

# Statement of Environmental Effects

*Proposed New Deck Extension and Amended Windows*

**11 Jones Street, Beacon Hill**

for

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**prepared by**



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## Introduction & Executive Summary

This statement of environmental effects has been prepared by Watershed Design Pty Ltd to support a DA proposal to construct a new deck extension and new windows at 11 Jones Street, Beacon Hill.

In preparing this statement we have inspected the site and surrounding context and have reviewed the proposal against the relevant State Environmental Planning Policies, the Warringah Local Environmental Plan and the Warringah Development Control Plan.

## Attachments

The proposal is described and supported by the following documents:

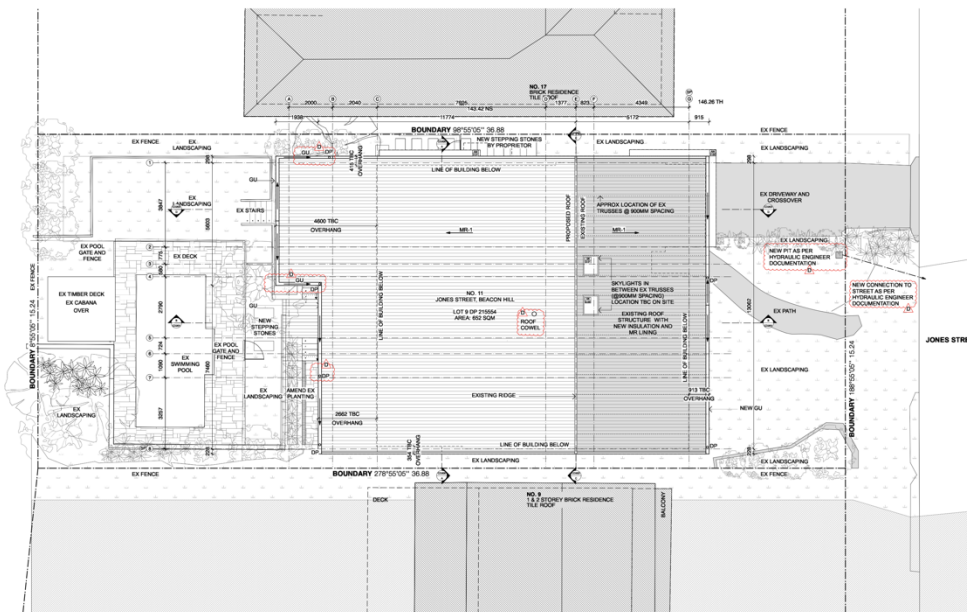
- Drawings DA01-DA07 prepared by Watershed Design Pty Ltd
- Statement of Environmental Effects prepared by Watershed Design Pty Ltd
- Site survey prepared by Waterview Surveying Services

## Site Description & Locality

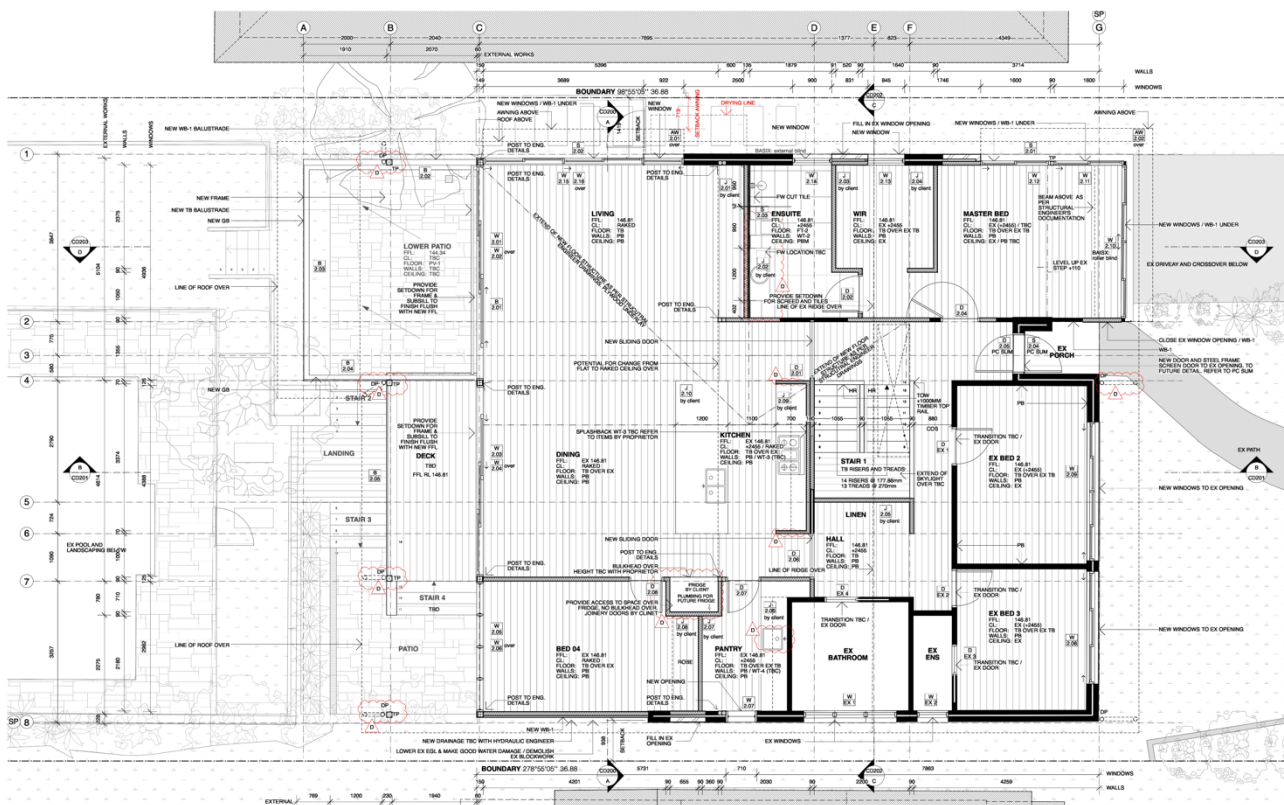
The subject site is Lot 9, DP 215554, No. 11 Jones Street, Beacon Hill. It is located on the northern side of Warringah Road between Iris and Dareen Street. The land slopes steeply from the southern side boundary to the northern side boundary.



There is a planned CDC to construct a rear extension and upgrade of existing windows. This proposal for a new rear deck extensions and new windows to the master bedroom relates to the planned CDC.



**Image 1 – CDC Site Plan 11 Jones Street, Beacon Hill**



**Image 2 – CDC Ground Floor Plan 11 Jones Street, Beacon Hill**

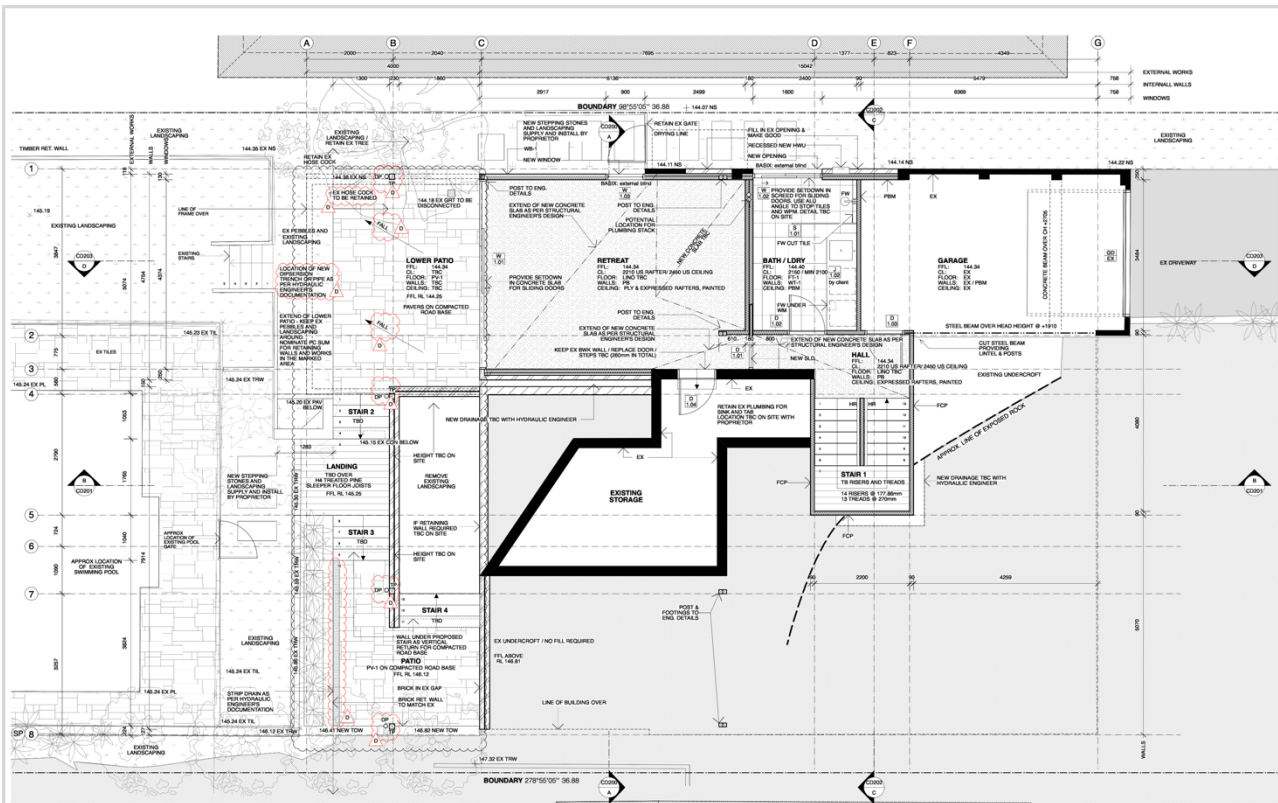


Image 3 – CDC Lower Ground Floor Plan 11 Jones Street, Beacon Hill

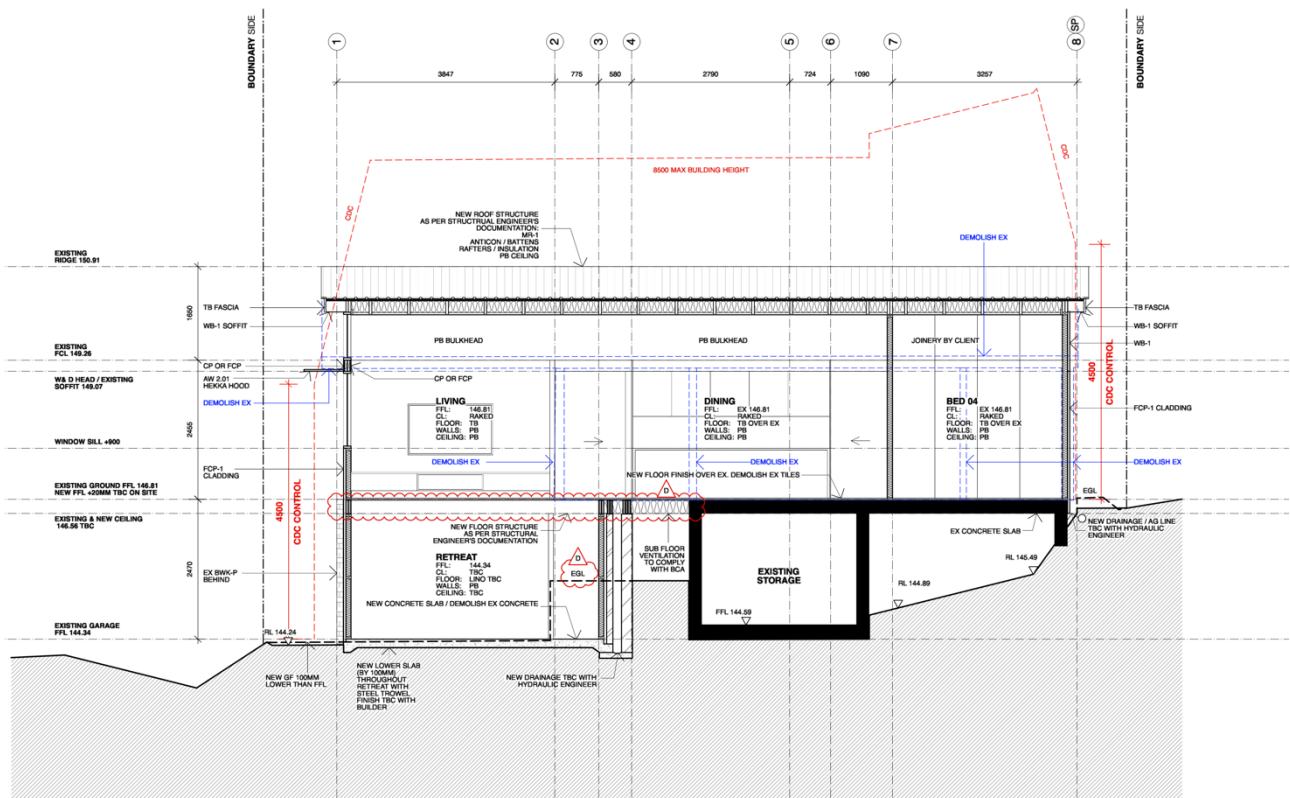


Image 4 – CDC Section AA 11 Jones Street, Beacon Hill



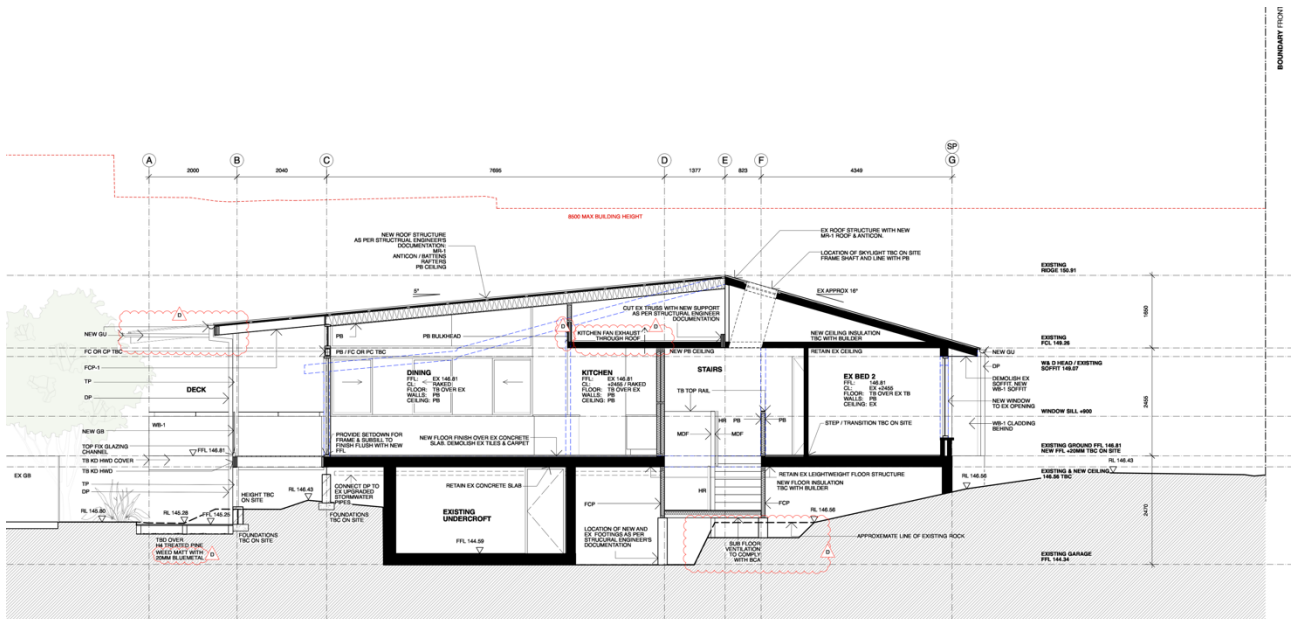


Image 5 – CDC Section BB 11 Jones Street, Beacon Hill

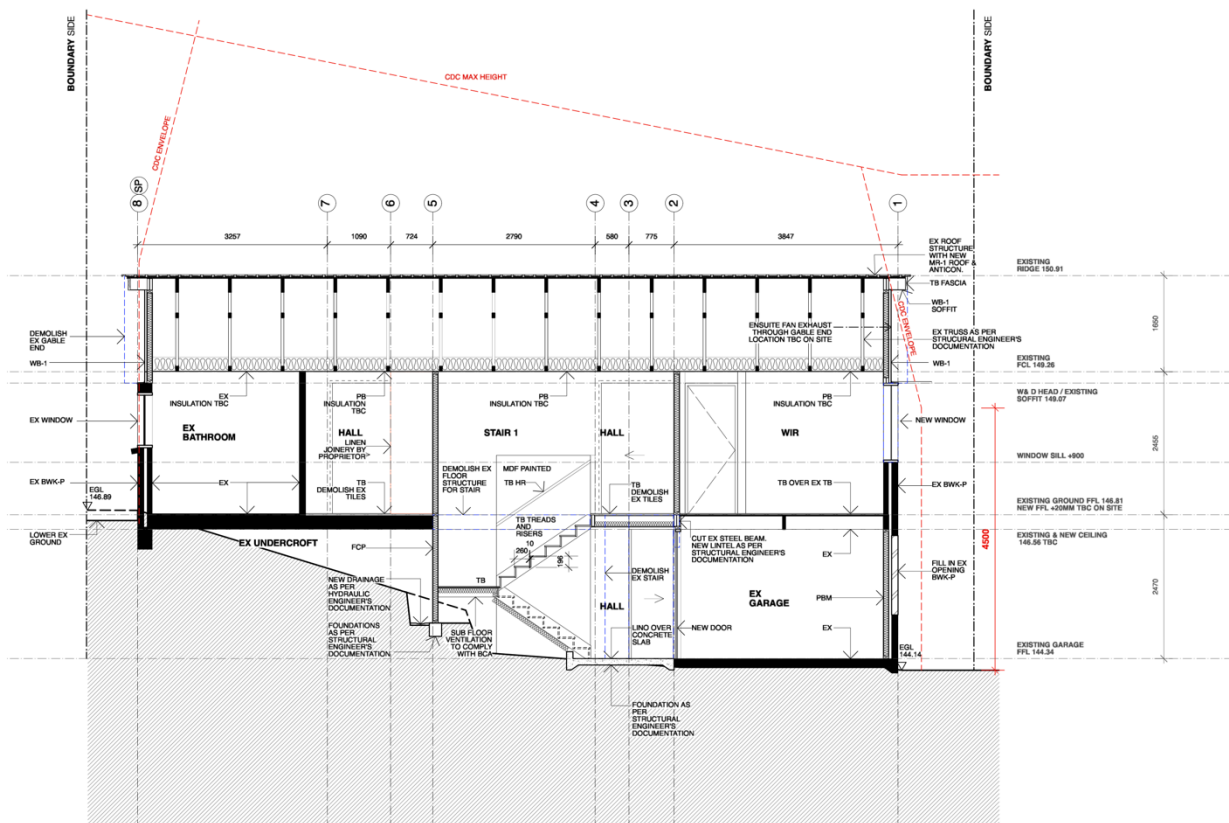


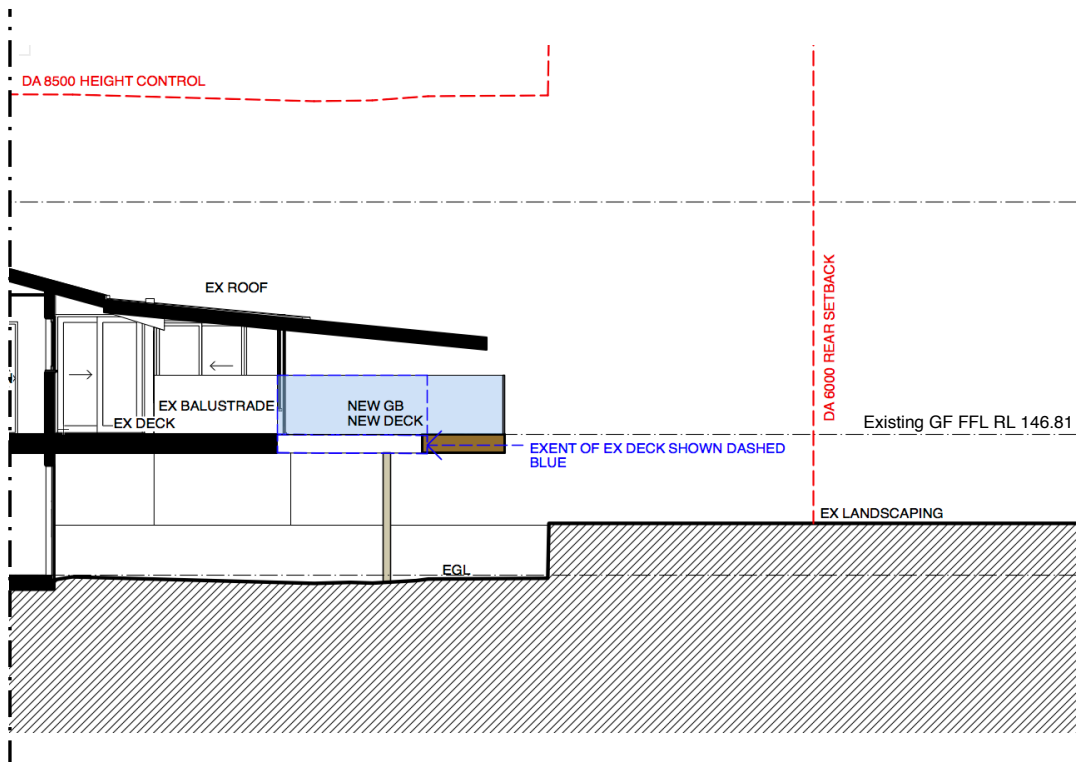
Image 6 – CDC Section CC 11 Jones Street, Beacon Hill











**Image 13 – Proposed Deck, Partial Section AA**

## Warringah Local Environmental Plan 2011

### Zone and Objectives

The subject property is zones Low Density Residential Zone R2. The proposed alterations and additions meet the relevant zone objective.

### Height of Buildings

The height of a building on the subject land is not to exceed 8.5m in height. The proposed works lie well below the maximum building height of 8.5m

## Development Controls WDCP 2011

### PART B BUILT FORM CONTROLS

#### B1 Wall Heights

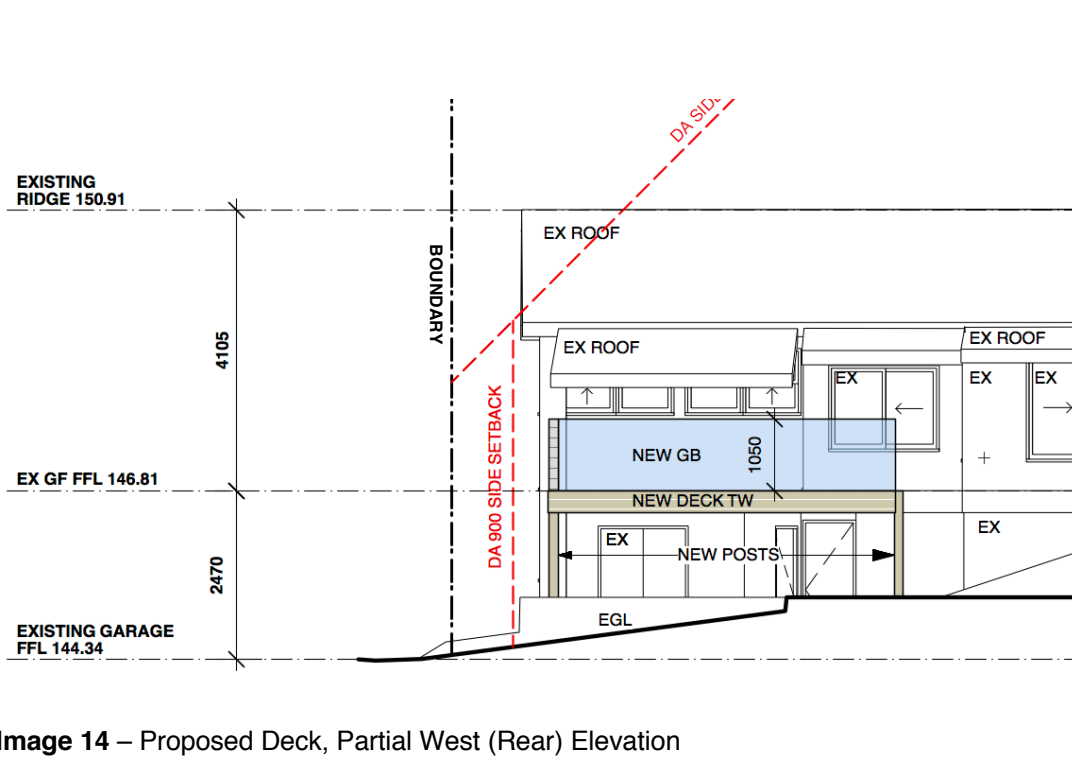
N/A

#### B2 Number of Storeys

N/A

#### B3, B4-B9 Setbacks and Side Boundary Envelope

The proposed works are sited within the boundary envelope determined by the WDCP 2011 of 4m. The location of the rear deck is compliant with the side and rear setback controls and has been sited to minimise any impact on the adjoining properties. The rear deck extension maintains a side setback of 1419mm and a rear setback of 11460mm. The amended windows are located within the minimum side setback of 900mm.



**Image 14** – Proposed Deck, Partial West (Rear) Elevation

## **B4 Site Coverage**

N/A

## **B11 Foreshore Building Setback / B12 National Parks Setback / B13 Coastal Cliffs Setback / B14 Main Roads Setback**

N/A

## **PART C SITING FACTORS**

### **C1-7 Siting Factors**

N/A

### **C8-9 Demolition and Construction / Waste Management Plan**

The proposed design complies with the appropriate sections of the Waste Management Guidelines and is accompanied by a Waste Management Plan

## **PART D DESIGN**

### **D1 Landscaped Open Space and Bushland Setting**

The existing area of total landscaped open space complies with the WDCP 2011 of 40% of the site area. The proposed deck extension results in no change to the existing open landscaped space on the site. The landscaped open space provided is approximately 250sqm.

The proposal does not involve the removal of any trees from the site.

### **D2 Private Open Space**

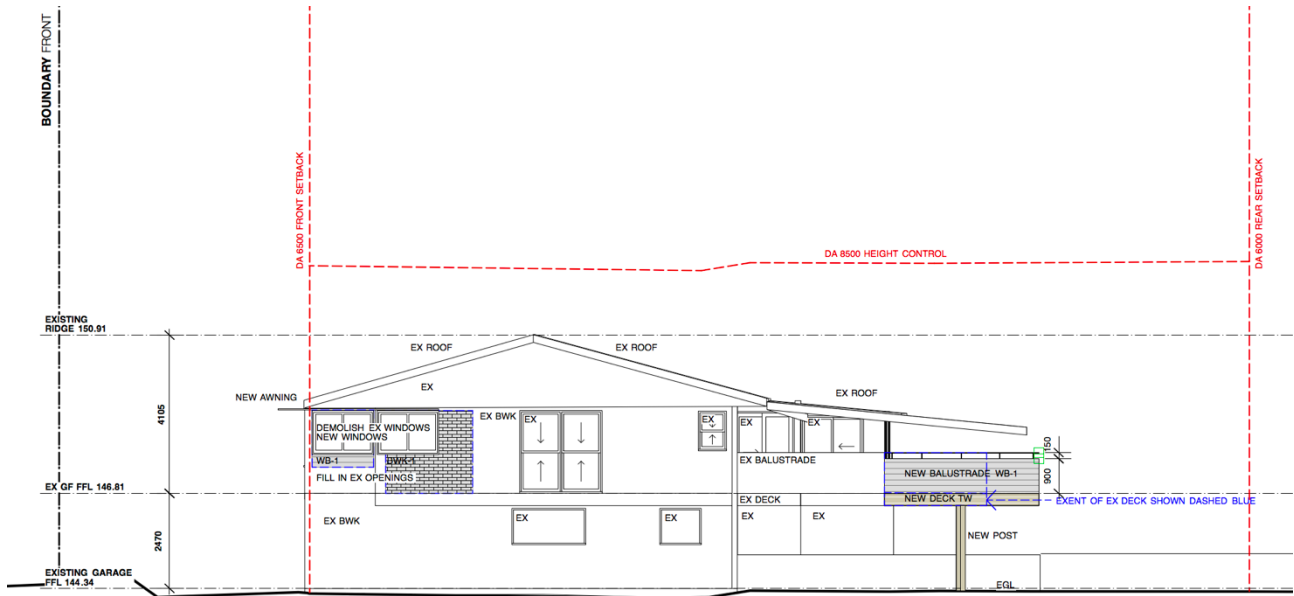
The extension of the proposed rear deck results in an increase of private open space by 10sqm to 35 sqm and complies with the requirements of the WDCP 2011. The rear deck extension is designed with a solid balustrade to the north boundary to ensure privacy to the occupants of the adjacent buildings and occupants of the proposed development.

### **D3-6 Design**

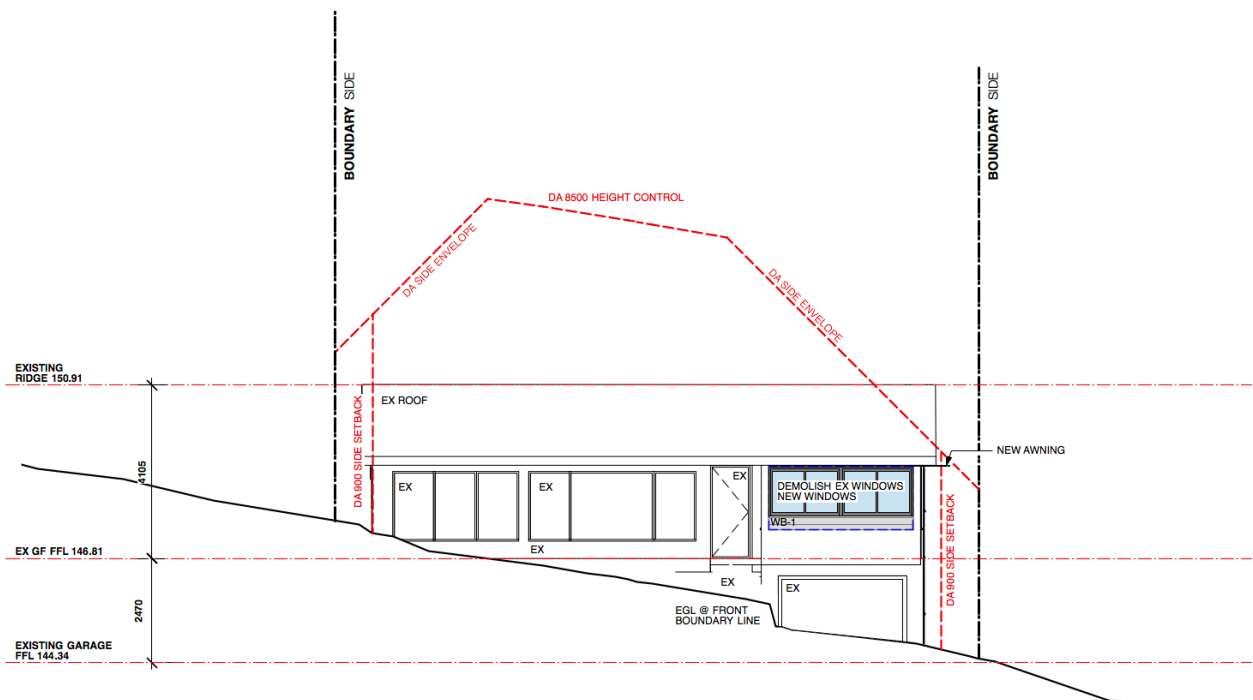
N/A - Shadows on own property only. (Due to the location of the proposed rear deck on the northern side of the property there will be no overshadowing of the adjoining properties.)

## D8 Privacy

The sill of the proposed amended windows has been increased to avoid overlooking adjacent buildings. The proposed design of the rear deck shows a solid balustrade to the side boundary to ensure privacy. The natural slope of the terrain falling towards the north ensures privacy for the occupants and adjacent dwellings.



**Image 15** – Proposed amended windows and wall balustrade, Partial North (Side) Elevation



**Image 16** – Proposed amended windows, East (Front, Jones St) Elevation

## D9-23 Design

N/A

## PART E THE NATURAL ENVIRONMENT

### E1 Preservation of Trees or Bushland Vegetation

The proposal does not involve the removal of any trees from the site.

### E2-11 The Natural Environment

N/A

## PART F ZONES AND SENSITIVE AREAS

N/A

## PART G SPECIAL AREA CONTROLS

N/A

## Development Control Summary

| 11 JONES STREET, BEACON HILL |                              |        |                         |                            |                            |
|------------------------------|------------------------------|--------|-------------------------|----------------------------|----------------------------|
| Site Area                    | 562.0 sqm                    |        |                         |                            |                            |
| LOT / DP                     | Lot 9 / 215554               |        |                         |                            |                            |
| Boundary frontage width      | 15.24 m                      |        |                         |                            |                            |
| Building frontage width      | 13.00 m                      |        |                         |                            |                            |
| Council                      | Northern Beaches - Warringah |        |                         |                            |                            |
| LEP CONTROLS                 |                              |        |                         |                            |                            |
| Item                         | Classifications              |        | Requirments             | Existing                   | Proposed                   |
| Land zoning                  | R2                           |        | Low Density Residential | Complies                   | No changes                 |
| FSR                          | N/A                          |        | N/A                     | N/A                        | N/A                        |
| Height of buildings          | Area I                       |        | max 8.5m                | 6.85m Complies             | No changes                 |
| Heritage                     | N/A                          |        | N/A                     | N/A                        | N/A                        |
| Acid sulfate soils           | N/A                          |        | N/A                     | N/A                        | N/A                        |
| Lot size                     | Area M                       | 600sqm | N/A                     | N/A                        | N/A                        |
| Landslide Risk Land          | Area B                       |        | Flanking slopes 5-25    | N/A                        | N/A                        |
| DCP CONTROLS                 |                              |        |                         |                            |                            |
| Item                         | Classifications              |        | Requirments             | Existing                   | Proposed                   |
| Density area                 | N/A                          |        | N/A                     | N/A                        | N/A                        |
| Wall height                  |                              |        | 7.2m                    | Complying                  | Complying                  |
| Setback front                | F                            |        | 6.5 m                   | Complying                  | Complying                  |
| Setback side                 | B                            |        | 0.9m                    | Complying                  | Complying                  |
| Setback side envelope        |                              |        | 4m / 45 degree          | Not complying              | No changes                 |
| Setback rear                 | D                            |        | 6m                      | Complying                  | Complying                  |
| Site Coverage                | N/A                          |        | N/A                     | N/A                        | N/A                        |
| Landscape open space         |                              | 40%    | 224.8 m                 | Complying (approx 250 sqm) | Complying (approx 250 sqm) |
| Min Floor To Ceiling         | N/A                          |        | N/A                     | N/A                        | N/A                        |
| Number of storeys            | N/A                          |        | N/A                     | N/A                        | N/A                        |

## Conclusion

The proposed design complies with the WDCP, LEP and State Environmental Planning Policies. The proposed works will enhance the amenity of the occupants and have been designed to maintain the privacy and reduce any impact on the neighbouring dwellings. The proposed rear deck extension has been sited to meet the aims and objectives of the WDCP 2011 while accommodating the conditions of the sloping site. The proposed deck modification to an existing deck are modest in scale and compliant with the proposed new living areas proposed under CDC.

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