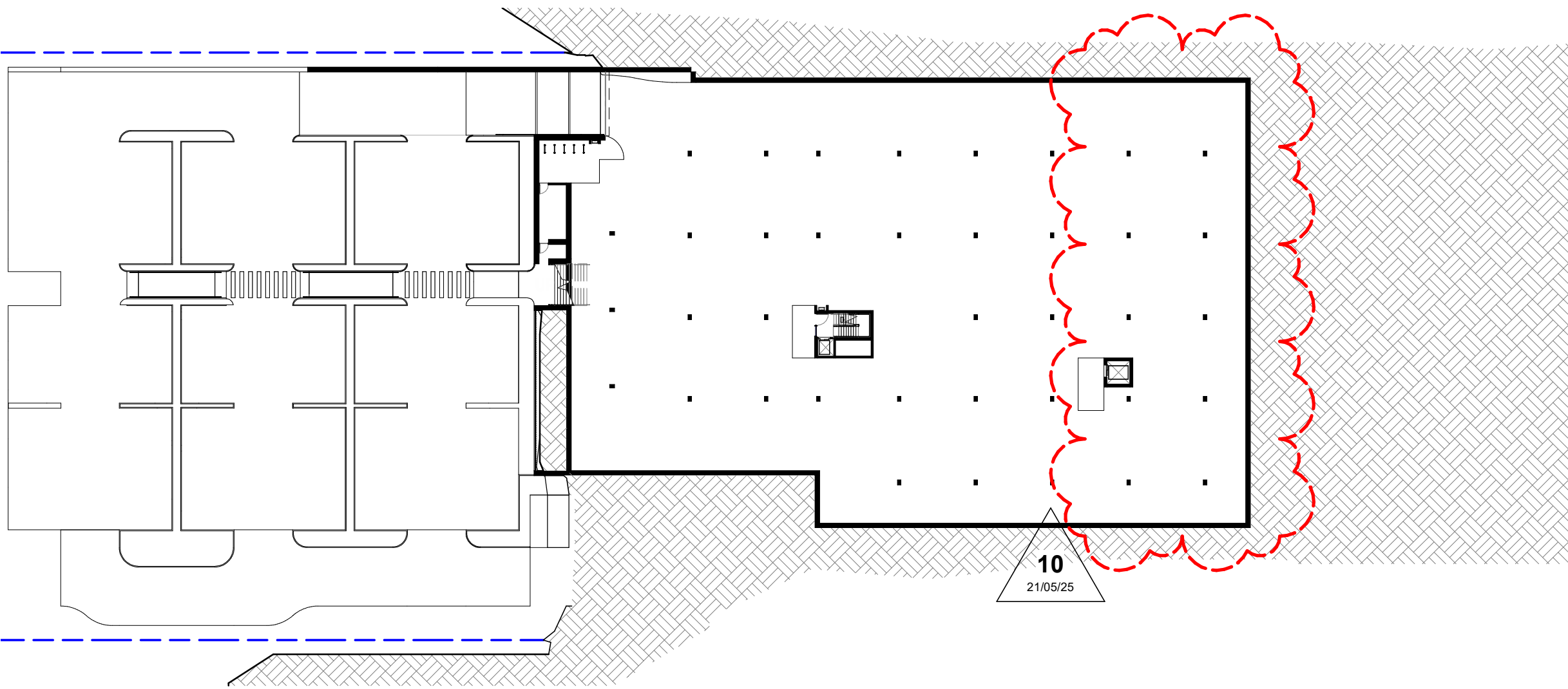
Drawing
Site Cover Plan & Schedule - Proposed

For Development Approval

Scale @ A1	As indicated	Drawn by	Checked by
Scale @ A3	As indicated		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-9010	Rev	16



2 Gross Floor Area - Restaurant 01 & 02 - Proposed
DA1-9020 1: 500



1 Gross Floor Area - Myoora Rd Venue Entry - Proposed
DA1-9020 1: 500

Area Legend

GFA - Restaurant & Bar
1399m²

Total Site Area: 15960m²

Total GFA 1399m²
Total FSR 11.4%

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Rev	Date	Amendments
01	23.05.24	Issue for Information: Design and Sustainability Advisory Panel
02	26.07.24	Issue for Information
03	14.08.24	Issue for Information
04	03.09.24	For Development Approval
05	21.02.25	Issue for Information
06	28.02.25	Issue For Information
07	28.03.25	Issue for Information
08	28.03.25	Issue for Information

Rev	Date	Amendments
09	07.04.25	For Development Approval: Amended Scheme
10	21.05.25	For DA: Amended Scheme - Additional Carparking

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Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

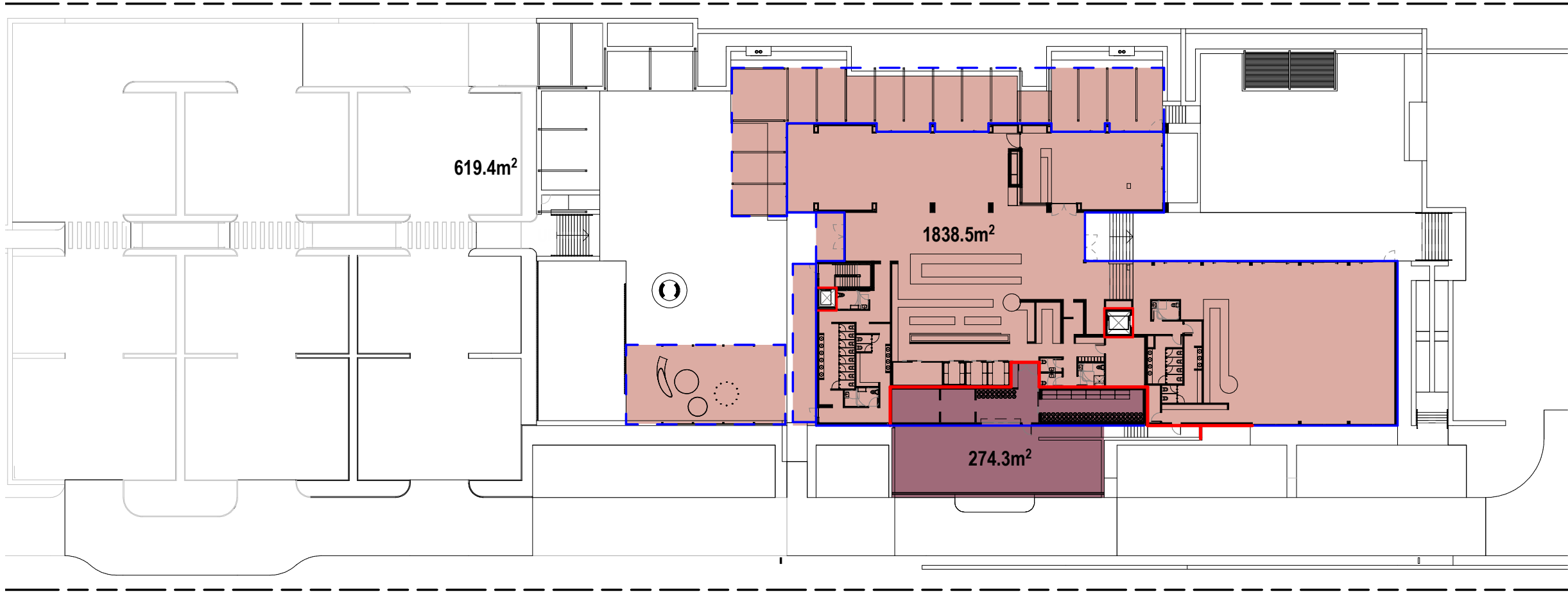
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Gross Floor Area Plan & Schedule - Proposed

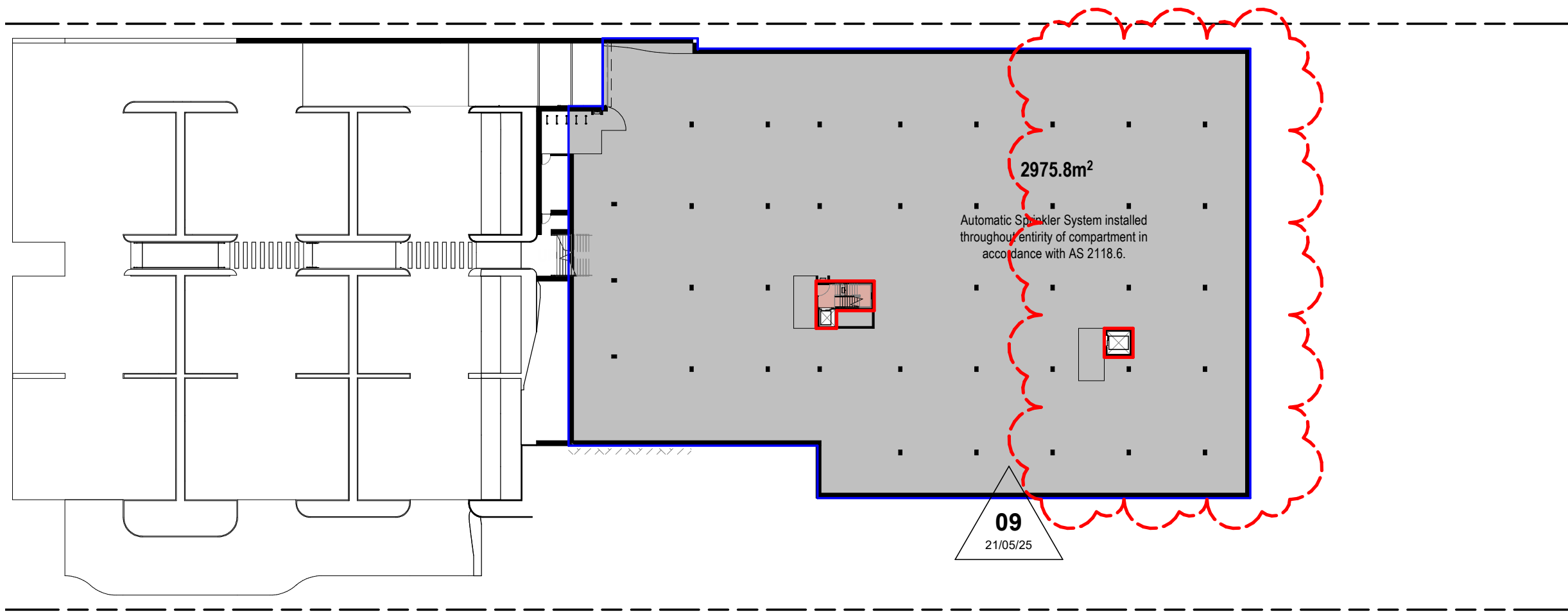
For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-9020	Rev	10

21/05/2025 1:22:55 PM



2 Fire Compliance Diagram - Restaurant 01 & 02 - Proposed
DA1-9030 1 : 500



1 Fire Compliance Diagram - Myoora Rd Venue Entry - Proposed
DA1-9030 1 : 500

Area Legend



Compartment 01
2975.8m²
Automatic Sprinkler System installed throughout entirety of compartment in accordance with AS 2118.6.



Compartment 02
1838.5m²



Compartment 03
274.3m²



Line of Building



Line of Awning Over



Separation of Fire Compartments
In accordance with BCA Report

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Rev Date Amendments

Rev	Date	Amendments
01	26.07.24	Issue for Information
02	14.08.24	Issue for Information
03	03.09.24	For Development Approval
04	21.02.25	Issue for Information
05	28.02.25	Issue For Information
06	28.03.25	Issue for Information
07	28.03.25	Issue for Information
08	07.04.25	For Development Approval: Amended Scheme

Rev Date Amendments

Rev	Date	Amendments
09	21.05.25	For DA: Amended Scheme - Additional Carparking



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Nominated Architect: Glenn Cunningham #6415

Project

40 Myoora Road

Client

Gardoxi P/L (Norwest)

Location

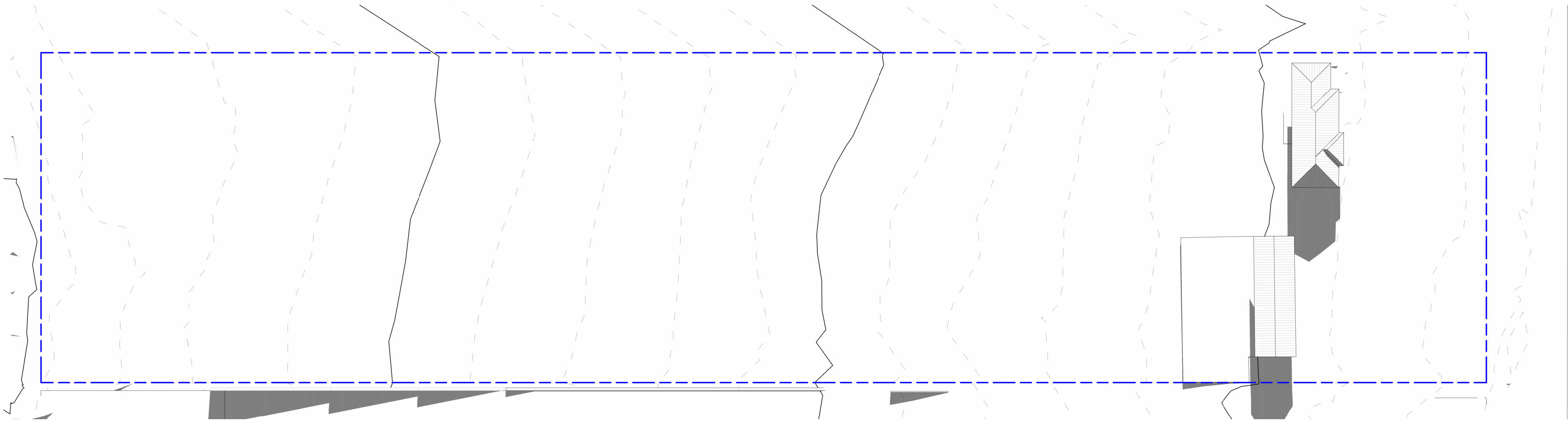
40 Myoora Road, Terrey Hills NSW 2084

Drawing

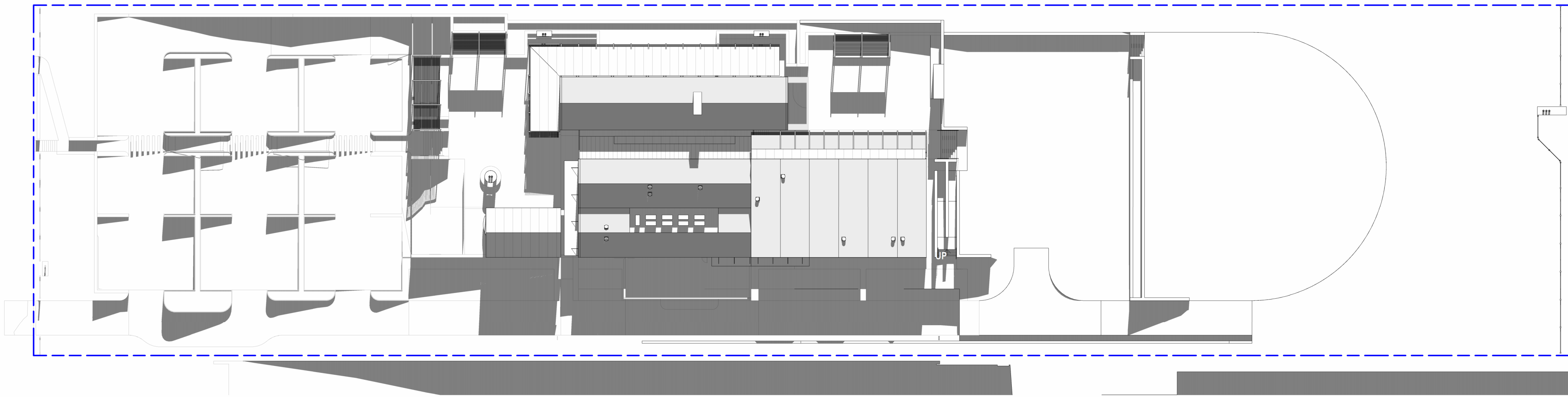
Fire Compartmentation - Proposed

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	21/05/25
Project #	2725		
Drawing #	DA1-9030	Rev	09



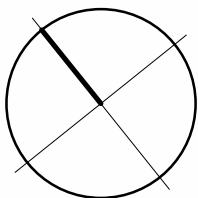
1 Existing Shadow Diagram
DA1-9200 1 : 500



2 Proposed Shadow Diagram
DA1-9200 1 : 500

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Rev	Date	Amendments
01	19.03.24	Consultant Issue
02	02.04.24	Issue for Information: Pre-DA Meeting
03	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
04	26.07.24	Issue for Information
05	14.08.24	Issue for Information
06	03.09.24	For Development Approval
07	21.02.25	Issue for Information
08	28.02.25	Issue For Information

Rev	Date	Amendments
09	28.03.25	Issue for Information
10	28.03.25	Issue for Information
11	07.04.25	For Development Approval: Amended Scheme



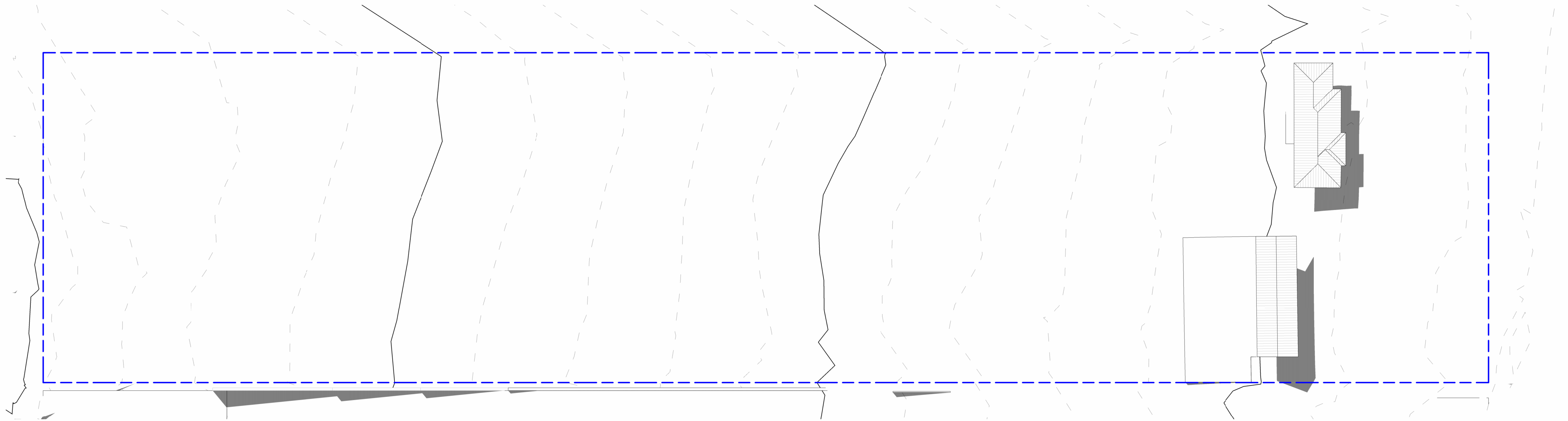
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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project 40 Myoora Road
Client Gardoxi P/L (Norwest)

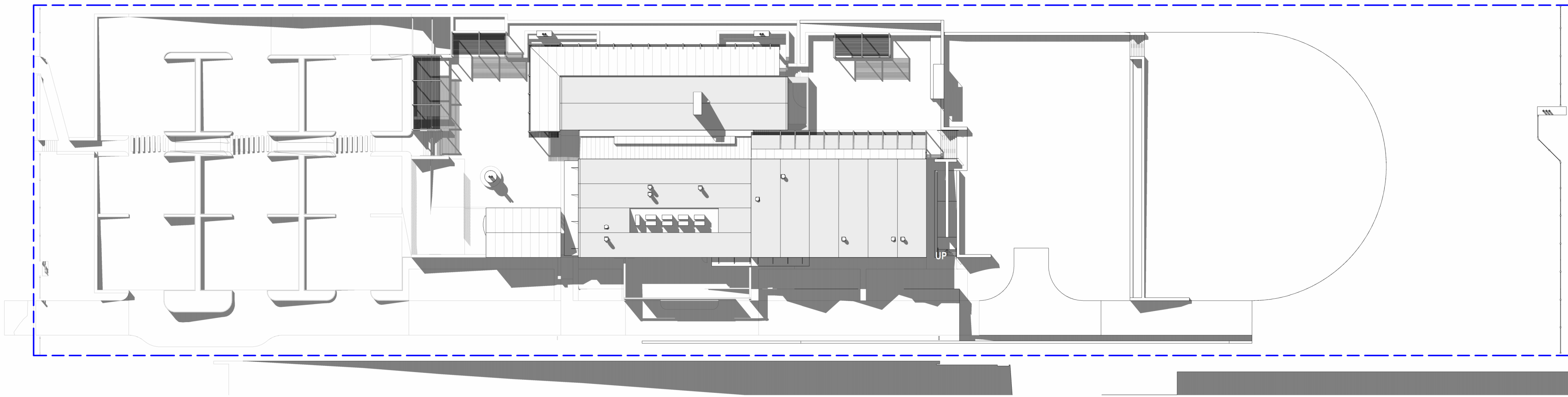
Location 40 Myoora Road, Terrey Hills NSW 2084
Drawing Shadow Diagrams - Winter 21st June 9am

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9200	Rev	11



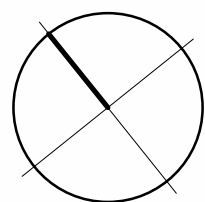
1 Existing Shadow Diagram
DA1-9201 1 : 500



2 Proposed Shadow Diagram
DA1-9201 1 : 500

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01	19.03.24	Consultant Issue
02	02.04.24	Issue for Information: Pre-DA Meeting
03	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
04	26.07.24	Issue for Information
05	14.08.24	Issue for Information
06	03.09.24	For Development Approval
07	21.02.25	Issue for Information
08	28.02.25	Issue For Information

Rev	Date	Amendments
09	28.03.25	Issue for Information
10	28.03.25	Issue for Information
11	07.04.25	For Development Approval: Amended Scheme



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Nominated Architect: Glenn Cunningham #6415

Project

40 Myoora Road

Client

Gardoxi P/L (Norwest)

Location

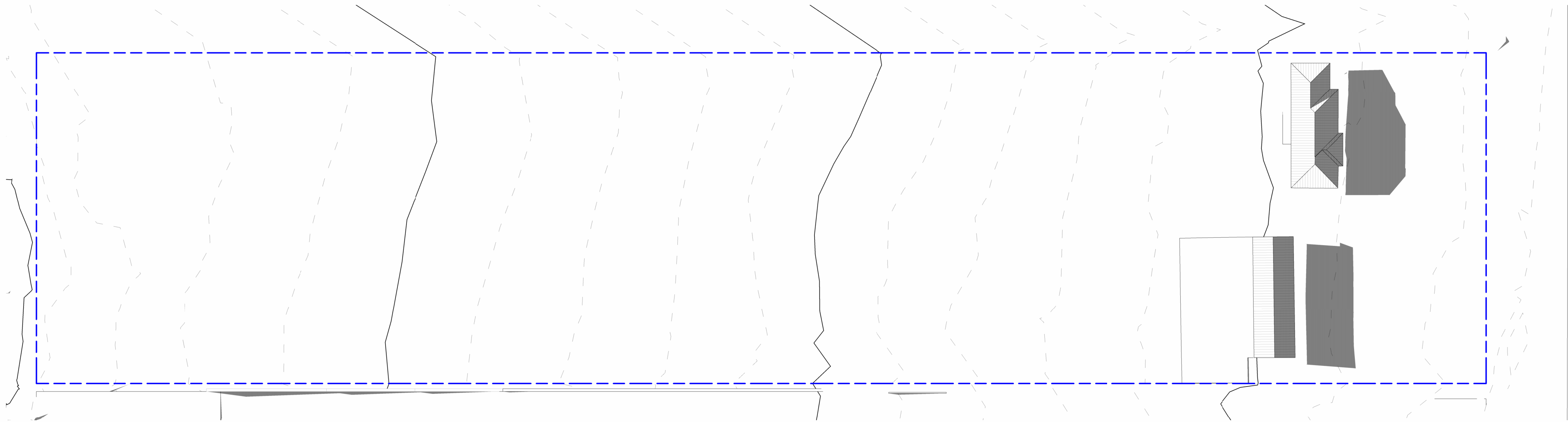
40 Myoora Road, Terrey Hills NSW 2084

Drawing

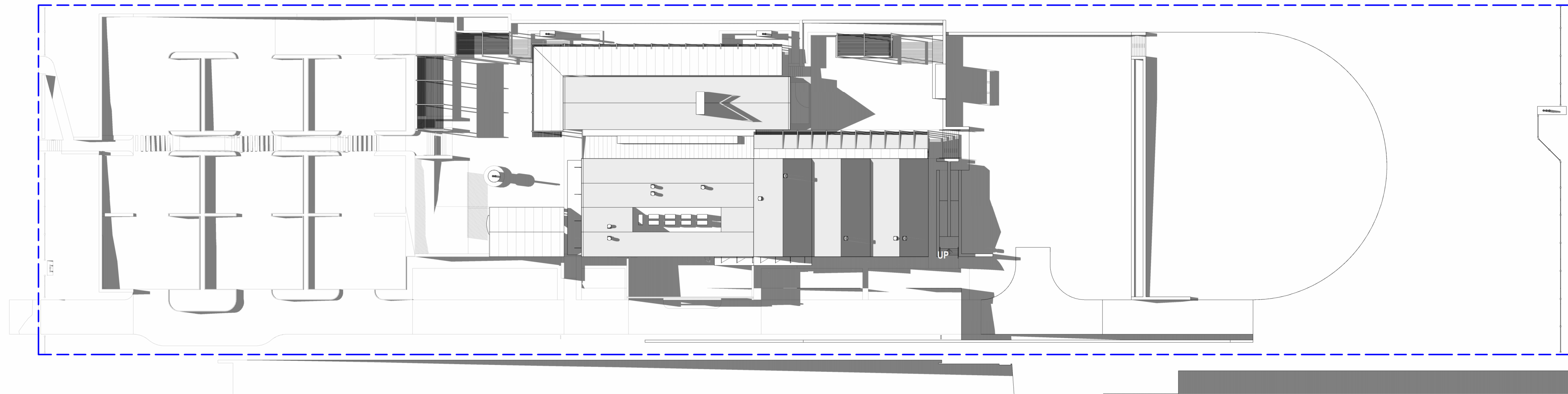
Shadow Diagrams - Winter 21st June 12pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9201	Rev	11



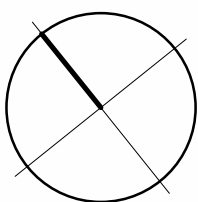
1 Existing Shadow Diagram
DA1-9202 1 : 500



2 Proposed Shadow Diagram
DA1-9202 1 : 500

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01	19.03.24	Consultant Issue
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04	26.07.24	Issue for Information
05	14.08.24	Issue for Information
06	03.09.24	For Development Approval
07	21.02.25	Issue for Information
08	28.02.25	Issue For Information

Rev	Date	Amendments
09	28.03.25	Issue for Information
10	28.03.25	Issue for Information
11	07.04.25	For Development Approval: Amended Scheme

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Project
40 Myoora Road

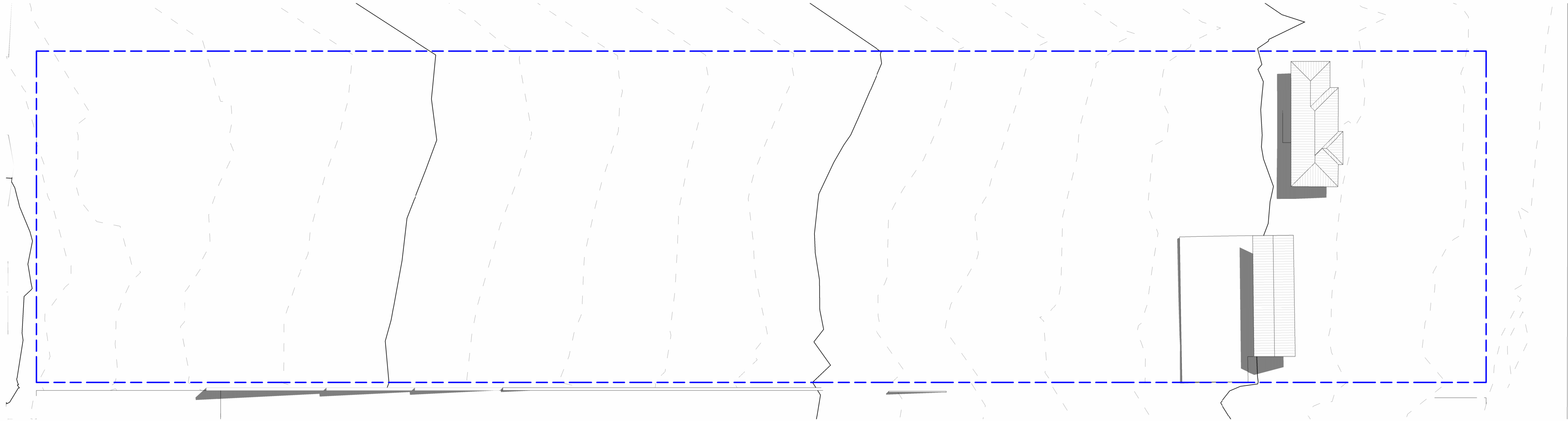
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

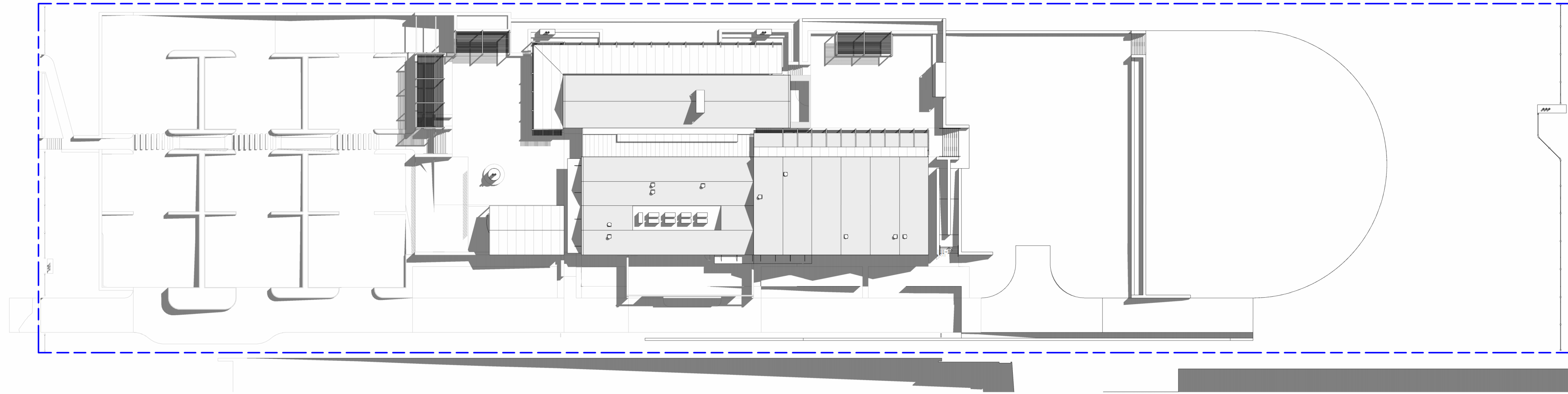
Drawing
Shadow Diagrams - Winter 21st June 3pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9202	Rev	11



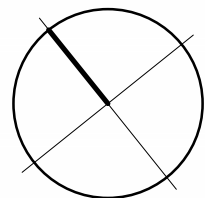
1 Existing Shadow Diagram
DA1-9203 1:500



2 Proposed Shadow Diagram
DA1-9203 1:500

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05	14.08.24	Issue for Information
06	03.09.24	For Development Approval
07	21.02.25	Issue for Information
08	28.02.25	Issue For Information

Rev	Date	Amendments
09	28.03.25	Issue for Information
10	28.03.25	Issue for Information
11	07.04.25	For Development Approval: Amended Scheme



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Humphrey & Edwards Pty Ltd | ABN 89056538227
Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

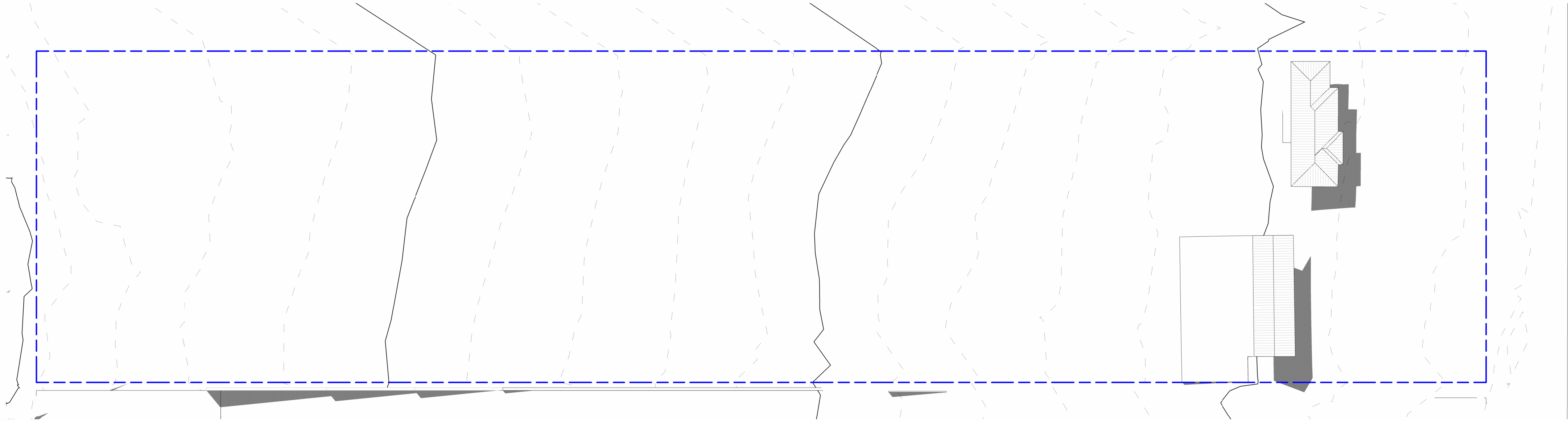
Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

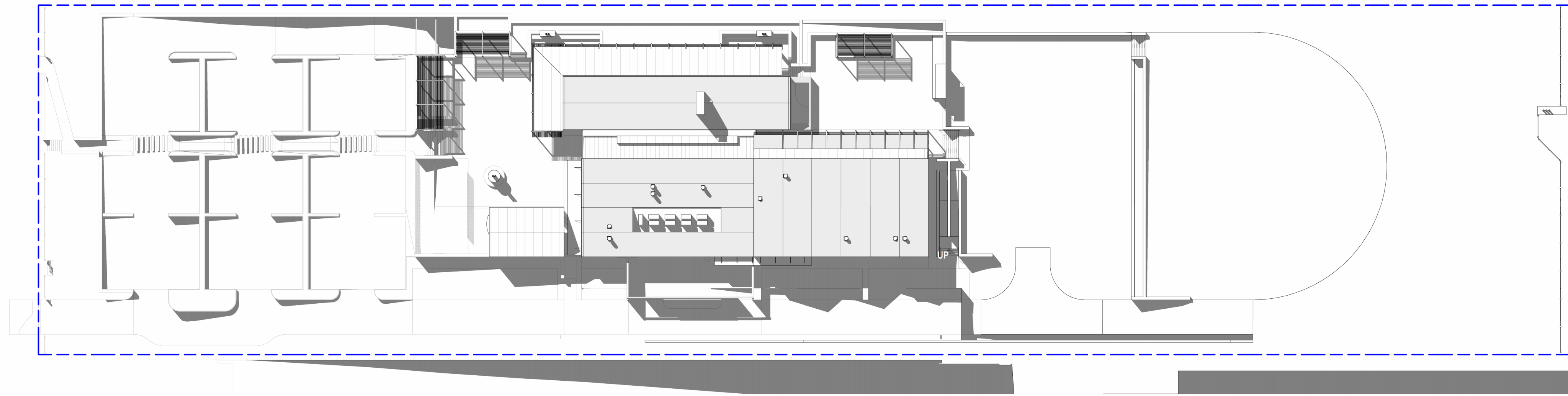
Drawing
Shadow Diagrams - Summer 21st December 9am

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9203	Rev	11



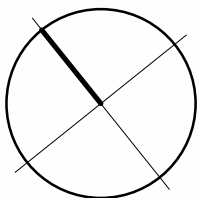
1 Existing Shadow Diagram
DA1-9204 1 : 500



2 Proposed Shadow Diagram
DA1-9204 1 : 500

General Notes

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Rev	Date	Amendments
01	19.03.24	Consultant Issue
02	02.04.24	Issue for Information: Pre-DA Meeting
03	21.05.24	Issue for Information: Design and Sustainability Advisory Panel
04	26.07.24	Issue for Information
05	14.08.24	Issue for Information
06	03.09.24	For Development Approval
07	21.02.25	Issue for Information
08	28.02.25	Issue For Information

Rev	Date	Amendments
09	28.03.25	Issue for Information
10	28.03.25	Issue for Information
11	07.04.25	For Development Approval: Amended Scheme



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Nominated Architect: Glenn Cunningham #6415

Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Shadow Diagrams - Summer 21st December 12pm

For Development Approval

Scale @ A1	1:500	Drawn by	Checked by
Scale @ A3	1:1000		
Project Start Date	Issue Date	Sheet Issue Date	07/04/25
Project #	2725		
Drawing #	DA1-9204	Rev	11

