

1 PART SITE PLAN - STREET / FRONT 1:100

& SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT / SEDIMENT & EROSION CONTROL

SITE RATIOS - EXISTING:

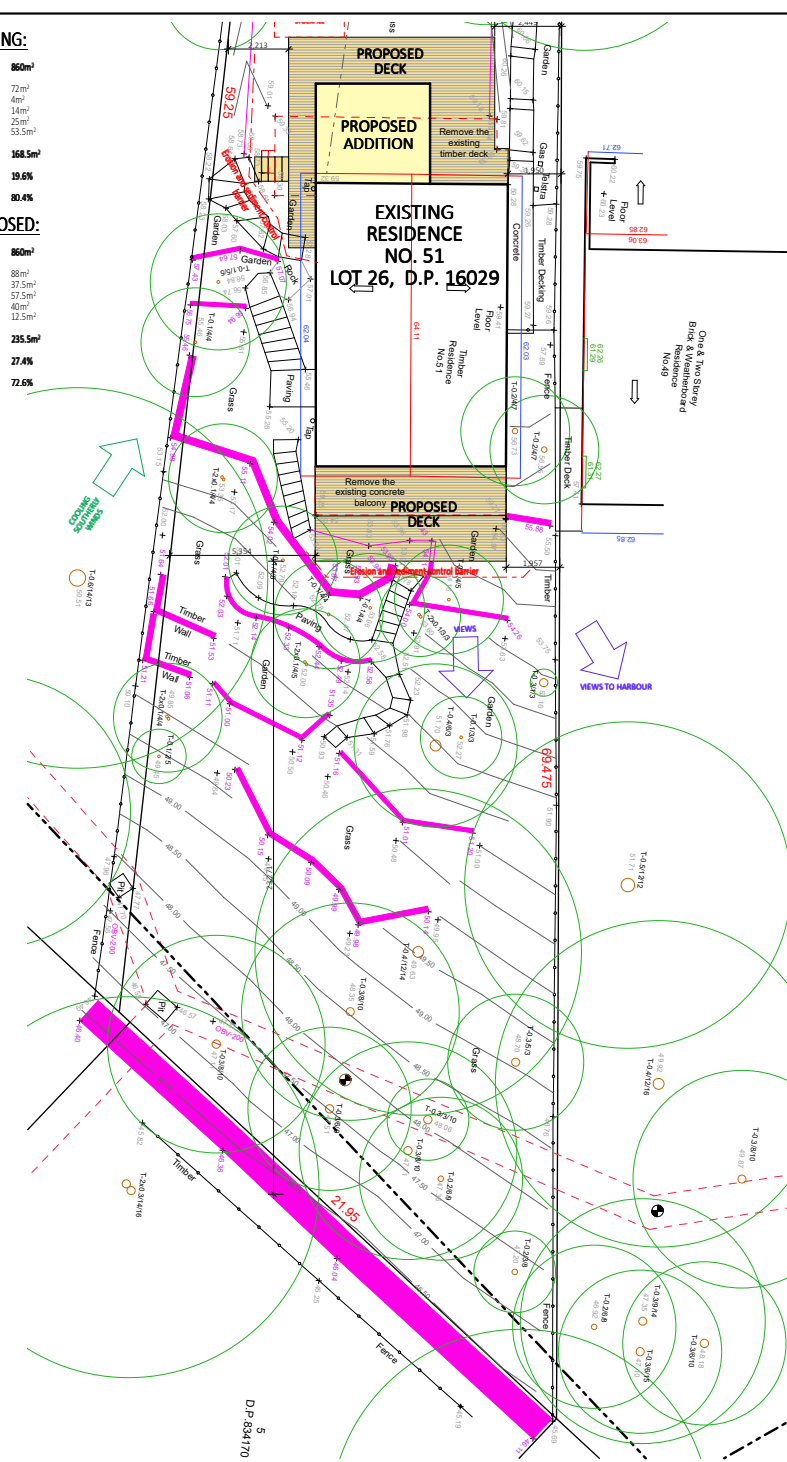
SITE AREA	860m ²
FOOTPRINT OF RESIDENCE	72m ²
SHED	4m ²
BALCONY	14m ²
DECKS	25m ²
PAVED AREAS & PATHWAYS	53.5m ²

SUM TOTAL	168.5m ²
SITE COVERAGE %	19.6%
EXISTING LANDSCAPED AREA	80.4%

SITE RATIOS - PROPOSED:

SITE AREA	860m ²
FOOTPRINT OF RESIDENCE	88m ²
CAR HARDSTAND	37.5m ²
DECKS	57.5m ²
PAVED AREAS & PATHWAYS	40m ²
STUDIO DECK	12.5m ²

SUM TOTAL	235.5m ²
SITE COVERAGE %	27.4%
PROPOSED LANDSCAPED AREA	72.6%



2 PART SITE PLAN - MID / REAR 1:100

NOTES:

All work is to comply with the National Construction Code (NCC) / Building Code of Australia, the requirements of the local council, the requirements of the legally constituted Authorities for services and the relevant standards published by the Standards Association of Australia.

The Builder is to give all notices, obtain all permits and pay all fees.

Check all Levels and Dimensions on site prior to commencing work and advise Lifestyle Home Designs of any discrepancies or errors.

Finished ground levels on the plan are subject to the site conditions.

Do not scale from drawings. Figured dimensions to be given preference over scale. All Figured dimensions to be checked on site.

The work shown on this drawing and any associated drawings is to be carried out in a good and tradesman-like manner.

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BASIC INFORMATION REQUIREMENTS:

LIGHTING:
A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or LED lamps.

WATER COMMITMENTS:
Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating.

HOT WATER SYSTEM:
Existing Hot water system shall remain

INSULATION REQUIREMENTS:
Suspended Floor: The suspended floor shall meet minimum R 1.30 (including construction)
External walls: The external walls shall meet minimum R 1.70 (including construction)
Ceilings: The new ceilings shall meet minimum R 3.00 (up)
Roof: The roof shall have a foil / sarking and be of dark colour (solar absorption >0.70)

WINDOWS & GLAZED DOORS:
All window and door numbers shown on the window and door schedule correspond to matching window / door numbers shown in the Basic certificate.
Window sizes: The total area of glazing for each window shall be no greater than that shown on the Basic certificate
Shading devices: Shading devices shall be installed in accordance with the Basic certificate
Frames and glazing: Frame and glazing types shall meet the requirements of the Basic certificate

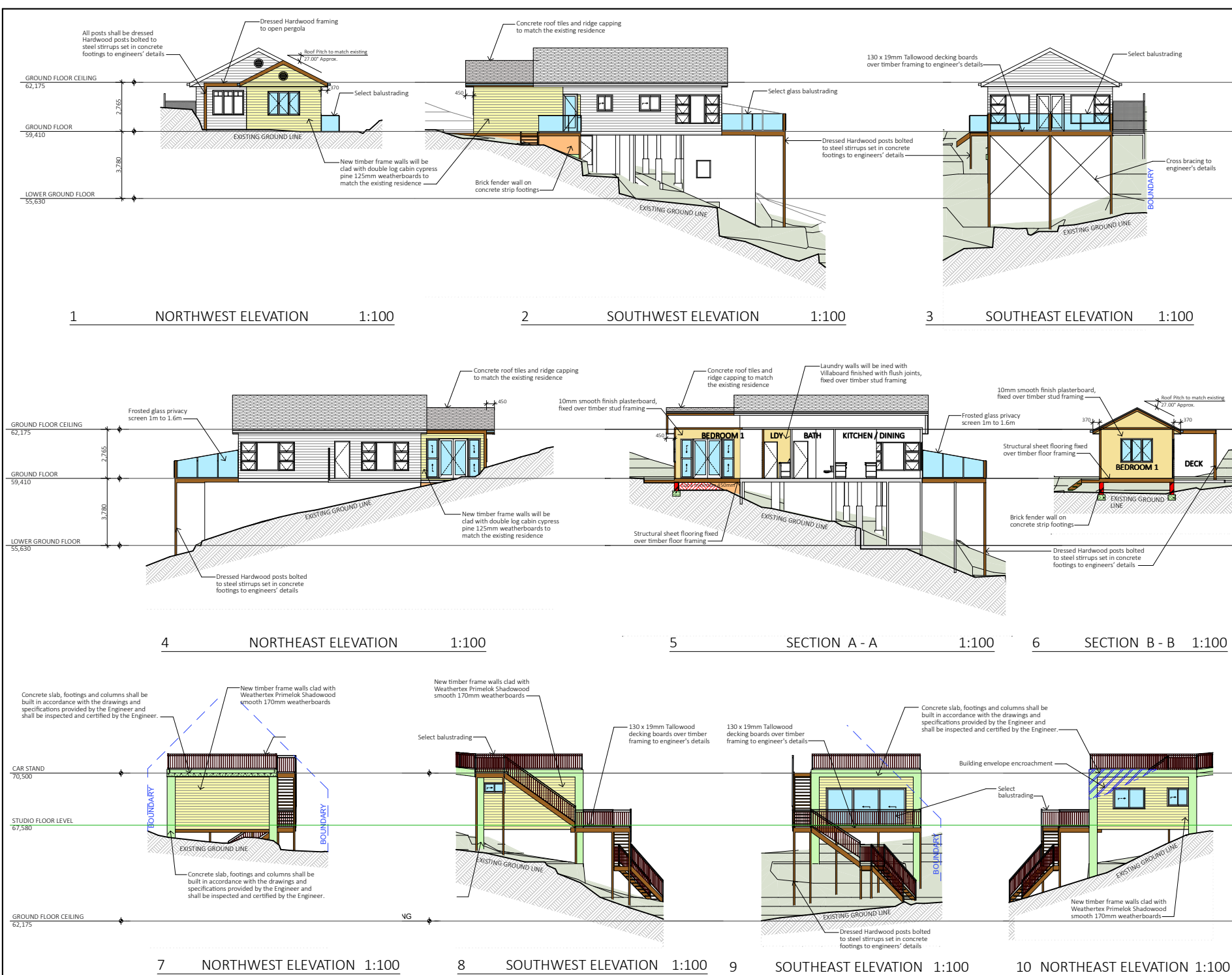
Client
MS MAXWORTHY
Project Name
ALTERATIONS & ADDITIONS
51 GRANDVIEW DRIVE
LOT 26, D.P. 16029
NEWPORT N.S.W. 2106

Drawing Title:
SITE PLAN

Scale: 1:100 (A1)	Date: JUNE 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 1841	Drawing No: DA 02

ANNEXURE "A" Plot Date: 30/07/2019





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Project North

LIFESTYLE
HOME DESIGNS
LEVEL 1, 10/14 NARABANG WAY - BELROSE
PH. (02)9986 1311 FAX (02)9986 1322

Client
MS MAXWORTHY
Project Name
ALTERATIONS & ADDITIONS
51 GRANDVIEW DRIVE
LOT 26, D.P. 16029
NEWPORT N.S.W. 2106

Drawing Title:
ELEVATIONS & SECTIONS

Scale: 1:100	Date: JUNE 2019
COUNCIL: NORTHERN BEACHES	Checked By: J. ADAMS
Project No: 1841	Drawing No.: DA 04
ANNEXURE "A"	
Plot Date: 30/07/2019	