

Location Plan 10 Beverley Place, Curl Curl

Legend

- North
- Vehicle entry
- Line of existing residence

Drawing List

- DA.00 Site Analysis Plan
- DA.01 Site Plan
- DA.02 Lower Ground Floor Plan
- DA.03 Ground Floor Plan
- DA.04 First Floor Plan
- DA.05 Elevation
- DA.06 Elevation
- DA.07 Elevation
- DA.08 Section
- DA.09 Section
- DA.10 Landscape Plan

A ISSUED FOR DEVELOPMENT APPLICATION 05.04.23
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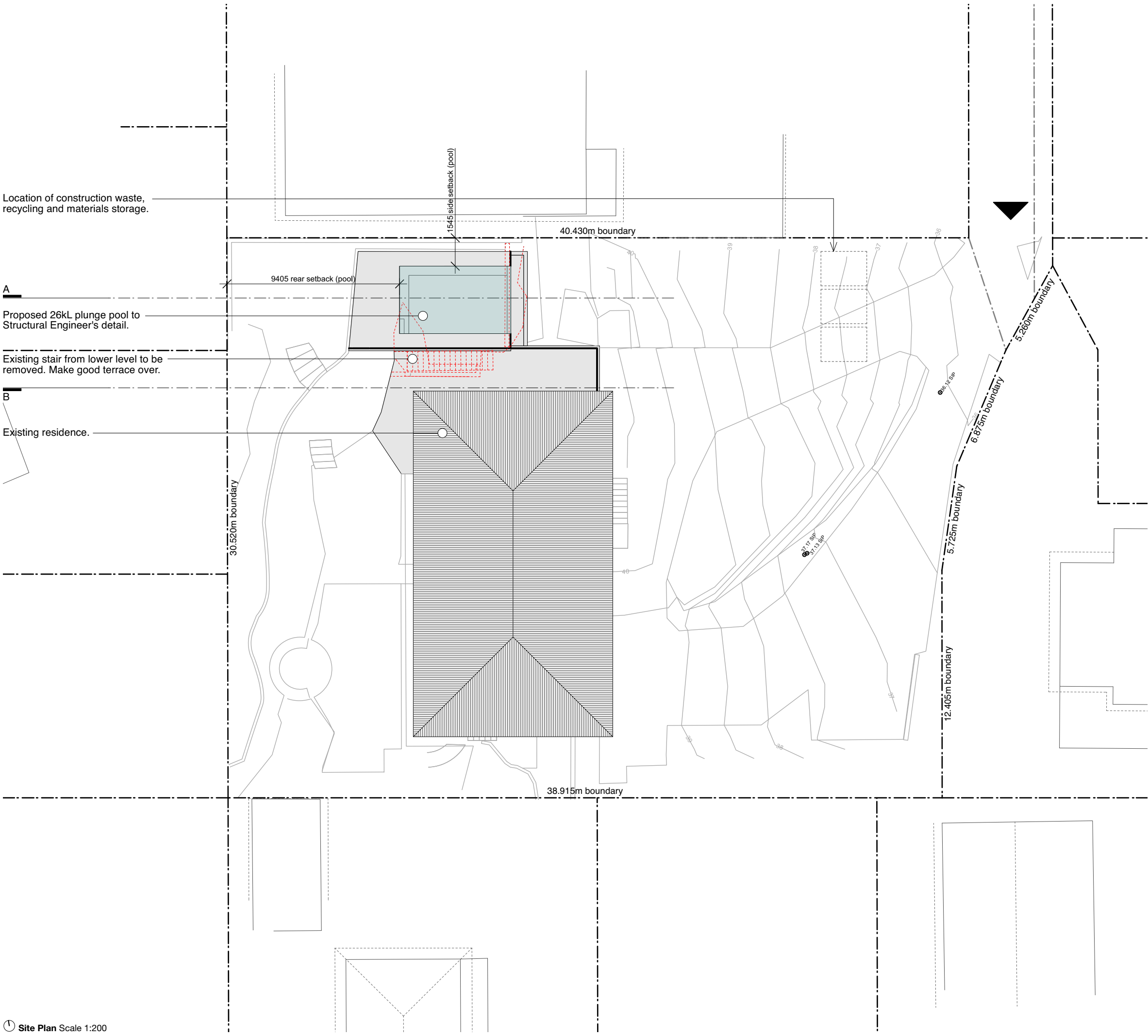
AMENDMENTS

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KRETCHMER/GLEW RESIDENCE
 10 BEVERLEY PLACE, CURL CURL
 DEVELOPMENT APPLICATION

SITE ANALYSIS PLAN SCALE 1:200 @ A3 DRAWN LC **DA.00(A)**




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Area Calculations

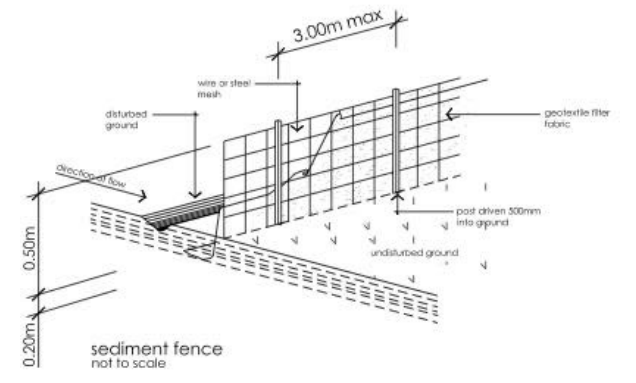
Site area	1316.6sqm
Existing Gross Floor Area (GFA)	260.0sqm
Proposed Gross Floor Area (GFA)	260.0sqm

Legend

-  Vehicle entry
-  Existing structure to be demolished
-  Extent of new works

Erosion and Sediment Control

Install controls in accordance with the requirements of Northern Beaches Council.
 Provide filter bags at boundary and nearest stormwater inlet pit where site sediments controls do not prevent sediment entering stormwater system or pits.
 Construct washdown area in accordance with Council's requirements if required.
 Construct stabilised site entry.
 Provide sedimentation fence if site conditions do not prevent sediment accessing stormwater system.
 All sediment control measures are to be in place prior to commencing works and shall be maintained and stay in place until site is stabilised or revegetated.
 Builder shall submit plan to Council prior to commencing works.



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SITE PLAN SCALE 1:200 @ A3 DRAWN LC **DA.01(A)**

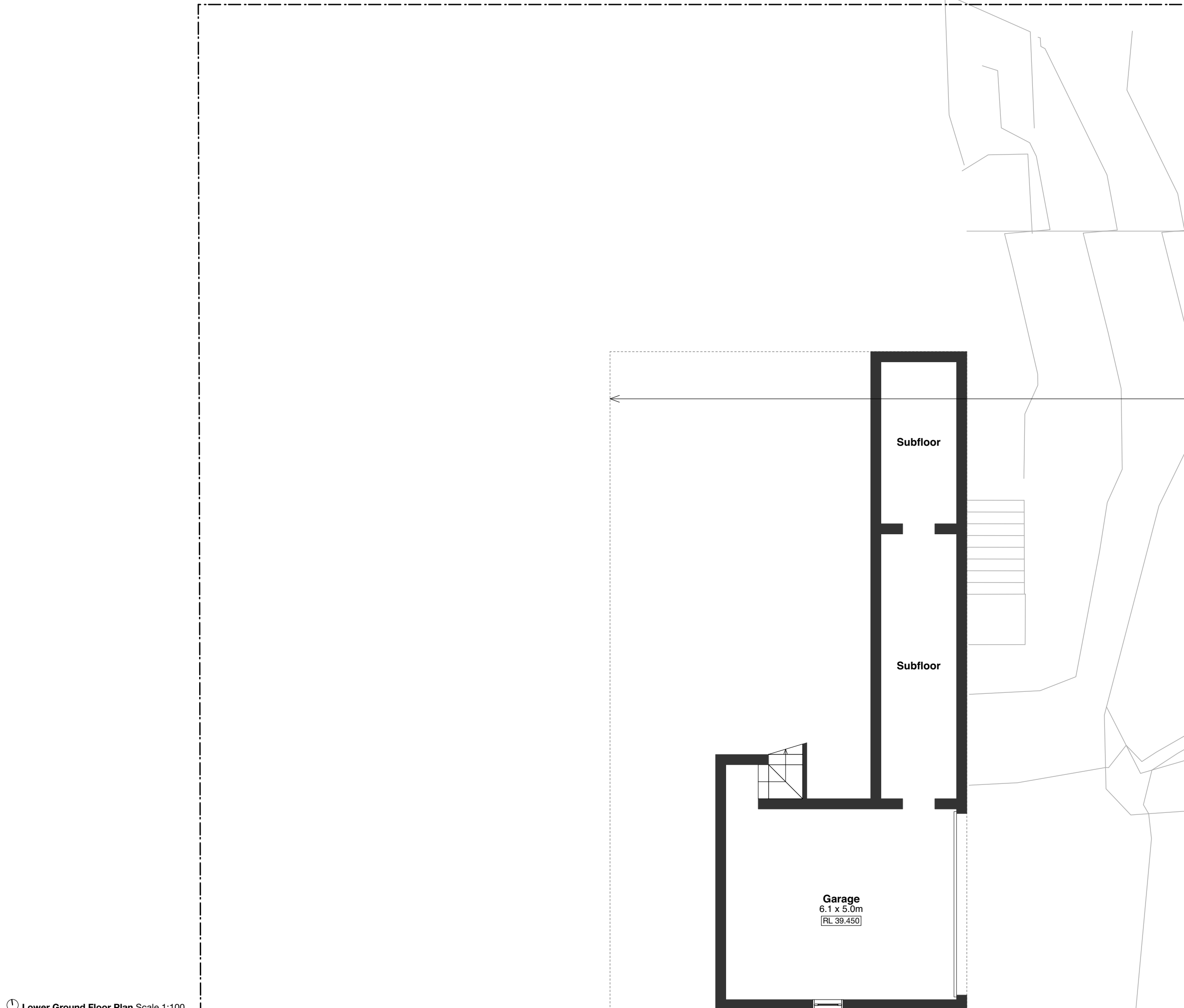
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Legend

- █ Existing walls to be retained
- ⋯ Existing structure to be demolished
- ▬ Proposed walls

General Notes

Smoke alarms to be installed and be compliant with *BCA 3.7.2* and *AS 3786*. Connect to main power and interconnect all alarms



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DEVELOPMENT APPLICATION

LOWER GROUND FLOOR PLAN SCALE 1:100 @ A3 DRAWN LC **DA.02(A)**

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Legend

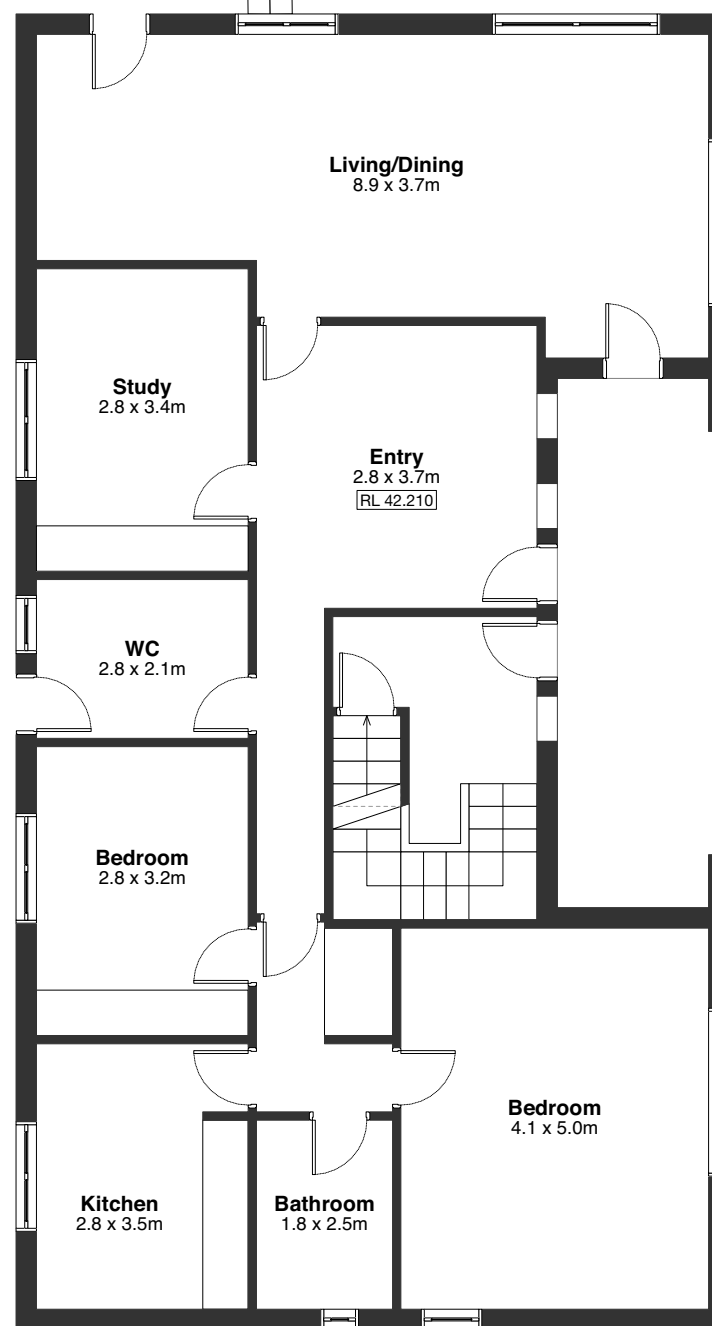
- Existing walls to be retained
- Existing structure to be demolished
- Proposed walls

General Notes

Smoke alarms to be installed and be compliant with *BCA 3.7.2* and *AS 3786*. Connect to main power and interconnect all alarms

B

Existing stair to be removed.



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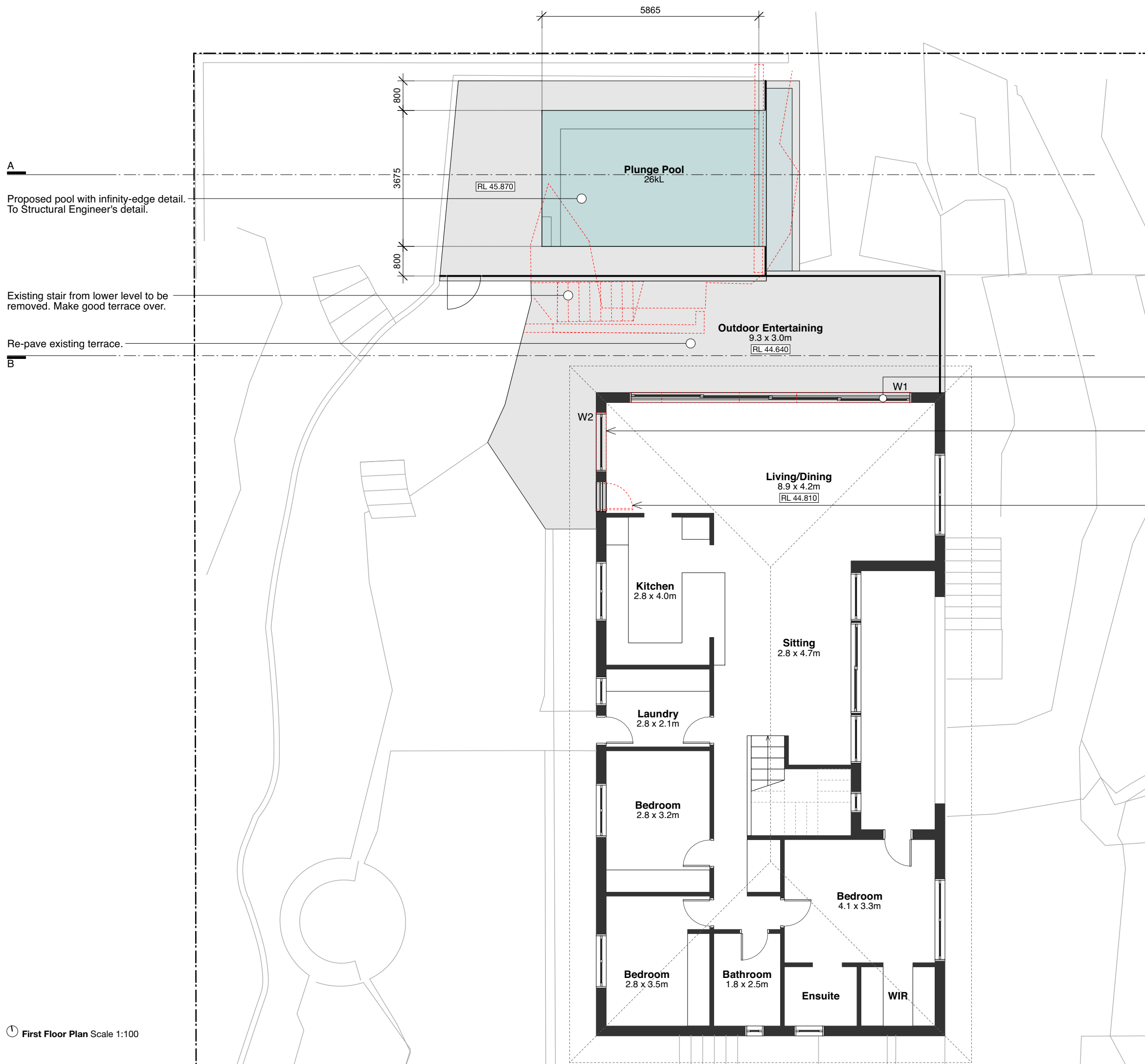
DEVELOPMENT APPLICATION

GROUND FLOOR PLAN
SCALE 1:100 @ A3

DRAWN
LC **DA.03(A)**

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Legend

- █ Existing walls to be retained
- ⋯ Existing structure to be demolished
- ▒ Proposed walls

General Notes

Smoke alarms to be installed and be compliant with *BCA 3.7.2* and *AS 3786*. Connect to main power and interconnect all alarms

Pool barrier and gate to be constructed, installed and maintained in accordance with current *BCA* requirements & Australian Standard *AS 1926.1 - 2012 Safety Barriers for Swimming Pools* and Australian Standard *AS 1926.2 - 2007 Location of Safety Barriers for Swimming Pools*.

Basix Requirements (certificate number A474712)

All new windows, glazed doors and shading devices to be installed in accordance with the specifications listed in the table below:

Window	Shading Device	Frame and Glass Type
W1	eave >=600mm	improved aluminium, single pyrolytic low-e (or U-value: 4.48, SHGC: 0.46)
W2	eave >=600mm	improved aluminium, single pyrolytic low-e (or U-value: 4.48, SHGC: 0.46)

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FIRST FLOOR PLAN SCALE 1:100 @ A3 DRAWN LC **DA.04(A)**

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Legend

- Existing structure to be demolished
- Extent of new works



RIDGE RL 49.360

Dashed line indicates extent of existing rockshelf (to be excavated). Refer to accompanying Geotechnical report for further information.

Pool barrier and gate to be constructed, installed and maintained in accordance with current *BCA* requirements & Australian Standard *AS 1926.1 - 2012 Safety Barriers for Swimming Pools* and Australian Standard *AS 1926.2 - 2007 Location of Safety Barriers for Swimming Pools*.

POOL COPING RL 45.870

Proposed pool with infinity-edge detail. To Structural Engineer's detail.

FIRST FLOOR RL 44.810

Proposed balance tank. To Structural Engineer's detail.

Existing stair to be removed. Make good terrace over.

GROUND FLOOR RL 42.210

Existing rock to remain.

GARAGE RL 39.450

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DEVELOPMENT APPLICATION

ELEVATION
SCALE 1:100 @ A3

DRAWN
LC

DA.05(A)

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Legend

- Existing structure to be demolished
- Extent of new works

RIDGE RL 49.360

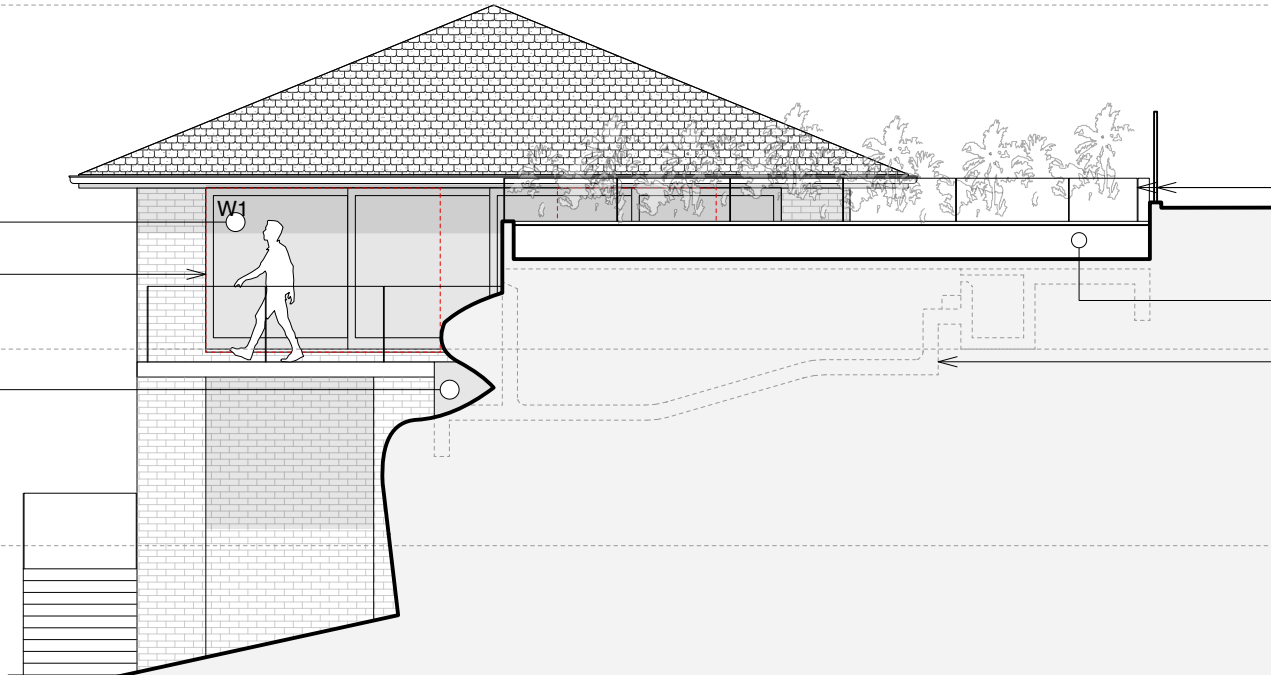
Proposed aluminium framed sliding doors out onto existing terrace.
Existing aluminium framed sliding doors to be removed.

FIRST FLOOR RL 44.810

Proposed balance tank. To Structural Engineer's detail.

GROUND FLOOR RL 42.210

GARAGE RL 39.450



Pool barrier and gate to be constructed, installed and maintained in accordance with current *BCA* requirements & Australian Standard *AS 1926.1 - 2012 Safety Barriers for Swimming Pools* and Australian Standard *AS 1926.2 - 2007 Location of Safety Barriers for Swimming Pools*.
Existing planting/planterbox to remain.
Dashed line indicates outline of proposed pool beyond.

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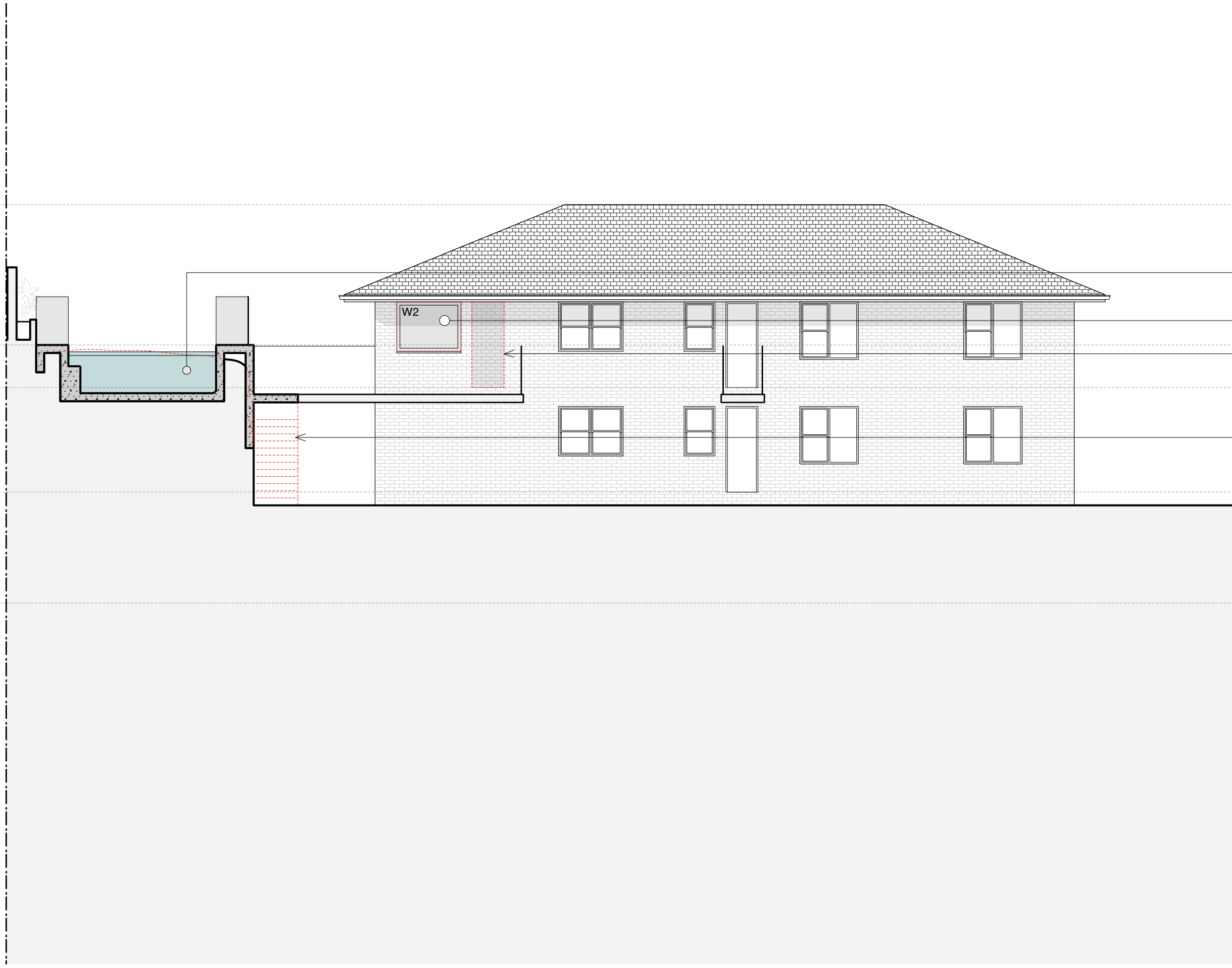
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DEVELOPMENT APPLICATION

ELEVATION
SCALE 1:100 @ A3

DRAWN
LC **DA.06(A)**

Legend

- - - - Existing structure to be demolished
- Extent of new works
- Proposed concrete pool structure



RIDGE RL 49.360

Proposed pool with infinity-edge detail.
To Structural Engineer's detail.

Proposed aluminium framed servery window.

POOL COPING RL 45.870

Existing door to be removed.

FIRST FLOOR RL 44.810

Existing stair from lower level to be removed. Make good terrace over.

GROUND FLOOR RL 42.210

GARAGE RL 39.450

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DEVELOPMENT APPLICATION

ELEVATION
SCALE 1:100 @ A3

DRAWN
LC

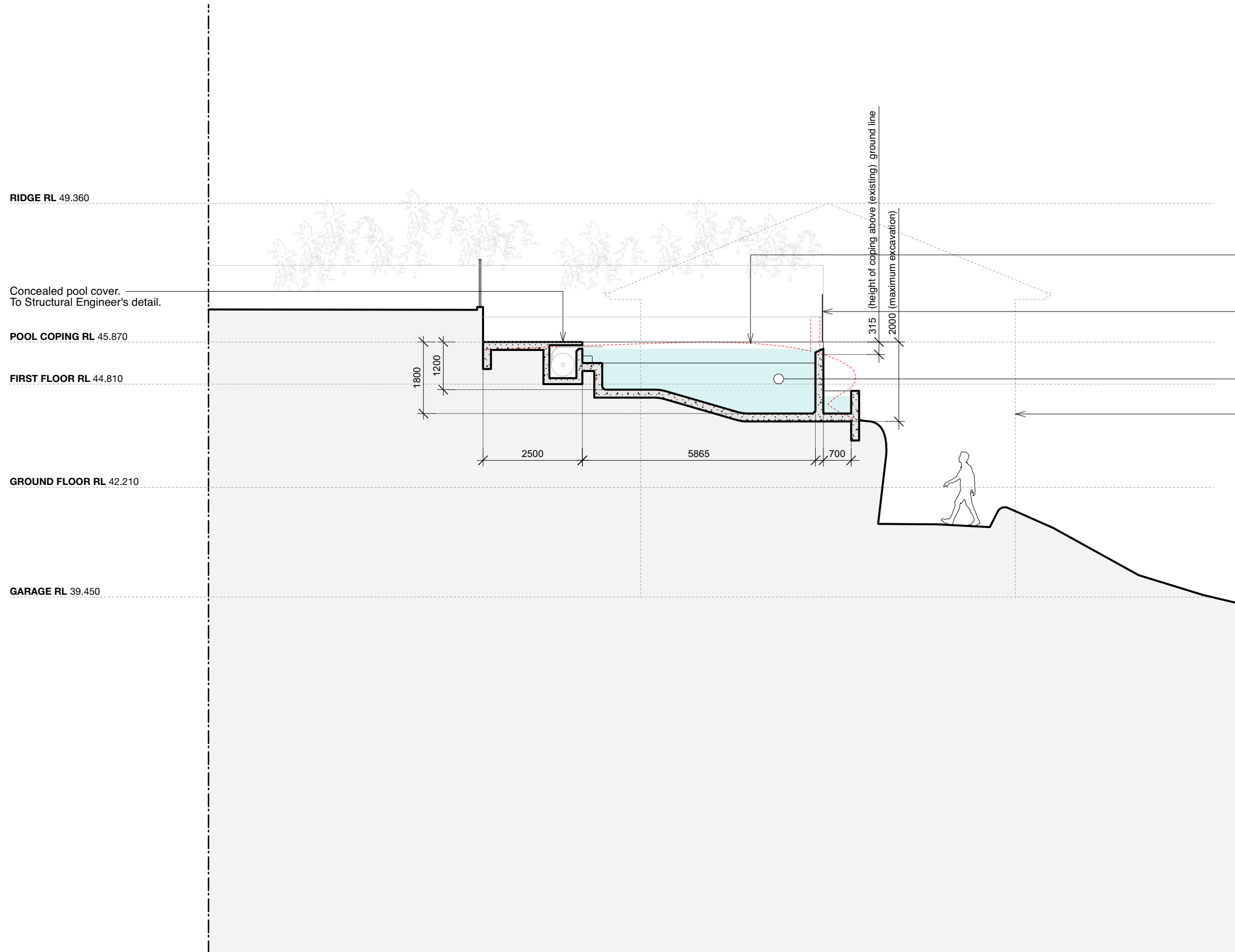
DA.07(A)

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Legend

- Existing structure to be demolished
- Proposed concrete



Dashed line indicates extent of existing rockshelf (to be excavated). Refer to accompanying Geotechnical report for further information.

Pool barrier and gate to be constructed, installed and maintained in accordance with current *BCA* requirements & Australian Standard *AS 1926.1 - 2012 Safety Barriers for Swimming Pools* and Australian Standard *AS 1926.2 - 2007 Location of Safety Barriers for Swimming Pools*.

Proposed pool with infinity-edge detail. To Structural Engineer's detail.

Outline of 10 Beverley Place for reference.

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DEVELOPMENT APPLICATION

SECTION
SCALE 1:100 @ A3

DRAWN
LC **DA.08(A)**

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Legend

- Existing structure to be demolished
- Extent of new works

RIDGE RL 49.360

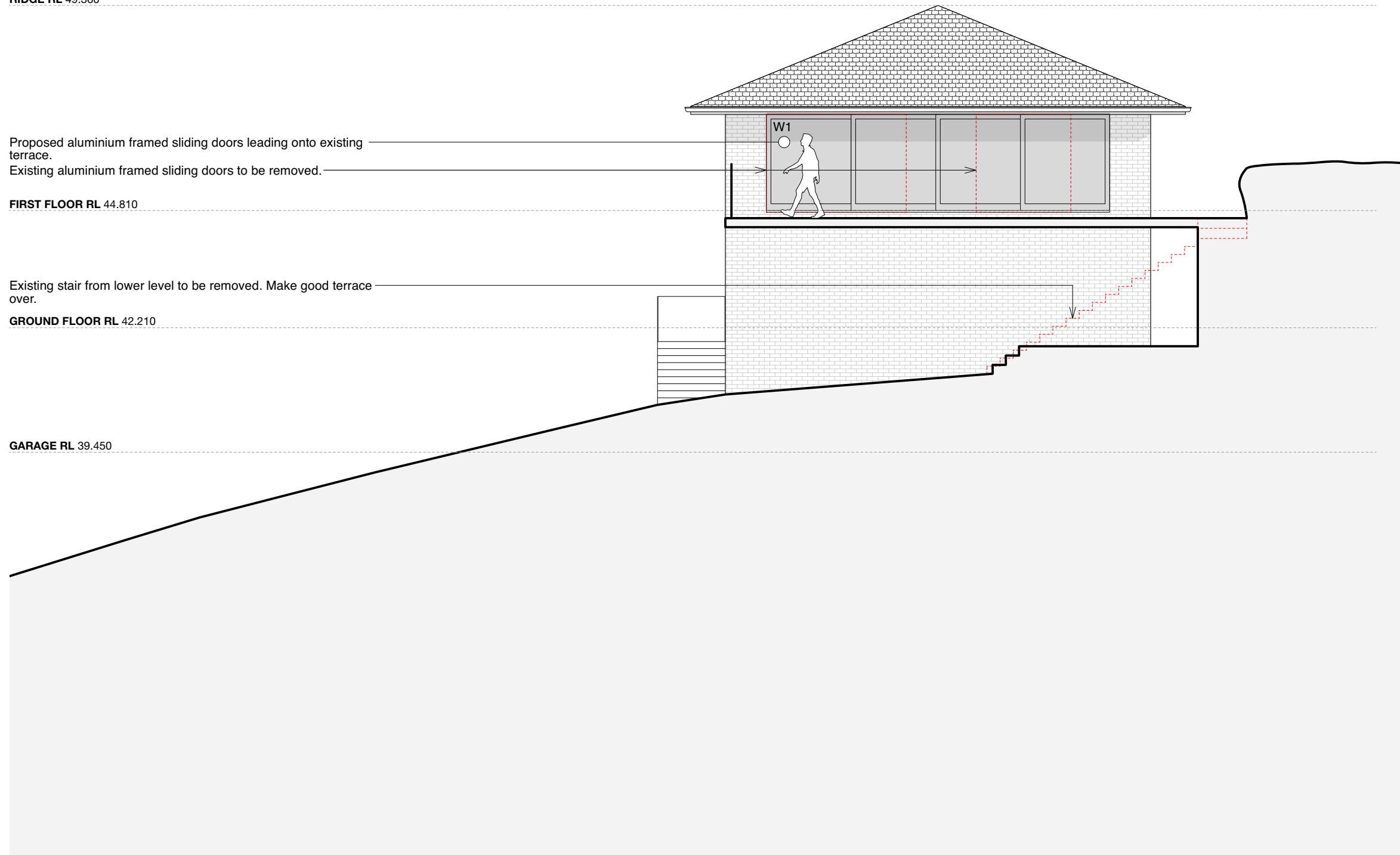
Proposed aluminium framed sliding doors leading onto existing terrace.
Existing aluminium framed sliding doors to be removed.

FIRST FLOOR RL 44.810

Existing stair from lower level to be removed. Make good terrace over.

GROUND FLOOR RL 42.210

GARAGE RL 39.450



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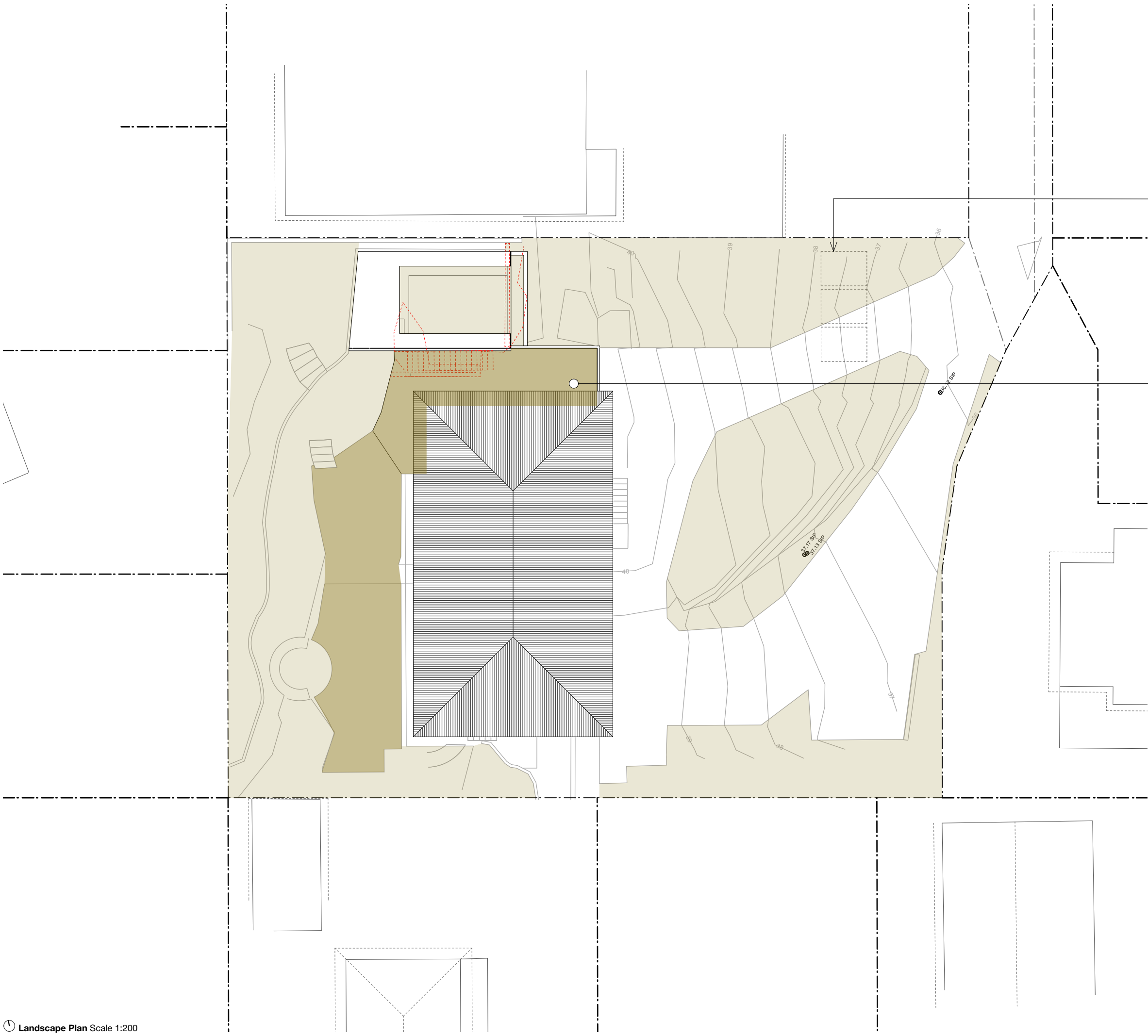
SECTION
SCALE 1:100 @ A3

DRAWN
LC

DA.09(A)

Landscaped Area Calculations

Site Area	1316.6sqm
 Landscaped Area	540.5sqm
 Principal Private Open Space	117.5sqm



Location of construction waste, recycling and materials storage.

Location of on-going waste and recycling storage (under).

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DEVELOPMENT APPLICATION

LANDSCAPE PLAN
SCALE 1:200 @ A3

DRAWN
LC

DA.10(A)

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