40 Myoora Road

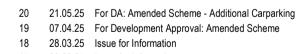
40 Myoora Road, Terrey Hills NSW 2084

Gardoxi P/L (Norwest)

For Development Approval



| | Drawing List - Development Application | | | | | | | | |
|--------|--|--------|-------------|---|--|--|--|--|--|
| Status | Sheet Number | RTVRev | RTVRev Date | Sheet Name | | | | | |
| AD | DA1-0000 | 20 | 21/05/25 | Title Sheet & Drawing List | | | | | |
| AD | DA1-0110 | 08 | 07/04/25 | Materials Palette | | | | | |
| AD | DA1-0200 | 08 | 07/04/25 | General Notes & Abbreviations - Sheet 01 | | | | | |
| AD | DA1-0201 | 08 | 07/04/25 | Keynotes | | | | | |
| AD | DA1-0400 | 08 | 07/04/25 | Existing Location Plan | | | | | |
| AD | DA1-0401 | 14 | 07/04/25 | Existing Site Analysis Plan | | | | | |
| AD | DA1-0410 | 14 | 07/04/25 | Site Plan - Existing & Demolition | | | | | |
| AD | DA1-0500 | 18 | 21/05/25 | Site Plan - Proposed | | | | | |
| AD | DA1-1010 | 19 | 21/05/25 | General Arrangement Plan - Myoora Road Venue Entry & Basement | | | | | |
| AD | DA1-1013 | 17 | 07/04/25 | General Arrangement Plan - Restaurant | | | | | |
| AD | DA1-1023 | 17 | 07/04/25 | General Arrangement Plan - Roof | | | | | |
| AD | DA1-1024 | 08 | 07/04/25 | General Arrangement Plan - Landscaped Open Area & Mona Vale Roa | | | | | |
| AD | DA1-1100 | 06 | 07/04/25 | Seating Plan - Restaurant | | | | | |
| AD | DA1-1200 | 08 | 07/04/25 | General Notes - Food Premises | | | | | |
| AD | DA1-1201 | 08 | 07/04/25 | Detail Plan - Restaurant | | | | | |
| AD | DA1-3100 | 15 | 21/05/25 | Streetscape Elevations - Proposed | | | | | |
| AD | DA1-4100 | 17 | 21/05/25 | Site Sections - Proposed - Sheet 01 | | | | | |
| AD | DA1-4101 | 17 | 21/05/25 | Site Sections - Proposed - Sheet 02 | | | | | |
| AD | DA1-4102 | 16 | 21/05/25 | Site Sections - Proposed - Sheet 03 | | | | | |
| AD | DA1-4110 | 17 | 21/05/25 | North West - Proposed Sections - Sheet 01 | | | | | |
| AD | DA1-4111 | 17 | 21/05/25 | North West - Proposed Sections - Sheet 02 | | | | | |
| AD | DA1-4112 | 16 | 21/05/25 | North West - Proposed Sections - Sheet 03 | | | | | |
| AD | DA1-4120 | 17 | 21/05/25 | South East - Proposed Sections - Sheet 01 | | | | | |
| AD | DA1-4121 | 17 | 21/05/25 | South East - Proposed Sections - Sheet 02 | | | | | |
| AD | DA1-4122 | 16 | 21/05/25 | South East - Proposed Sections - Sheet 03 | | | | | |
| AD | DA1-4130 | 15 | 07/04/25 | Building Sections - Sheet 01 | | | | | |
| AD | DA1-9000 | 16 | 21/05/25 | Area Plan & Schedule - Proposed | | | | | |
| AD | DA1-9010 | 16 | 21/05/25 | Site Cover Plan & Schedule - Proposed | | | | | |
| AD | DA1-9020 | 10 | 21/05/25 | Gross Floor Area Plan & Schedule - Proposed | | | | | |
| AD | DA1-9030 | 09 | 21/05/25 | Fire Compartmentation - Proposed | | | | | |
| AD | DA1-9200 | 11 | 07/04/25 | Shadow Diagrams - Winter 21st June 9am | | | | | |
| AD | DA1-9201 | 11 | 07/04/25 | Shadow Diagrams - Winter 21st June 12pm | | | | | |
| AD | DA1-9202 | 11 | 07/04/25 | Shadow Diagrams - Winter 21st June 3pm | | | | | |
| AD | DA1-9203 | 11 | 07/04/25 | Shadow Diagrams - Summer 21st December 9am | | | | | |
| AD | DA1-9204 | 11 | 07/04/25 | Shadow Diagrams - Summer 21st December 12pm | | | | | |
| AD | DA1-9205 | 11 | 07/04/25 | Shadow Diagrams - Summer 21st December 3pm | | | | | |



18 28.03.25 Issue for Information
17 28.03.25 Issue for Information
16 28.02.25 Issue For Information

15 21.02.25 Issue for Information
14 14.02.25 Issue for Information
13 01.10.24 For Development Approval
12 03.09.24 For Development Approval

11 14.08.24 Issue for Information

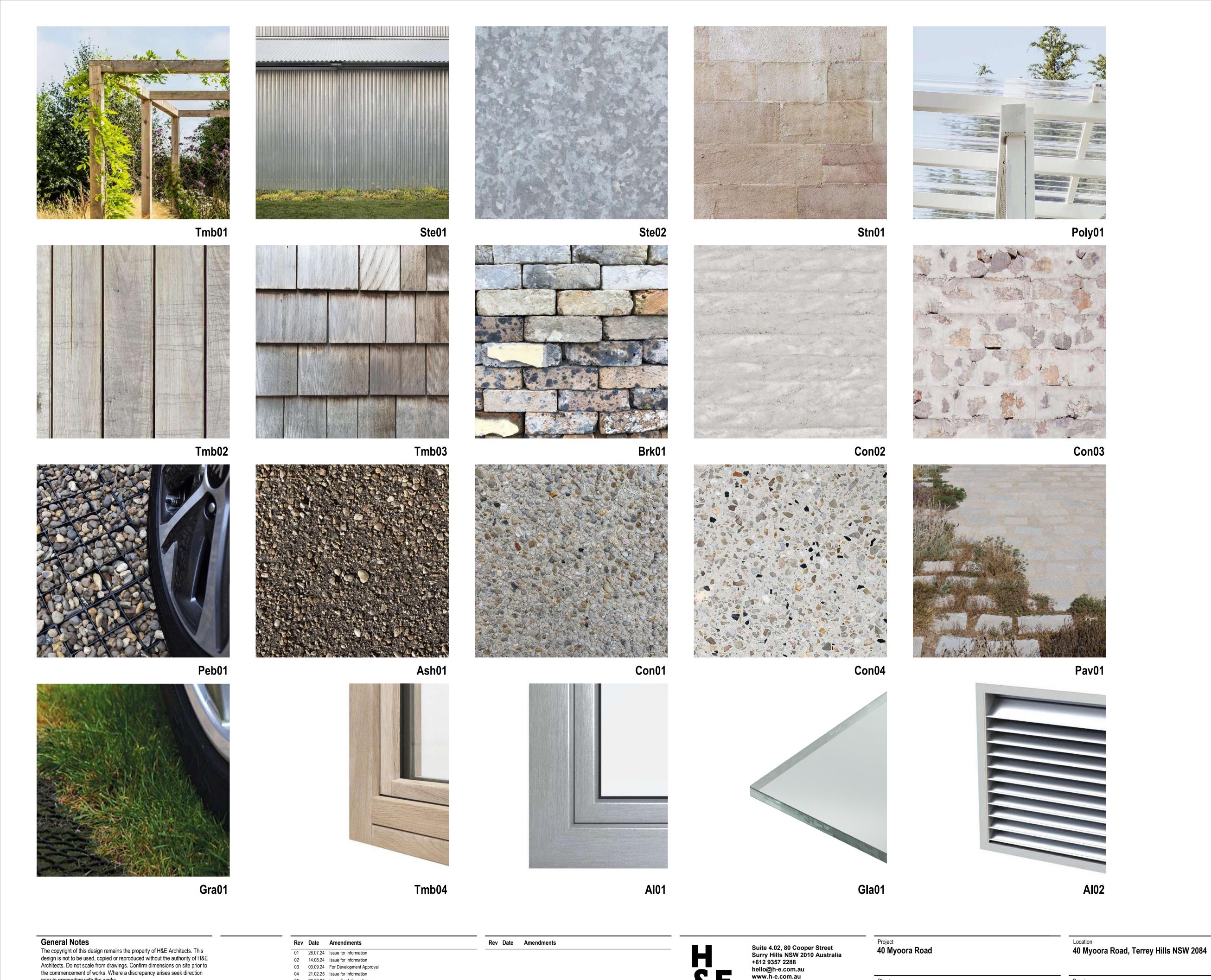
Rev Date Amendments

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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

For Development Approval

| | • | • • | |
|--------------------|------------|------------------|------------|
| Scale @ A1 | | Drawn by | Checked by |
| Scale @ A3 | | | |
| Project Start Date | Issue Date | Sheet Issue Date | 21/05/2 |
| Project # 27 | 25 | | |
| Drawing # | | | Rev |



prior to proceeding with the works.

unless designated.

This drawing is only to be used by the stated Client in the stated location

for the purpose it was created. Do not use this drawing for construction

05 28.02.25 Issue For Information

06 28.03.25 Issue for Information

07 28.03.25 Issue for Information

08 07.04.25 For Development Approval: Amended Scheme

For Dovolonment Approval

Materials & Finishes Legend

Aluminium Weather Louvre

Reclaimed Sandstock Brickwork

Powder Coat Finish

Powder Coat Finish

Ashphalt Surfacing

Concrete Hardstand **Exposed Aggregate**

Walls & Retaining

Feature Embedded Stone

Grass Reinforcement Mesh

Corrugated Polycarbonate

Galvanised Corrugated Steel Wall Cladding & Roofing

Structural & Detail Elements

Structural & Detail Elements

Tmb04 Timber Framed Windows and Doors

1. Construction to comply with Building Class, Construction Type and FRLs in accordance BCA Compliance

2. External wall construction to comply with total system R-value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 and external wall

colour to a maximum solar absorptance of 0.60 in accordance with Section J DTS Assessment and

Internal wall construction to comply with total system R-

value of R1.40 with thermal bridging calculated in accordance with AS/NZS 4859.2 in accordance with

4. External roof construction to comply with total system R-

5. Floors to unconditioned spaces constructed to comply with total system R-value of R2.00 in accordance with

6. External glazing suites to have a total system U-value of U4.30 and a SHGC of 0.52 generally in accordance with

7. Roof lights to have a total system U-value of U3.90 and a SHGC of 0.29 with shaft insulation to comply with total

system R-value of R1.40 generally in accordance with Section J DTS Assessment and Report.

value of R3.70 and external wall colour to a maximum solar absorptance of 0.45 in accordance with Section J

Section J DTS Assessment and Report.

Section J DTS Assessment and Report.

Section J DTS Assessment and Report.

DTS Assessment and Report.

Galvanised Steel

Sandstone Retaining Locally Sourced

Tmb01 Hardwood Timber Framing

Tmb02 Hardwood Timber Cladding Lap & Cap

Tmb03 Hardwood Timber Cladding Square Cut Shingle

Assessment Report.

Clear Performance Laminated Glazing

Permeable Pebble Road Surfacing

Refer to Landscape Architect's Specifications

Insitu Concrete

Honed Finish

Permeable Paving

Con02 Insitu Concrete

Con04 Concrete Paving

Aluminium Framed Windows and Doors

| | For Development Approval | | | | | | |
|---|------------------------------|--------------------|------------|--|--|--|--|
| • | Scale @ A1 | Drawn by | Checked by | | | | |
| | Scale @ A3 | | | | | | |
| | Project Start Date Issue Dat | e Sheet Issue Date | 07/04/2 | | | | |
| • | Project # 2725 | | | | | | |
| | Drawing # | | Dov | | | | |

Drawing

Materials Palette

PO Box 490 Darlinghurst NSW 1300

Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

ARCHITECTS

Gardoxi P/L (Norwest)

DA1-0110 | Re

Coordination

Where applicable refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify discrepancies between architectural and/or other consultant's documentation and/or statutory or other authority requirements to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Detail Drawings

Unless noted otherwise, where available, refer to detail drawings for set-out and detailed construction information. Where a discrepancy arises drawings at larger scales generally take precedence over drawings at smaller scales to the extent of any discrepancy. Notify discrepancies to the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Units of measurement Unless noted otherwise - Dimensions are shown in millimetres; and - Levels are shown in meters

Access and Mobility Compliance Report Where applicable refer to and execute the works in accordance with the current Access and Mobility Compliance Report. Where a discrepancy arises between the requirements of the Access and Mobility Compliance Report and this documentation the Access and Mobility Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Acoustic Compliance Report

Where applicable refer to and execute the works in accordance with the current Acoustic Compliance Report. Where a discrepancy arises between the requirements of the Acoustic Compliance Report and this documentation the Acoustic Compliance Report will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Fire Engineering (and/or Alternate

Solution) Report Where applicable refer to and execute the works in accordance with the current Fire Engineering (and/or Alternate Solution) Report. Where a discrepancy arises between the requirements of this documentation and any applicable Fire Engineering (and/or Alternate Solution) the Fire Engineering (and/or Alternate Solution) will take precedence to the extent of the discrepancy. Where Compliance with the requirements of this Report will require a physical change to any part of the works illustrated by this documentation, notify the Project Administrator for direction prior to proceeding with the affected part of the works.

Conservation management plan Refer to the Conservation Management Plan. Coordinate the requirements of the Conservation Management Plan with the intent of the project documentation. Where a discrepancy is identified notify the Project Administrator for direction prior to proceeding with the part of the works affected by the discrepancy.

Levels Levels shown are consistent with the datum and benchmarks shown on the associated detail survey. Unless noted otherwise surveyed levels are indicated relative to the Australian Height Datum. Prior to the commencement of construction, levels and datum are to be confirmed on site by a licensed surveyor with reference to the site survey documents.

Finish surfaces in wet and/or external areas to fall, as required and in accordance with NCC and AS requirements, to facilitate effective drainage.

INTERPRETATION

"Approved" or "Approval" UNO means, depending upon the context of the related part of the works, to the approval of the Project Administrator or party authorised by the Project Administrator to grant approval, or "Waterproof" describes the property of a as approved by the relevant consent authority in relation to the related part of the works.

"BCA (Building Code of Australia)" refers to the current and/or applicable edition of the BCA. Any reference made to the BCA or Building Code of Australia, unless in relation to a specific provision of a previous issue of the BCA, is to be interpreted to refer to the current and/or applicable edition of the BCA.

"Documentation" means the current version of the complete documents for the works including the relevant drawings, specifications from all consultants and the relevant statutory requirements.

"If (where or as) required" is a conditional term for work which may be shown on or implied by the documentation for the practical construction and whole completion of the works or works that are required by legislation or other relevant authority requirements.

the current and/or applicable edition of the NCC. Note that from May 2011 the NCC incorporates the BCA.

"PCA" means "Principal Certifying Authority".

"Principal" has the same meaning as "owner" "client" and "proprietor" and refers to the party

Electrical works to whom the Contractor is legally bound, under the terms of the construction contract, to construct the works. "Project administrator" has the same meaning as "Contract administrator", "architect" or "superintendent" as applicable to a particular project and is the person appointed by the "owner", "principal" and/or "proprietor" with authority to issue approvals and/or

"Proprietary" means identifiable by naming the manufacturer, supplier, installer, trade name, brand name, catalogue or reference

instructions under the contract.

"Provide" means to supply and install.

"Required" means required by the contract documents, and/or by the Local or Statutory Authorities and/or to contribute to complete the execution of the works in accordance with the intent of the documentation.

from commencement of the works (including

demolition) and maintained throughout the

course of the works until the site is fully

stabilised.

"Selected" means a material, finish, fitting or fixture to be selected by the Architect, Project Administrator and/or Proprietor. Refer to the relevant specification or schedule. If no selection is apparent notify the Project Administrator for direction.

"... to detail" in reference to an item or element of the works means that the applicable item is to be in accordance with the relevant Architect's detail. If a relevant detail is not evident notify the Project Administrator for direction prior to proceeding with the affected part of the works.

"Refurbish" means to repair any existing damage and return the element to a standard of operation and finish generally consistent with a similar new element.

"UNO" means "unless noted otherwise"

"Water resistant' describes the property of a material that restricts moisture movement and requirements to the PCA's satisfaction. will not degrade under conditions of moisture.

material that does not allow moisture to penetrate through it.

EXECUTION OF THE WORKS Compliance Execute the works in compliance with the relevant provisions of the current editions (as

amended at the time of execution of the

works) of:

- The National Construction Code (NCC) and Building Code of Australia (BCA), refer to the BCA Compliance Schedule for reference where provided with this documentation; Applicable Australian and other published Standards, codes and policies; Relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works; and

- Where available, the associated BCA and/or

Development Consent Compliance Report.

Where a discrepancy arises between the requirements of the above mentioned codes, standards and policies, and this documentation the relevant code, standards "NCC (National Construction Code)" refers to and/or policy(ies) shall take precedence to the extent of the discrepancy. Where compliance will require a physical change to any part of the works described by this documentation, notify the Project Administrator for direction prior to proceeding

> Electrical works including general power, lighting, security, audio visual, point-of-sale etc. are to be designed and constructed to achieve the design intent implied by the architectural documentation, coordinate with

with the affected part of the works.

other structure and services and be accordance with the Local Authority, Statutory Authority, Electrical Consultant's requirements. Coordinate with the electrical consultant and contractors to ensure that all required certifications are provided in accordance with the relevant service authority and statutory requirements to the PCA's satisfaction.

Standard Abbreviations Legend (AD)

| | Standa | ard Abbreviations Le | gend |
|--|-------------------|--|----------------|
| Hydraulic works | General | | Fla |
| Stormwater drainage, waste water drainage, | # | Where indicated to designate a | Flr |
| fresh water, gas supply and other hydraulic | | particular type of a referenced | FR |
| services are to be designed and constructed to achieve the design intent implied by the | | item. Refer to the relevant schedule for specifications. | Frm FS |
| architectural documentation, coordinate with | AC | Air-conditioning | FT# |
| other structure and services and in | Acst | Acoustic | FW |
| accordance with the Local Authority, Statutory | Adj | Adjustable / adjacent | |
| Authority, Hydraulic and/or Civil Works | AFFL | Above finished floor level | Fxd |
| Consultant's requirements. Coordinate with the hydraulic consultant and | Agmt Amd(t) | Arrangement Amend(ed) / Amendment | GA Gd# |
| contractors to ensure that all required | AP | Access Panel | GD# |
| certifications are provided in accordance with | Aprv(d/l) | Approved by / Approval of the | Gnd |
| the relevant service authority and statutory | _ | PA and/or relevant authority | HC |
| requirements to the PCA's satisfaction. | Aprx | Approximate | Hd |
| Mechanical works | Arch AS | Architect Australian Standard | Hdl Hor |
| Mechanical works including air-conditioning, | Avg | Average | HR |
| ventilation, exhaust etc. are to be designed | AWC | Accessible water closet | Ht |
| and constructed to achieve the design intent | Awn | Awning | Hyd Hyd // |
| implied by the architectural documentation, coordinate with other structure and services | Bal Bat(s) | Balustrade Batten(s) | HWB# IAW |
| and be accordance with the Local Authority, | BCA | Building Code of Australia | Incl |
| Statutory Authority, Mechanical Consultant's | Bdy | (Property) Boundary | Ind |
| requirements. | BĞ | Box Gutter to detail | Ins |
| Coordinate with the mechanical consultant | Bhd | Bulkhead | Ins# |
| and contractors to ensure that all required certifications are provided in accordance with | Bldg BOR | Building Bottom of ramp | Inst Int |
| the relevant service authority and statutory | BOS | Bottom of stair | IO |
| requirements to the PCA's satisfaction. | BT | Proprietary SS bucket trap easily | IR |
| · | | removable & integrated with FW | J?.# |
| Structural works | Cav | Cavity | KE |
| Foundations, footings, reinforced concrete, slabs, retaining walls, framing, bracing, tie- | CC Ceil | Construction certificate | LvI Lvr |
| down and other structural elements are to be | Chg(d) | Ceiling Change /changed | Man('s) |
| constructed to achieve the design intent | Chk | Check | Max |
| implied by the relevant aspects of the | Chnl | Channel | Mech |
| structural engineer's design and specification, | CJ | Control joint / Construction joint | Min |
| architectural documentation and other design and services consultant's documentation. | CL | to aprvd detail / Ceiling joist Centre line | MR Mtr |
| Coordinate the structural works with the | Clr | Clear / Clearance / closer | NA |
| architectural documentation and other design | Cnr | Corner | NCC |
| and services consultant's documentation as | Col | Colour / Column | Nom |
| required. | Con('s) | Consultant('s) | NTS |
| Provide cleats, brackets, holes, spacers, etc | Cont('s) Coord | Contractor('s) Coordinate (with) | OA Obs |
| as required to achieve the implied design | COS | Check / confirm on site | OH |
| intent whether specifically detailed or not. | Cpd | Cupboard | OF |
| Where cleats, brackets, holes, spacers, etc | Crs | Centres | Orig |
| are required and are not specifically detailed, submit proposed details to the Project | CT# Ctr | Ceiling # Centre / contour | OS Own |
| Administrator for approval prior to fabrication. | D?.# | Door # (?: Level) | PA |
| The state of the s | DA | Development Application | Pav |
| Coordinate with the structural engineer to | Demo | Demolish and remove from site | PCA |
| ensure that all required certifications are | Det(s) | Detail(s) | PFC |
| provided in accordance with statutory requirements to the PCA's satisfaction. | Dia Dim | Diameter Dimension | Plt PM |
| requirements to the FOA's satisfaction. | Doc(s) | Documentation, documents | Prelim |
| Existing Buildings & Structures including | DP | Down pipe | Proj |
| finished levels & details of external works | Dwg(s) | Drawing / drawings | Prop |
| Details of existing buildings and structures, | EA | Equal angle | Prt# |
| including finished levels and details of external works shown are consistent with the | EG Elec | Eaves Gutter Electrical | Qty R / Rad |
| associated detail survey and may also reflect | Elev | Elevation | RCP(s) |
| measurements on site. Confirm the veracity, | Eng('s) | Engineer('s) | Re `´ |
| in regard to location, extent and levels of | Eq | Equal | Reb |
| existing building elements on site. Where a | Est Ex / Exst | Estimated Existing when referring to | Recyc |
| discrepancy arises notify the Project Administrator for direction prior to proceeding | ⊏X / ⊏XSI | building elements | Ref |
| with associate works to the extent that they | Exh | Exhaust | Rem |
| are affected by the discrepancy. | Ext | External / exterior | |
| 5 · 00 !! | FCL | Finished ceiling level | D |
| Erosion & Sediment Control | FE FF# | Fireescape / exit / extinguisher | Rep |
| Apply erosion and sediment control measures in accordance with the Local Authority and, | FFL | Floor finish type # Finished floor level | Req(s) Rev# |
| where applicable, Hydraulic or Civil Works | FG | Fixed glazing | RFR |
| Consultant's requirements to avoid erosion, | FGL | Finished ground level | |
| sedimentation and/or contamination of the | FH | Fire Hose Book | DEO |
| site, surrounds and stormwater drainage system. Apply measures to ensure that the | FHR FIP | Fire Hose Reel Fire Indicator Panel | RFO |
| site remains free of water and to prevent | Fix | Fixing / fixings | |
| water flow over the new work. Erosion & | FJ | Floor joist | |
| sediment control measures are to be effective | | | |

Flashing Floor Fire rated Frame / framing Flush set Floor type # RWO Aprvd proprietary floor waste to S4.55 suit floor finish and WPM regs Fixed General Arrangement SBt Schd(s) Grid # Scr# Grated Drain# SDr Ground Sect Hose cock Head Handle Horizontal Hand Rail SFL Height Hydraulic SHS Si# Hand wash basin # Sk In accordance with.. Skt Include / included / inclusive Indicator Inside / Inside of. Sld Insulation # Smk Instruction(s) SN Internal Inspection opening Impact resistant Spec(s) SR# Joinery item # (?: Level) SSD Kitchen Exhaust SSL Level Std Louvre / louvred Str Manufacturer('s) Maximum Struct **SWP** Mechanical Minimum Mirror rev / Moisture resistent Mitre / Mitred Not applicable National Construction Code TD Nominal Not to scale TGSI# Overall TO TOG Obscure Over head **TOK** Overflow Tol **TOR** Original (building fabric) TOS Outside / Outside of... / On site Owner / Proprietor / Principal TOW Project Administrator Paving Principal certifying authority UA Parallel flange channel UB Project Manager UG UNO Preliminary Proposed US Part / Partition # VΒ Vert Quantity Radius Vent Reflected Ceiling Plan(s) W?.# Reinforced / reinforcement WC# Demolish, stockpile and recycle into the works as req Win WF# Reference, refer (to...) Remove, take care to avoid WO WP damage to substrate materials WPMand structure, and dispose of WT# Replace, UNO to match exst Required / Requirement(s) Revision #

Recover without damage,

Owner to remove

protect, store and prepare for

reuse within the works as req

Recover without damage for the

Rectangular hollow section **Materials & Finishes** Rough in (cap and/or terminate Acr Adh Adhesive (compatible with as reg for future connection) Reduced / relative level (to substrate and fit-for-purpose) Aged / Antiqued Roof type # Aluminium Anodised Rain Water Outlet Section 4.55 Application to Bitumen Block / Blockwork amend a Development Consent Spilt batten (fixing) Brk Brick / Brickwork Brs Schedule(s) Brass Brz Bronze Screen # to detail CB Surface drainage Colourbond (finish) Compressed fibre cement Compact laminate Selected... typically referring to CLam a finish to be selected by the Conc Concrete archiect, client, PA or PM Cpt Carpet Cement render Structural floor level Cu Copper Square hollow section Ерху VXOQ **FBrk** Face brick / Face brickwork Sign# / Signage to detai Fab Sink / Sketch Fabric FC Skirting Fibre cement Seal / sealant Galvanized Surface level / Shadow-line Gla# Glass # / Glazing # HDG Hot dipped galvanized Sliding Smoke Heat & moisture resistent Laminate / Laminate overlaid... / Stair nosing Soffit Laminate #/ Laminate overlaid... Specification(s) / Laminate(d) Service(s) riser # Mortar bed Sub-surface drainage MDF Medium density fibreboard Structural slab level Melamine overlaid MIO Standard Micaceious iron oxide MSt Store / Storage Metal stud (framing) Structure / Structural Obs Obscure OFC Off form (reinforced) concrete Storm water pit To be advised (UNO generally Pav# Paving by the PA, Arch and/or Owner) Pb Plasterboard To be confirmed (UNO generally PC Powdercoat by the Contractor) Polycarbonate Tun dish to aprvd detail iaw Hyd Pre cast concrete Selected paint finish # Con's spec Tactile ground surface indicators Ply Plywood Particleboard Top of... Renderboard Top of gutter RC Reinforced concrete to Struct Top of kerb Tolerance Eng spec Top of ramp Satin chrome plated Top of stair Stainless steel SSS Top of wall Satin stainless steel Ste Tree Typical Stone # to sched and/or spec Til# Tile # Unequal angle Tmb# Timber # Universal beam TSt Timber stud (framing) Universal column / under cut Under ground Timber veneer "Villaboard" or aprvd equal fibre Unless noted otherwise Underside Vin Vinyl Zn Vapor barrier Zinc / Zincalume Vertical Ventilation (grille) Window #, Glazing # and/or Shop Front element # (?: Level) Water closet / Toilet Pan # Window Wall finish type # Without Water proof Water proof membrane Wall type #

General Notes

The copyright of this design remains the property of H&E Architects. This design is not to be used, copied or reproduced without the authority of H&E Architects. Do not scale from drawings. Confirm dimensions on site prior to the commencement of works. Where a discrepancy arises seek direction prior to proceeding with the works. This drawing is only to be used by the stated Client in the stated location for the purpose it was created. Do not use this drawing for construction unless designated.

Rev Date Amendments

01 26.07.24 Issue for Information 02 14.08.24 Issue for Information 03 03.09.24 For Development Approva

04 21.02.25 Issue for Information 05 28.02.25 Issue For Information 06 28.03.25 Issue for Information 07 28.03.25 Issue for Information

08 07.04.25 For Development Approval: Amended Scheme

Rev Date Amendments



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Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

40 Myoora Road, Terrey Hills NSW 2084

General Notes & Abbreviations - Sheet 01

For Development Approval

Checked by Scale @ A1 Scale @ A3 Project Start Date | Sheet Issue Date | Sheet Issue Date 07/04/25 Project # **2725** Drawing #

DA1-0200

8/04/2025 4:33:22 PM

| De.01 | Demolish existing building. |
|-------|---|
| De.02 | Remove existing tree in accordance with arborist impact assessment. |
| De.03 | Demolish existing paving, hardstand and driveway surfaces. |
| De.04 | Extent of excavation in accordance with cut and fill plan prepared by civil engineer. |
| De.05 | Existing power pole to be removed. |

| | Base Build Keynote Legend | |
|-----------|---------------------------|--|
| Key Value | Keynote Text | |

| BB.01 | Traversable green roof constructed above basement. Minimum soil depth 1000mm. |
|-------|---|
| BB.02 | Tiered planters constructed above basement. Minimum soil depth 1000mm. |
| BB.03 | Outdoor double sided wood burning fireplace. Flue and chimney height to manufacturer's specifications. |
| BB.04 | Outdoor burning fireplace integrated into retaining wall. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3. |
| BB.05 | Indoor wood burning fireplace. Flue and chimney height to manufacturer's specifications and installed in compliance with g2d3. |
| BB.06 | Industrial automatic steel sliding privacy gate. 2700mm high. |
| BB.08 | Hardwood timber pergola. |

| | Site Works Keynote Legend | | | | | |
|-----------|--|--|--|--|--|--|
| Key Value | e Keynote Text | | | | | |
| | | | | | | |
| Si.03 | Hardwood post and rail fencing. | | | | | |
| Si.04 | Sandstone block and log fencing and retaining walls. | | | | | |
| Si.05 | Palisade providing secure separation for kids play to at grade parking. | | | | | |
| Si.06 | Tiered retaining wall. | | | | | |
| Si.07 | Proposed new public and service vehicle entry. | | | | | |
| Si.08 | Proposed kerb ramps to provide pedestrian access within council's road reserve. | | | | | |
| Si.09 | Illuminated digital traffic signage for overflow parking to future detail. | | | | | |
| Si.10 | Illuminated traffic way finding signage to future detail. | | | | | |
| Si.11 | External lighting integrated into retaining wall and planters to illuminate driveway in accordance with as/nzs 1158.3.1. | | | | | |
| Si.12 | External lighting integrated into retaining wall and planters to illuminate parking in accordance with as/nzs 1158.3.1. | | | | | |

| | Services Keynote Legend | | | | | |
|-----------|---|--|--|--|--|--|
| Key Value | Keynote Text | | | | | |
| | | | | | | |
| Se.01 | Provisional location for booster assembly. | | | | | |
| Se.02 | On site detention tank installed under ground below on grade parking. Refer to civil engineer's documentation for further details. | | | | | |
| Se.03 | Provision for public electrical vehicle charging bay. | | | | | |
| Se.08 | Cpex riser with exhaust integrated into outdoor fireplace. | | | | | |
| Se.09 | Ducted-split actron to service restaurant 02 and restaurant 03. | | | | | |
| Se.10 | Garbage exhaust duct riser. Provide (min.). Duct to connect to roof-mounted cowl fan. | | | | | |
| Se.11 | Toilet exhaust duct riser. Duct to connect to roof-mounted cowl fan. | | | | | |
| Se.12 | Duct riser to serve restaurant. Duct riser to be connected to cowl fan. | | | | | |
| Se.13 | Supply duct riser to serve kitchen area and amenities. Duct riser to be connected to cowl fan. | | | | | |
| Se.14 | Supply duct riser to serve kitchen area. Duct riser to connect to roof-mounted cowl fan. | | | | | |
| Se.15 | Kitchen exhaust duct riser to connect to roof-mounted cowl fan. | | | | | |
| Se.16 | Pit inlets. Refer to civil engineer's documentation for further details. | | | | | |
| Se.18 | Live fuel cooking system. | | | | | |
| Se.19 | Blue hatched areas indicate potential locations for pv panels. To be refined by supplier/operator taking into account overshadowing from trees and roof limitations | | | | | |
| Se.20 | Proprietary 10kl underground water tank. Minimum 1000mm soil depth above tank. | | | | | |
| Se.21 | Proposed location of power pole. | | | | | |
| | | | | | | |

| General Notes | Rev | Date | Amendments | Rev Date | Amendments |
|---|-----|----------|--|----------|------------|
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| the commencement of works. Where a discrepancy arises seek direction | 04 | 21.02.25 | Issue for Information | | |
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PO Box 490 Darlinghurst NSW 1300

Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415 Project
40 Myoora Road

Client
Gardoxi P/L (Norwest)

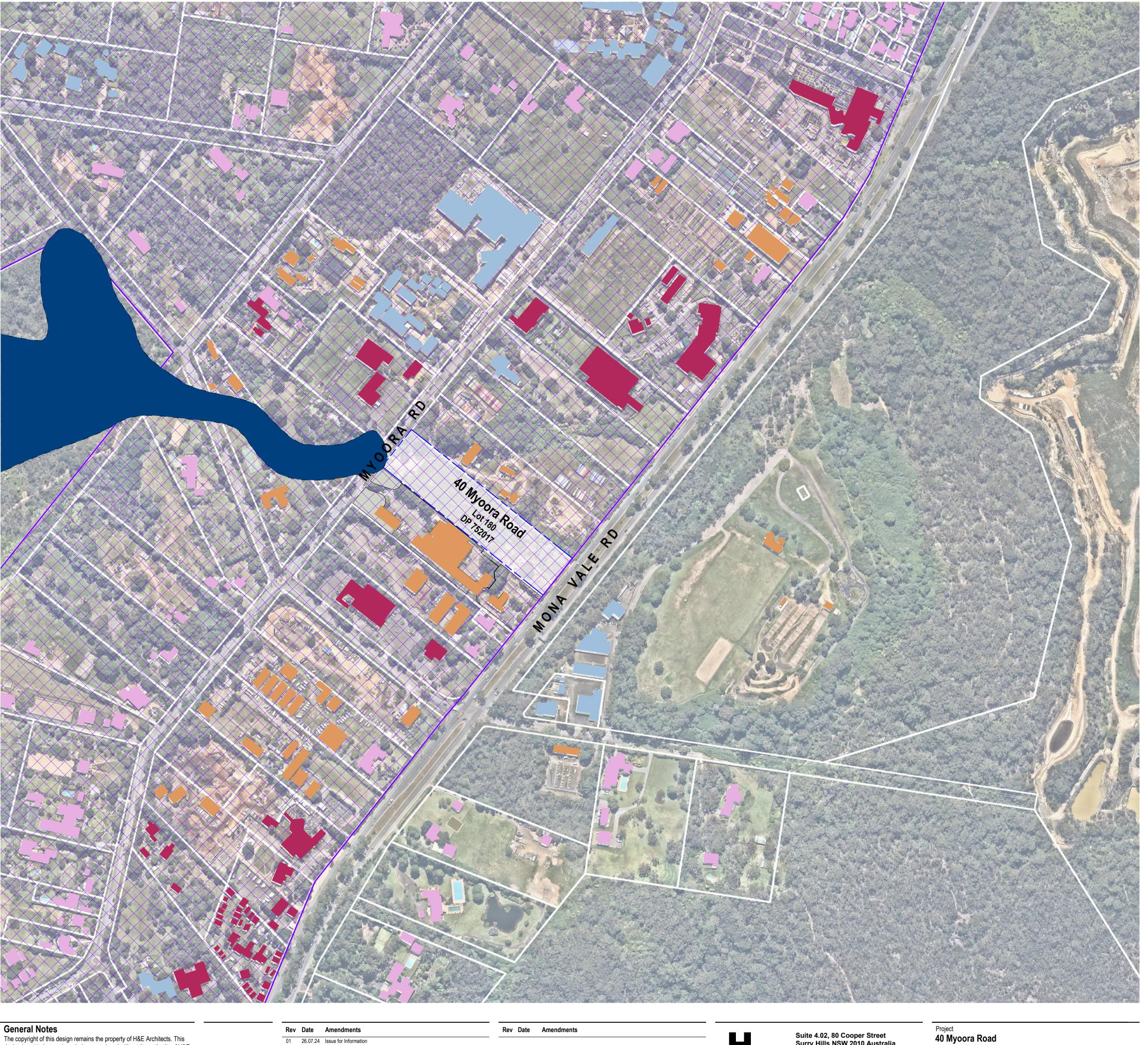
Location
40 Myoora Road, Terrey Hills NSW 2084

Drawing
Keynotes

For Development Approval

| Scale @ A1 | Drawn by | Checked by |
|-----------------------------|---------------------|---------------|
| Scale @ A3 | | |
| Project Start Date Issue Da | te Sheet Issue Date | 07/04/25 |
| Project # 2725 | | |
| Drawing # | 1-0201 | Rev 08 |

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For Development Approval

Site Analysis Legend

RU4 Land Zoning

Predominant Wind Direction

Noise Source

Pedestrian Access

Public Vehicle Entry / Exit

Service Vehicle Entry / Exit

Neighbouring Light Industrial Buildings

Neighbouring Residential Buildings

Neighbouring Recreation, Commercial & Hospitality Buildings

Strahler System 1st Order Watercourse as per Warringah DCP 2011 Waterways and Riparian Lands Northern Beaches Map Data

Neighbouring Public Buildings

1:2500 Drawn by Scale @ A1 1:5000 Scale @ A3 Project Start Date | Sheet Issue Date | 07/04/25 Project # **2725**

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01 26.07.24 Issue for Information 02 14.08.24 Issue for Information

03 03.09.24 For Development Approval 04 21.02.25 Issue for Information 05 28.02.25 Issue For Information

06 28.03.25 Issue for Information 07 28.03.25 Issue for Information 08 07.04.25 For Development Approval: Amended Scheme Rev Date Amendments



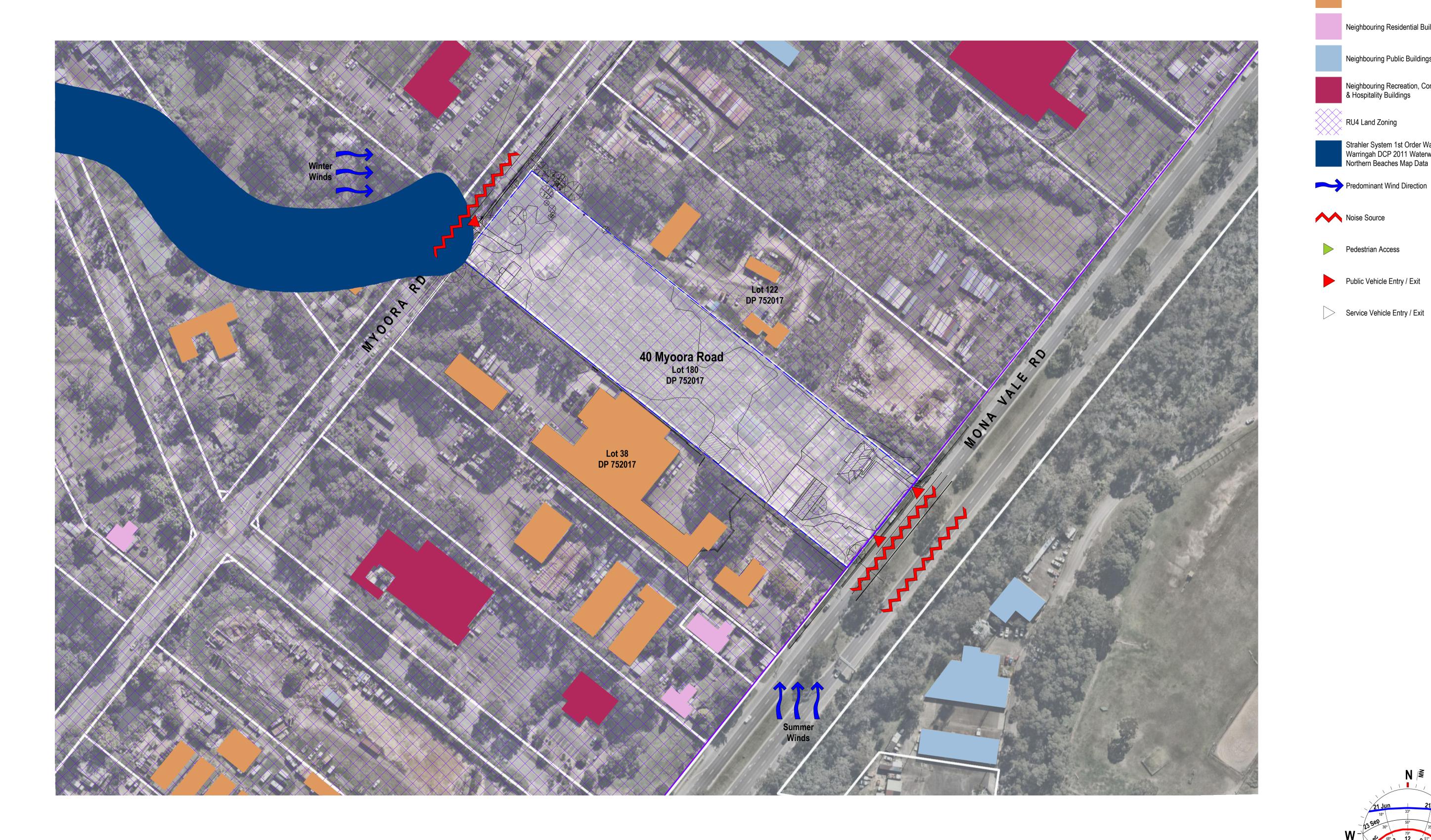
Suite 4.02, 80 Cooper Street Surry Hills NSW 2010 Australia +612 9357 2288 hello@h-e.com.au www.h-e.com.au PO Box 490 Darlinghurst NSW 1300 Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

Gardoxi P/L (Norwest)

Drawing

Existing Location Plan

40 Myoora Road, Terrey Hills NSW 2084



Site Analysis Legend

Neighbouring Light Industrial Buildings

Neighbouring Residential Buildings

Neighbouring Recreation, Commercial & Hospitality Buildings

Strahler System 1st Order Watercourse as per Warringah DCP 2011 Waterways and Riparian Lands Northern Beaches Map Data

Neighbouring Public Buildings

RU4 Land Zoning

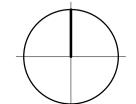
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| Scale @ A3 | 1:2000 | | |
| Project Start Date | Issue Date | Sheet Issue Date | 07/04/25 |
| Project # 27 | 725 | | |
| Drawing # | DA | I-0401 | Rev 14 |

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Rev Date Amendments

01 27.10.23 Issue for Information

02 31.10.23 Issue for Information

03 19.03.24 Consultant Issue 04 02.04.24 Issue for Information: Pre-DA Meeting

05 03.05.24 Issued for Landscape Coordination

06 21.05.24 Issue for Information: Design and Sustainability Advisory Panel 07 26.07.24 Issue for Information 08 14.08.24 Issue for Information

Rev Date Amendments

09 03.09.24 For Development Approval 10 21.02.25 Issue for Information 11 28.02.25 Issue For Information

12 28.03.25 Issue for Information 13 28.03.25 Issue for Information

14 07.04.25 For Development Approval: Amended Scheme

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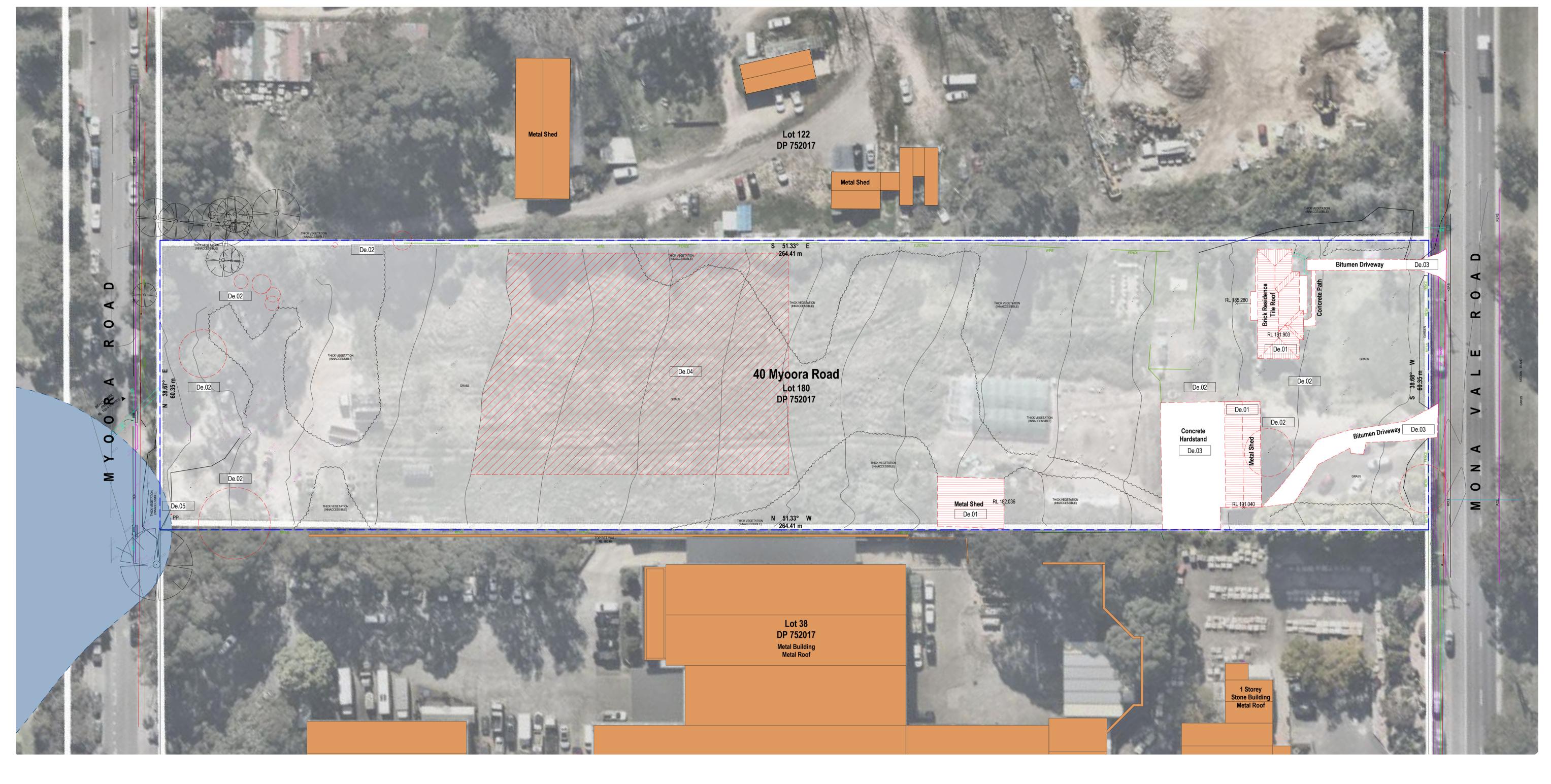
PO Box 490 Darlinghurst NSW 1300 Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

Gardoxi P/L (Norwest)

Project
40 Myoora Road

Drawing
Existing Site Analysis Plan

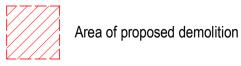
40 Myoora Road, Terrey Hills NSW 2084



DA Legend

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:





Neighbouring Residential

40 Myoora Road, Terrey Hills NSW 2084

Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

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09 03.09.24 For Development Approval 10 21.02.25 Issue for Information

11 28.02.25 Issue For Information 12 28.03.25 Issue for Information

13 28.03.25 Issue for Information 14 07.04.25 For Development Approval: Amended Scheme



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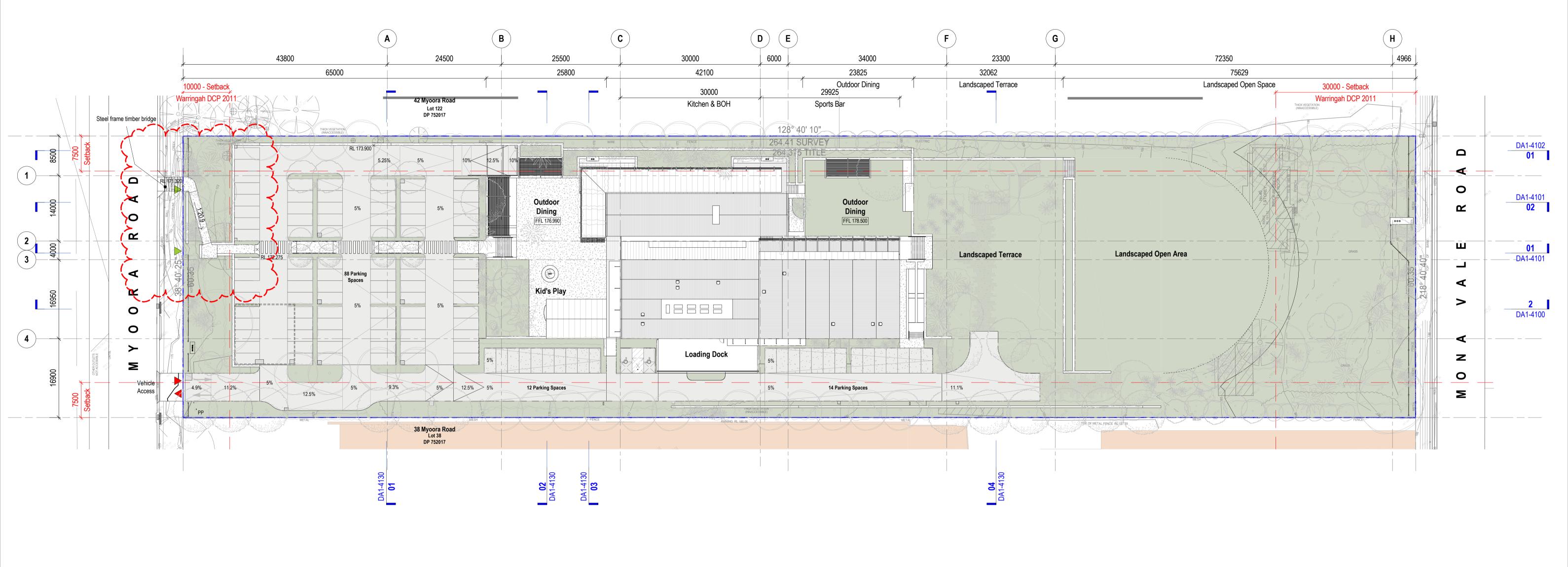
Project **40 Myoora Road**

Gardoxi P/L (Norwest)

For Development Approval

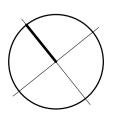
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| _ | Sheet Issue Date |

Drawing
Site Plan - Existing & Demolition



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- 06 02.04.24 Issue for Information: Pre-DA Meeting 07 03.05.24 Issued for Landscape Coordination
- 08 21.05.24 Issue for Information: Design and Sustainability Advisory Panel 09 26.07.24 Issue for Information 10 14.08.24 Issue for Information

Rev Date Amendments 11 03.09.24 For Development Approval 12 14.02.25 Issue for Information 13 21.02.25 Issue for Information

14 28.02.25 Issue For Information

15 28.03.25 Issue for Information

16 28.03.25 Issue for Information

17 07.04.25 For Development Approval: Amended Scheme

18 21.05.25 For DA: Amended Scheme - Additional Carparking

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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

Gardoxi P/L (Norwest)

40 Myoora Road

DA Legend

Proposed new building fabric

Area of proposed demolition

Subject to final layout this area is to

4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

comply with Australian Standard

For Development Approval 1:400 Drawn by Scale @ A1 40 Myoora Road, Terrey Hills NSW 2084 Scale @ A3 Project Start Date | Sheet Issue Date | Sheet Issue Date 21/05/25 Project # **2725** Site Plan - Proposed

Drawing #

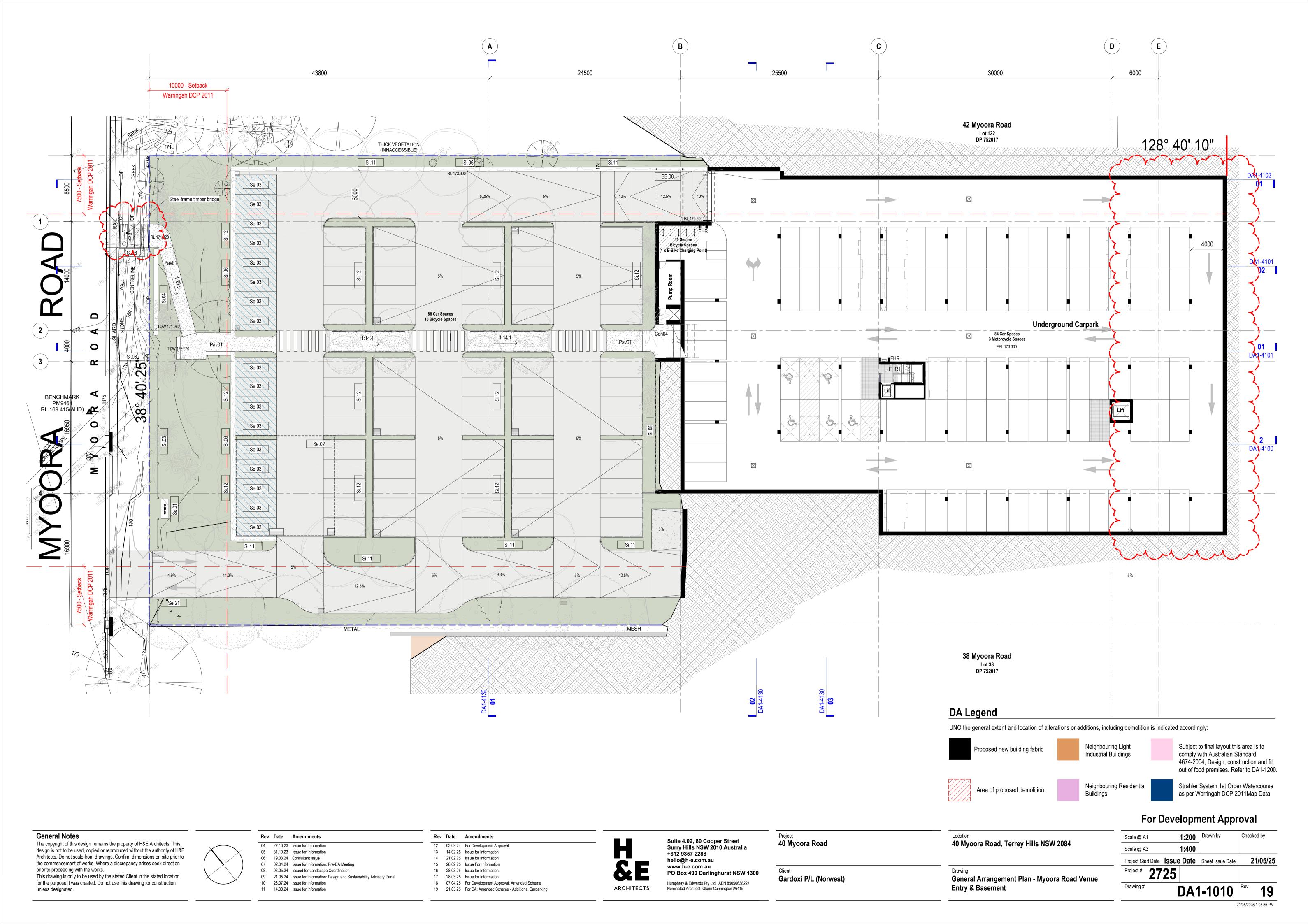
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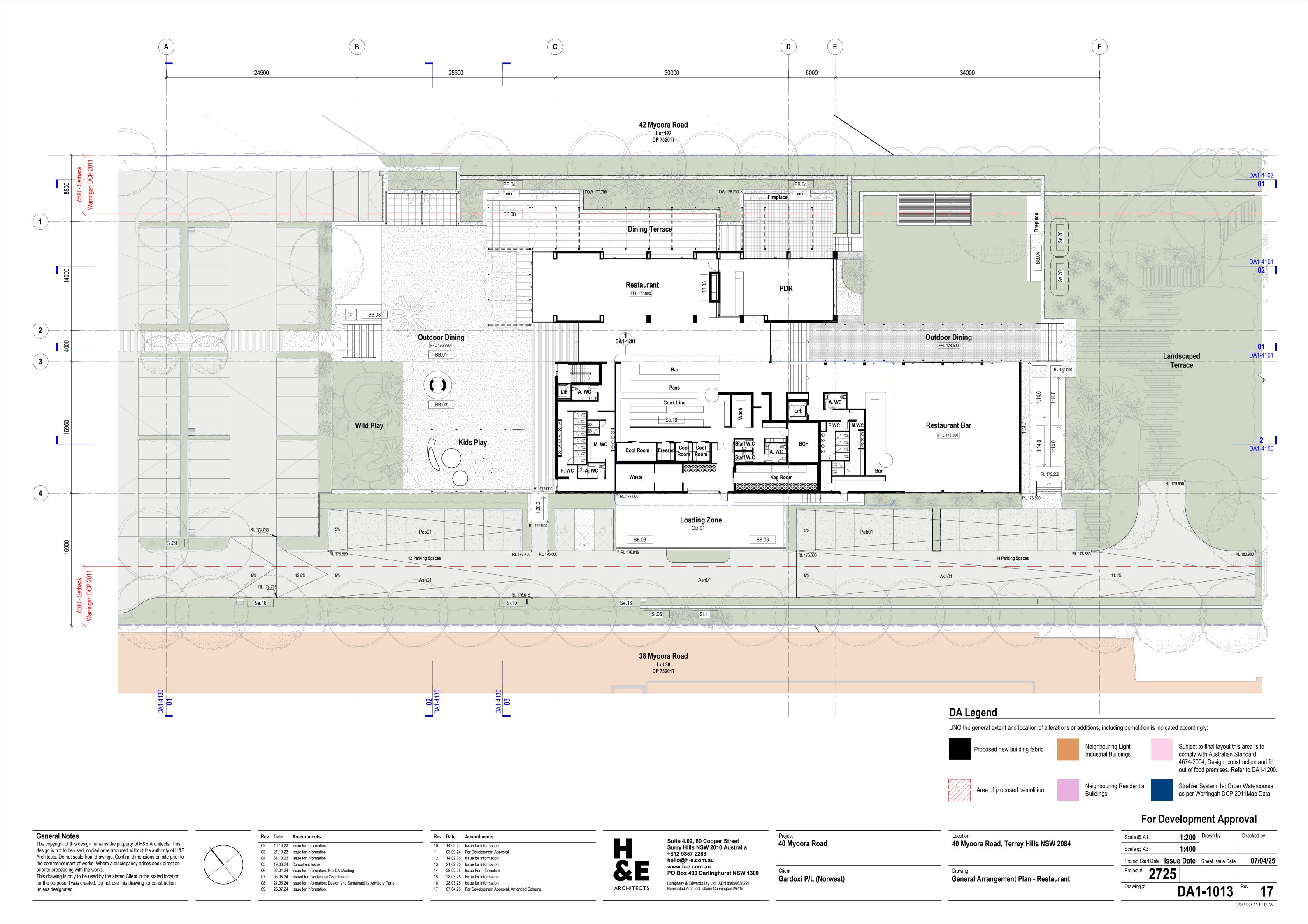
Neighbouring Light

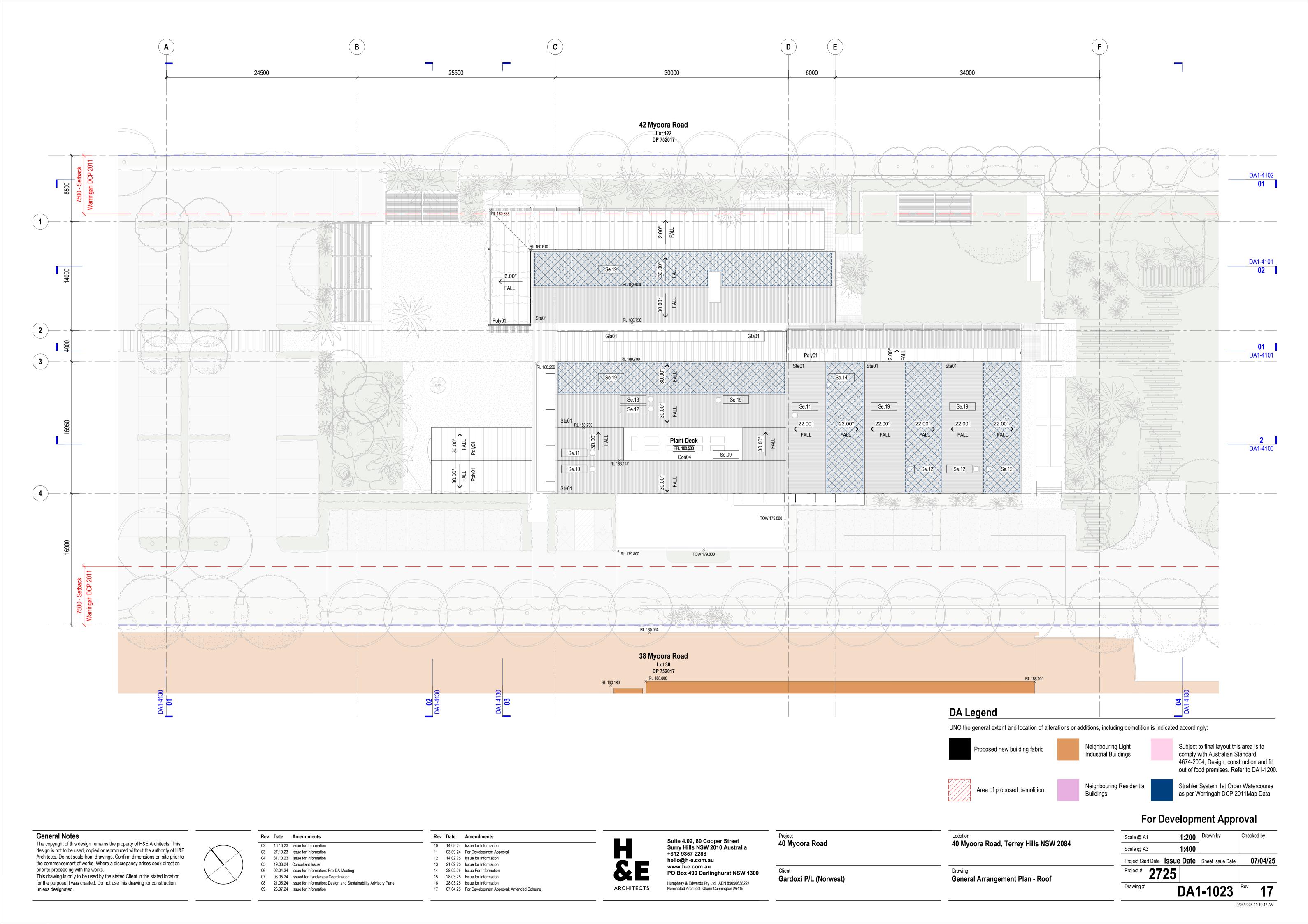
Industrial Buildings

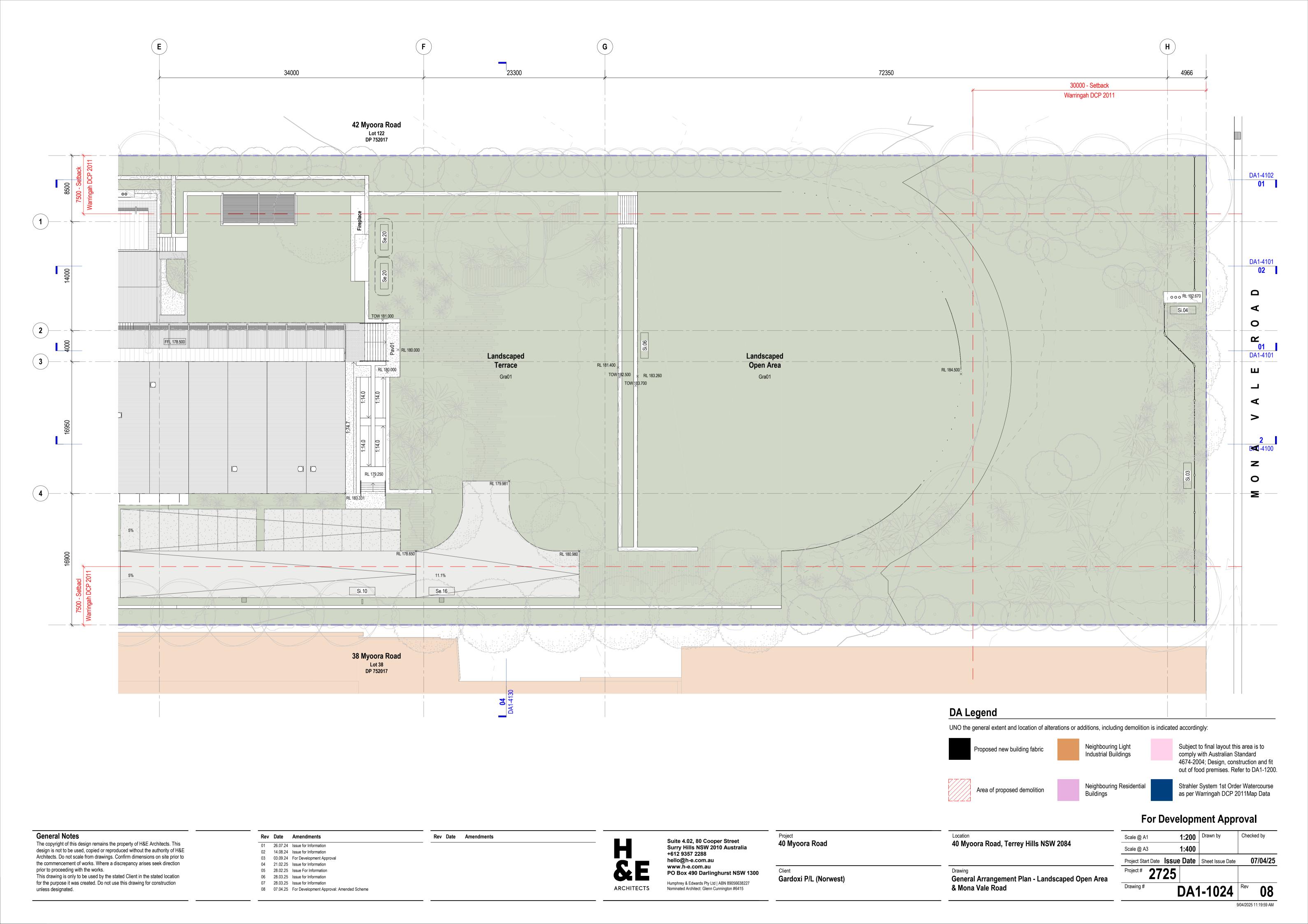
Neighbouring Residential

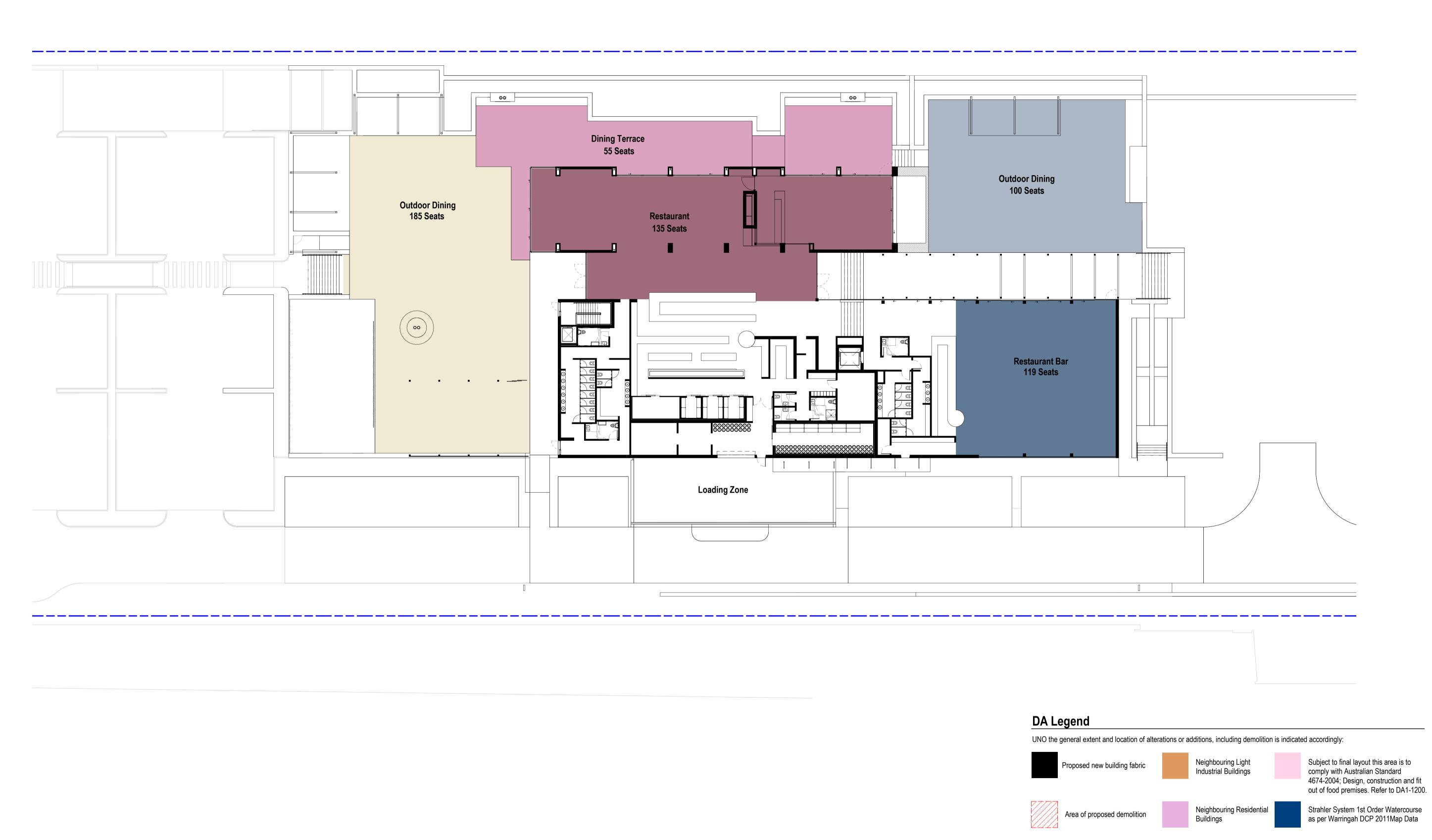
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01 01.10.24 For Development Approval 02 21.02.25 Issue for Information

02 21.02.25 Issue for Information 03 28.02.25 Issue For Information

28.03.25 Issue for Information28.03.25 Issue for Information

06 07.04.25 For Development Approval: Amended Scheme

Rev Date Amendments



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40 Myoora Road

Client
Gardoxi P/L (Norwest)

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Drawing
Seating Plan - Restaurant

| Checked by | Checked by | Checked by | Checked by | Scale @ A3 | 1:400 | Project Start Date | Issue Date | Sheet Issue Date | O7/04/

Project # 2725

Drawing #

DA1-1100 Rev (

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General Notes - Food Premises Fitout

General notes The following specification is based upon the specific installation requirements. provisions of AS4674-2004 "Design, construction and fit-out of food premises" and Hot Water Service "The food Standards Code" under the "Food Act 2003". It outlines minimum standards required for particular aspects of construction in relation to the food premises facilities. Other relevant authority and statutory requirements, including relevant conditions of 4.3). development consent, may also require consideration.

Equipment layouts shown for the purpose of a DA are indicative only, subject to further design development and coordination. In the absence of specific detailed provisions ensure that the requirements of this specification are met. Where a discrepancy arises notify the Project Administrator for instruction prior to proceeding with the related handled or stored. part of the works.

Certification

Submit certification that works associated with food preparation have been undertaken in accordance with the provisions of AS4674-2004 "Design, construction and fitout of food premises" and "The food Standards Code" under the "Food Act 2003" as they apply to this project.

Pest proofing General

entry of pests.

Ensure that windows, doors, access panels and hatches are enclosed so as to prevent the entry of pests. All pest proofing provisions must be readily accessible for cleaning.

<u>Penetrations</u> Where pipework, drains, cables and ducts penetrate walls, ceilings and roofs, suitably seal and finish the penetration with washable impervious elastomeric sealant to prevent the

Cavities and spaces Spaces between adjoining structures, such as between coolroom walls and premises walls, shall be accessible for inspection and cleaning or sealed with a suitable compound so that they are inaccessible to pests. Spaces between the top surface of equipment or structures such as coolrooms shall be accessible for inspection and cleaning or

In the absences of specific detailed provisions plans together with a compliance statement required. ensure that suitable seals are utilised for doors, windows, vents and the like to exclude, where practicable, the infiltrations of and approved prior to installation (AS4674outside contaminants, including, dirt, dust, fumes, and smoke.

sealed or boxed in so that they are

inaccessible to pests.

Water supply Water used for any activities involved in the preparation of food, personal hygiene, cleaning and sanitizing shall be potable.

Pipes carrying non-potable water shall be identified as containing non-potable water in accordance with AS 1345.

Taps in food handling areas discharging non-must be constructed so as to finish flush potable water shall be identified as discharging non potable water in accordance with AS 1319.

The water supply shall be supplied in accordance with the requirements of AS/NZS 3500.1.2.

with the requirements of AS/NZS 3500.4.2.

Equipment is to be connected to a continuous vents steam into the area to the extent that supply of hot, cold and/or warm potable water there is, or is likely to be, condensation as appropriate.

Ensure sinks receive water at a temperature

45 for washing operations; and

80 for sanitising operations.

Refer to the relevant supply authority for

The hot water service must be positioned at least 75mm clear of the adjacent wall surfaces, and mounted a minimum 150mm above floor level on a stand of non-corrosive

metal construction (AS4674-2004 – Section Sewage and waste water disposal

Access openings Do not locate access openings to the sanitary Subdued lighting may be provided in dining drainage system in areas of the premises where open food is handled.

Grease arrestors Do not locate grease arrestors in areas where food, equipment or packaging materials are

Access to grease arrestors for emptying shall not be through areas where open food is handled or stored or where food contact equipment and packaging materials are handled or stored.

Garbage rooms Floor construction

Construct garbage room floors from a slip resistant, heavy duty, water proof, impervious (b) free from any features that would harbour material, coved at the intersection with the walls with coving integral with the floor; and graded and drained to a (removable bucket trapped) floor waste connected to the

Construct walls with a smooth, water proof. impervious surface.

Ventilation

sewerage system.

Provide natural and/or mechanical ventilation sufficient to meet the standards required by the BCA, AS/NZS 1668.1 and AS 1668.2.

Provide a hose tap connected to the hot & cold water supply.

Ventilation Provide natural and/or mechanical ventilation sufficient to meet the standards required by the BCA, AS/NZS 1668.1 and AS 1668.2.

Mechanical Exhaust Mechanical exhaust ventilation must be provided to the cooking appliances. Detailed from a mechanical engineer is required for the system must be submitted to the PCA 2004 – Section 2.5, AS1668.2 – 1991).

An exhaust hood must completely cover the equipment to be ventilated and extended no less than 200mm beyond the perimeter of the equipment (Australian Standard 1668.2 – 1991).

The exhaust hood must be provided with a condensation gutter around the base. The gutter must not be less than 50mm wide by 25mm deep. Where abutting walls, the hood against the wall surface (AS1668.2 – 1991).

The low edge of the canopy-type exhaust hood must be at least 2000mm above floor level (AS1668.2 – 1991).

Dish washer hood In addition to the requirements of AS/NZS Heated water shall be supplied in accordance 1668.1 and AS 1668.2, provide an extraction system where there is any dishwasher and/or other washing and sanitizing equipment that collecting on walls and ceilings.

Lighting Provide natural or artificial lighting in accordance with the requirements of the Building Code of Australia (BCA), with the

Ceilings

Line ceiling with flush set moisture resistant

Ensure that the intersection of the walls and

ceiling is tight jointed, sealed and dustproof.

fixed on brackets so as to provide at

least 25 mm clearance between the

pipe and adjacent vertical surface and

100 mm between the pipe or conduit

and adjacent horizontal surfaces.

elastomeric sealant to maintain the integrity

similar fittings must have metal legs made of

minimum height of 150mm above the floor. If

placed flush on solid plinths the solid plinth is

All shelving must be fixed 25mm clear of the

All fixtures, fittings and equipment must be

installed in accordance with Section 4 of

Equipment for cleaning and sanitising

Provide equipment for cleaning and sanitising

in accordance with AS 4674 Section 4.1.

non corrosive metal or moulded plastic at a

Seal all penetrations with washable

Equipment, shelving and the like All stoves, refrigerators, cupboards and

to be a minimum of 75 mm high.

walls on solid metal brackets.

AS4674-2004

Use only washable impervious sealant.

plasterboard and ensure that the ceiling is

non-perforated and finished free of open

joints, cracks, crevices.

ceilings; or

of the finished surface.

following exceptions: Where natural lighting is provided the lighting levels shall be equivalent to the levels for artificial lighting. Where artificial lighting is provided the

lighting shall also comply with the Pipes, conduits and electrical wiring requirements of AS 1680.1 and Service pipes, conduits and electrical wiring AS/NZS 1680.2.4. shall either be: concealed in floors, plinths, walls or

and drinking areas, provided that there is lighting available that complies with the above requirements during cleaning and inspection

The exposed surface of all conduits installed on the surface of walls or ceilings shall be

Light fittings In areas where open food is handled or stored, light fittings shall be-

(a) designed and constructed to prevent contamination of food should the globe or tube shatter; and

dirt, dust or insects or make the fitting difficult

Floors Finish floors in a selected non-slip, nonabsorbent, epoxy finish over a sound structural substrate.

Areas of a floor draining to a floor waste is to be laid to a minimum fall of 1:100.

Design and construct floor to facilitate Cool rooms and freezers effective cleaning, such that they do not pond Cool room(s), refrigerated chambers and and do not harbour pests. strong-rooms are to be constructed in accordance with G 1.2 of the Building Code

"Feather edge skirting" and non-rebated of Australia. coving are not permitted. The floor of the coolroom must be graded to Refer to AS4674-2004 – Section 3.1.5, Figure 3.1. Use a solid, preformed fillet to support the door and a floor trapped waste outlet the cove where required. must be located outside the coolroom as near

Construct plinths to be a minimum of 75mm

high and to the same specification as the

In relation to walls within or surrounding a

or cavities are provided for the

Preferably construct walls of solid

Where it is necessary for walls within

to be of framed construction, fill wall

equal spray injected foam filler in

and provide certification from the

Finish walls with an impervious,

Effectively seal all junctions.

Generally window sills must be located a minimum of 450mm above the top of any

bench/sink and tiled at a splayed angle of 45

accordance with the manufacturer's

Undertake thermal imaging as required

manufacturer / installer of compliance

washable finish such as stainless steel

sheet and/or ceramic tile with epoxy

or surrounding a food preparation area

cavities with Easyfoam or an approved

harbourage of vermin.

Construct walls to ensure that no voids

food preparation area:

masonry.

instructions.

with AS 4674 – 2004.

Provide coving to wall and plinth junctions in All proposed shelving in the coolroom must such a manner as to form a continuous be free-standing, constructed of galvanised uninterrupted surface with a min 25mm steel angle section or other approved material gaps, crevices or exposed joints radius and 75mm height. Use a solid, with the lowest shelf at least 150mm clear of (AS4674-2004 – Section 4.2). preformed fillet to support the cove where the floor. All shelving must be fixed 25mm clear of the walls on solid metal brackets.

> The floor of the coolroom must be constructed of impermeable concrete or coated, topped or otherwise finished with an impervious material to a smooth even surface and coved at the intersections with the walls to a minimum radius of 25mm.

as possible to the door opening.

A door which can be opened at all times from inside without a key.

An approved audible alarm device must be located outside the coolroom(s) but controllable only from within the coolroom(s) and be able to achieve a sound pressure level outside the chamber or coolroom(s) of 90 d B (A) when measured 3 metres from the sounding device.

All metal work in the cool room must be protected to resist corrosion.

Condensation from the refrigeration units/cool room motors must be directed to a tundish, installed in accordance with Sydney Water requirements.

Hand washing facilities

Provide hand washing facilities where open food is handled, in wash up areas and in or immediately adjacent to toilet cubicles. Ideally locate a hand washing facility adjacent to the entry to an area where open food is

Hand washing facilities should: Not be obstructed

Be at bench height Accessible and no further than 5.0m from any part of an area required to have a hand washing facility.

Hand washing facilities must be provided with a means of effectively drying hands and arms, which prevents the transfer of pathogenic micro-organisms to the hands or arms, such as a single use paper towel dispenser.

Provide hand washing facilities with a permanent supply of warm, running potable water delivered through a single spout.

Cleaners sink Make provision for a cleaners sink serviced with hot and cold water through taps fitted with hose connectors must be provided and located outside of areas where open food is handled (AS4674-2004 – Section 4.1.8).

Dish Washing Machines Details of the dish washing/glass washing machines must be submitted to Council and approved prior to installation (Food Regulation 2004, AS4674-2004 – Section

Double-bowl Sinks A double bowl wash sink of adequate size and capacity must be provided (AS4674-2004 – Section 4.1)

Benches The top and exposed edges of all benches and counters must be finished in a smooth and non-absorbent material, and free of cracks, gaps, crevices or exposed joints (AS4674-2004 – Section 4.2).

Storage Cabinets Storage cabinets, both internally and externally, must be finished in a smooth and non-absorbent material, and free of cracks,

Any appliance used for the storage of hot or cold food must be provided with a numerically scaled indicating thermometer or recording thermometer accurate to the nearest degree Celsius or an alarm system for continuous monitoring of the temperature of the appliance (Food Regulation 2004).

False bottoms and cavities under fittings are not permitted (AS4674-2004- Section 4.2 and

Display Units The food display units must be enclosed to prevent the possibility of contamination by customer's breath, handling, or from flies, dust, etc (Food Regulation 2004, AS4674-2004 – Section 4.2).

Self-Service Appliances Self-service food appliances must be constructed so as to comply with Food Regulation 2004 and the NSW Self-Service Food Industry Code of Practice.

Locker Storage Sufficient lockers must be provided in the premises specifically for the storage of cleaning materials and employees' clothing and personal belongings (AS4674-2004 – Section 5.2).

General Notes

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Rev Date Amendments

Window sills

degrees.

01 26.07.24 Issue for Information 02 14.08.24 Issue for Information

03 03.09.24 For Development Approval 04 21.02.25 Issue for Information 05 28.02.25 Issue For Information 06 28.03.25 Issue for Information

07 28.03.25 Issue for Information 08 07.04.25 For Development Approval: Amended Scheme

Rev Date Amendments



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Nominated Architect: Glenn Cunnington #6415

Gardoxi P/L (Norwest)

40 Myoora Road

40 Myoora Road, Terrey Hills NSW 2084

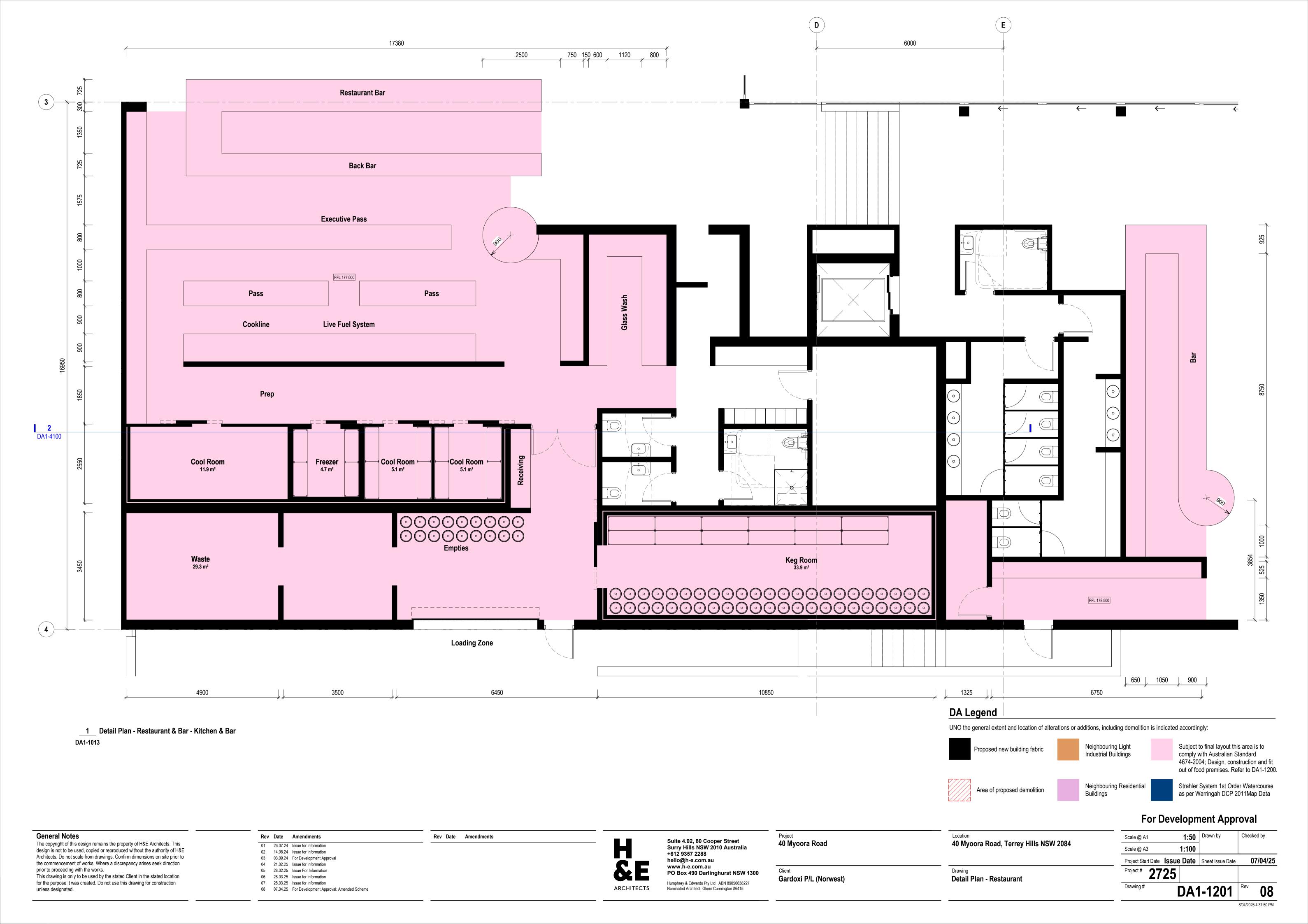
General Notes - Food Premises

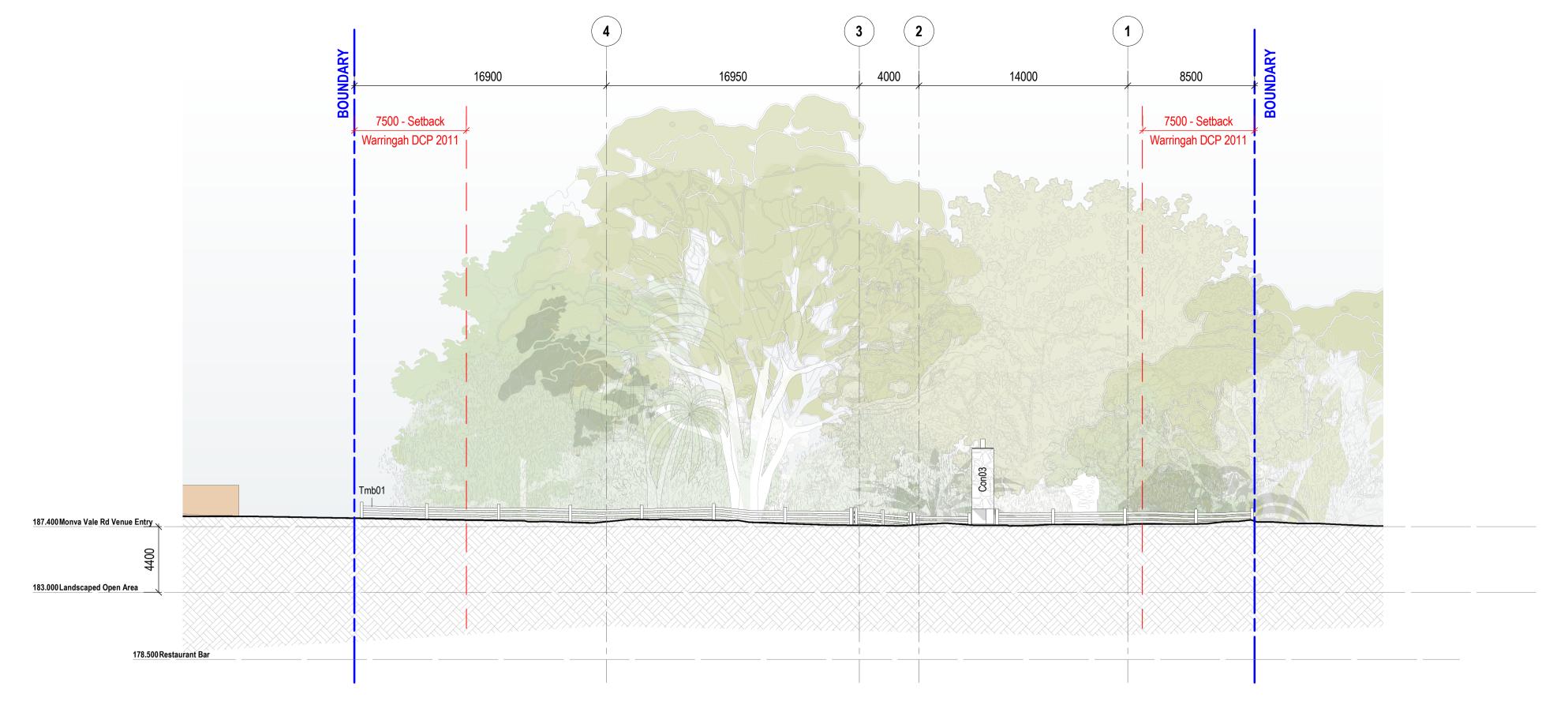
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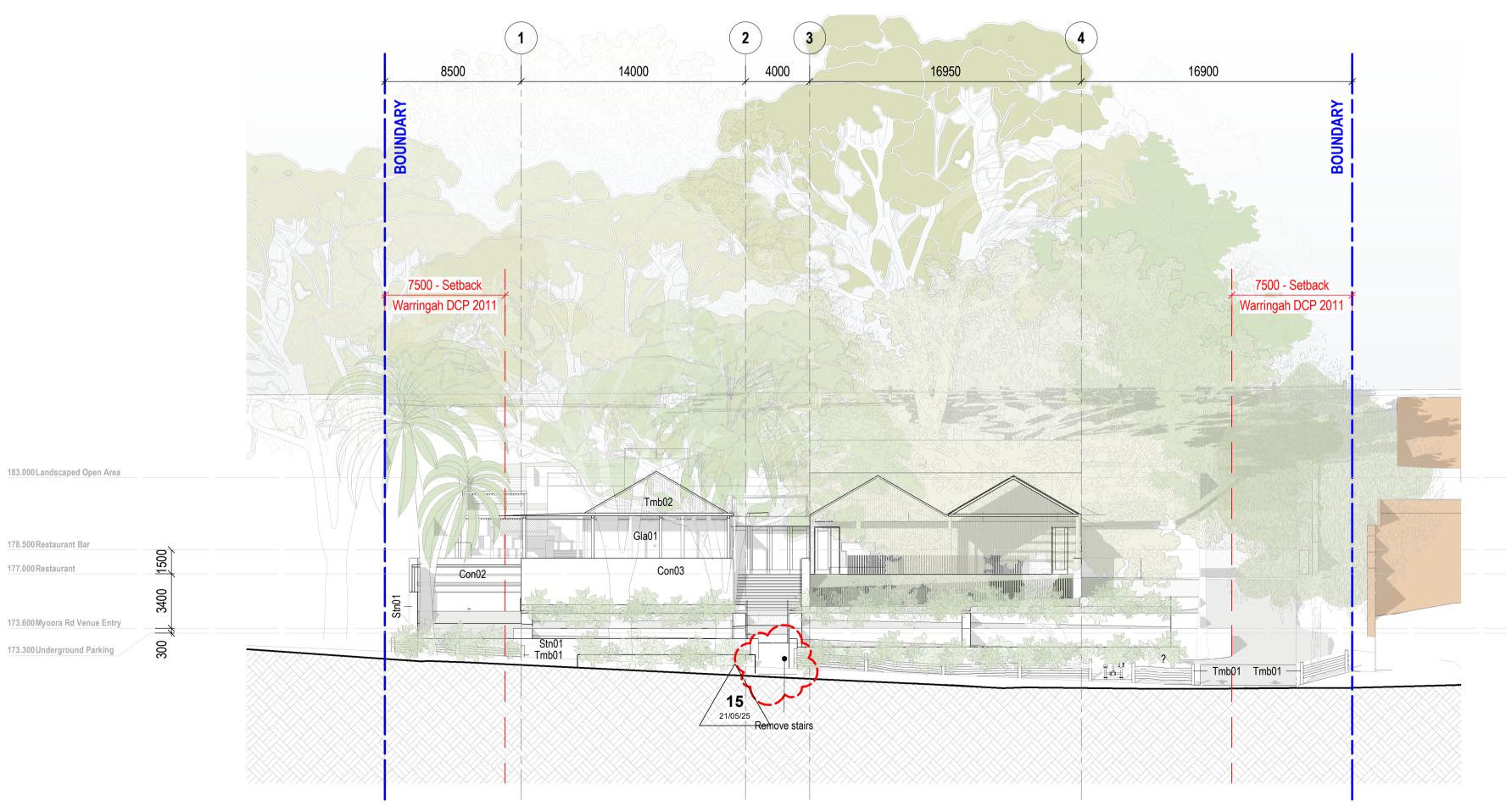
DA1-1200

Drawing #





01 Site Elevation - Mona Vale Rd



02 Site Elevation - Myoora Rd

General Notes

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Rev Date Amendments

07 26.07.24 Issue for Information

08 14.08.24 Issue for Information

01 27.10.23 Issue for Information 02 31.10.23 Issue for Information 03 19.03.24 Consultant Issue

04 02.04.24 Issue for Information: Pre-DA Meeting 05 03.05.24 Issued for Landscape Coordination 06 21.05.24 Issue for Information: Design and Sustainability Advisory Panel Rev Date Amendments

09 03.09.24 For Development Approval 10 21.02.25 Issue for Information 11 28.02.25 Issue For Information 12 28.03.25 Issue for Information

14 07.04.25 For Development Approval: Amended Scheme

15 21.05.25 For DA: Amended Scheme - Additional Carparking

13 28.03.25 Issue for Information

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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

DA Legend

Proposed new building fabric

Area of proposed demolition

For Development Approval

1:200 Drawn by Scale @ A1 40 Myoora Road, Terrey Hills NSW 2084 Scale @ A3 1:400 Project Start Date | Sheet Issue Date | Sheet Issue Date 21/05/25 Drawing
Streetscape Elevations - Proposed

Neighbouring Light

Industrial Buildings

Neighbouring Residential

UNO the general extent and location of alterations or additions, including demolition is indicated accordingly:

Project # **2725** Drawing #

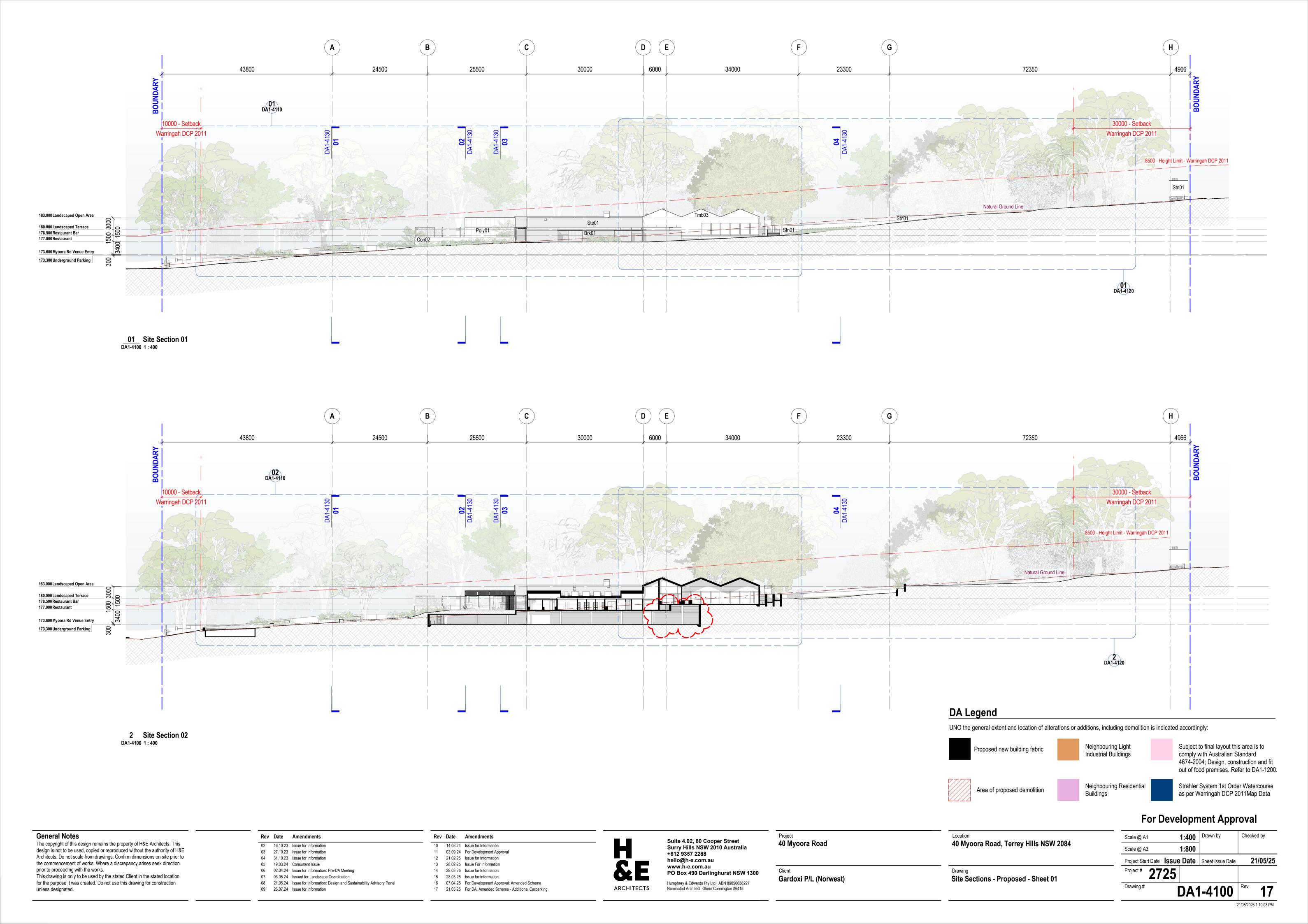
DA1-3100

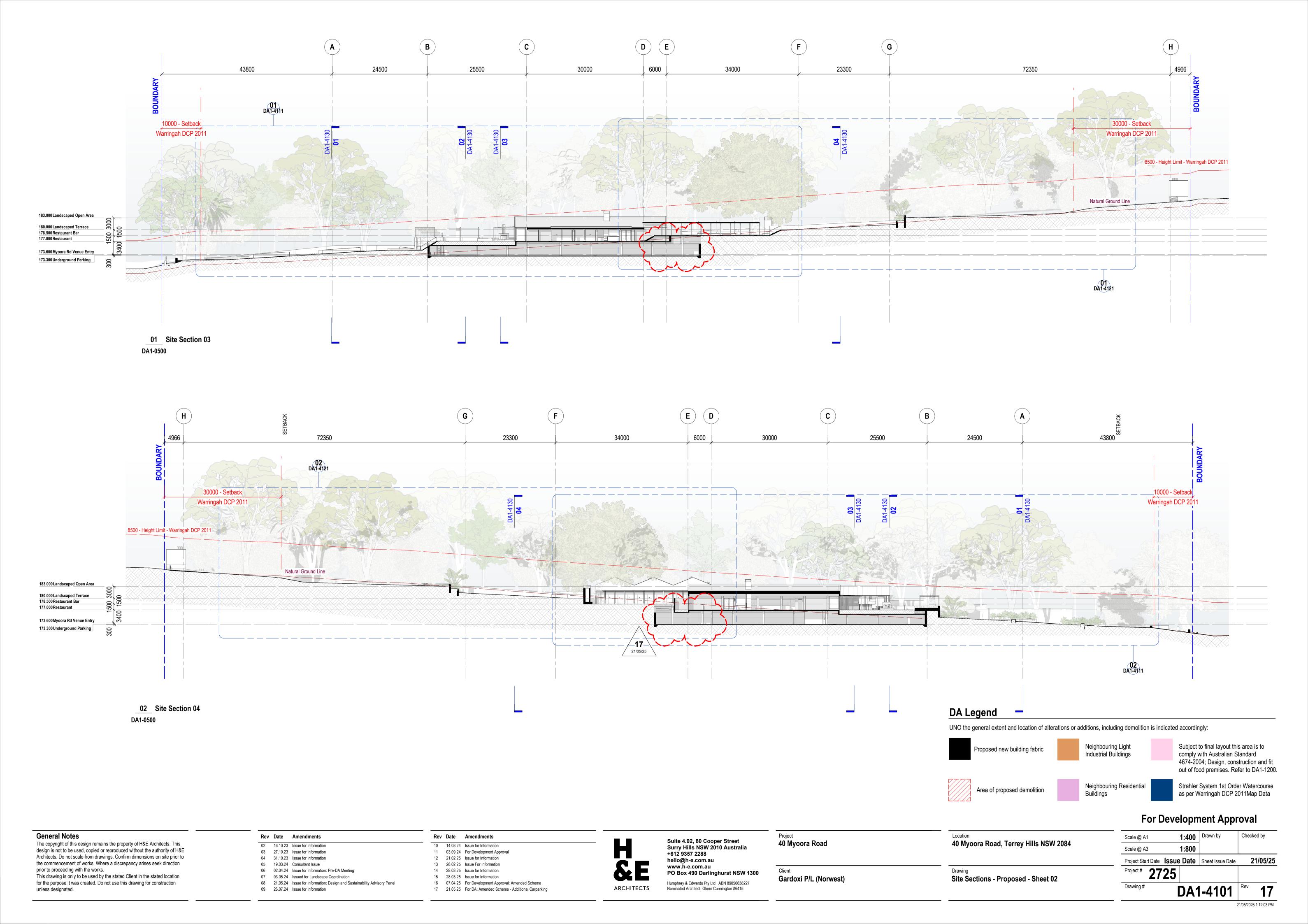
Subject to final layout this area is to comply with Australian Standard

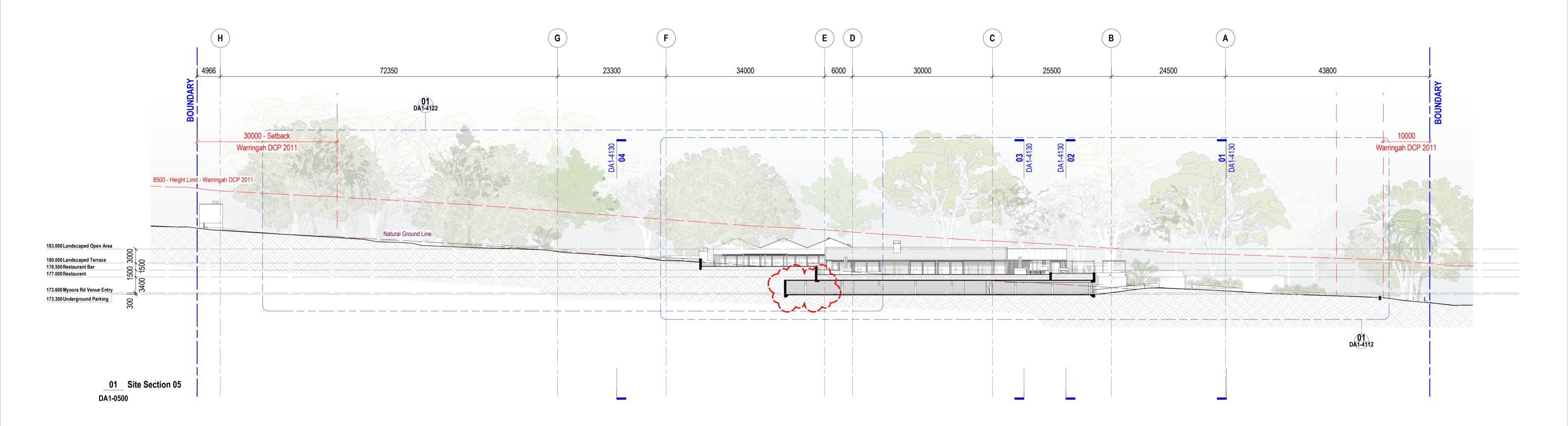
4674-2004; Design, construction and fit out of food premises. Refer to DA1-1200.

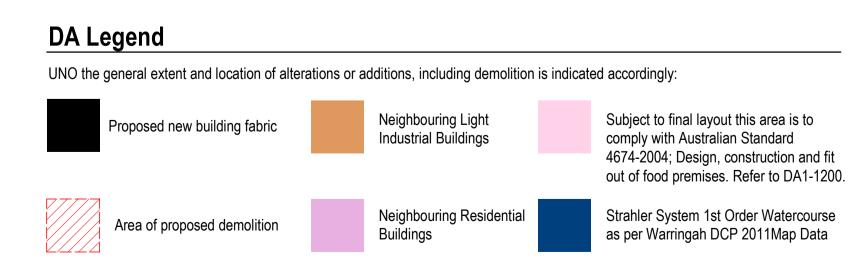
Strahler System 1st Order Watercourse as per Warringah DCP 2011Map Data

21/05/2025 1:07:37 PM









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Rev Date Amendments

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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

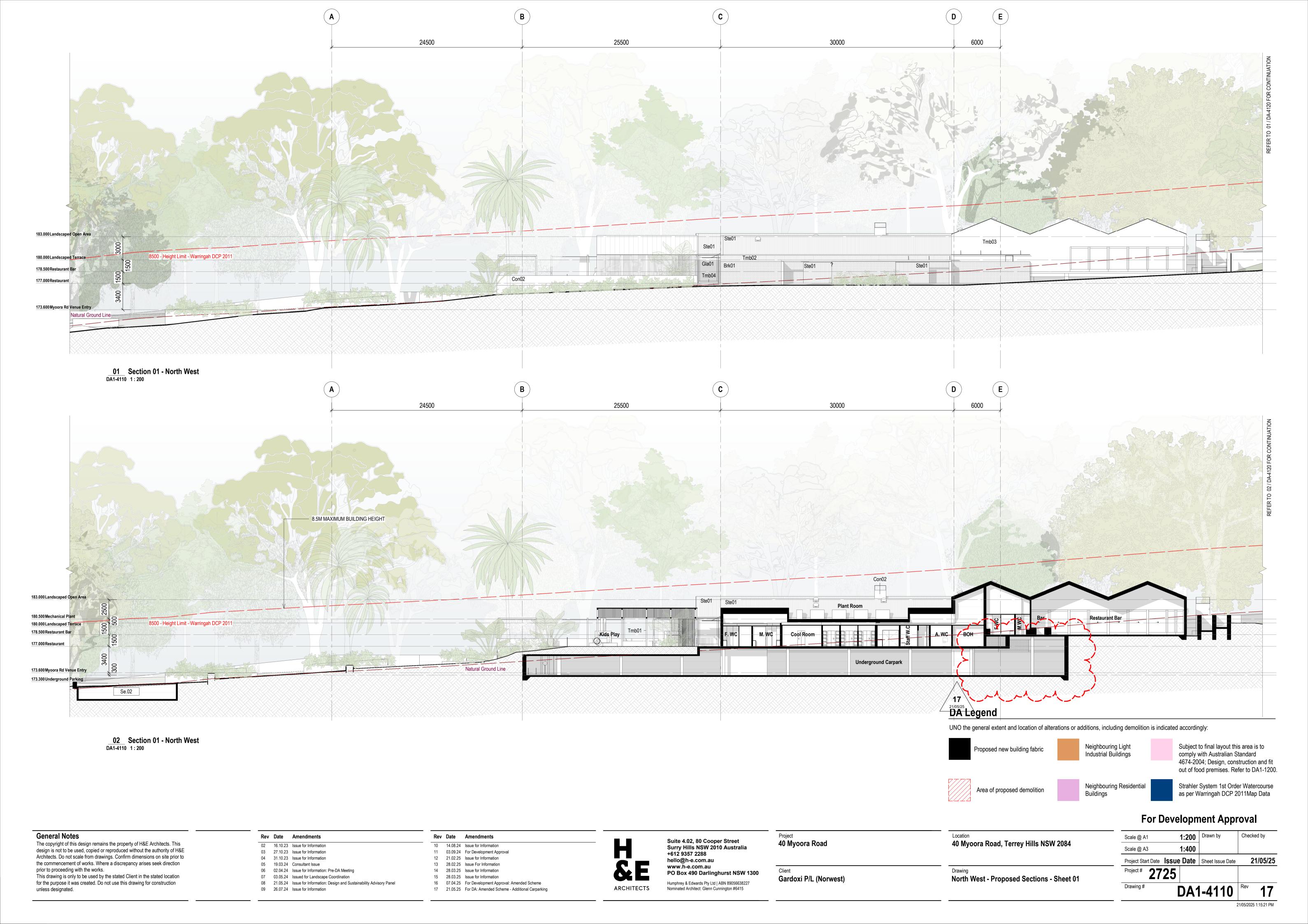
For Development Approval

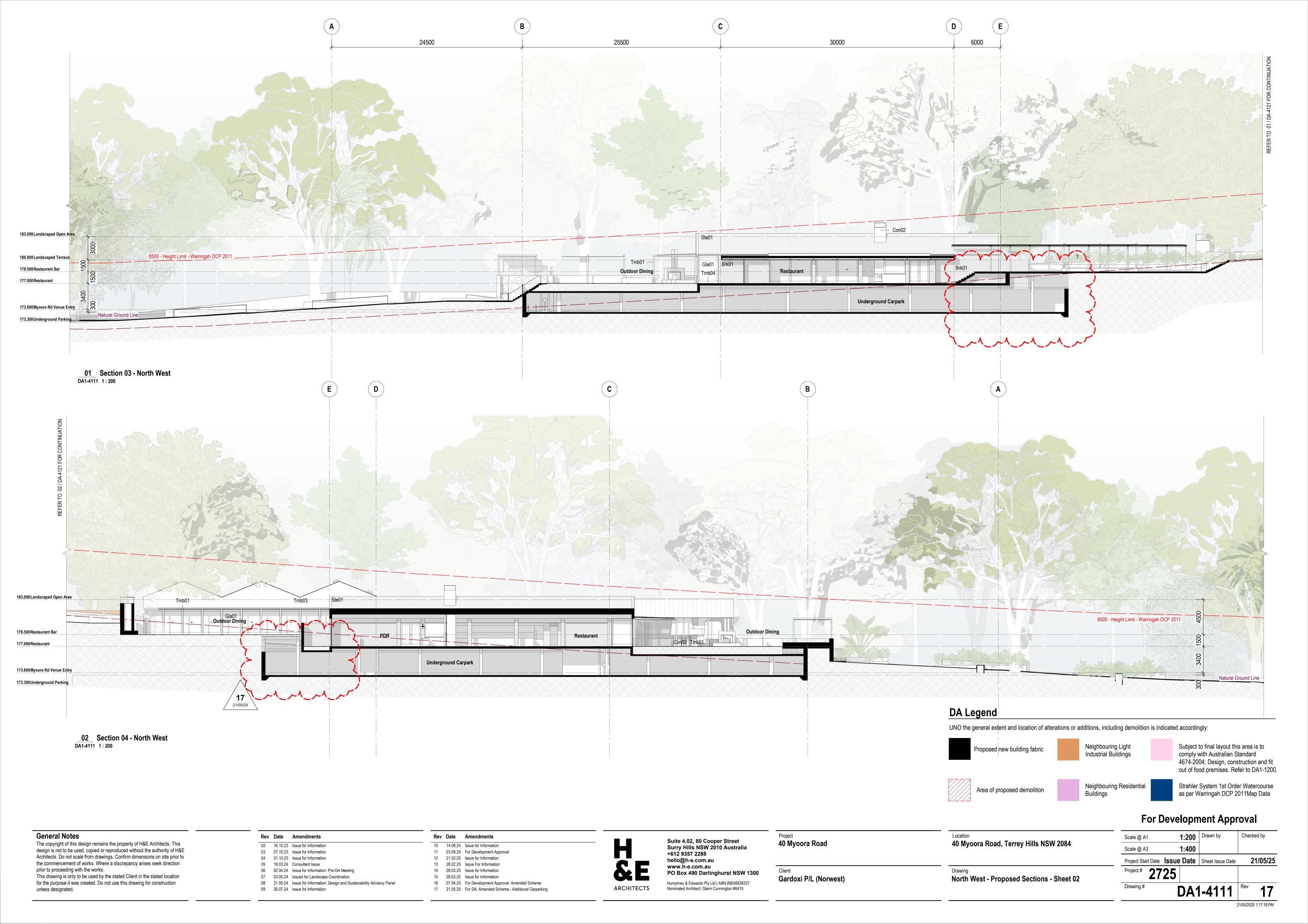
1:400 Drawn by Scale @ A1 40 Myoora Road, Terrey Hills NSW 2084 Scale @ A3 Project Start Date | Sheet Issue Date | Sheet Issue Date 21/05/25 Project # **2725** Drawing
Site Sections - Proposed - Sheet 03

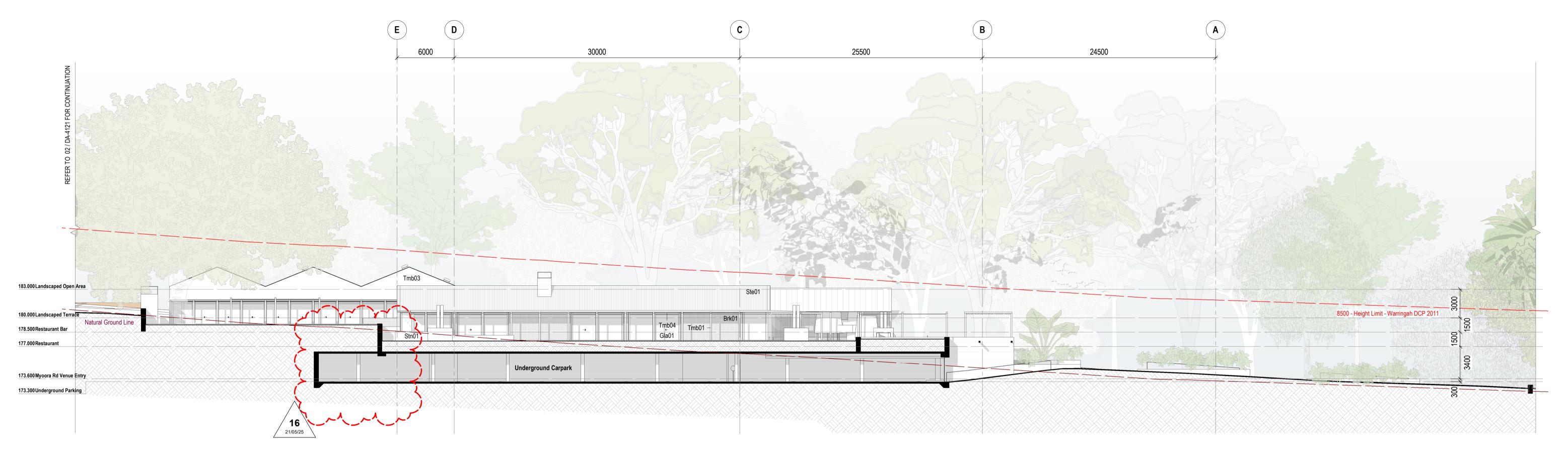
Drawing #

21/05/2025 1:13:35 PM

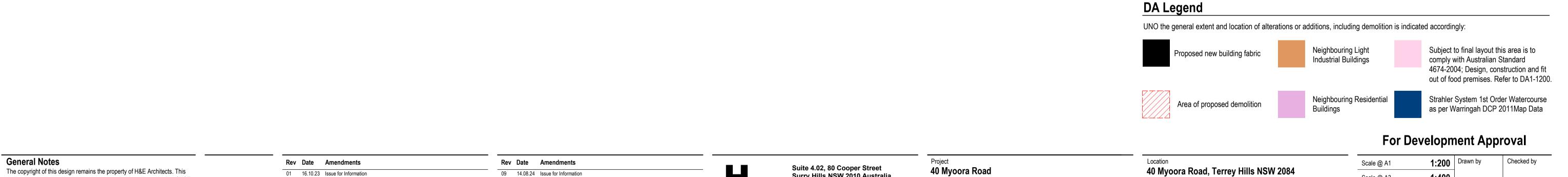
DA1-4102







<u>01</u> Section 05 - North West DA1-4112 1:200



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Nominated Architect: Glenn Cunnington #6415

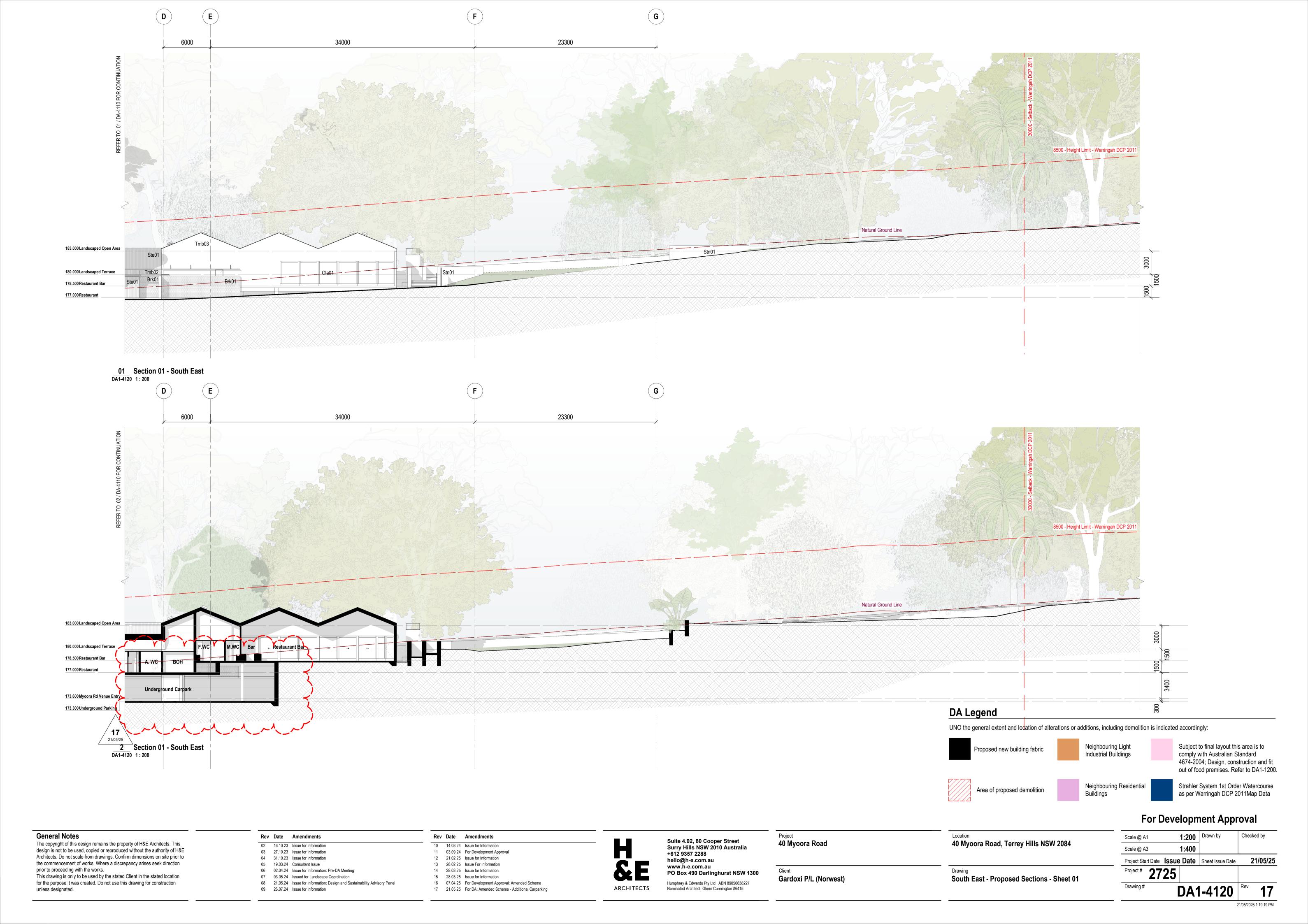
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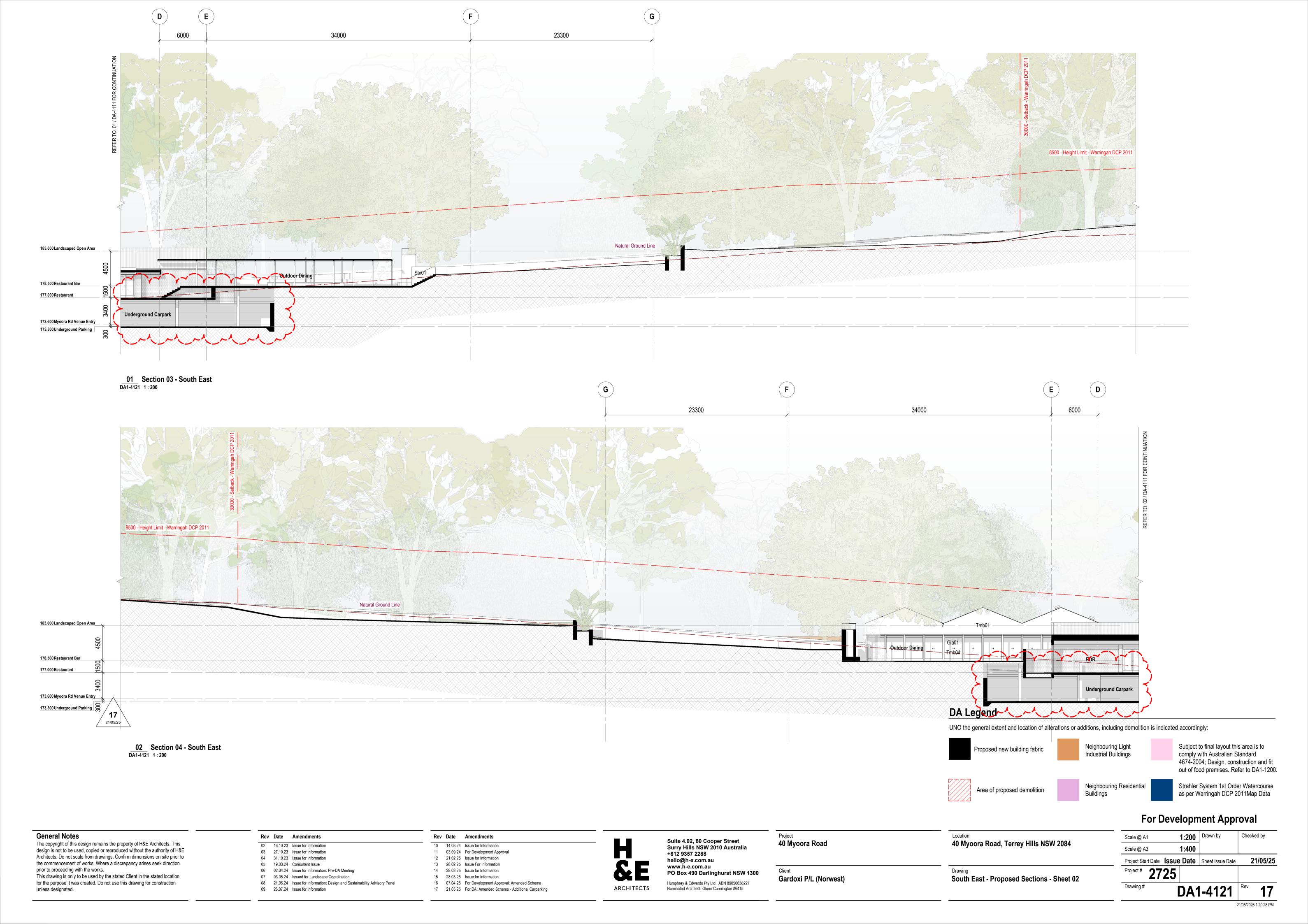
40 Myoora Road, Terrey Hills NSW 2084

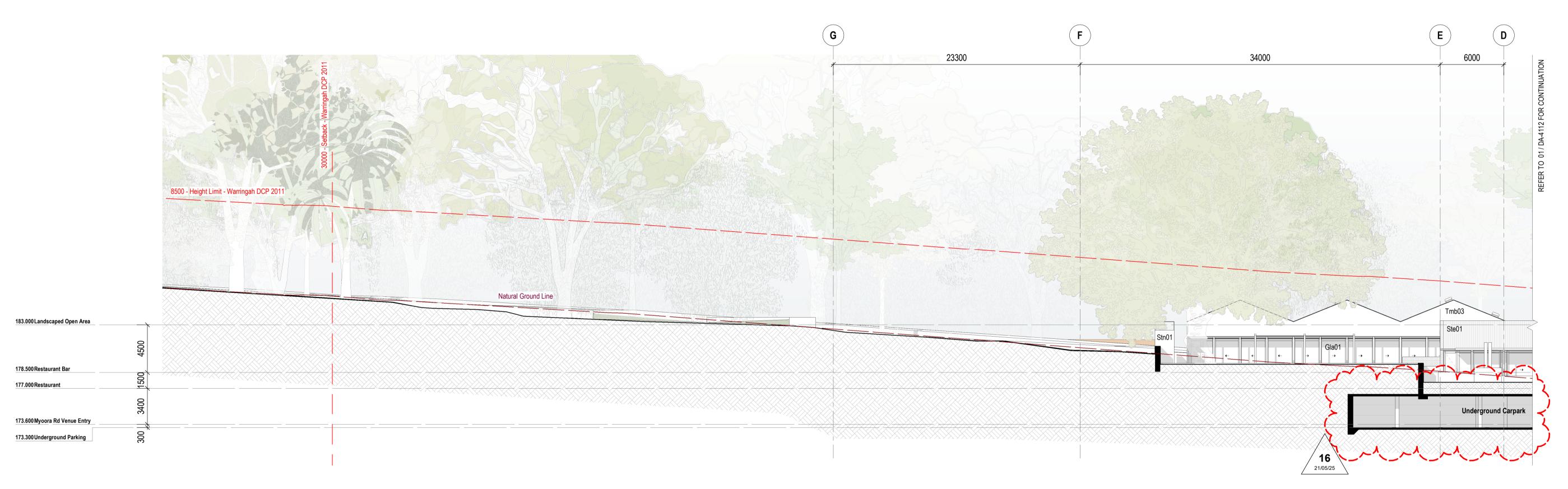
Scale @ A3 Project Start Date | Issue Date | Sheet Issue Date 21/05/25 Drawing
North West - Proposed Sections - Sheet 03

Project # **2725** Drawing #

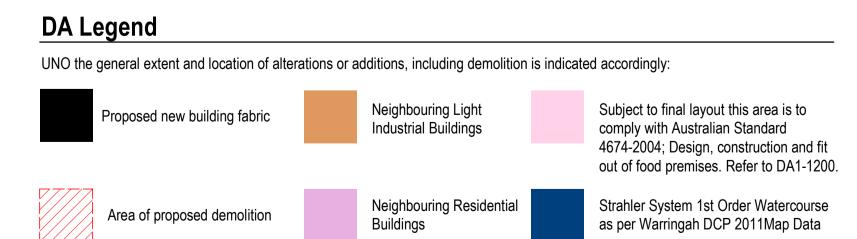
21/05/2025 1:18:07 PM







01 Section 05 - South East DA1-4122 1:200



Drawing #

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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

40 Myoora Road, Terrey Hills NSW 2084

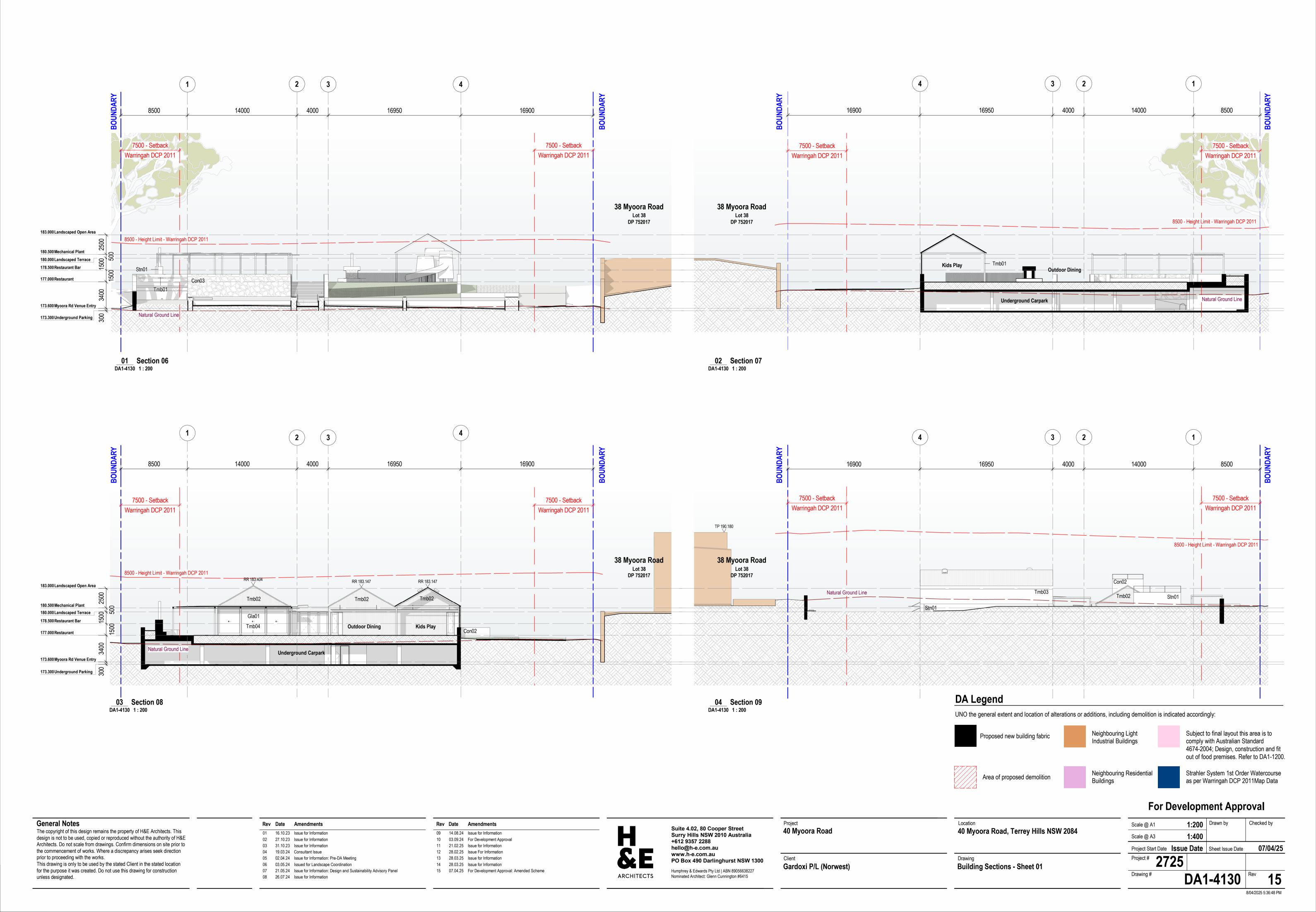
Drawing
South East - Proposed Sections - Sheet 03

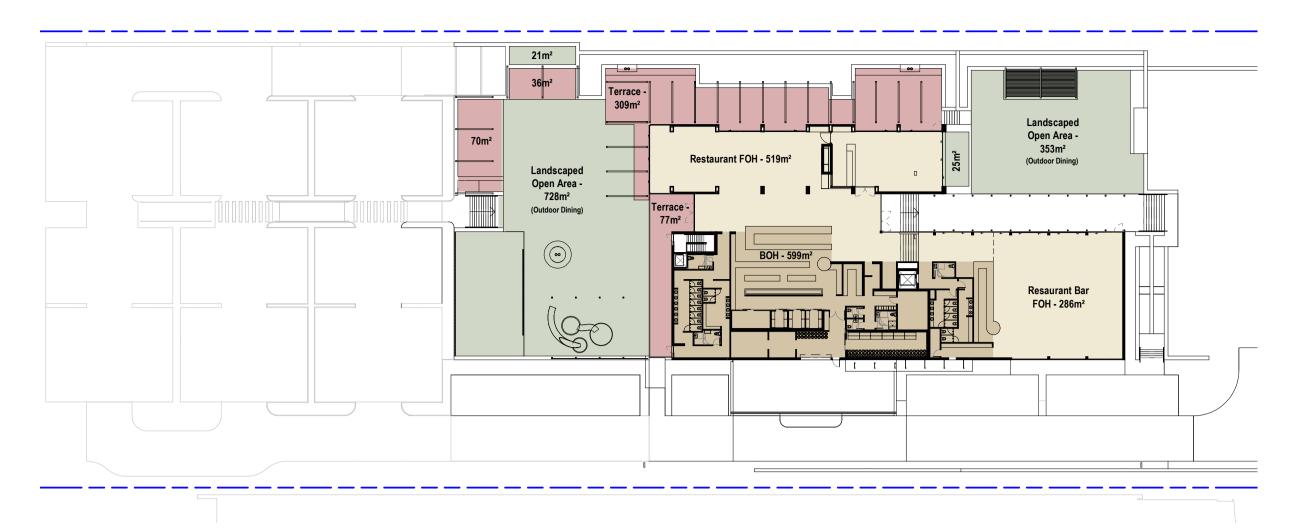
For Development Approval

1:200 Drawn by Scale @ A1 Scale @ A3 Project Start Date | Issue Date | Sheet Issue Date 21/05/25 Project # **2725**

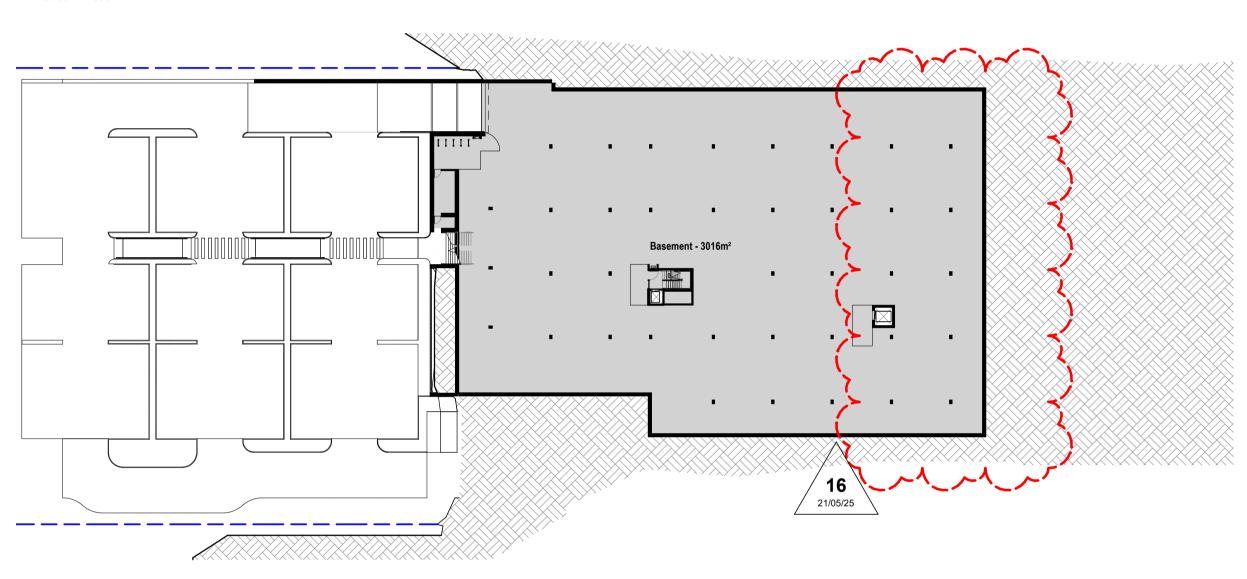
DA1-4122

21/05/2025 1:21:12 PM





2 Restaurant 01 & 02 - Proposed DA1-9000 1:500



1 Venue Entry & Carparking - Proposed

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Rev Date Amendments

01 28.09.23 Preliminary Issue for Information 02 16.10.23 Issue for Information

03 27.10.23 Issue for Information 04 31.10.23 Issue for Information

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12 28.02.25 Issue For Information 13 28.03.25 Issue for Information

14 28.03.25 Issue for Information 15 07.04.25 For Development Approval: Amended Scheme 16 21.05.25 For DA: Amended Scheme - Additional Carparking



Area Legend

Basement

Terrace

Restaurant FOH

Restaurant BOH

Landscaped Open Area

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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

Project
40 Myoora Road

Gardoxi P/L (Norwest)

40 Myoora Road, Terrey Hills NSW 2084

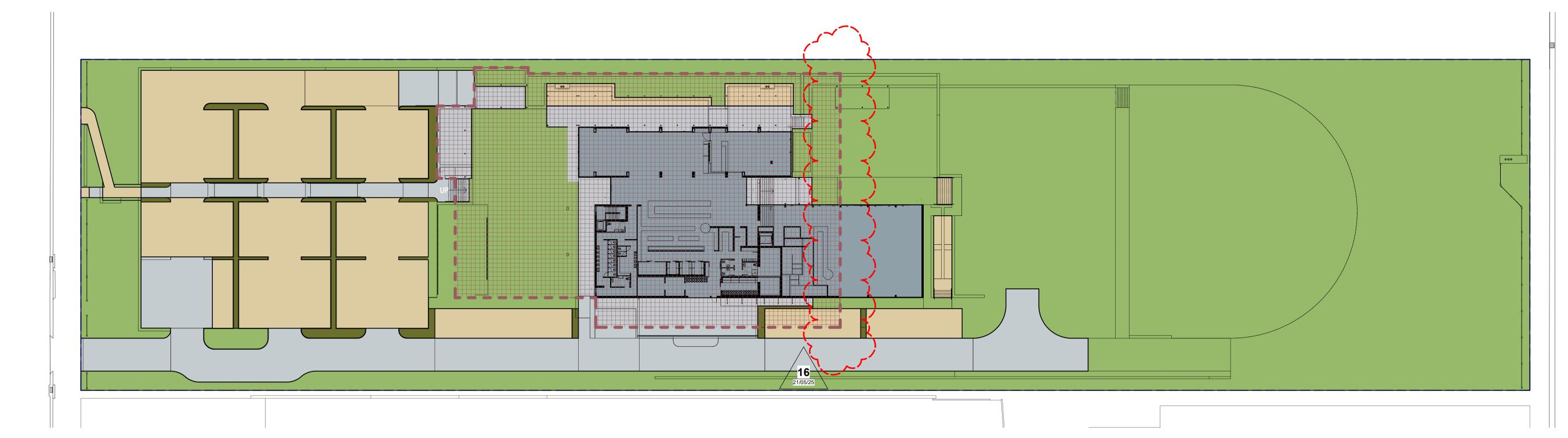
Drawing

Area Plan & Schedule - Proposed

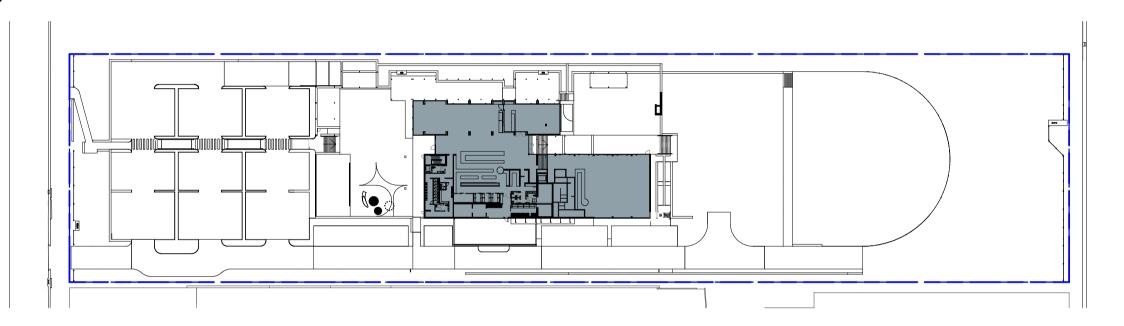
For Development Approval

| | Scale @ A1 | 1:500 | Drawn by | Checked by |
|---|--------------------|------------|------------------|------------|
| | Scale @ A3 | 1:1000 | | |
| | Project Start Date | Issue Date | Sheet Issue Date | 21/05/2 |
| _ | Project # 27 | 25 | | |

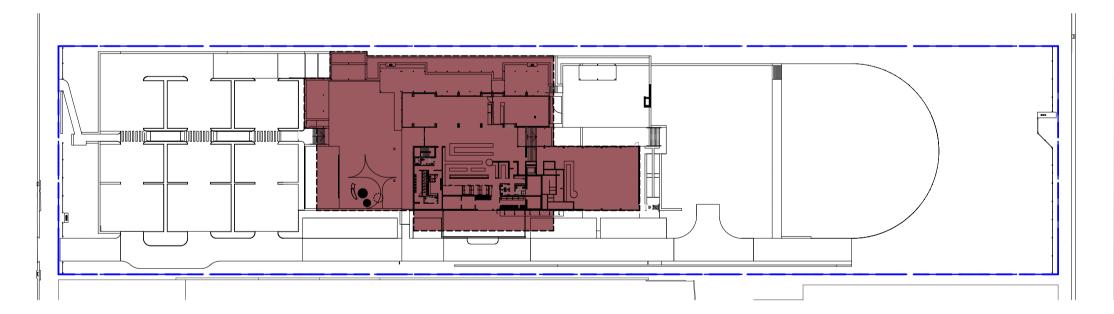
21/05/2025 2:33:44 PM



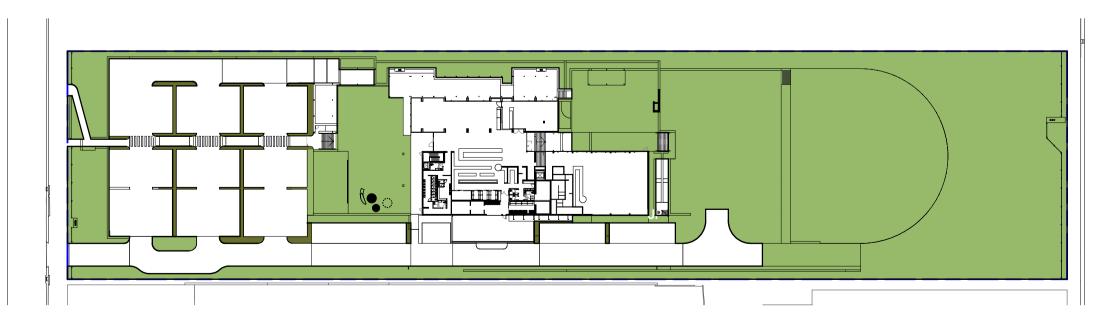
1 Site Cover Plan



2 Site Cover Plan - Building Footprint at Finished Ground Level



3 Site Cover Plan - Total Building Footprint



Site Cover Plan - Open Landscape Area

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12 28.02.25 Issue For Information 13 28.03.25 Issue for Information

14 28.03.25 Issue for Information 15 07.04.25 For Development Approval: Amended Scheme

16 21.05.25 For DA: Amended Scheme - Additional Carparking

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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

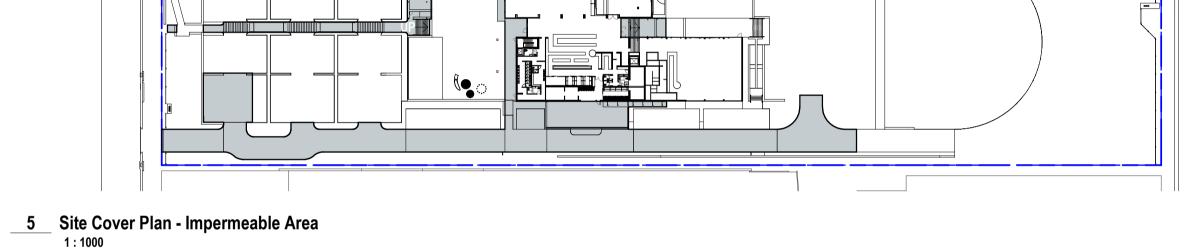
Gardoxi P/L (Norwest)

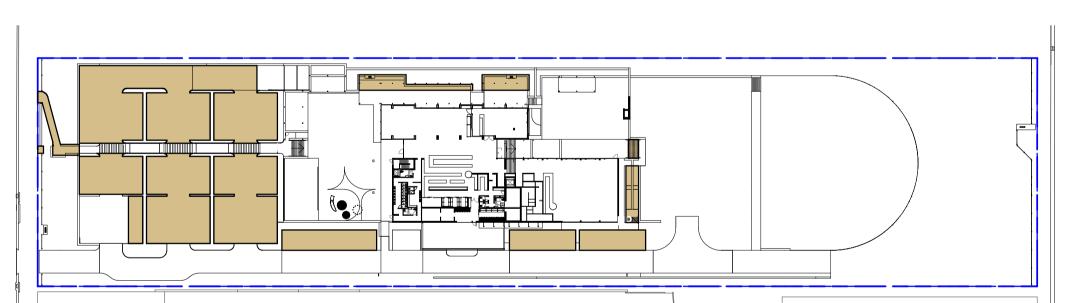
9314m²

40 Myoora Road, Terrey Hills NSW 2084

Drawing
Site Cover Plan & Schedule - Proposed

Project # **2725**





6 Site Cover Plan - Permeable Area 1:1000

Total Area: 15960m² Area Legend Building Footprint at Finished Ground Level Impermeable Area 2396m² (15.0%) Total Building Footprint Permeable Area (15.8%) 2527m² 3180m² Additional Landscaping Open Landscape Area

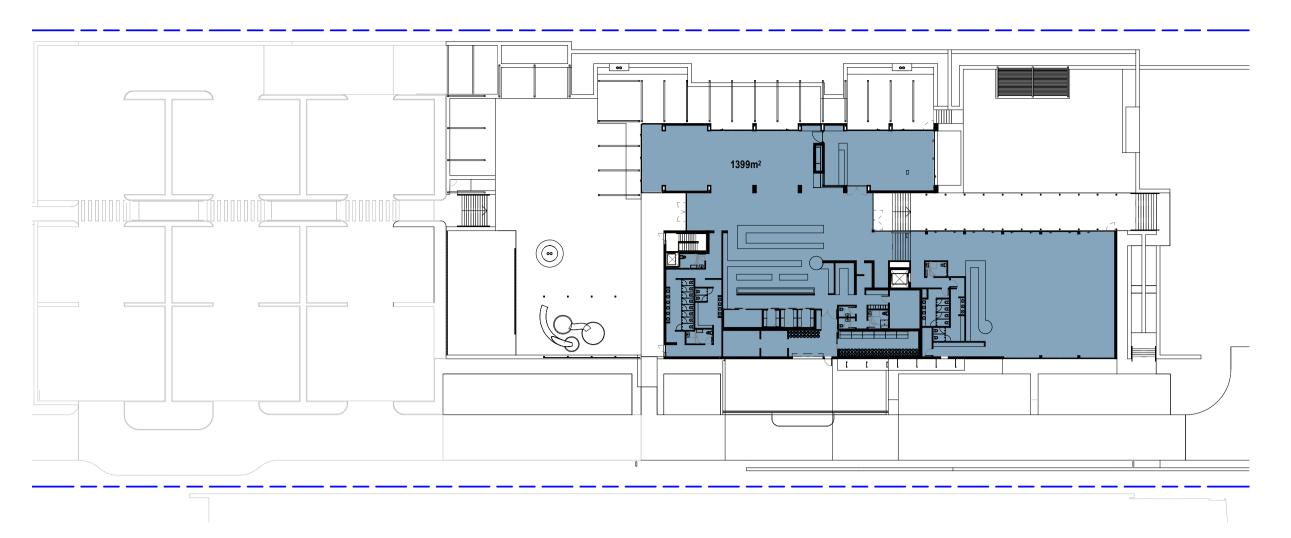
For Development Approval

(1.5%)

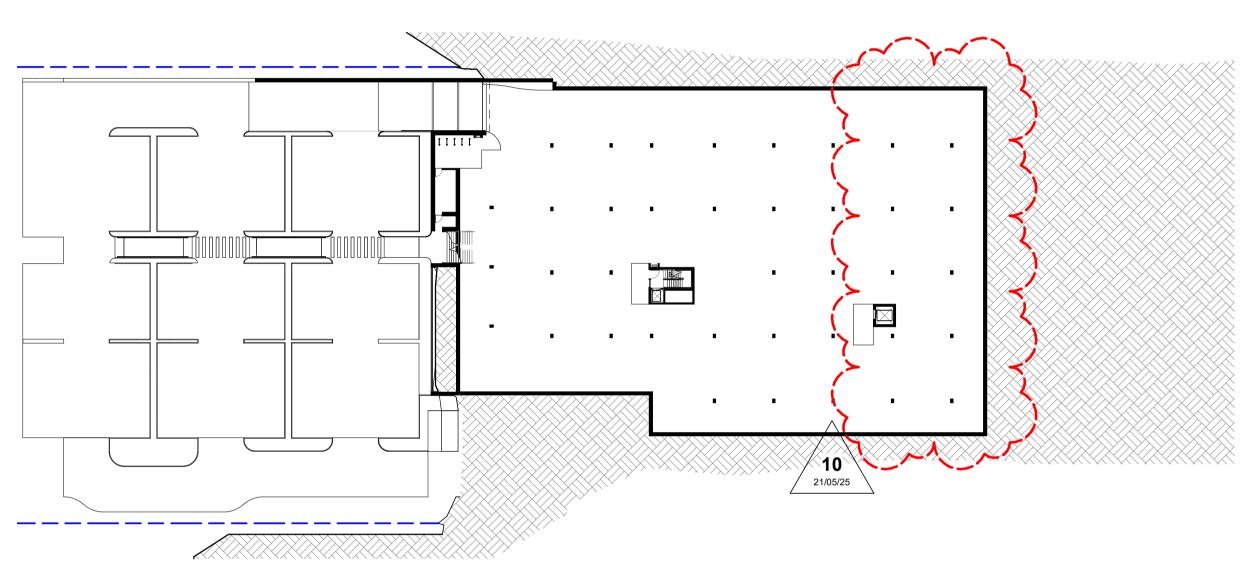
Checked by 21/05/25 Project Start Date | Sheet Issue Date |

Drawing # DA1-9010

21/05/2025 1:22:41 PM



2 Gross Floor Area - Restaurant 01 & 02 - Proposed



1 Gross Floor Area - Myoora Rd Venue Entry - Proposed

Area Legend

Total Site Area: 15960m²

GFA -1399m²

GFA - Restaurant & Bar

Total GFA
Total FSR

1399m² 11.4%

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01 23.05.24 Issue for Information: Design and Sustainability Advisory Panel 02 26.07.24 Issue for Information

03 14.08.24 Issue for Information
04 03.09.24 For Development Approval
05 21.02.25 Issue for Information

06 28.02.25 Issue For Information

07 28.03.25 Issue for Information

08 28.03.25 Issue for Information

Rev Date Amendments

09 07.04.25 For Development Approval: Amended Scheme
 10 21.05.25 For DA: Amended Scheme - Additional Carparking



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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415 Project
40 Myoora Road

Client

Gardoxi P/L (Norwest)

40 Myoora Road, Terrey Hills NSW 2084

Drawing

Gross Floor Area Plan & Schedule - Proposed

For Development Approval

Scale @ A1 1:500 Drawn by Checked by

Scale @ A3 1:1000

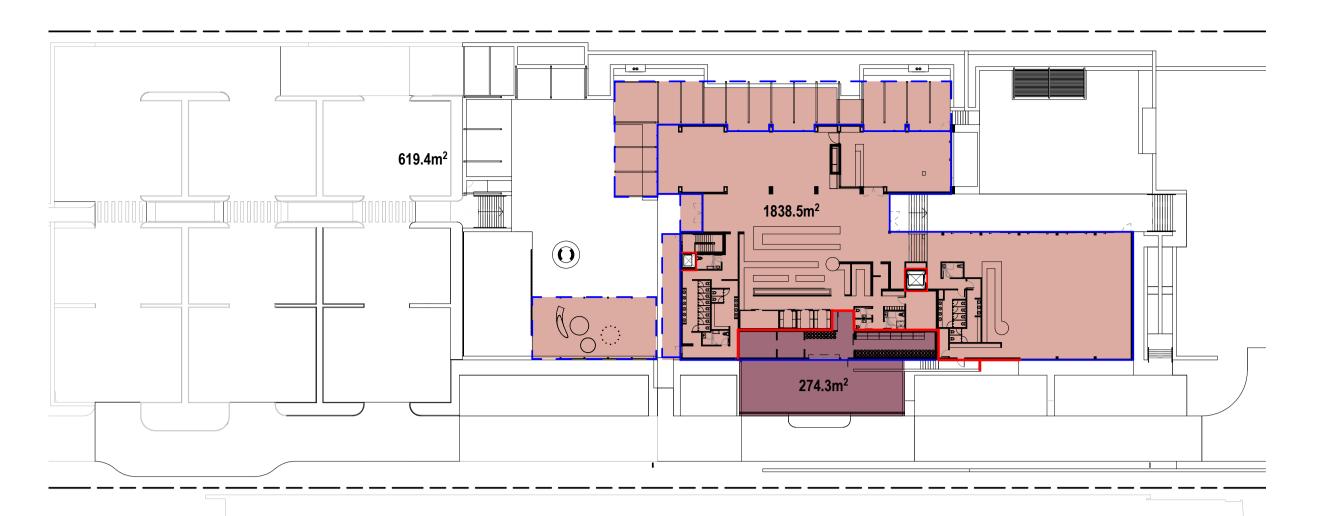
Project Start Date Issue Date Sheet Issue Date 21/05/25

Project # 2725

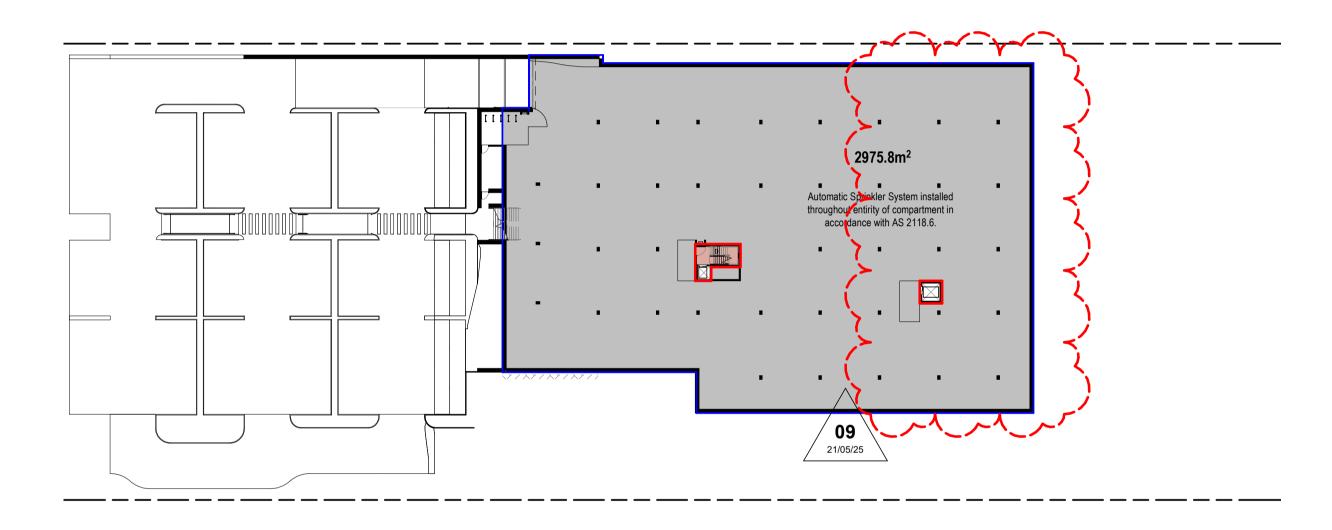
Drawing # D A 1

DA1-9020 Rev

21/05/2025 1:22:55 PM



2 Fire Compliance Diagram - Restaurant 01 & 02 - Proposed DA1-9030 1:500



1 Fire Compliance Diagram - Myoora Rd Venue Entry - Proposed



Rev Date Amendments

09 21.05.25 For DA: Amended Scheme - Additional Carparking

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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

Line of Building

Line of Awning Over

Separation of Fire Compartments In accordance with BCA Report

40 Myoora Road, Terrey Hills NSW 2084

Drawing
Fire Compartmentation - Proposed

For Development Approval 1:500 Drawn by Scale @ A1

1:1000 Scale @ A3 Project Start Date | Issue Date | Sheet Issue Date Project # **2725**

Drawing #

DA1-9030

21/05/2025 2:34:04 PM

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04 21.02.25 Issue for Information 05 28.02.25 Issue For Information 06 28.03.25 Issue for Information

07 28.03.25 Issue for Information 08 07.04.25 For Development Approval: Amended Scheme

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Area Legend

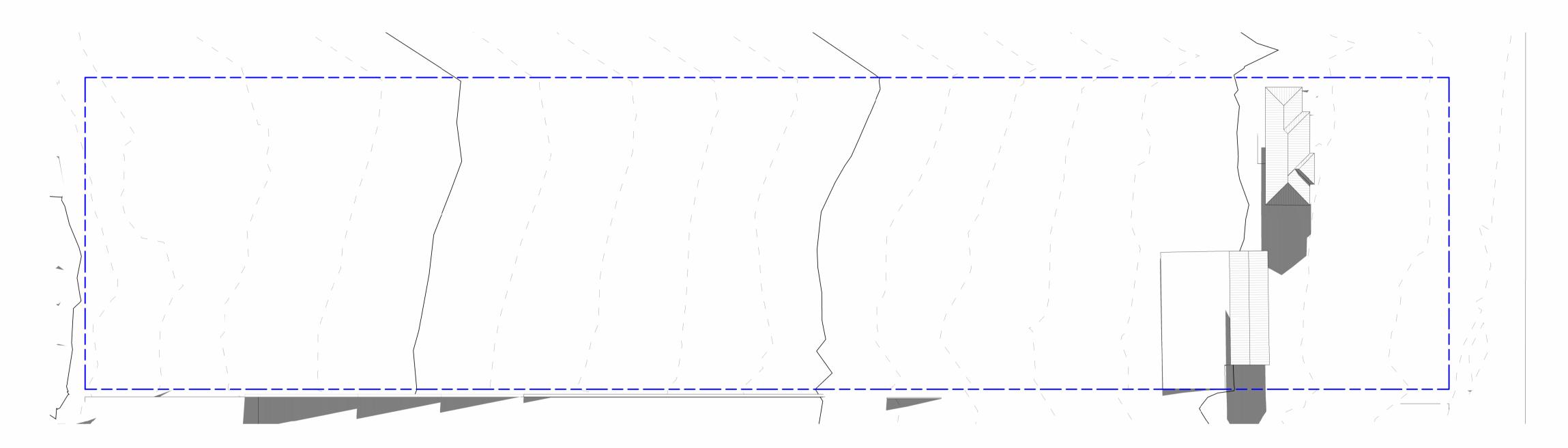
Compartment 01

Compartment 03

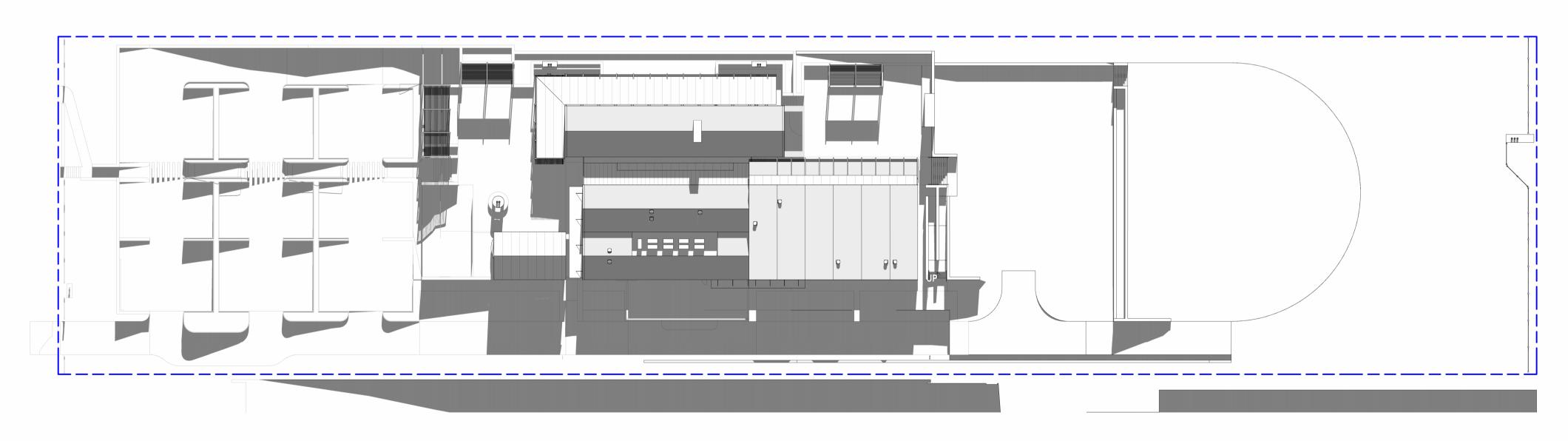
Automatic Sprinkler System installed

throughout entirity of compartment in accordance with AS 2118.6.

2975.8m²



1 Existing Shadow Diagram



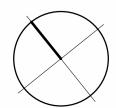
2 Proposed Shadow Diagram
DA1-9200 1:500

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08 28.02.25 Issue For Information

Rev Date Amendments

28.03.25 Issue for Information
28.03.25 Issue for Information
07.04.25 For Development Approval: Amended Scheme

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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

Project
40 Myoora Road

Client

Gardoxi P/L (Norwest)

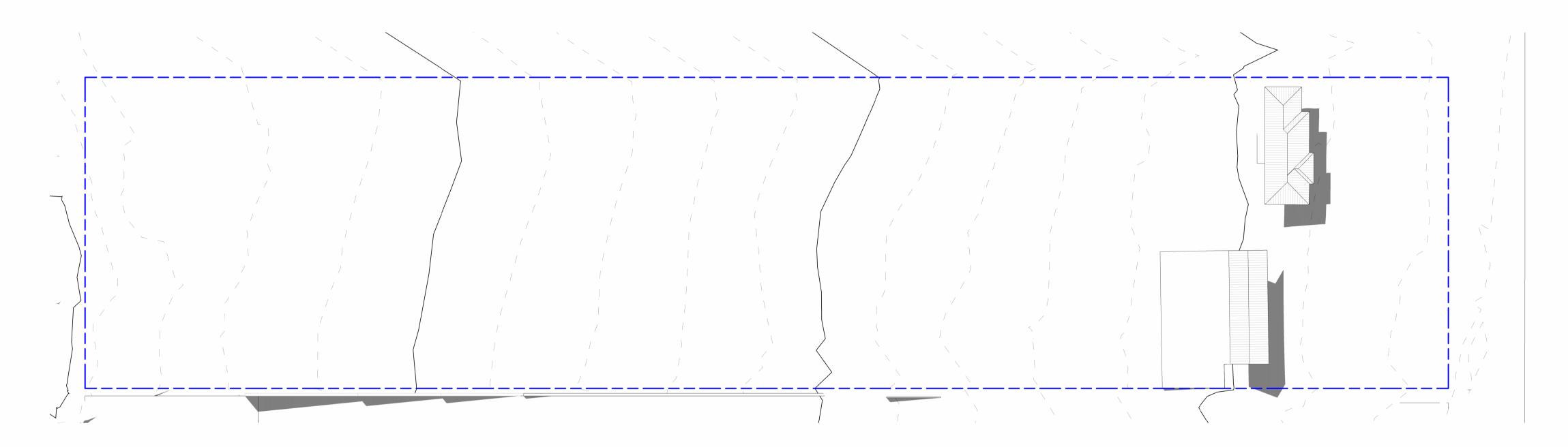
Location 40 Myoora Road, Terrey Hills NSW 2084

Drawing
Shadow Diagrams - Winter 21st June 9am

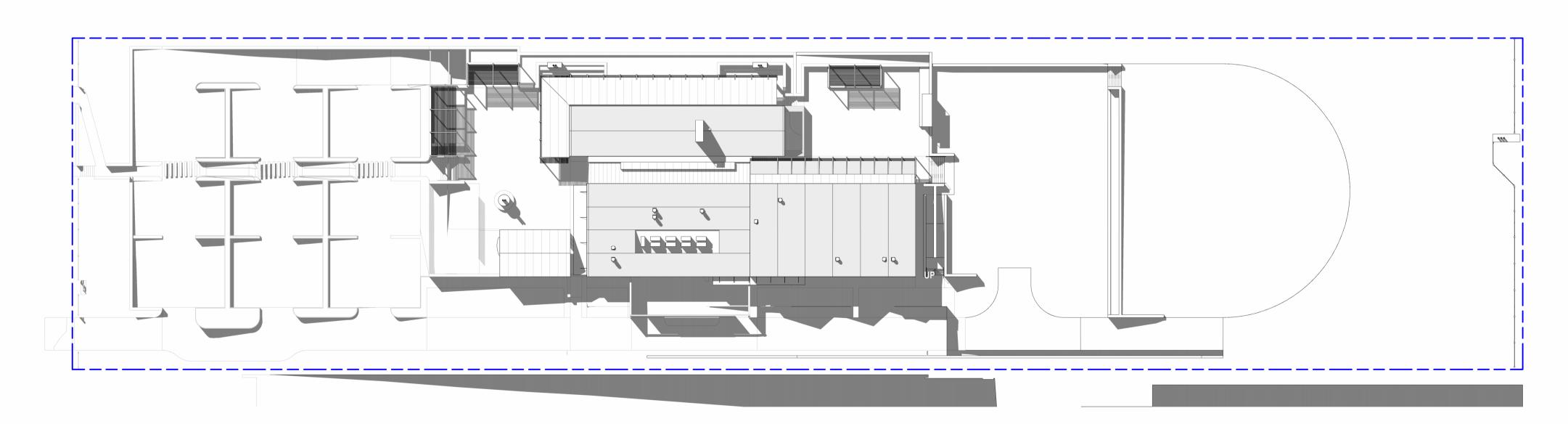
For Development Approval

| Scale @ A1 | 1:500 | Drawn by | Checked by |
|--------------------|------------|------------------|------------|
| Scale @ A3 | 1:1000 | | |
| Project Start Date | Issue Date | Sheet Issue Date | 07/04/2 |
| Project # 27 | 25 | | |
| Drawing # | DA1 | -9200 | Rev 11 |

4/2025 5:40:50 P



1 Existing Shadow Diagram
DA1-9201 1:500

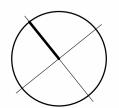


2 Proposed Shadow Diagram DA1-9201 1:500

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Rev Date Amendments 09 28.03.25 Issue for Information

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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

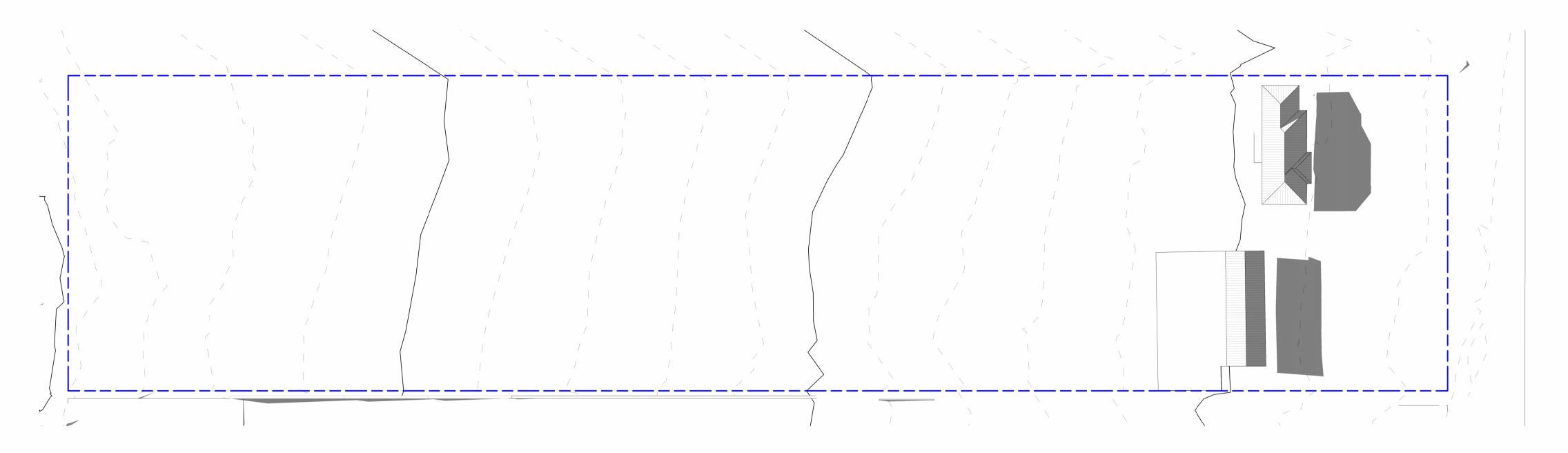
Gardoxi P/L (Norwest)

40 Myoora Road, Terrey Hills NSW 2084

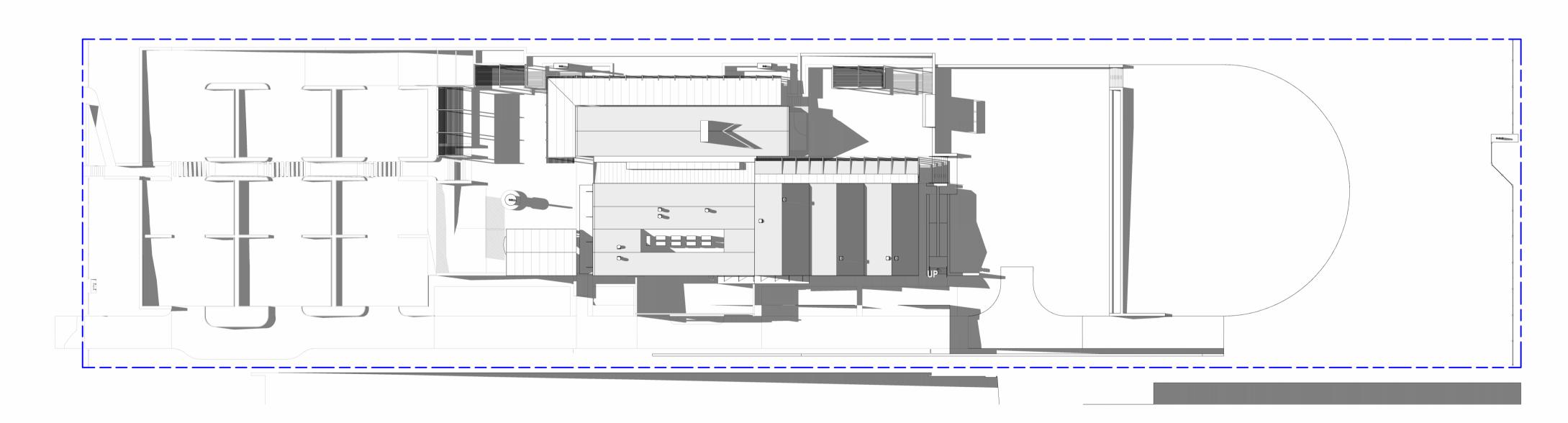
Drawing
Shadow Diagrams - Winter 21st June 12pm

For Development Approval

| Scale @ A1 | 1:500 | Drawn by | Checked by |
|--------------------|------------|------------------|------------|
| Scale @ A3 | 1:1000 | | |
| Project Start Date | Issue Date | Sheet Issue Date | 07/04/2 |
| Project # 27 | 25 | | |
| Drawing # | DA1 | -9201 | Rev 11 |



1 Existing Shadow Diagram
DA1-9202 1:500



2 Proposed Shadow Diagram DA1-9202 1:500

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Humphrey & Edwards Pty Ltd | ABN 89056638227

40 Myoora Road

Gardoxi P/L (Norwest)

For Development Approval

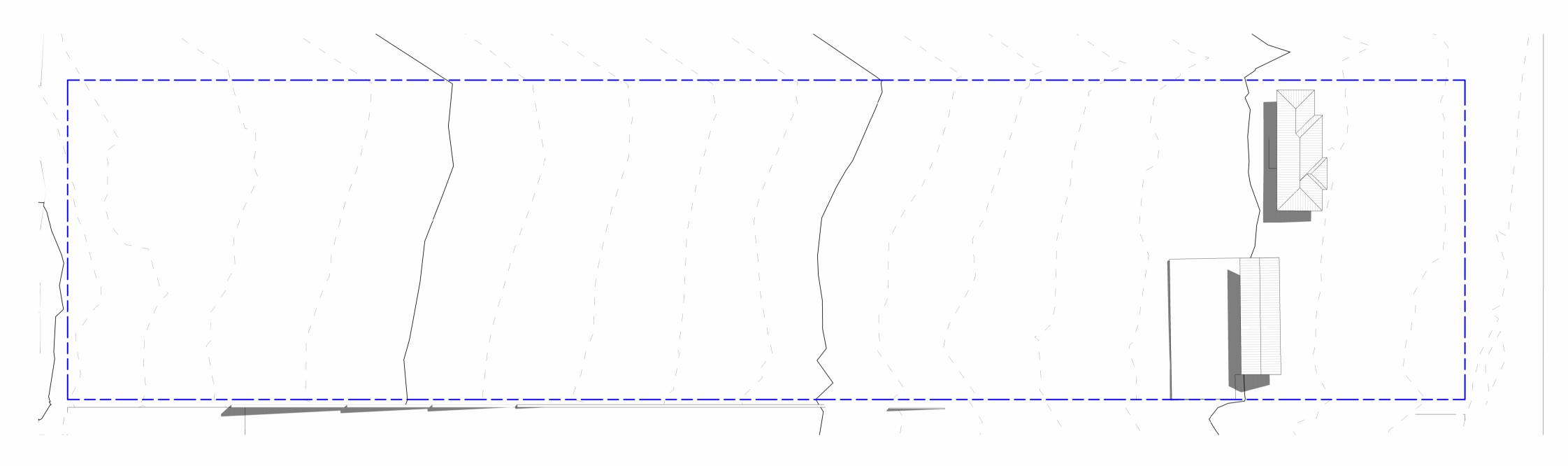
40 Myoora Road, Terrey Hills NSW 2084

1:500 Drawn by Scale @ A1 1:1000 Scale @ A3 Project Start Date | Sheet Issue Date | Project # **2725**

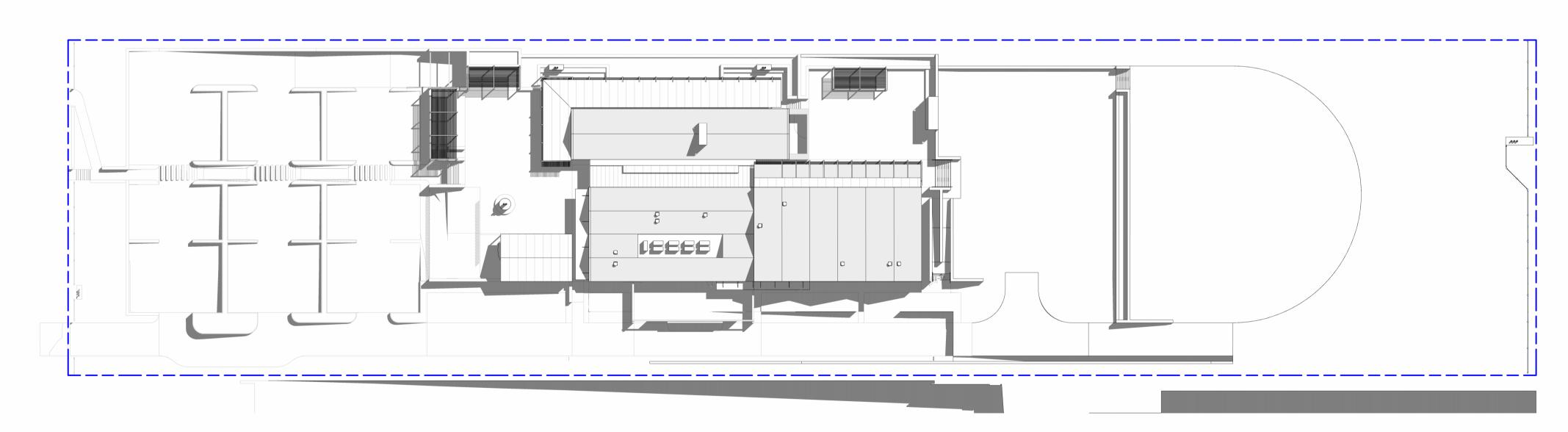
DA1-9202

Drawing
Shadow Diagrams - Winter 21st June 3pm Drawing #

8/04/2025 5:41:50 PM



1 Existing Shadow Diagram
DA1-9203 1:500



2 Proposed Shadow Diagram DA1-9203 1:500

General Notes

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Rev Date Amendments

01 19.03.24 Consultant Issue

02 02.04.24 Issue for Information: Pre-DA Meeting 03 21.05.24 Issue for Information: Design and Sustainability Advisory Panel

04 26.07.24 Issue for Information 05 14.08.24 Issue for Information

06 03.09.24 For Development Approval 07 21.02.25 Issue for Information 08 28.02.25 Issue For Information

Rev Date Amendments 09 28.03.25 Issue for Information

10 28.03.25 Issue for Information

11 07.04.25 For Development Approval: Amended Scheme



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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

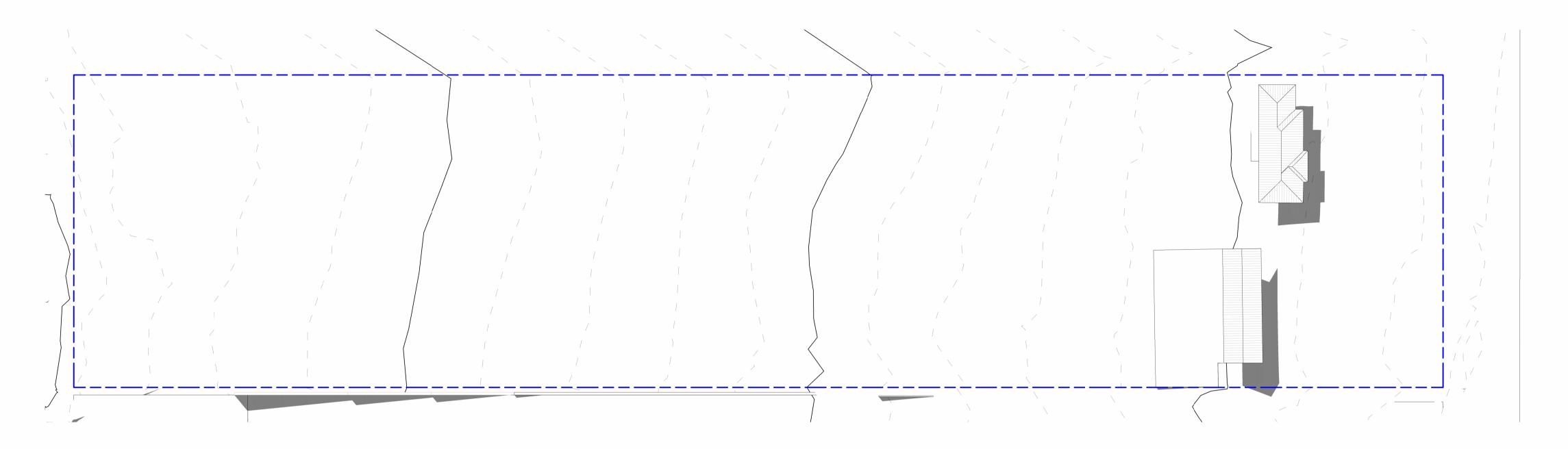
For Development Approval

1:500 Drawn by Scale @ A1 1:1000 Scale @ A3 Project Start Date | Sheet Issue Date |

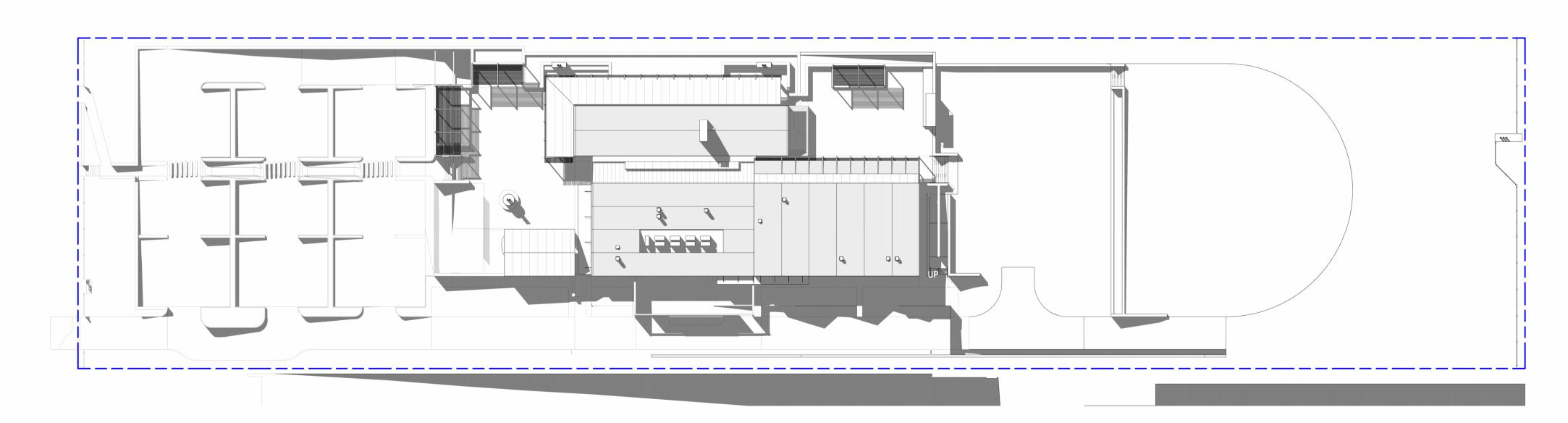
Shadow Diagrams - Summer 21st December 9am

40 Myoora Road, Terrey Hills NSW 2084

Project # **2725** Drawing # DA1-9203 8/04/2025 5:42:16 PM



1 Existing Shadow Diagram
DA1-9204 1:500



2 Proposed Shadow Diagram
DA1-9204 1:500

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Rev Date Amendments

01 19.03.24 Consultant Issue

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03 21.05.24 Issue for Information: Design and Sustainability Advisory Panel 04 26.07.24 Issue for Information

05 14.08.24 Issue for Information 06 03.09.24 For Development Approval

07 21.02.25 Issue for Information 08 28.02.25 Issue For Information Rev Date Amendments

09 28.03.25 Issue for Information 10 28.03.25 Issue for Information 11 07.04.25 For Development Approval: Amended Scheme



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Humphrey & Edwards Pty Ltd | ABN 89056638227

Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

Gardoxi P/L (Norwest)

For Development Approval

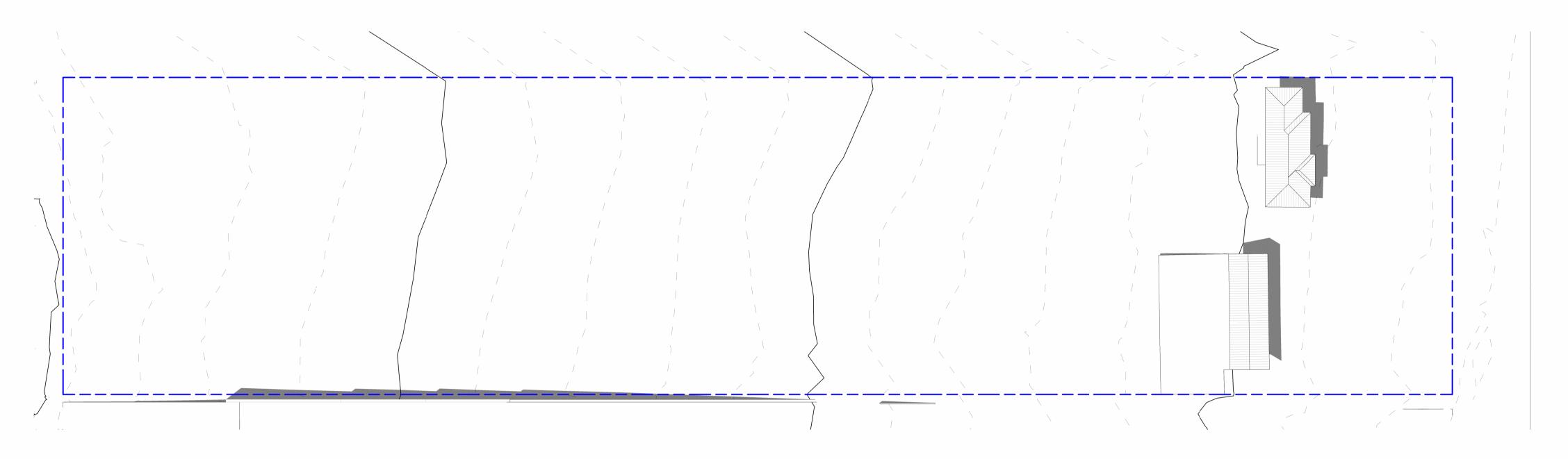
1:500 Drawn by Scale @ A1 1:1000 Scale @ A3 Project Start Date | Sheet Issue Date | 07/04/25 Project # **2725**

Drawing #

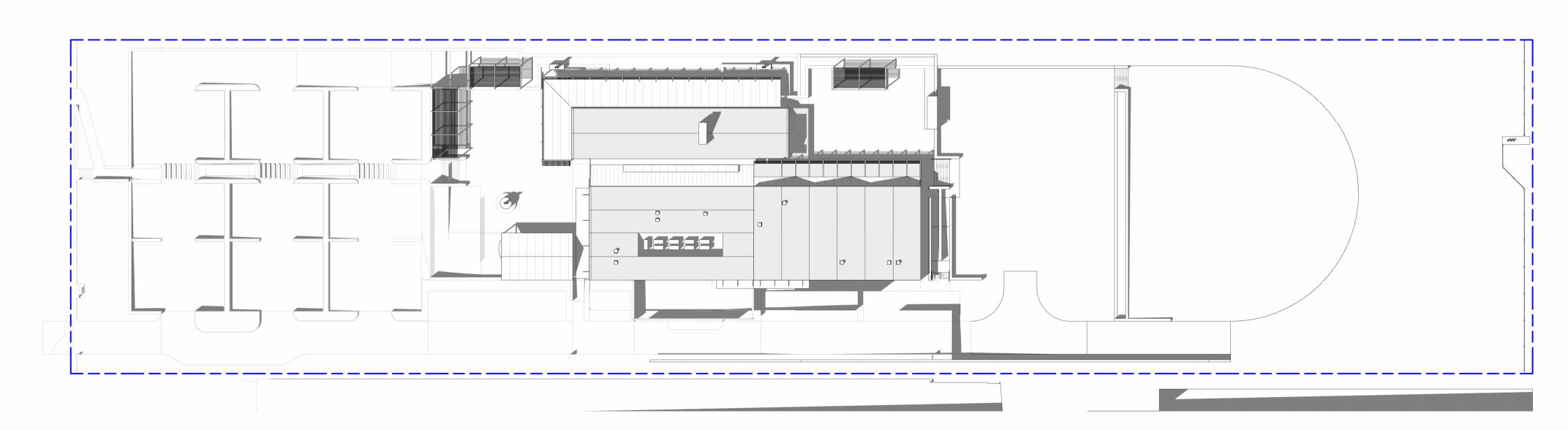
Drawing
Shadow Diagrams - Summer 21st December 12pm

40 Myoora Road, Terrey Hills NSW 2084

DA1-9204 8/04/2025 5:42:58 PM



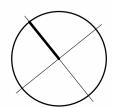
1 Existing Shadow Diagram
DA1-9205 1:500



2 Proposed Shadow Diagram
DA1-9205 1:500

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Rev Date Amendments

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Rev Date Amendments 09 28.03.25 Issue for Information 10 28.03.25 Issue for Information

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ARCHITECTS

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Humphrey & Edwards Pty Ltd | ABN 89056638227 Nominated Architect: Glenn Cunnington #6415

40 Myoora Road

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For Development Approval

| | Scale @ A1 | 1:500 | Drawn by | Checked by |
|---|--------------------|------------|------------------|------------|
| | Scale @ A3 | 1:1000 | | |
| | Project Start Date | Issue Date | Sheet Issue Date | 07/04/25 |
| • | Project # 27 | 25 | | |
| | DA1-9205 | | | Rev 11 |

Drawing
Shadow Diagrams - Summer 21st December 3pm

40 Myoora Road, Terrey Hills NSW 2084