

LEGEND

BOUNDARY

EASEMENT

EXISTING CONTOURS

EXISTING FENCE

EXISTING PAVING

EXISTING CONCRETE

EXISTING TIMBER DECK

ALUMINIUM EDGE

PROPOSED PAVING

PROPOSED POOL FENCE

PROPOSED RETAINING WALL

EXISTING TURF TO BE RETAINED

PROPOSED TURF

PROPOSED LEVELS

EXISTING PLANTING TO BE RETAINED

PROPOSED PLANTING

EXISTING TREE TO BE RETAINED

SITE ANALYSIS LEGEND

SITE VEHICLE ENTRY

NEW WORKS COLOURS

TIMBER

GLASS

BRICK

CONCRETE

METAL

BASIX REQUIREMENTS					
RAINWATER TANK THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1728 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 77 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.					
OUTDOOR SWIMMING POOL THE SWIMMING POOL MUST BE OUTDOORS. THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 32.4 KILOLITRES. THE SWIMMING POOL MUST HAVE A POOL COVER. THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: GAS.					
OUTDOOR SPA THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 2.5 KILOLITRES. THE SPA MUST HAVE A SPA COVER. THE APPLICANT MUST INSTALL A SPA PUMP TIMER. THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE OUTDOOR SPA THAT IS PART OF THIS DEVELOPMENT: GAS.					
FIXTURES AND SYSTEMS LIGHTING - THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE (LED) LAMPS. CONSTRUCTION INSULATION REQUIREMENTS - THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED (FLOOR(S), WALLS AND CEILING(S)/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M². B) INSULATION SPECIFIED IS NOT ENEE REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS. CONSTRUCTION - RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED ADDITIONAL INSULATION REQUIRED - CEILING: R2.50 (UP), ROOF: NONE OTHER SPECIFICATIONS - LIGHT (SOLAR ABSORPTANCE <0.475)					
GLAZING REQUIREMENTS WINDOWS & GLAZED DOORS THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR. THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR: EACH WINDOW OR GLAZED DOOR WITH STANDARD ALUMINIUM OR TIMBER FRAMES AND SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION, OR, HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE TABLE BELOW. TOTAL SYSTEM U-VALUES AND SHGC'S MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFR) CONDITIONS. FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500mm ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400mm ABOVE THE SILL. PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35. PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW. THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50mm. PERGOLAS WITH ADJUSTABLE SHADING MAY HAVE ADJUSTABLE BLADES OR REMOVEABLE SHADE CLOTH (NOT LESS THAN 80% SHADING RATIO). ADJUSTABLE BLADES MUST OVERLAP IN PLAN VIEW. OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOORS, AS SPECIFIED IN THE 'OVERSHADOWING' COLUMN IN THE TABLE BELOW.					
WINDOW AND GLAZED DOORS GLAZING REQUIREMENTS					
Window /door no.	Orientation	Area of glass inc. frame (m²)	Overshading Height (Distance) (m)	Shading device	Frame and glass type
W1	W	2.84	3.94	8.4	eave/verandah/pergola, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	W	9.45	3.94	8.4	eave/verandah/pergola, single clear, (or U-value: 7.63, SHGC: 0.75)

POOL NOTES:
1/ Refer to Pool Fencing Code per AS 1926.1 - 2012 for compliance of the safety barriers for swimming pools.
2/ Overflow of pool is to be connected to sewer according to Sydney Water specifications.
3/ Pool pavement pattern and setout shown is indicative only. No allowance has been made for coping overhang, mortar gaps and joints.
4/ Pool fence shown is the approximate position of proposed (1200mm) minimum childproof safety barrier with solid gate in accordance with AS1926.1-2012. The proposed pool enclosure has been designed to comply with the Australian Standard, the Swimming Pools Act and Swimming Pool Regulations.
5/ The boundary fence inside the pool zone must be a minimum height of 1800mm with a non climbable zone of 900mm on the inside of the fencing. Any shrubs or plants located adjacent to the inside of the boundary fence must be maintained for the lifetime of the development at a height that does not interfere with the 900mm non climbable zone.

NOTES:
Contractors to check and verify all dimensions and all levels on site prior to any works.
Any discrepancies should be immediately referred to Space Landscape Designs.
All work to comply with U.C.A. Statutory Authorities and relevant Australian Standards.
Dimensions depicted over coping. All measurements are in millimetres.

Rev.	Date	Issue	Checked
A	17/02/22	Preliminary Issue	AE
B	20/02/22	DA Issue	AE

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Suite 138, 117 Old Pittwater Rd, Brookvale NSW 2100

PROJECT:

New Pool, Spa & landscaping

SITE ADDRESS:

4 Elwyn Close, MONA VALE 2103

CLIENT: McGuinness

DRN: C.Wallace (B.LArch)

SCALE: 1:100@A1

PROJECT NO: 211573

N

↑

DRAWING TITLE:

SITE PLAN / SITE ANALYSIS

DRAWING No:

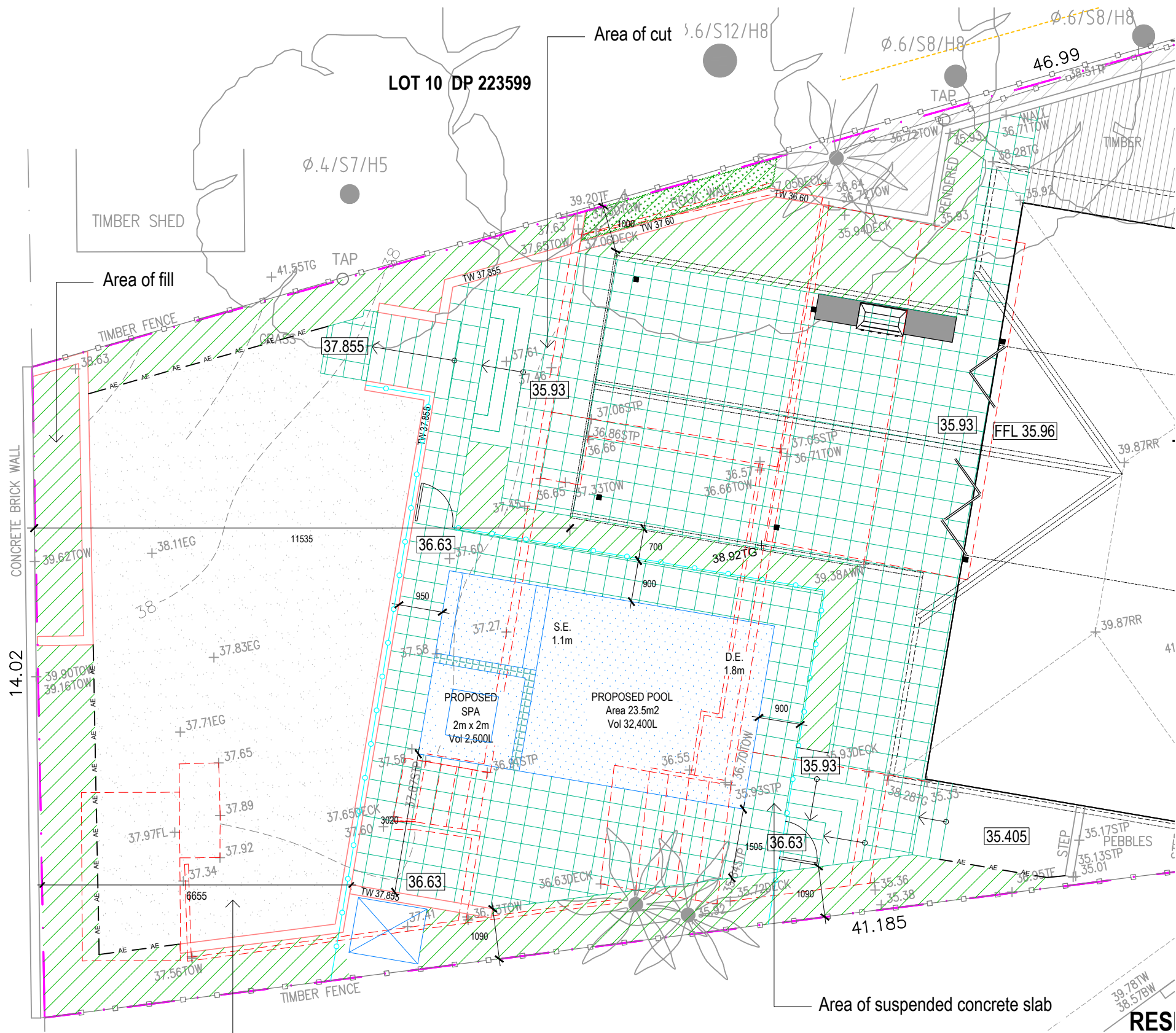
DA-01

Rev: B

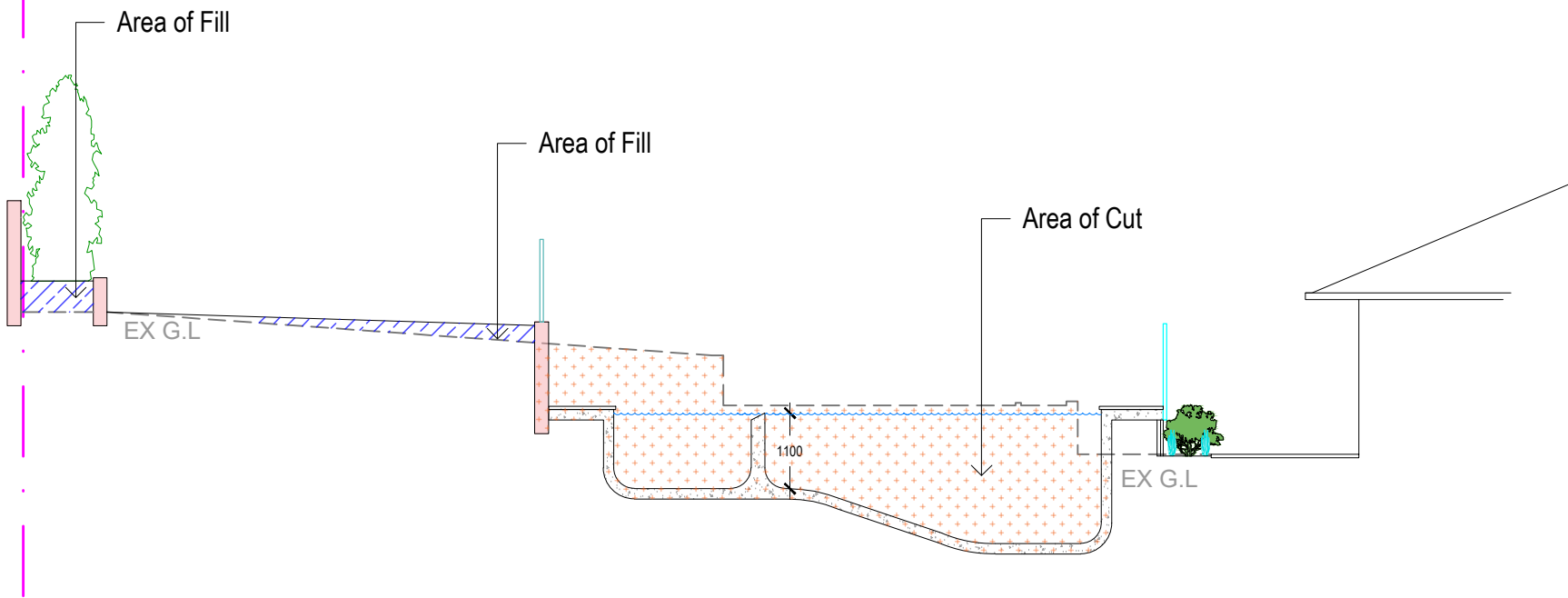
LEGEND

AREA OF CUT

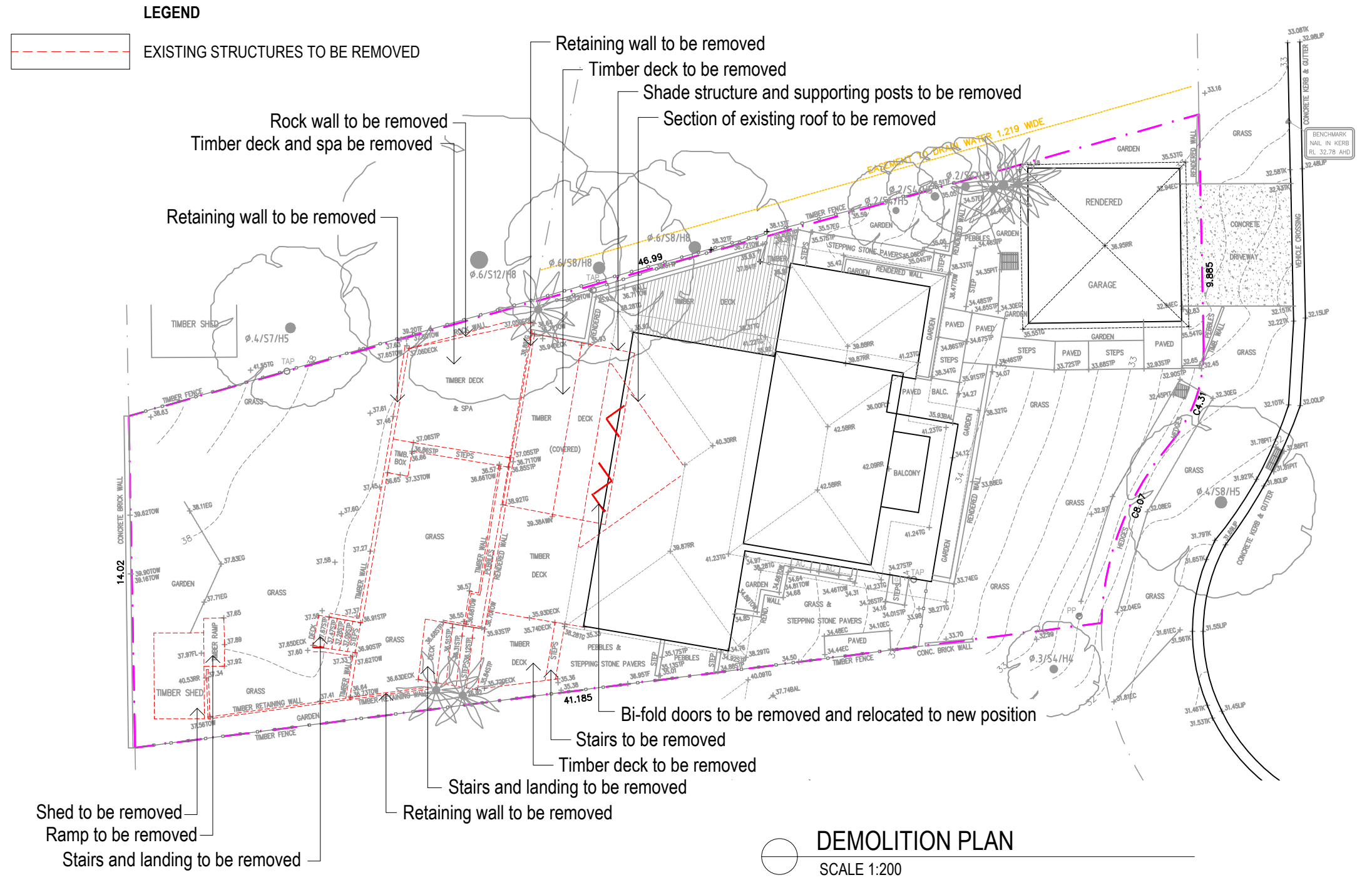
AREA OF FILL



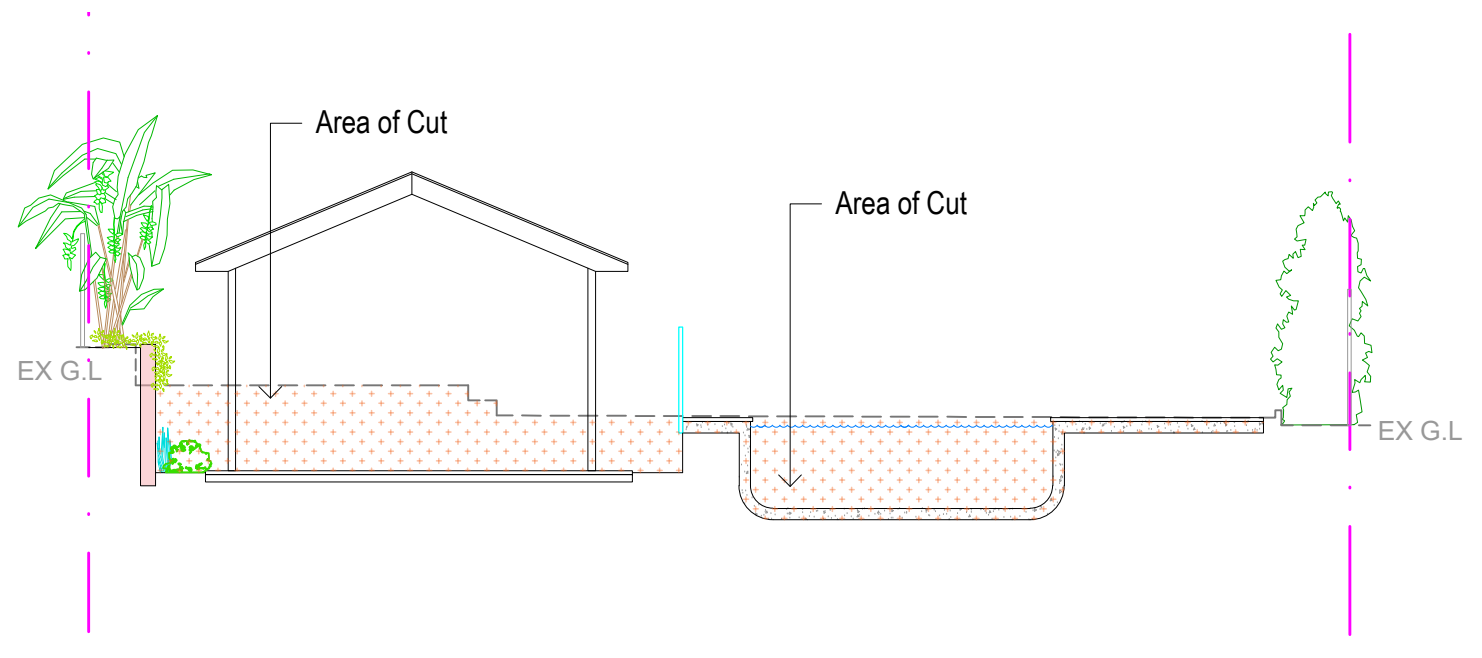
EXCAVATION AND FILL PLAN
SCALE 1:100



SECTION FF
SCALE 1:100



DEMOLITION PLAN
SCALE 1:200



SECTION GG
SCALE 1:100

NOTES:

- Contractors to check and verify all dimensions and all levels on site prior to any works.
- Any discrepancies should be immediately referred to Space Landscape Designs.
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- Dimensions recognised over scaling. All measurements are in millimetres.

Rev.	Date	Issue
A	17/02/22	Preliminary Issue
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Checked
AE
AE

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PROJECT:
New Pool, Spa & landscaping
SITE ADDRESS:
4 Elwyn Close, MONA VALE

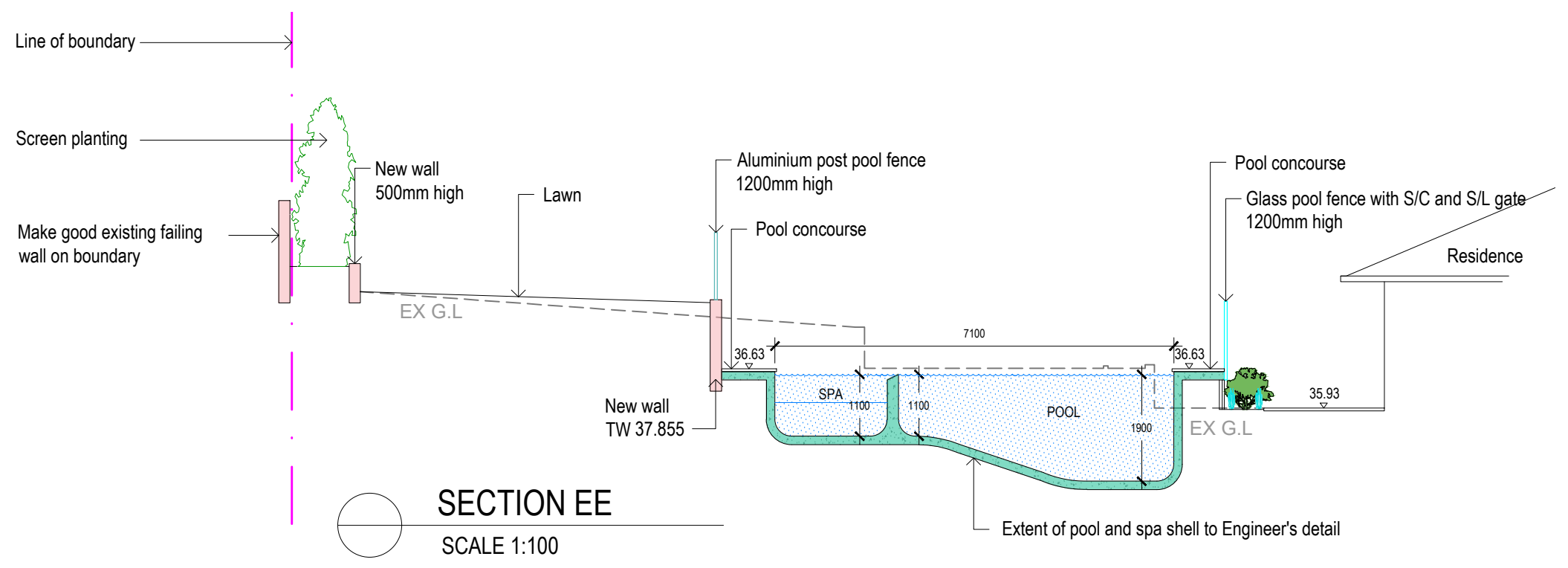
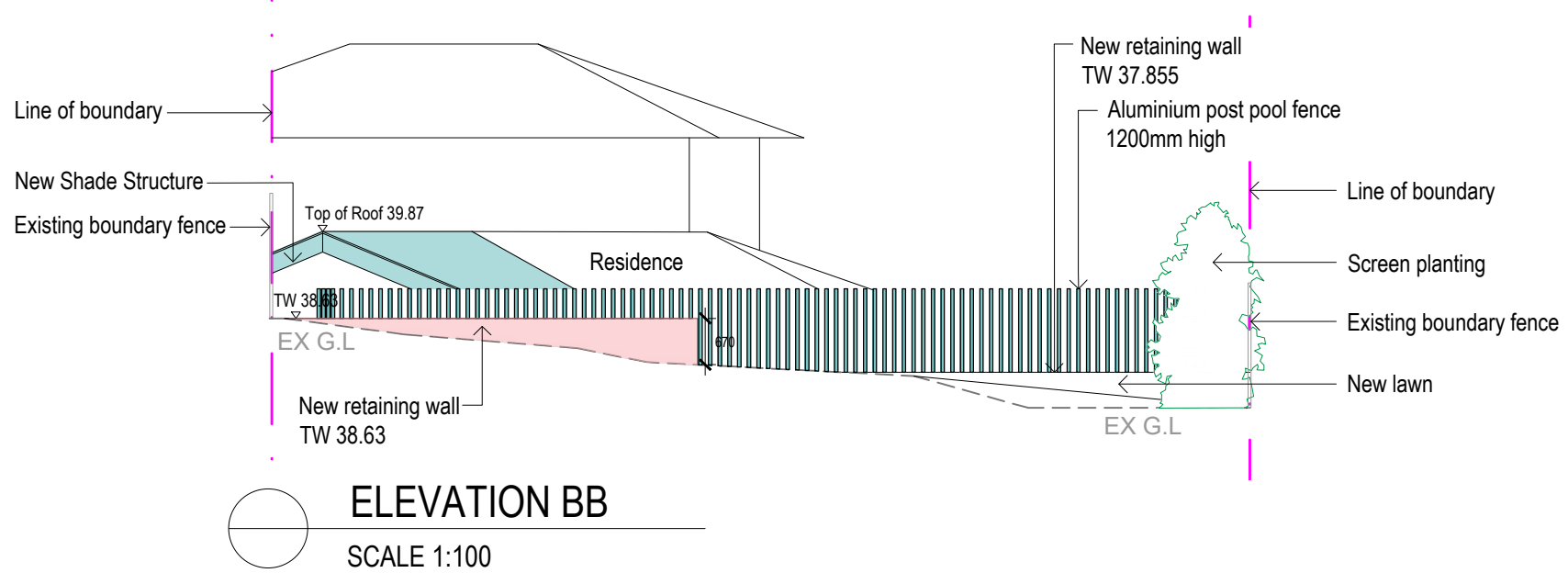
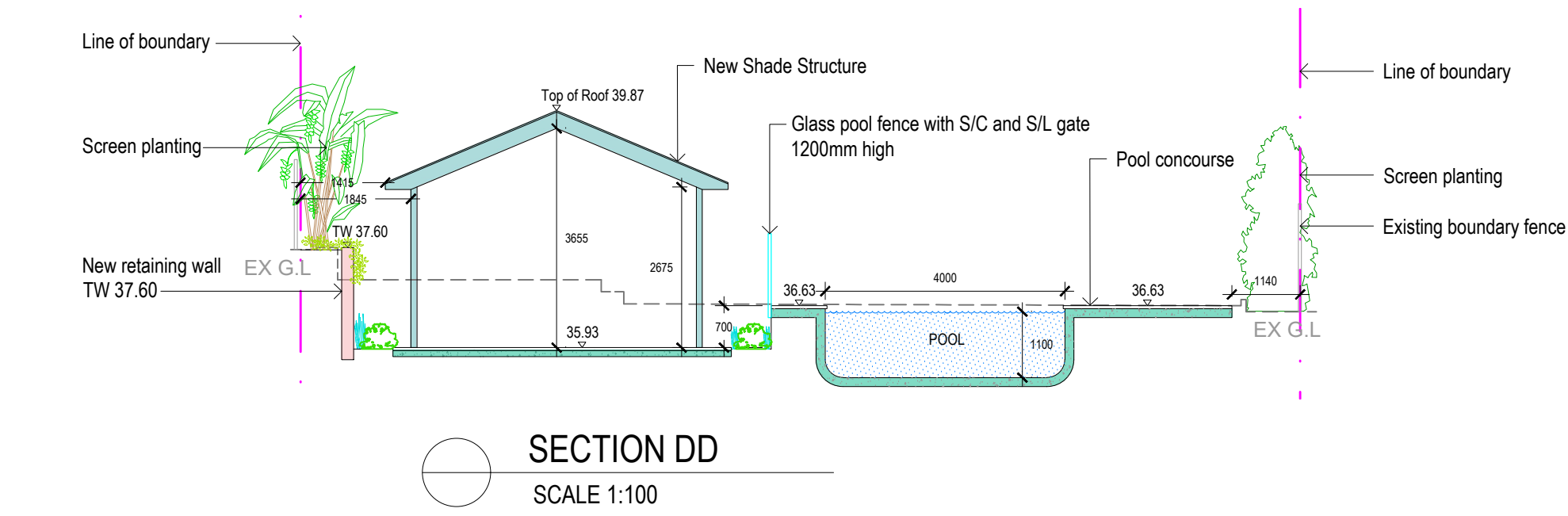
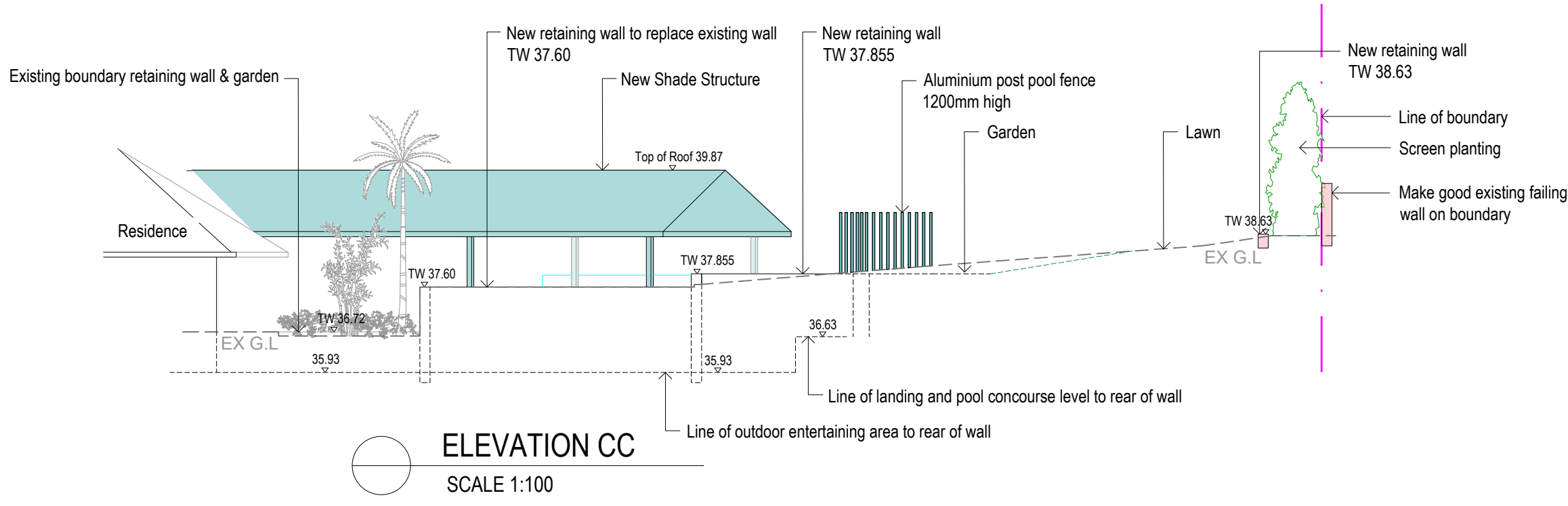
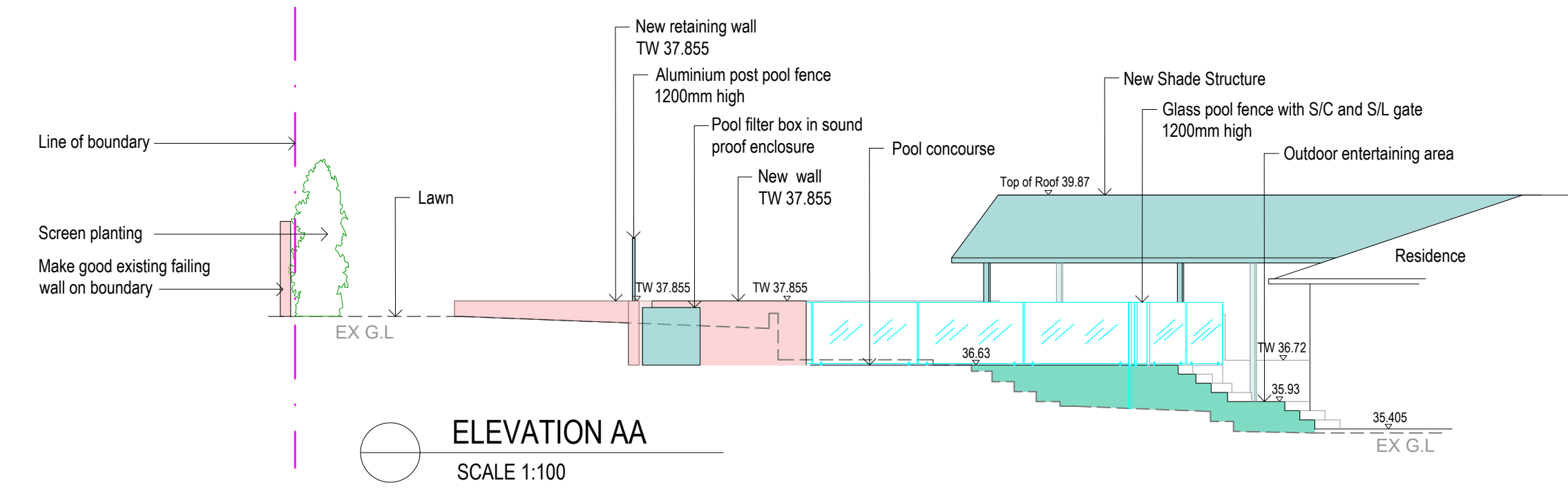
CLIENT: McGuinness
DRN: C.Wallace (B.LArch)
SCALE: 1:100@A2
PROJECT NO: 211573



DRAWING TITLE:
DEMOLITION PLAN
EXCAVATION & FILL PLAN
DRAWING No:
DA-02

Rev: B

NEW WORKS COLOURS			
	TIMBER		BRICK
	GLASS		CONCRETE
			METAL



Rev. No.	Date	Revision	Auth'd
A	29/6/21	PRELIM ISSUE	PJH
B	12/7/21	ROOF EXTENDED	PJH
C	8/9/21	SHADOWS ADDED	PJH
D	1/4/22	ISSUE FOR DA	PJH

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Emma McGuinness



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Registered Architect - 2384
Tim Zuber

Project
Alterations and Additions
4 Elwyn Close Mona Vale
Lot 8 in DP223599

Drawing Title
PROPOSED PLAN

Scale at A3 1:100

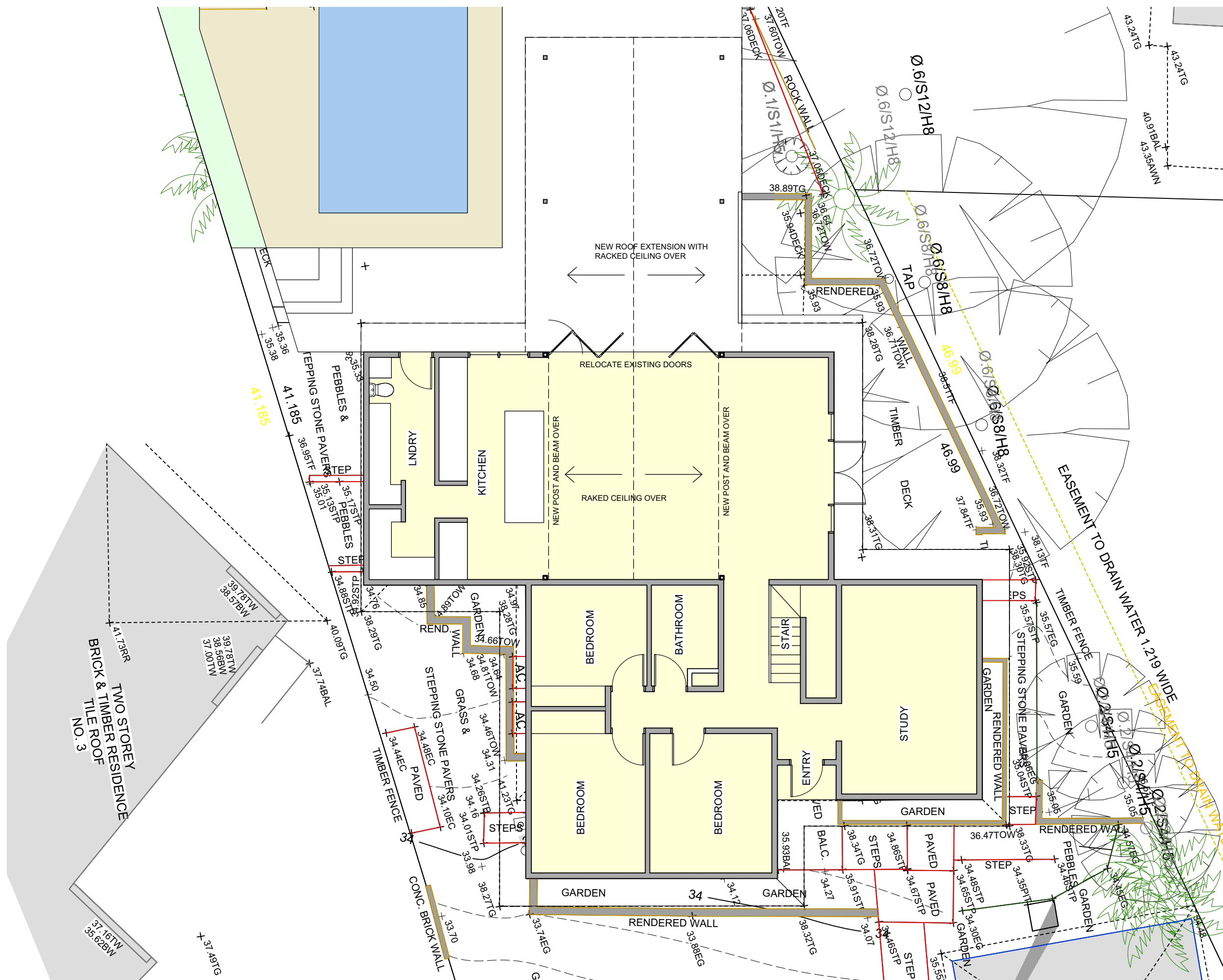
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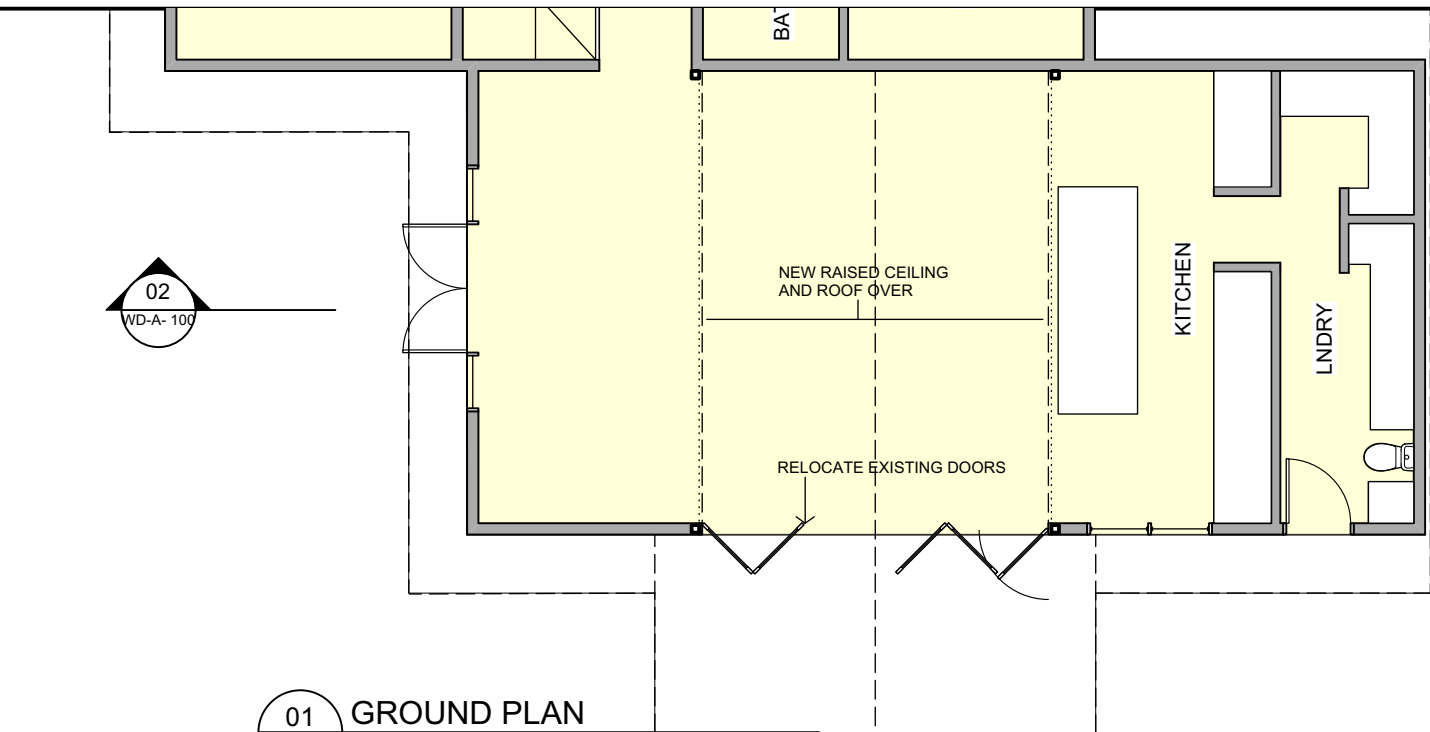
Drawn By PJH	Checked By PH	Checked By
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Project Number	Drawing Number	Rev
21-0667	DA-A-080	D

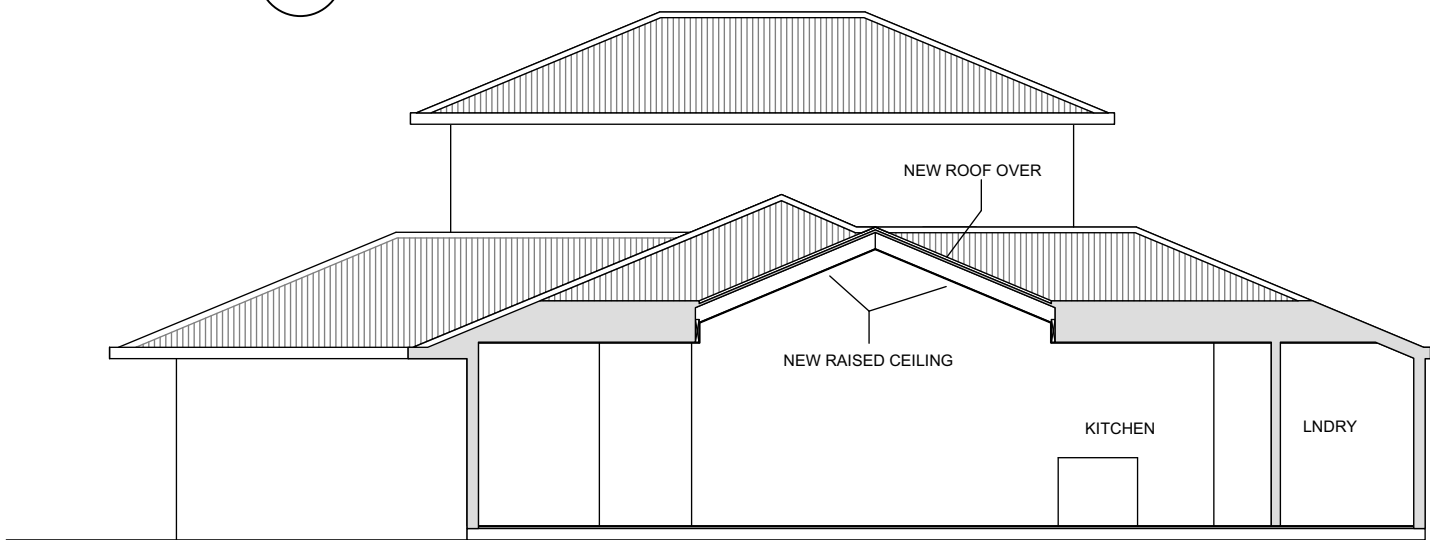
For Development
Application Only

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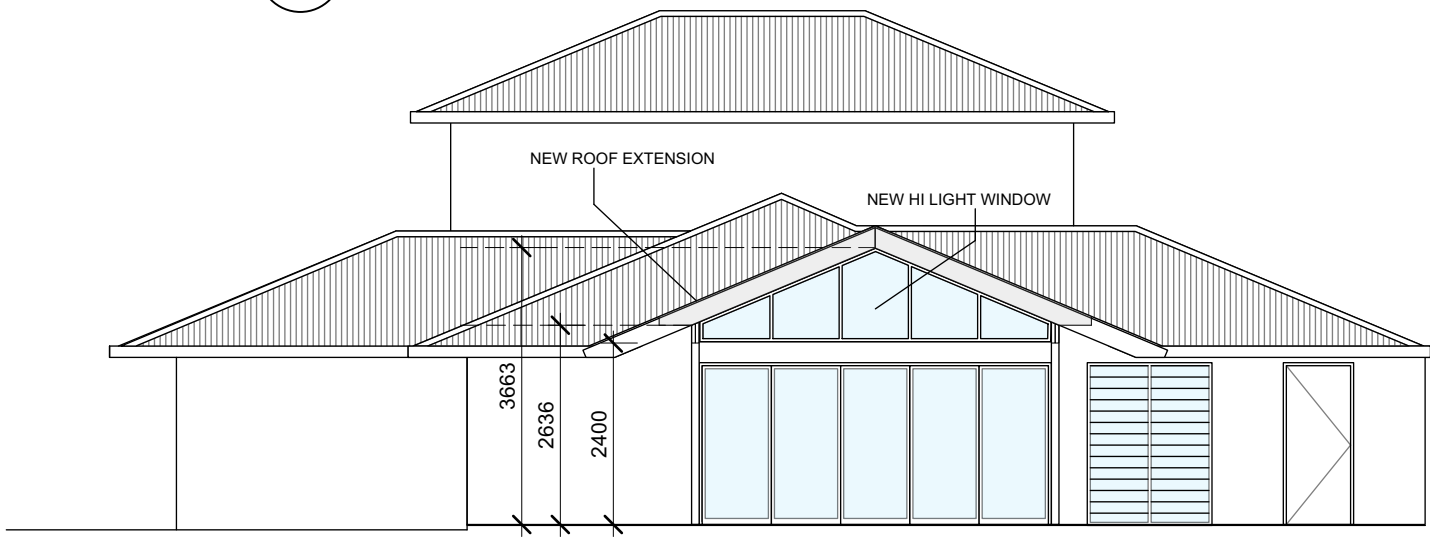




01 GROUND PLAN
scale 1:100



02 BUILDING SECTION
scale 1:200



03 BUILDING ELEVATION
scale 1:100

Notes

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A	29/6/21	PRELIM ISSUE	PJH
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CLIENT
Emma McGuinness



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Peter Hosking (Director)

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Unit 5, Kingston Warehouse
71 Leichhardt Street Kingston
ACT 2604

Registered Architect - 2384
Tim Zuber

Project
**Alterations and Additions
4 Elwyn Close Mona Vale
Lot 8 in DP223599**

Drawing Title
**PART PLAN
SECTION - ELEVATION**

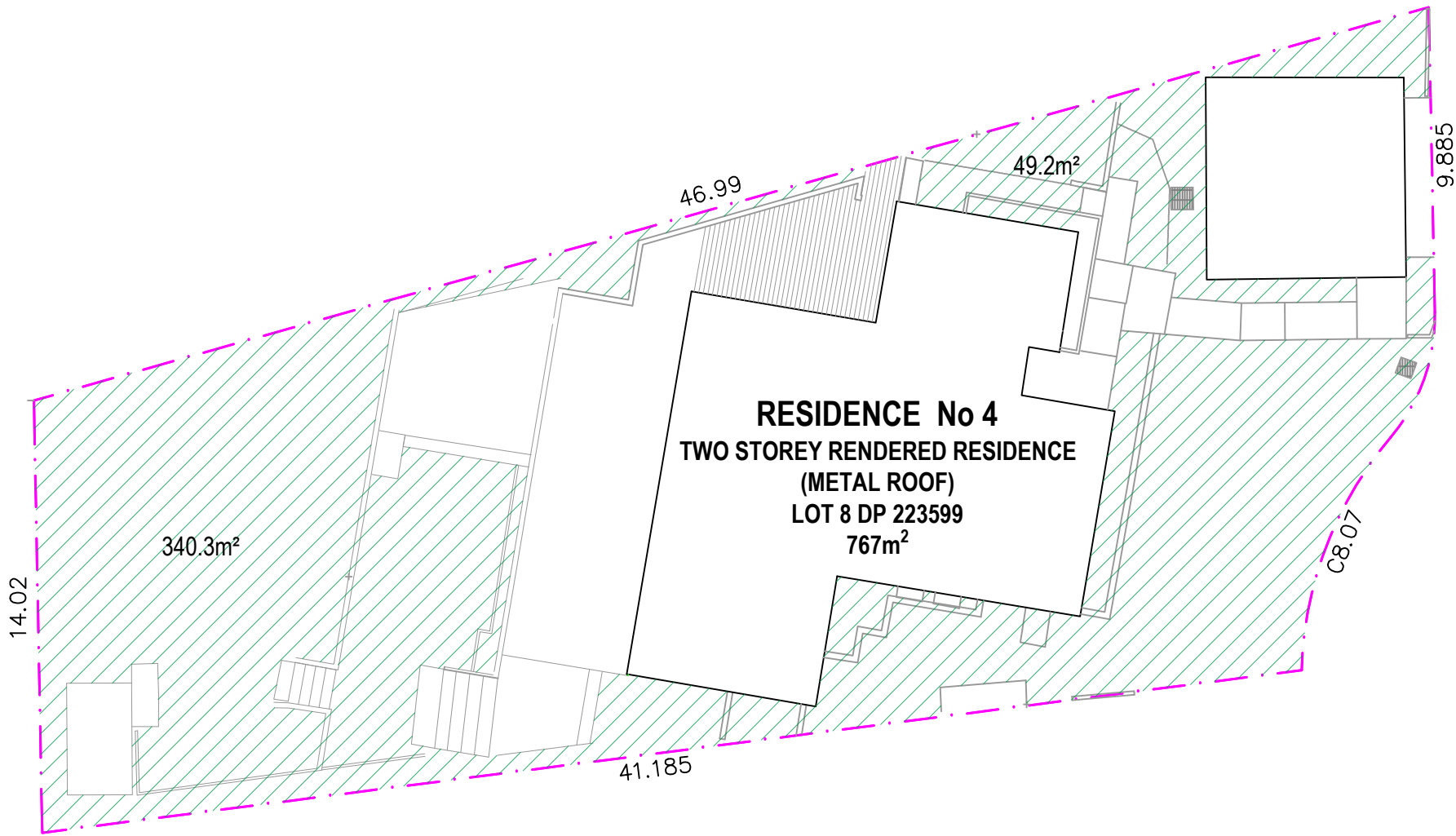
Scale at A3 1:100
0m 500 1m 2.5 4

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Drawn By PJH	Checked By PH	Checked By
Project Number 21-0667	Drawing Number DA-A-100	Rev D

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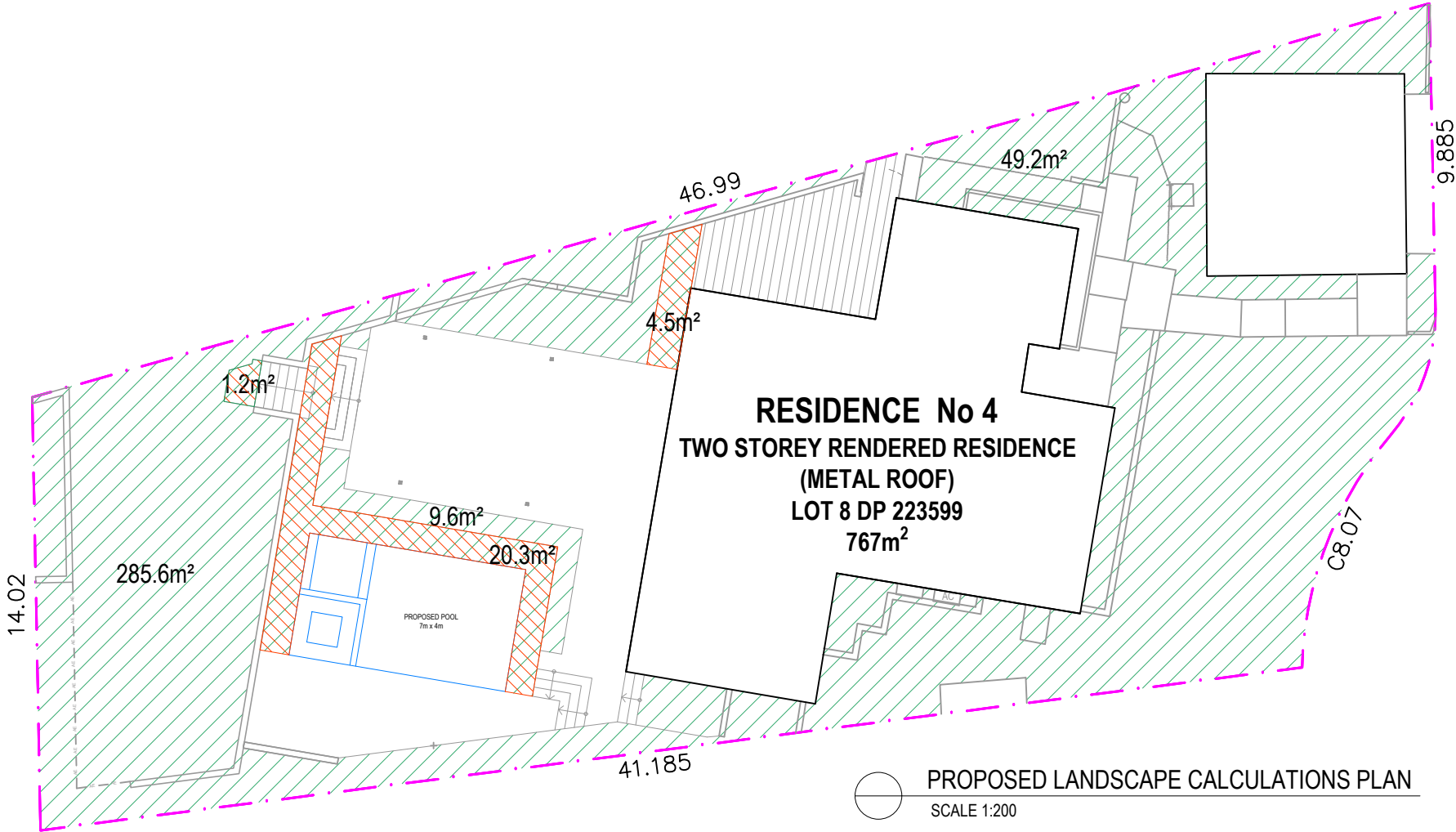


LANDSCAPE AREA CALCULATIONS FOR R2 LOW DENSITY RESIDENTIAL

Site Area	767m ²
Required Landscape Area	383.5m ² (50%)
Existing Landscape Area	342.7m ² (50.8%)
Proposed Landscape Area	370.4m ² (48.3%)
add 6% allowance	46.02m ²
Total Landscape Area	416.4 (54.3%)

- DENOTES LANDSCAPE AREA
- DENOTES PATHS <1M

EXISTING LANDSCAPE CALCULATIONS PLAN
SCALE 1:200



PROPOSED LANDSCAPE CALCULATIONS PLAN
SCALE 1:200

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Rev.	Date	Issue
A	27/01/22	Preliminary Issue
B	23/02/22	DA Issue

Checked
AE
AE

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Suite 138, 117 Old Pittwater Rd,
Brookvale NSW 2100

PROJECT:
New Pool, Spa & landscaping
SITE ADDRESS:
4 Elwyn Close, MONA VALE

CLIENT: McGuinness
DRN: C.Wallace (B.LArch)
SCALE: 1:200@A3
PROJECT NO: 211573



DRAWING TITLE:
SITE CALCULATION PLAN
DRAWING No:
DA-05

Rev: B

	BOUNDARY
	EASEMENT
	EXISTING CONTOURS
	EXISTING FENCE
	SEDIMENT CONTROL FENCE
	EXISTING PAVING
	EXISTING CONCRETE
	EXISTING TIMBER DECK
	ALUMINIUM EDGE
	PROPOSED PAVING
	PROPOSED POOL FENCE
	PROPOSED RETAINING WALL
	EXISTING TURF TO BE RETAINED
	PROPOSED TURF
	PROPOSED LEVELS
	EXISTING PLANTING TO BE RETAINED
	PROPOSED PLANTING

Prior to any works commencing on site, including demolition, sediment and erosion controls must be installed in accordance with Landcom's 'Managing Stormwater: Soils and Construction' (2004). Techniques used for erosion and sediment control on site are to be adequately maintained and monitored at all times, particularly after periods of heavy rain, and shall remain in proper operation until all development activities have been completed and the site is sufficiently stabilised with vegetation across 70 percent of the site, and the remaining areas have been stabilised with ongoing measures such as jute meshing or matting.

The public footways and roadways adjacent to the site shall be maintained in a safe condition at all times during the course of the works.

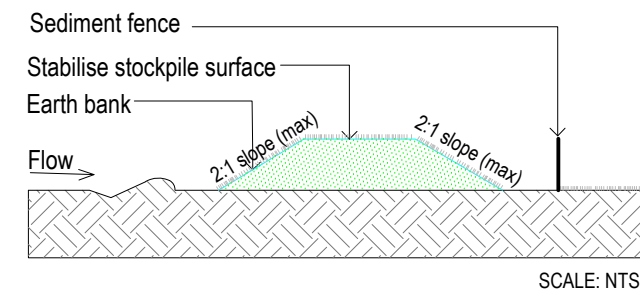
Should any hazardous materials be identified by the contractor, contact SafeWork NSW to find a licensed removalist and assessor.

Notify SafeWork NSW five calendar days before undertaking any licenced asbestos removal work.

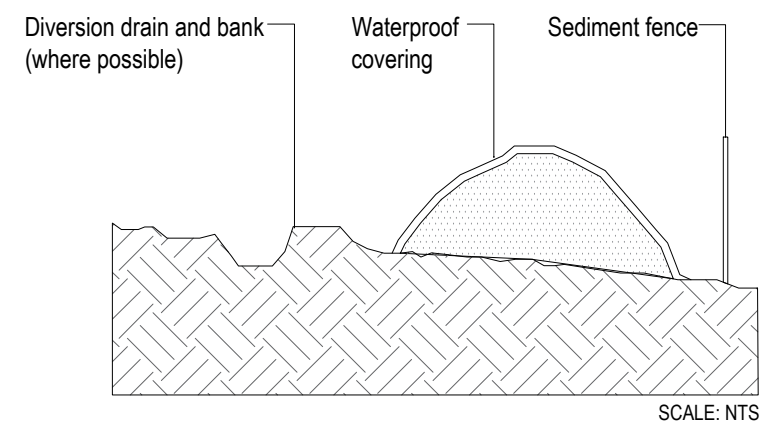
The site must be fenced prior to demolition and must comply with Safework NSW requirements. Demolition to be carried out in accordance with AS 2601-2001, *The Demolition of Structures*.

The person responsible for the development site is to erect or install on or around the development area such temporary structures or appliances (wholly within the development site) as are necessary to protect persons or property and to prevent unauthorised access to the site in order for the land or premises to be maintained in a safe or healthy condition.

- No demolition material shall be placed on Council's footpath, road or grass verges without Council Approval.
- Upon completion of the development, such temporary structures or appliances are to be removed within 7 days.
- Demolition works are restricted to 8am to 5pm Monday to Friday Only
- Where demolition works have been completed and new construction works have not commenced within 4 weeks of completion of the demolition works that area affected by the demolition works shall be maintained in a safe and clean state until such time new construction works commence.

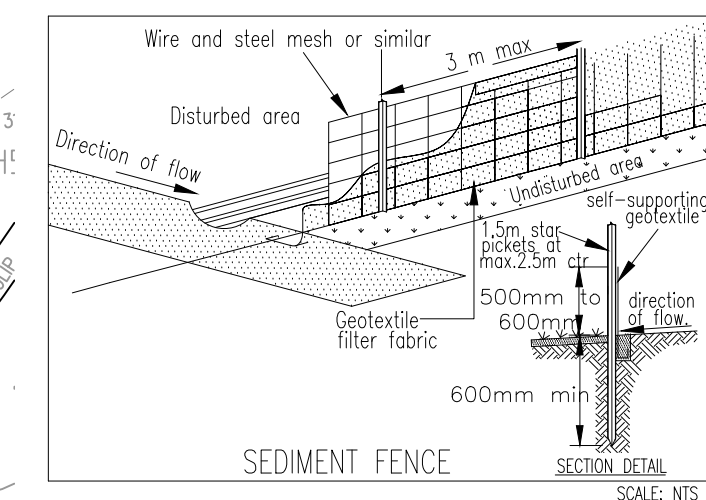
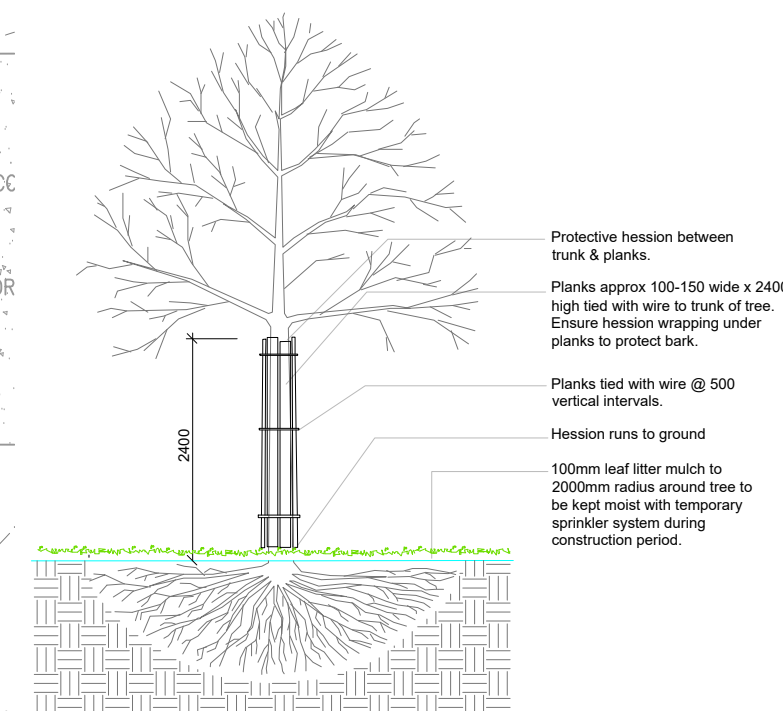


SOIL STOCKPILE



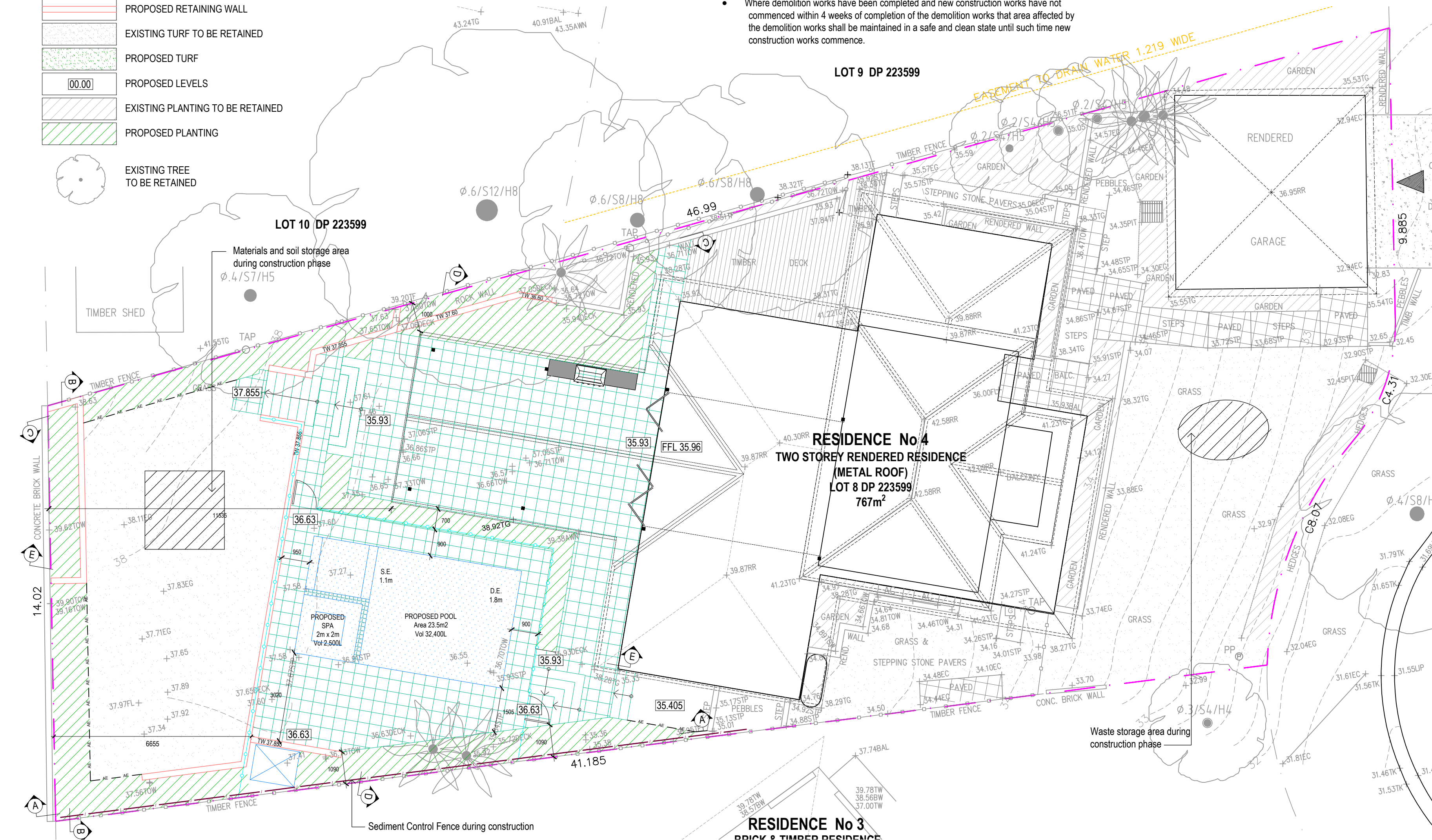
BUILDING MATERIAL STOCKPILES

Tree protection measure
Type 1 n.t.s.



During earthworks the following procedures shall be followed:

1. Install silt barriers where shown on plan prior to commencement of works.
2. Silt barriers to be maintained regularly & after heavy rain by removal of built up silt & spreading silt on existing site when 50% capacity.
3. Repair any damages to fence immediately.
4. Clean up spillages outside silt fence immediately.
5. Sediment control measures to be left in place until works completed.
6. Topsoil from the work's area will be stockpiled for later use in landscaping if necessary.
7. Approved bins for building waste, concrete and mortar slurries, paints and acid washings will be provided by contractor.



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A	17/02/22	Preliminary Issue
B	22/02/22	DA Issue

Checked
AE
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S P A C E
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New Pool, Spa & landscaping

SITE ADDRESS:
4 Elwyn Close, MONA VALE

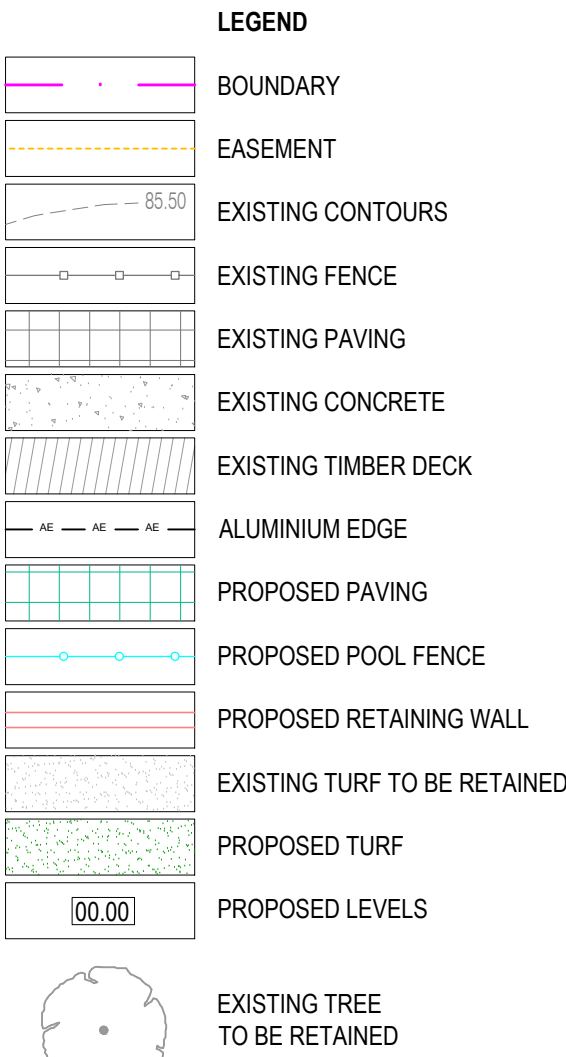
CLIENT:	McGuinness
DRN:	C.Wallace (B.LArch)
SCALE:	1:100@A2
PROJECT NO:	211573



DRAWING TITLE:
**EROSION & SEDIMENT
CONTROL PLAN**

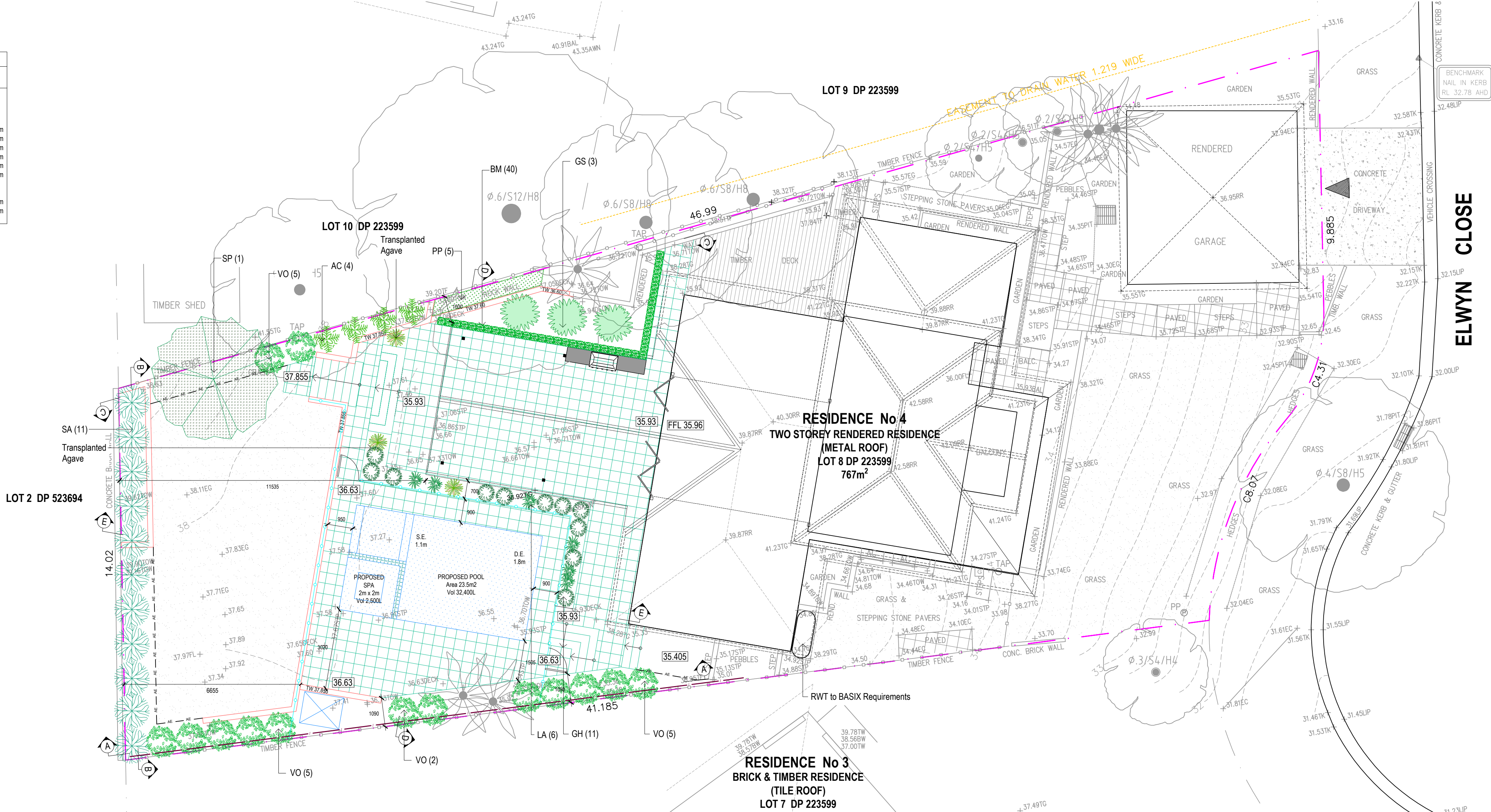
DRAWING No:
DA-06

Rev: **B**



PROPOSED PLANT SCHEDULE					
KEY	BOTANICAL NAME	COMMON NAME	QTY	MATURE HGT	POT SIZE
SP	TREES SYZYGIVM PANICULATUM	MAGENTA LILLY PILLY	1	10m	25Ltr
AC	SHRUBS ALPINIA CAERULEA	NATIVE GINGER	4	2m	200mm
BM	BUXUS MICROPHYLLA 'FAULKNER'	DWARF JAPANESE BOX	40	0.6m	250mm
GH	GERANIUM HOMEANUM	NATIVE GERANIUM	3	0.4m	200mm
GS	GREVILLEA SERICEA	PINK SPIDER FLOWER	3	2m	200mm
SA	SYZYGIVM AUSTRALIS 'HINTERLAND GOLD'	HINTERLAND GOLD LILLY PILLY	11	4m	200mm
VO	YBURNUM ODORATISSIMUM 'DENSE FENCE'	DENSE FENCE	17	2.5m	250mm
LA	GRASSES / GROUND COVERS LOBELIA ALATA	LOBELIA	3	0.5m	140mm
PP	PANDOREA PANDORANA	WONGA WONGA VINE	5	0.2m	140mm

* trained as hedge
* local native species



BASIX REQUIREMENTS

RAINWATER TANK

THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 1728 LITRES ON THE SITE. THIS RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH, THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES. THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 77 SQUARE METRES OF ROOF AREA. THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

OUTDOOR SWIMMING POOL

THE SWIMMING POOL MUST BE OUTDOORS.
THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 32.4 KILOLITRES.
THE SWIMMING POOL MUST HAVE A POOL COVER.
THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT: GAS.

OUTDOOR SPA

THE SPA MUST NOT HAVE A CAPACITY GREATER THAN 2.5 KILOLITRES.
THE SPA MUST HAVE A SPA COVER.
THE APPLICANT MUST INSTALL A SPA PUMP TIMER.
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM FOR THE OUTDOOR SPA THAT IS PART OF THIS DEVELOPMENT: GAS.

FIXTURES AND SYSTEMS

LIGHTING
THE APPLICANT MUST ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING-DIODE (LED) LAMPS.

CONSTRUCTION

INSULATION REQUIREMENTS
THE APPLICANT MUST CONSTRUCT THE NEW OR ALTERED (FLOORS), WALLS AND CEILINGS/ROOFS) IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW, EXCEPT THAT A) ADDITIONAL INSULATION IS NOT REQUIRED WHERE THE AREA OF NEW CONSTRUCTION IS LESS THAN 2M². B) INSULATION SPECIFIED IS NOT REQUIRED FOR PARTS OF ALTERED CONSTRUCTION WHERE INSULATION ALREADY EXISTS.

CONSTRUCTION - RAKED CEILING, PITCHED/SKILLION ROOF: FRAMED
ADDITIONAL INSULATION REQUIRED - CEILING: R2.50 (UP), ROOF: NONE
OTHER SPECIFICATIONS - LIGHT (SOLAR ABSORBANCE <0.475)

GLAZING REQUIREMENTS

WINDOWS & GLAZED DOORS

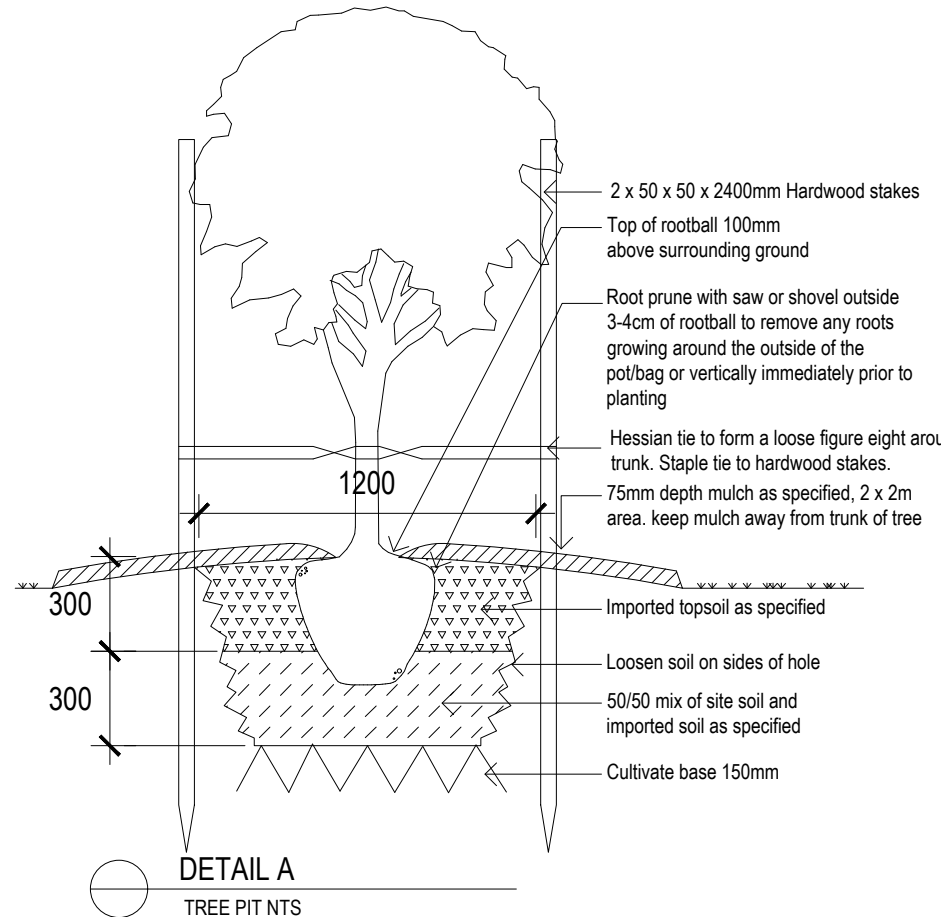
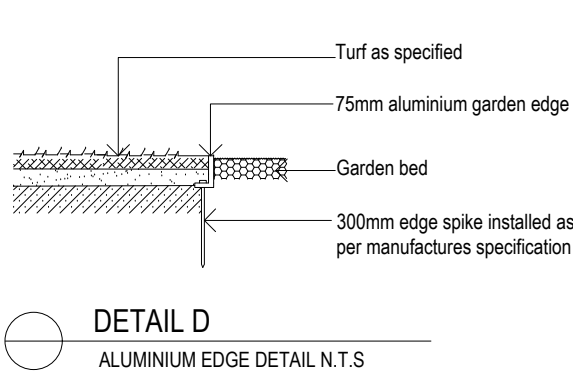
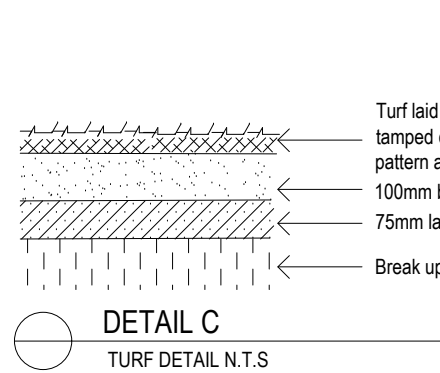
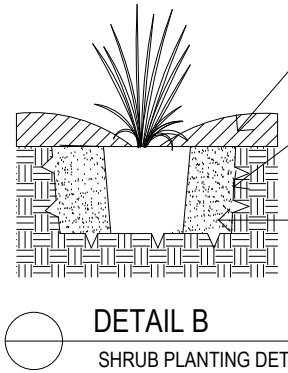
THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING DEVICES, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE BELOW. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE SATISFIED FOR EACH WINDOW AND GLAZED DOOR.

THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR:
EACH WINDOW OR GLAZED DOOR WITH STANDARD ALUMINIUM OR TIMBER FRAMES AND SINGLE CLEAR OR TONED GLASS MAY EITHER MATCH THE DESCRIPTION, OR HAVE A U-VALUE AND A SOLAR HEAT GAIN COEFFICIENT (SHGC) NO GREATER THAN THAT LISTED IN THE TABLE BELOW. TOTAL SYSTEM U-VALUES AND SHGC'S MUST BE CALCULATED IN ACCORDANCE WITH NATIONAL FENESTRATION RATING COUNCIL (NFRC) CONDITIONS.
FOR PROJECTIONS DESCRIBED IN MILLIMETRES, THE LEADING EDGE OF EACH EAVE, PERGOLA, VERANDAH, BALCONY OR AWNING MUST BE NO MORE THAN 500mm ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR AND NO MORE THAN 2400mm ABOVE THE SILL.
PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35.
PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW. THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50mm.
PERGOLAS WITH ADJUSTABLE SHADING MAY HAVE ADJUSTABLE BLADES OR REMOVABLE SHADE CLOTH (NOT LESS THAN 80% SHADING RATIO). ADJUSTABLE BLADES MUST OVERLAP IN PLAN VIEW.
OVERSHADOWING BUILDINGS OR VEGETATION MUST BE OF THE HEIGHT & DISTANCE FROM THE CENTRE AND THE BASE OF THE WINDOW AND GLAZED DOORS, AS SPECIFIED IN THE 'OVERSHADOWING' COLUMN IN THE TABLE BELOW.

WINDOW AND GLAZED DOORS GLAZING REQUIREMENTS

Window /door no.	Orientation	Area of glass inc. frame (m²)	Overshading Height/Distance (m)	Shading device	Frame and glass type
W1	W	2.84	3.94	8.4	eave/verandah/pergola balcony ~900mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	W	9.45	3.94	8.4	eave/verandah/pergola balcony ~900mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

LANDSCAPE SPECIFICATION NOTES
SITE PREPARATION
Locate any underground and overground services & ensure no damage occurs. Levels on plan are nominal only & all dimensions to be checked on site prior to commencement. Final structural integrity of all items shall be the sole responsibility of landscape contractor.
WORKMANSHIP AND MATERIAL QUALITY
Materials and workmanship are to conform to the current applicable Australian Standard Specifications and Codes. Any work or materials, which, in the opinion of the Site Manager do not meet appropriate industry standards should be rejected. Rejected work shall be removed and reinstated to an acceptable standard at no additional cost to the Client.
Where works are adjacent to existing works, make proper junctions between new and existing works and make good any damage caused to adjoining existing and retained works.
PROTECTION OF EXISTING TREES:
Prior to construction, the builder shall erect tree protection fencing to the drip line of existing trees to be retained. The fence shall be constructed of star pickets at 2.4m spacings and connected by three strands of 2mm wire at 300mm spacings to a minimum height of 1500mm. Protect all trees affected by demolition & construction. Take necessary precautions to protect the Structural Root Zone(SRZ) as per AS 4970:2009 Australian Standard for Protection of Trees on Development Sites. Tree protection measures shall remain intact until the completion of all construction works.
Prohibited Works or material storage within the TPZ as per AS 4970:2009 except with approval of council:
- entry of machinery or storage of building materials, parking of any kind of vehicle
- erection or placement of site facilities, removal or stockpiling of soil or site debris
- disposal of liquid waste including paint & concrete wash
- excavation or trenching of any kind (including irrigation or electrical connections).
- attaching any signs or any other objects to the tree, placement of waste disposal or skip bins
- pruning and removal of branches, other than those by a qualified Arborist
Compacted Ground/Coring: Avoid compaction of the ground under trees. If compaction nevertheless occurs loosen the soil by Coring. Coring to be carried out by a qualified Arborist.
REMOVAL OF EXISTING TREES
All trees to be removed shall be carried out by a qualified arborist and work shall conform to the provisions of AS4373:2007 Australian Standards for The Pruning of Amenity Trees.
ELIMINATE WEEDS
Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide. Weed control shall never be performed by mechanical cultivation or by scraping. Herbicide spraying is to be used to eliminate all existing weeds 30 days prior to planting.
EXCAVATION & SUB SOIL PREPARATION
Excavate garden beds to the depth required and rip or scarify base & sides of pit to a minimum depth of 150mm.
SUB SOIL DRAINAGE
Install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding.
Install perforated corrugated ag. line 75-100mm Dia. with geotextile filter sock & backfill to a minimum 200mm using free draining material, reclaimed/recycled where available. Direct flows at a minimum 0.5% fall to SW system. In areas isolated from stormwater system excavate & backfill an appropriate water dispersion pit.
REUSE EXISTING TOPSOIL
Existing site topsoil should be salvaged & appropriately stockpiled where possible.
IMPORTED TOPSOIL
All construction must comply with AS 4419:2003 Soils for Landscaping and Garden Use. Turf Area: 'Turf Underlay', Tree Pit and Shrub Planting: 'Premium Garden Mix' as supplied by, ANL p. 02 9450 1444 or approved alternative.
Planting in Planter Boxes: Solmix A - 'Planter Box Mix', Solmix B - 'Washed River Sand' as supplied by, ANL p. 02 9450 1444 or approved alternative.
TREE STOCK
Tree stock to be supplied by production nurseries in accordance with AS 2303:2018 Tree Stock for Landscape Use. Health & Vigour: Supply plants with foliage size, texture & colour consistent with that shown in healthy specimens of the species. Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%. Stock selection should also be based on NATSPEC Guide Specifying Trees: a Guide to Assessment of Tree Quality.
STAKING
Install 2 x 2400mm x 50mm x 50mm hardwood timber stakes with hessian ties to all trees. Provide appropriate support considering exposure to prevailing winds. Stakes and hessian ties to be removed as soon as the tree is self supporting.
ALUMINIUM GARDEN EDGING
Supply and install Link Edge 75mm as per Landscape Plan. Compact and level the base in the required area as indicated on Landscape Plan. Half hammer spikes into pre-punched holes (approx 4 spikes every 3m length) starting from the first hole in the end of the Link Edge. Use spike washers supplied by manufacturer. Half hammer subsequent spikes in pivotal areas along the length. (Especially at points where a curve is required). Connect lengths together by using fish-plate connectors supplied by manufacturer. Check position of Link Edge is correct before hammering spikes firmly into ground.
IRRIGATION SYSTEM
New in-ground drip-line irrigation system to be installed with backflow preventer and with timers. Irrigation system to be designed and installed to local codes. The entire irrigation system shall be fully automated and provide drip irrigation to all tree, shrub and ground cover zones. It is the Contractor's responsibility to verify water pressure available and determine all design-built parameters prior to any installation and sizing of irrigation components. Irrigation system to be connected to water tank to supplement water from mains.
TIMBER DECK, STAIRS & BENCH SEATS
Supply and install timber deck, stairs and bench seats to BCA requirements and to Australian Standards. All framing timber posts to be treated pine. All decking, steps and bench seats to be hardwood. Decking to be fixed using stainless steel countersink nails or screws. Decking boards up to 86mm space with 3mm gaps, boards over 86mm space with 5mm gaps. Stagger joints and ensure all joints in decking boards sit over a joist. Pre drill nail holes into decking boards to avoid splitting. Nail to be 12mm from edges and ends of boards. Nails driven flush with surface (not punched). Each decking board should be nailed to each joist with two nails as per AS1684 or in accordance with manufacturers instructions. Supply and install 2 coats of oil. Ensure minimum 300mm clearance between bearer & ground level to provide adequate airflow around structure.
MULCHING
All construction must comply with AS 4454:2003 Compost, soil conditioners and mulches. All planting area impacted by building works to receive 50-75mm of garden Mulch, Droughtmaster, ANL p. 02 9450 1444 or approved alternative. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.
TURFING
New turf: Sir Walter Softleaf Buffalo. Excavate / grade all areas to be turfed to 120mm below finished levels. Ensure that all surface runoff is directed away from buildings. Ensure that no pooling or ponding will occur. Further rip the subgrade to 150mm. Install 100mm of imported turf underlay. Rolls to be closely butted and laid in a brickwork pattern. Fill any small gaps with topsoil and water thoroughly.
WATERING
Water in immediately after plant installation & allow for soil settlement. For the first 2 to 4 weeks after planting, the root zone & immediate surrounds must be kept moist. Continue watering until plants have established.
STEPPING STONES
Install each stepping stone on a 75mm thick mortar bed and space according to plan. Stones to finish 20mm above adjacent surface. Fill gaps with ??? as specified.
RETAINING WALLS & PLANTER BOXES
All retaining walls & planter boxes to be constructed to Engineer's details. Ensure all internal surfaces are waterproofed. Geotextile wrapped agg. drainage line backfilled with aggregate is to be installed behind all retaining walls & connected to stormwater in accordance with Sydney Water regulations. All planter boxes are to have Atlantis drainage cell (or approved alternative) installed & connected to stormwater in accordance with Sydney Water regulations.
STAIRS AND BALUSTRADES
The stairs, balustrades and handrail are to comply with Part 3.9.1 and Part 3.9.2 of the BCA.



NOTES:		Rev.	Date	Issue	Checked
- Contractors to check and verify all dimensions and all levels on site prior to any works. - Any dimensions should be immediately referred to Space Landscape Designs. - All work to comply with B.C.A. (Building Code of Australia) and relevant Australian Standards. - Dimensions designed over existing. All measurements are in millimetres.		A	17/02/22	Preliminary Issue	AE
		B	23/02/22	DA Issue	AE

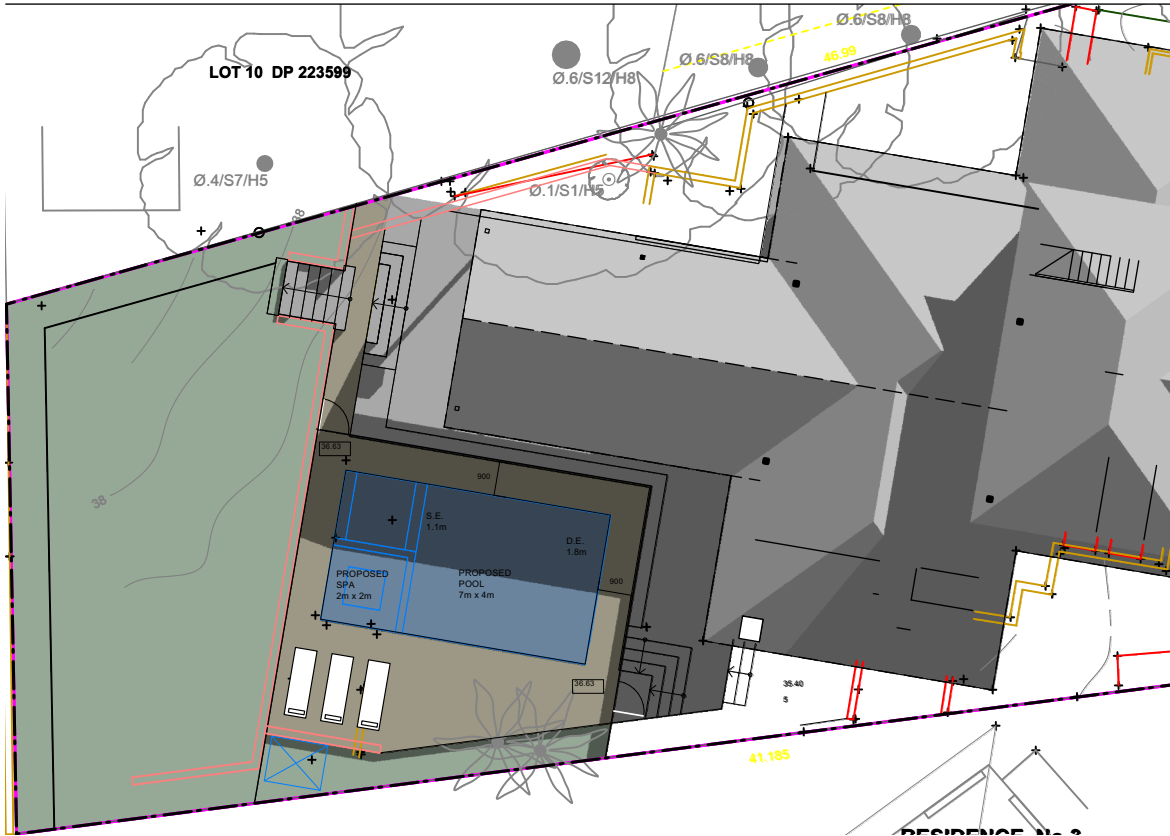
SPACE
LANDSCAPE DESIGNS

Space Landscape Designs Pty Ltd
ABN 60 799 663 674 ACN 139 316 251
info@spacelandscape.com.au
spacelandscape.com.au
P 02 9905 7870 F 02 9905 7657
Suite 138, 117 Old Pittwater Rd,
Brookvale NSW 2100

PROJECT:
New Pool, Spa & landscaping
SITE ADDRESS:
4 Elwyn Close, MONA VALE

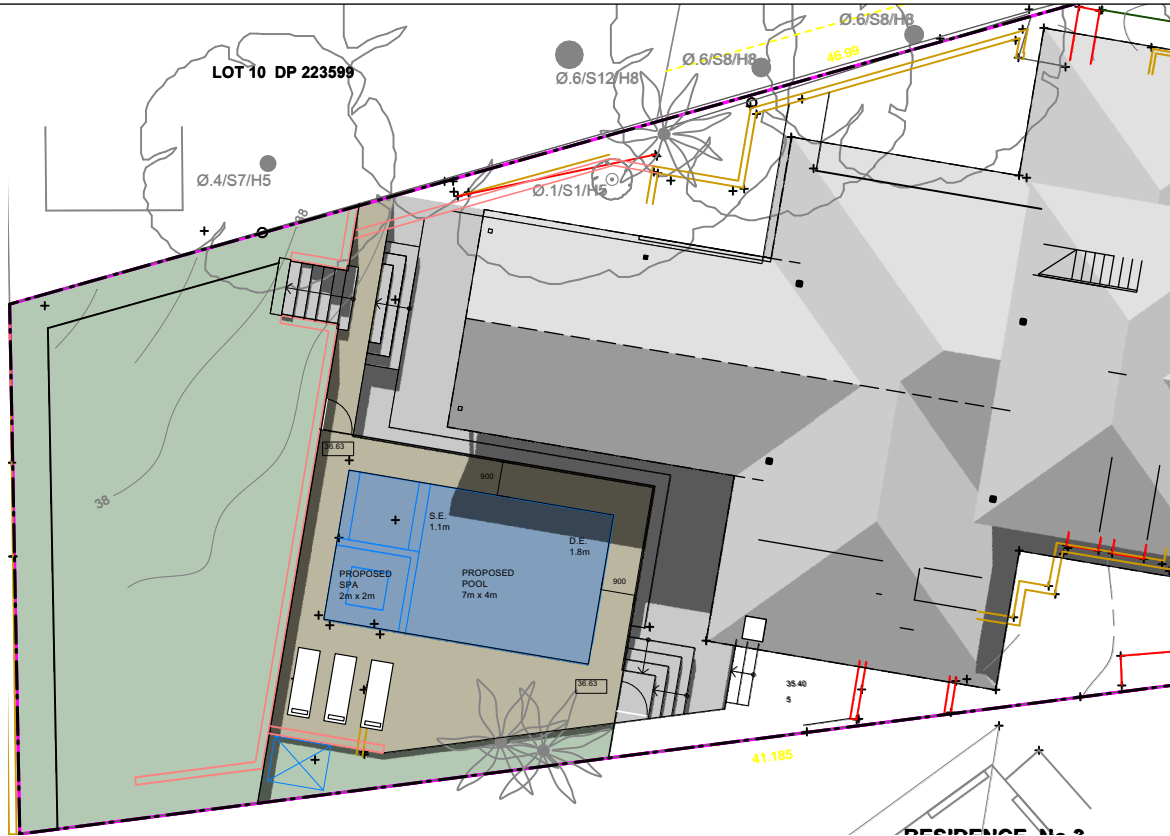
CLIENT: McGuinness
DRN: C.Wallace (B.Larch)
SCALE: 1:100@A1
PROJECT NO: 211573

DRAWING TITLE:
LANDSCAPE PLAN
DRAWING NO:
DA-04
Rev: B



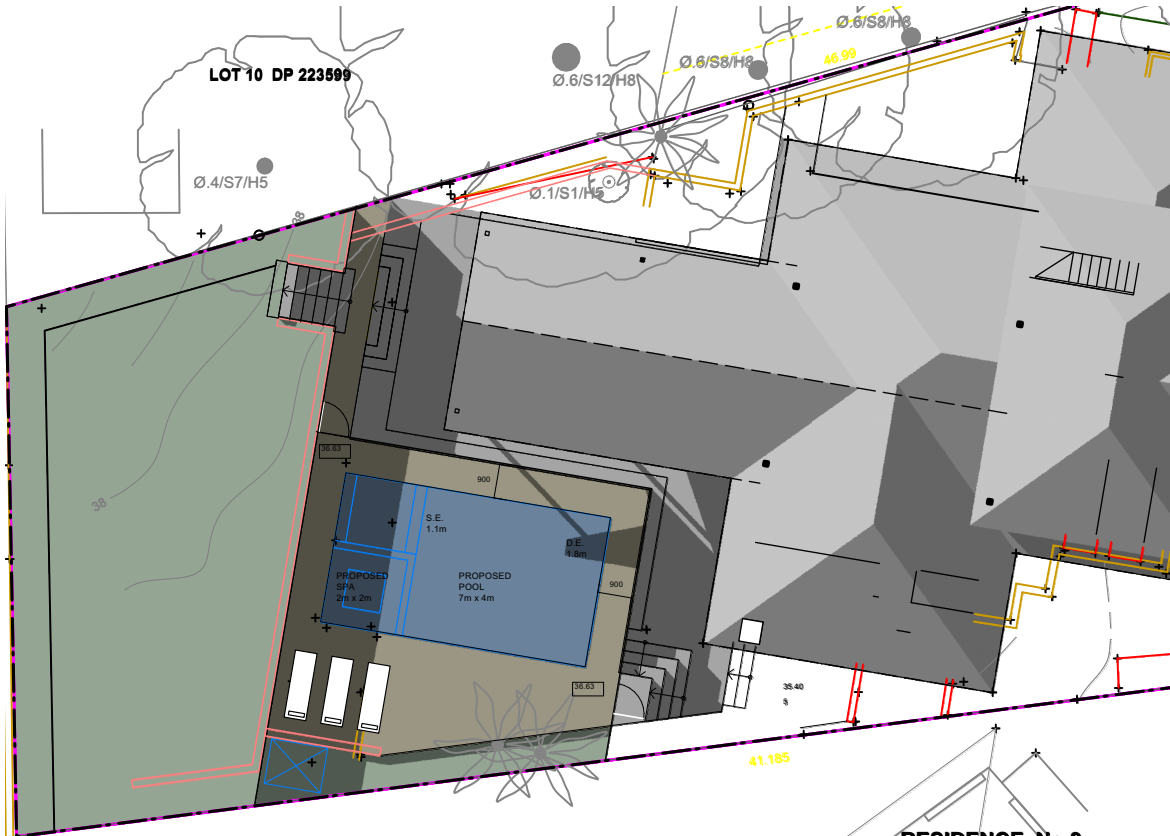
01 9AM - WINTER - 21ST JUNE

scale 1:200



02 12PM - WINTER - 21ST JUNE

scale 1:200



03 3PM - WINTER - 21ST JUNE

scale 1:200

Notes

Rev. No.	Date	Revision	Auth'd
A	8/9/21	SHADOWS ADDED	PJH
B	1/4/22	ISSUE FOR DA	PJH

CLIENT
Emma McGuinness



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71 Leichhardt Street Kingston
ACT 2604

Registered Architect - 2384
Tim Zuber

Project
**Alterations and Additions
4 Elwyn Close Mona Vale
Lot 8 in DP223599**

Drawing Title
SHADOWS -WINTER SUN

Scale at A3 1:100
0m 500m 1m 2.5m 4m

Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By
PJH

Checked By
PH

Checked By

Project Number
21-0667

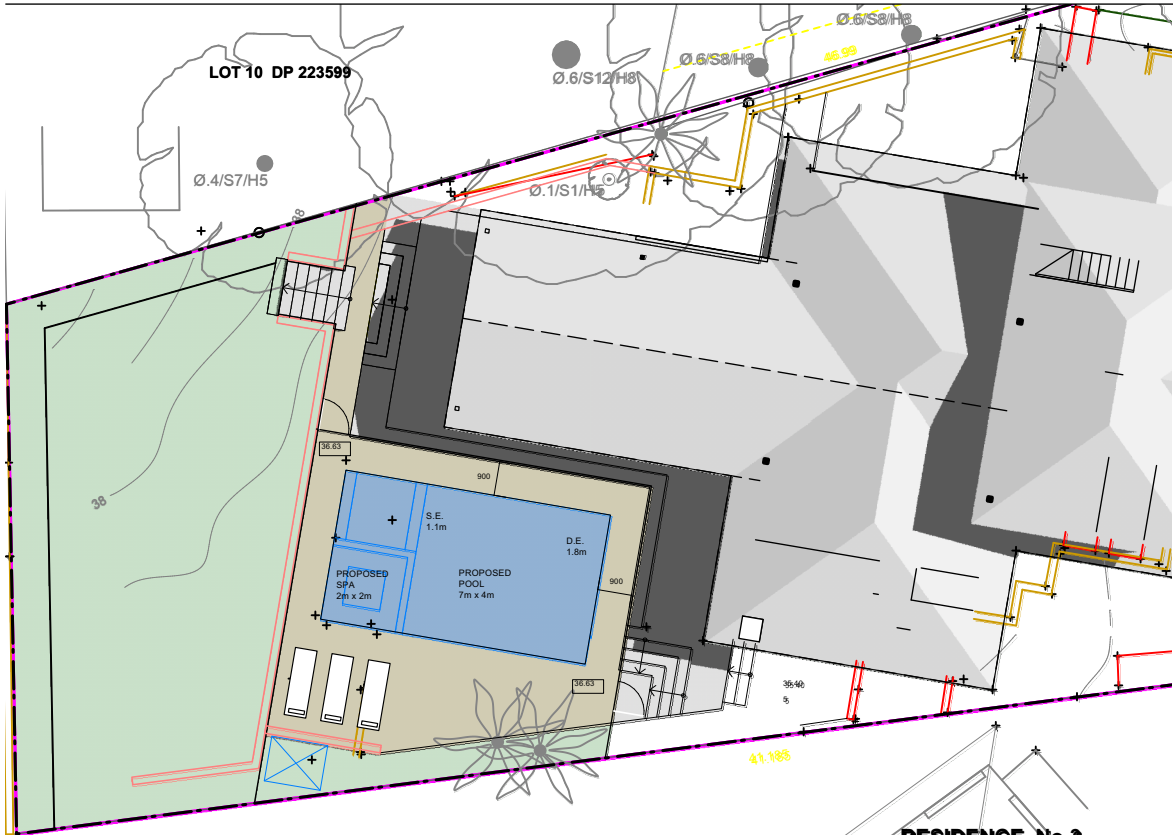
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Rev

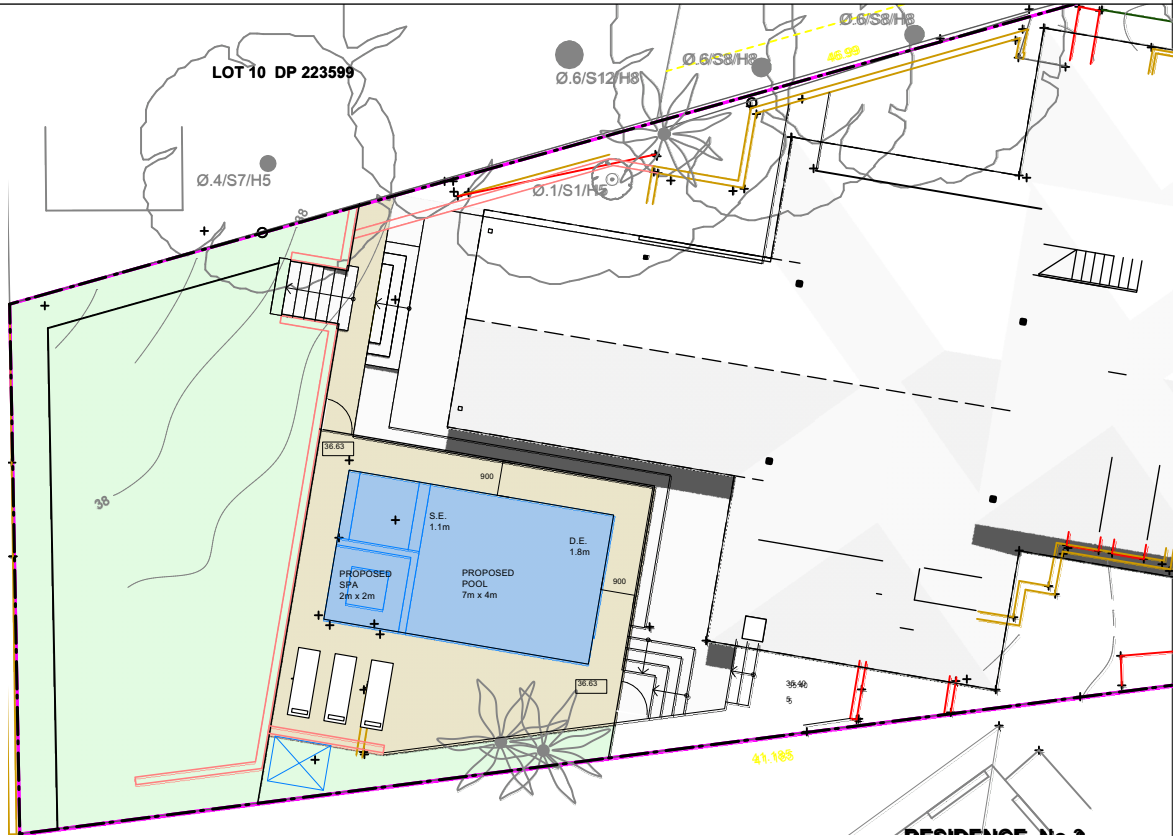
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Application Only

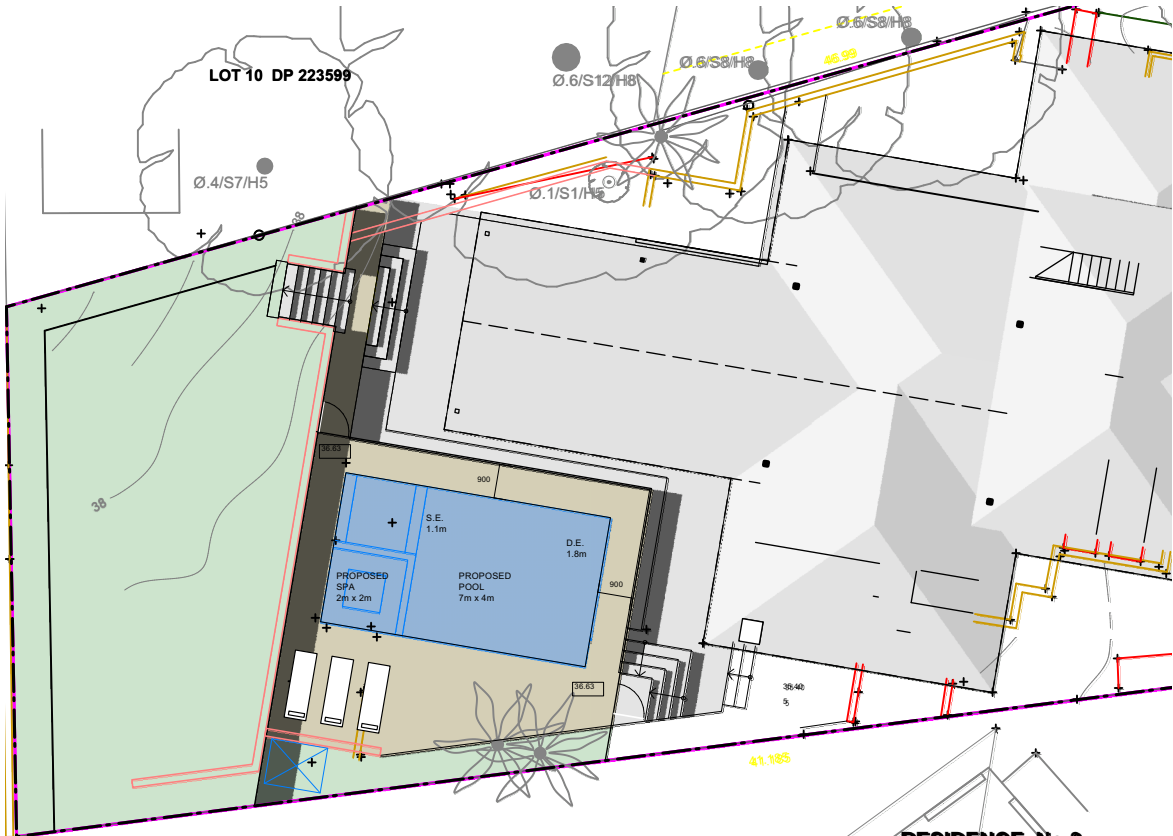
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01 9AM - SUMMER - 21ST JANUARY
scale 1:200



02 12PM - SUMMER - 21ST JANUARY
scale 1:200



03 3PM - SUMMER - 21ST JANUARY
scale 1:200

Notes

Rev. No.	Date	Revision	Auth'd
A	8/9/21	SHADOWS ADDED	PJH
B	1/4/22	ISSUE FOR DA	PJH

CLIENT
Emma McGuinness

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Project
**Alterations and Additions
4 Elwyn Close Mona Vale
Lot 8 in DP223599**

Drawing Title
SHADOWS -SUMMER SUN

Scale at A3 1:100
0m 500m 1m 2.5m 4m

Figured dimensions shall take precedence over scale. Contractors must verify all dimensions on job before commencing any work or making shop drawings.

Drawn By
PJH

Checked By
PH

Project Number
21-0667

Drawing Number
DA-A-102

Rev
B

For Development
Application Only

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