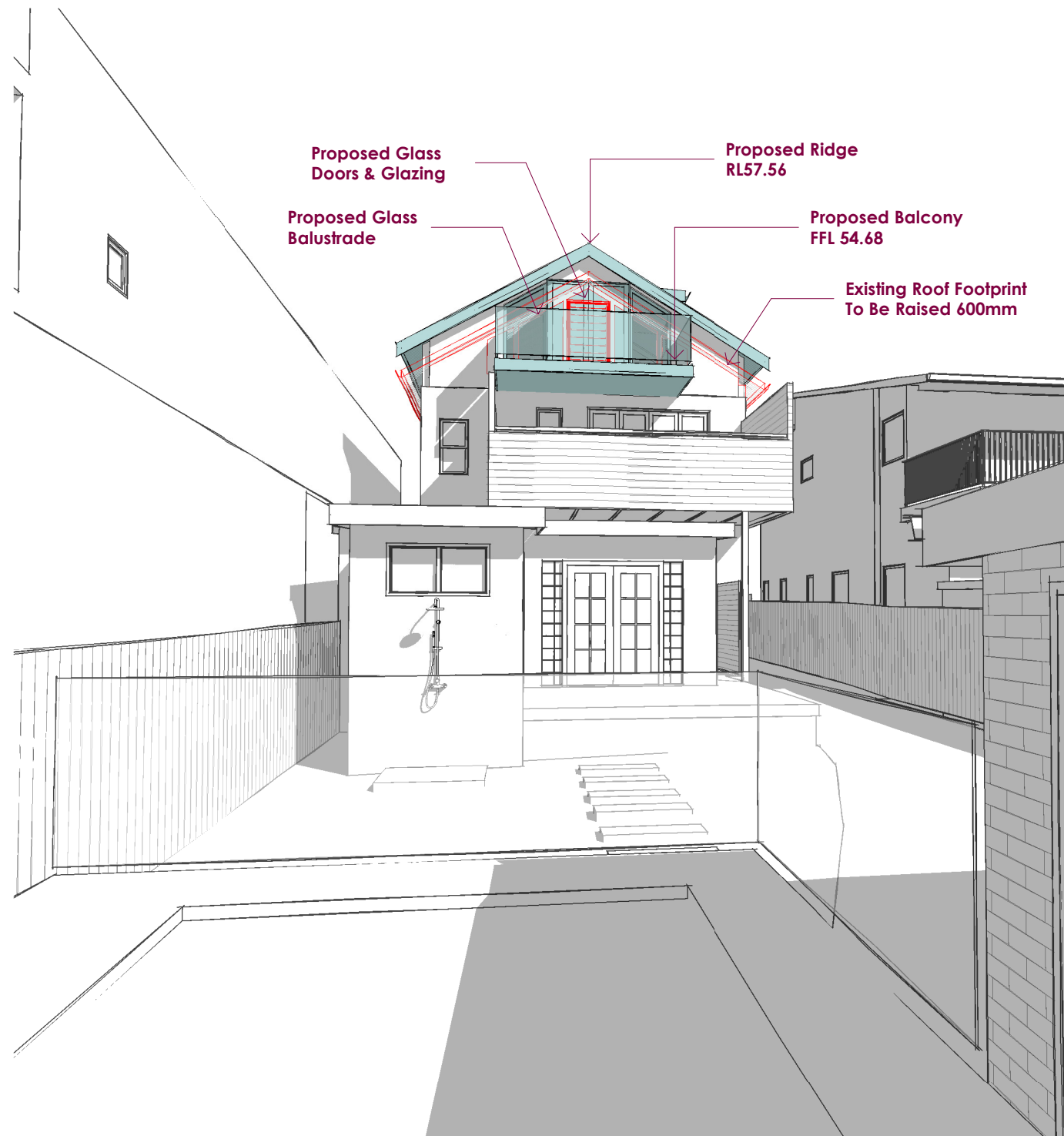


ARCHITECTURAL DRAWING LIST:

- A001 COVER SHEET
- A002 BASIX
- A100 SITE SURVEY
- A101 SITE ANALYSIS PLAN
- A102 GROUND FLOOR PLAN
- A103 FIRST FLOOR PLAN
- A104 EXISTING ATTIC FLOOR PLAN
- A104 EXISTING ATTIC FLOOR PLAN
- A105 PROPOSED ATTIC FLOOR PLAN
- A106 PROPOSED ROOF PLAN
- A107 SOUTHERN & NORTHERN ELEVATIONS
- A108 EASTERN ELEVATION
- A109 WESTERN ELEVATION
- A110 PROPOSED SECTIONS
- A111 MATERIALS & FINISHES
- A112 ATTIC AREAS CALCULATION
- A113 WASTE MANAGEMENT PLAN
- A114 SHADOWING JUNE 21ST 9.00AM
- A115 SHADOWING JUNE 21ST 12.00PM
- A116 SHADOWING JUNE 21ST 3.00PM
- A117 3D SUN VIEWS JUNE 21ST 9.00AM
- A118 3D SUN VIEWS JUNE 21ST 10.00AM
- A119 3D SUN VIEWS JUNE 21ST 11.00AM
- A120 3D SUN VIEWS JUNE 21ST 12.00PM
- A121 3D SUN VIEWS JUNE 21ST 1.00PM
- A122 3D SUN VIEWS JUNE 21ST 2.00PM
- A123 3D SUN VIEWS JUNE 21ST 3.00PM



GENERAL NOTES

- 01. BUILDING CODE OF AUSTRALIA
ALL WORK TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, SAA CODES AND RELEVANT BY-LAWS.
- 02. DEVELOPMENT APPROVAL
THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE DEVELOPMENT APPROVAL, CONSTRUCTION CERTIFICATE AND ANY SCHEDULES ATTACHED THERETO. ALL CONDITIONS MUST BE APPLIED TO THE DEVELOPMENT. WHERE ANY VARIATIONS ARE SOUGHT, IT IS THE RESPONSIBILITY OF THE DEVELOPER TO CONTACT COUNCIL TO OBTAIN APPROVAL FOR ANY SUCH VARIATIONS.
- 03. ENGINEERING DRAWINGS AND OTHER CONSULTANTS
THESE DRAWINGS SHALL BE READ AS A SET AND IN CONJUNCTION WITH ALL SPECIFICATIONS, ENGINEERING PLANS AND CONSULTANTS PLANS AS SUPPLIED BY THE DEVELOPER. THESE PLANS AND SPECIFICATIONS MAY INCLUDE BUT ARE NOT LIMITED TO STRUCTURAL PLANS, STORMWATER PLANS, LANDSCAPE PLANS, HYDRAULIC PLANS, ELECTRICAL DRAWINGS, MECHANICAL VENTILATION PLANS, FIRE SERVICES PLANS ETC. FINAL CO-ORDINATION OF PLANS BY BUILDER.
- 04. BUILDING MATERIALS AND COLOURS
ALL EXTERNAL BUILDING MATERIALS AND COLOURS SHALL ACCORD WITH THE SCHEDULE SUBMITTED TO COUNCIL WITH THE CONSTRUCTION CERTIFICATE.

NOTES

- INTERNAL WALLS TIMBER FRAMED WITH GYPROCK LININGS DIMENSIONS AS SHOWN ON DRAWINGS
- EXTERNAL WALLS AS NOTED ON DRAWINGS OR SPEC
- DOOR UNITS & WINDOWS TO BE SELECTED ALUMINIUM
- ALL CRITICAL HEADROOMS TO BE CHECKED ON SITE. ALL DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT
- ALL DOCUMENTATION MUST BE FOLLOWED AS APPROVED ARCHITECT TAKES NO RESPONSIBILITY FOR MODIFICATIONS MADE TO DESIGN NOT COVERED BY APPROVAL + CONDITIONS
- ALL STORMWATER DISPOSAL TO STORMWATER DESIGN
- TIMBER FRAMING TO AS 1684 AND STRUCTURAL ENGINEER'S DETAIL
- WATERPROOFING AND FLOORWASTES TO ALL WET AREAS AS REQUIRED BY BCA
- WEEPHOLES, FLASHING AND DAMP PROOF COURSE TO BCA AND AUSTRALIAN STANDARDS
- ALL ROOF TO WALL JUNCTIONS TO BE ADEQUATELY SEALED, WATERPROOFED AND FLASHED

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW 2040

MOBILE: 0410 699 919

info@caddraftnsw.com.au

No.	Description	Date
A	PLANNING REVIEW	31-05-24
B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Cover Sheet

Project number	22-95
Date	05-07-24
Drawn by	KP
Checked by	JD

A001

Scale

RESIDENCE BASIX:

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
 The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
 The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor	nil	
external wall: framed (weatherboard fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R2.50 (up), roof: foil/sarking	MEDIUM (solar absorptance < 0.475-0.7)

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of Glass inc. frame(m ²)	Overshadowing		Shading Device	Frame and glass type
			Height (m)	Distance (m)		
D1	N	3.57	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D2	S	3.57	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W1	N	0.65	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
W2	N	0.65	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
W3	E	1.80	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	E	1.80	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	S	0.65	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W6	S	0.65	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W7	W	3.3	0	0	eave/verandah/pergola/ balcony >= 450mm	Timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Cad Draft P/L

ABN 27 083 288 153

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MOBILE: 0410 699 919

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No.	Description	Date
A	PLANNING REVIEW	31-05-24
B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

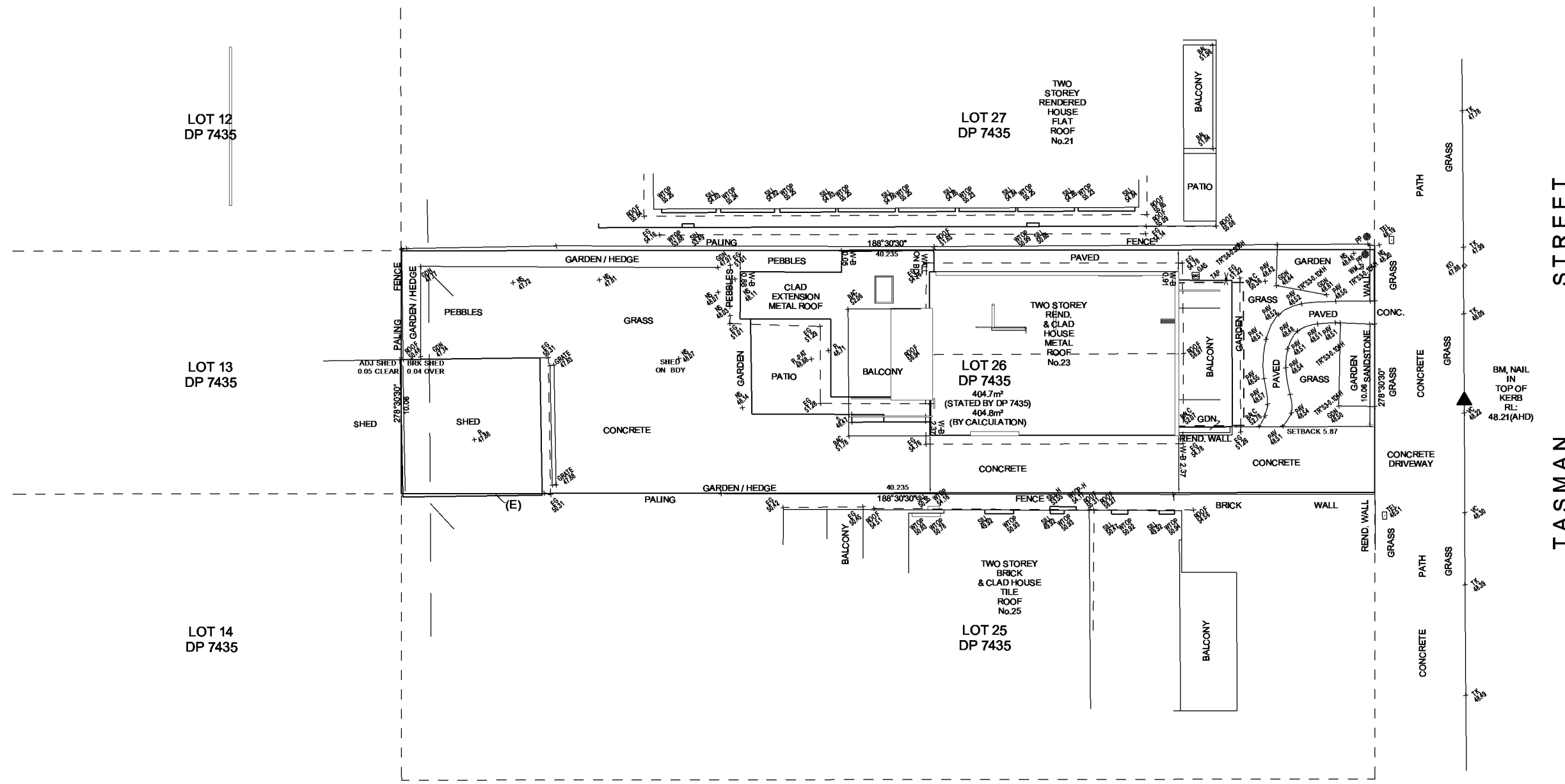
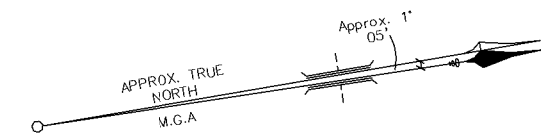
**DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN**

BASIX

Project number	22-95
Date	05-07-24
Drawn by	AB
Checked by	JD

A002

Scale



Site Survey
1 : 200

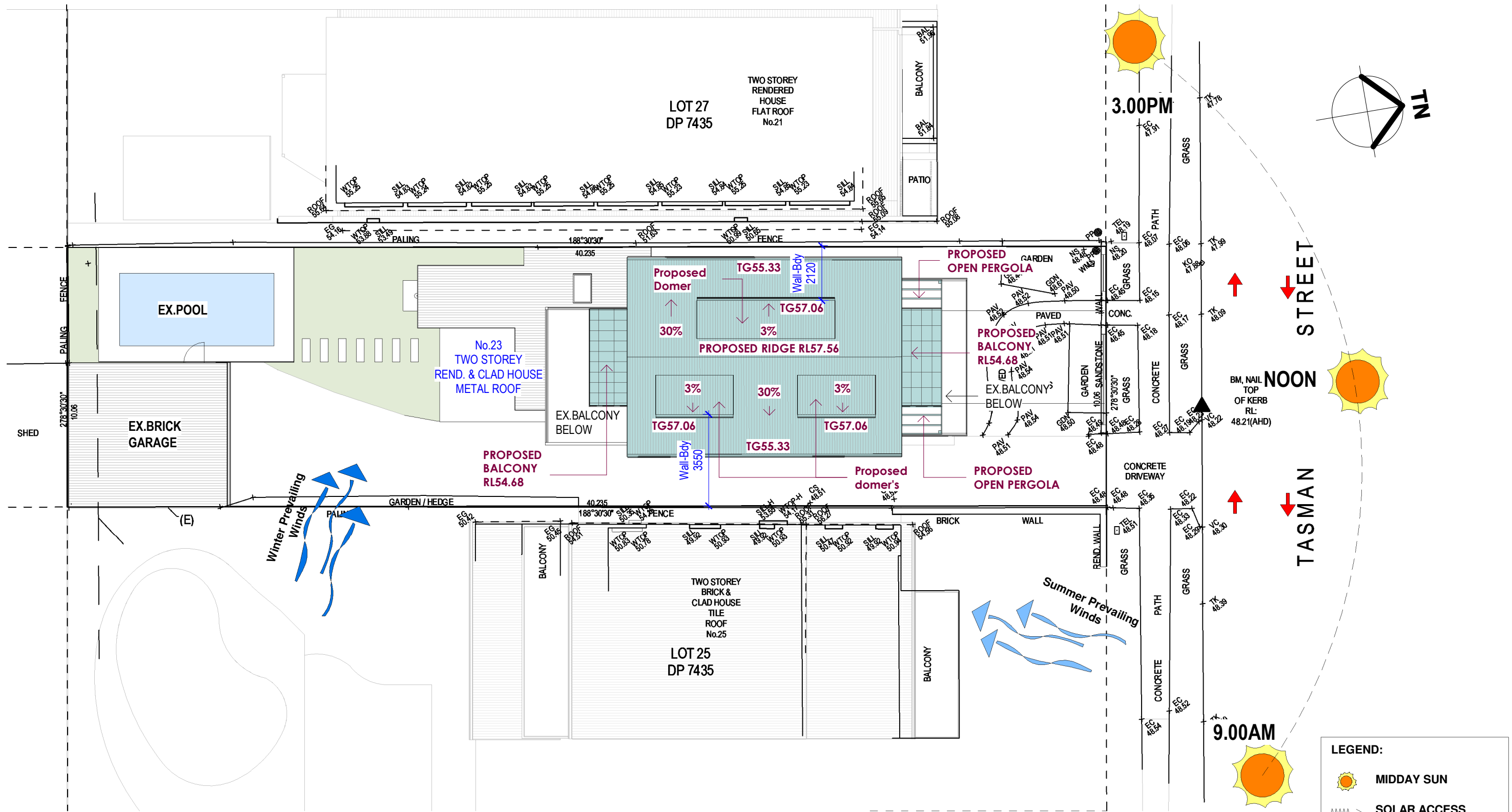
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DA APPLICATION
 ALTERATIONS AND ADDITIONS
 No. 23 TASMAN STREET,
 DEE WHY
 LOT 26 DP 7435
 CLIENT: JAMES DONNAN

Site Survey		
Project number	22-95	A100
Date	05-07-24	
Drawn by	KP	
Checked by	JD	
Scale		1 : 200



Site Analysis Plan

1 : 150

Cad Draft P/L

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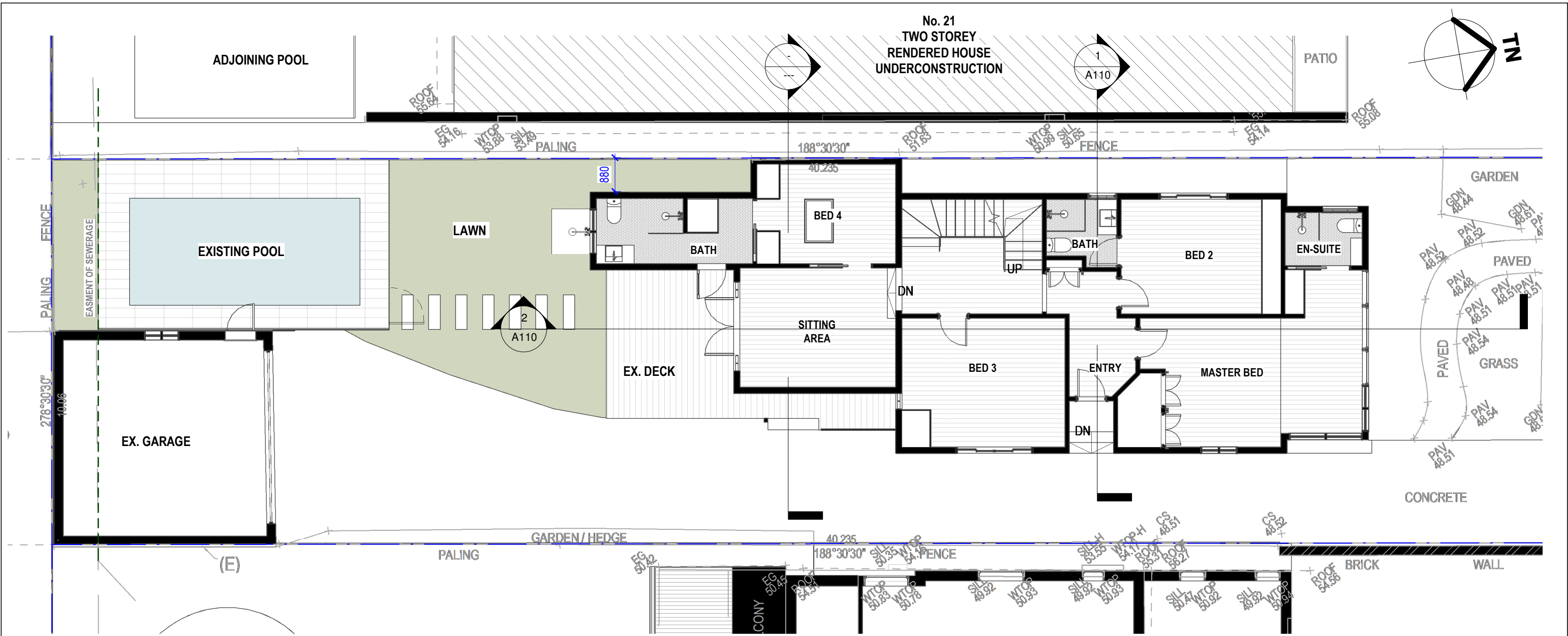
DA APPLICATION
 ALTERATIONS AND ADDITIONS
 No. 23 TASMAN STREET,
 DEE WHY
 LOT 26 DP 7435
 CLIENT: JAMES DONNAN

Site Analysis Plan

Project number	22-95
Date	05-07-24
Drawn by	KP
Checked by	JD

A101

Scale 1 : 150



LEGEND:

	DENOTES EXISTING WALLS TO BE DEMOLISHED
	DENOTES EXISTING WALLS TO BE MAINTAINED
	DENOTES PROPOSED NEW WALLS
	DENOTES PROPOSED AREA OF NEW WORKS

NOTE:

ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS

ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:

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REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS. FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE. FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.

"REFER TO GENERAL NOTES SHEET A000"

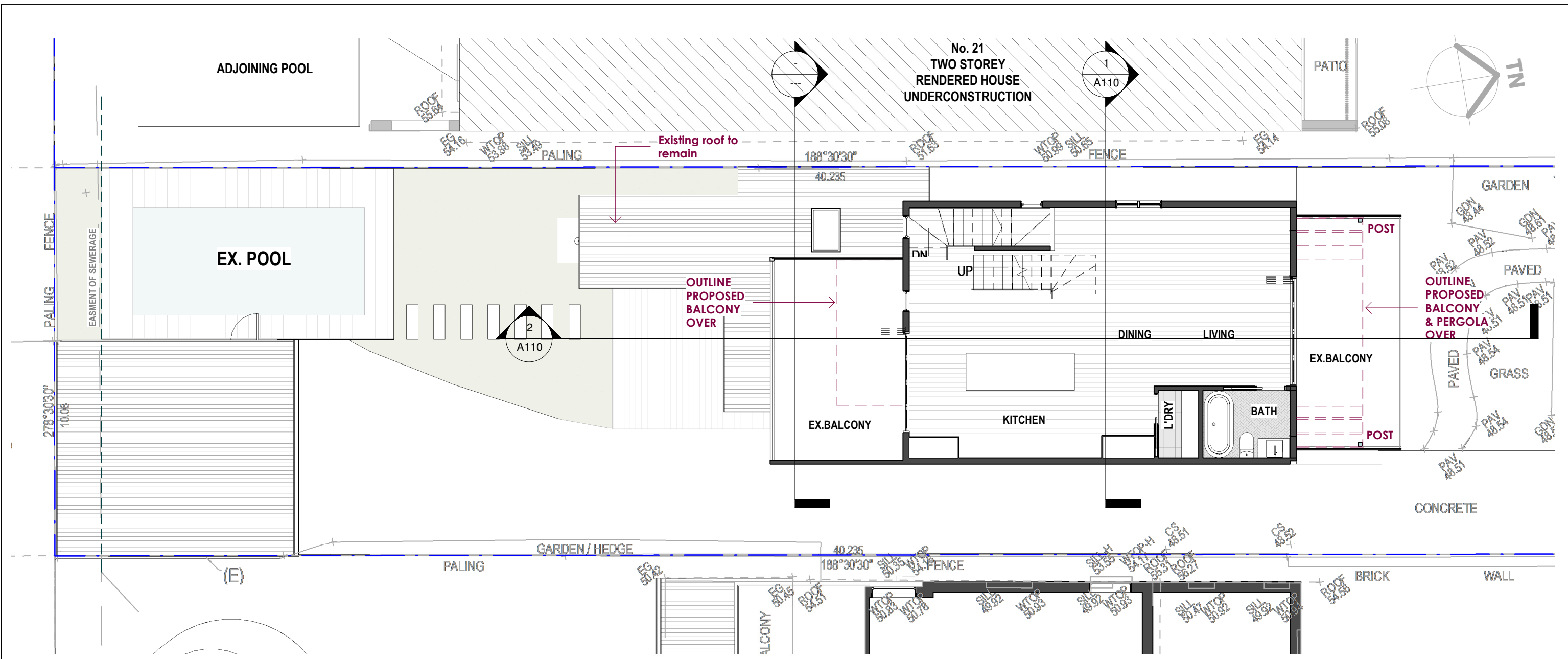
1 GF 48.71 - Proposed
1 : 100

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No.	Description	Date
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DA APPLICATION
 ALTERATIONS AND ADDITIONS
 No. 23 TASMAN STREET,
 DEE WHY
 LOT 26 DP 7435
 CLIENT: JAMES DONNAN

Ground Floor Plan		A102
Project number	22-95	
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale	1 : 100	



1 FFL 52.07 - Proposed
1 : 100

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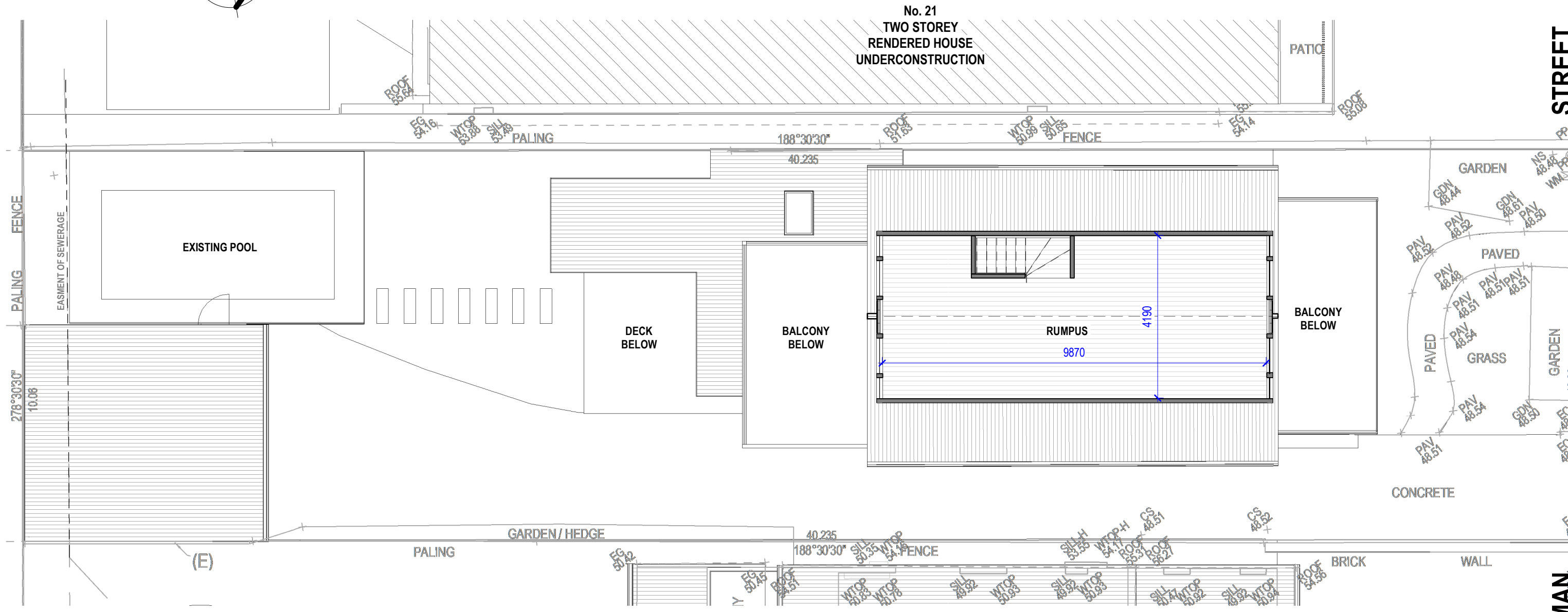
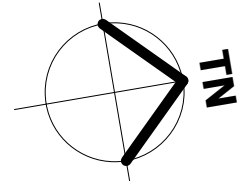
"REFER TO GENERAL NOTES SHEET A000"

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DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

First Floor Plan		A103
Project number	22-95	
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale	1 : 100	



1

Attic 54.73
1 : 100

Cad Draft P/L

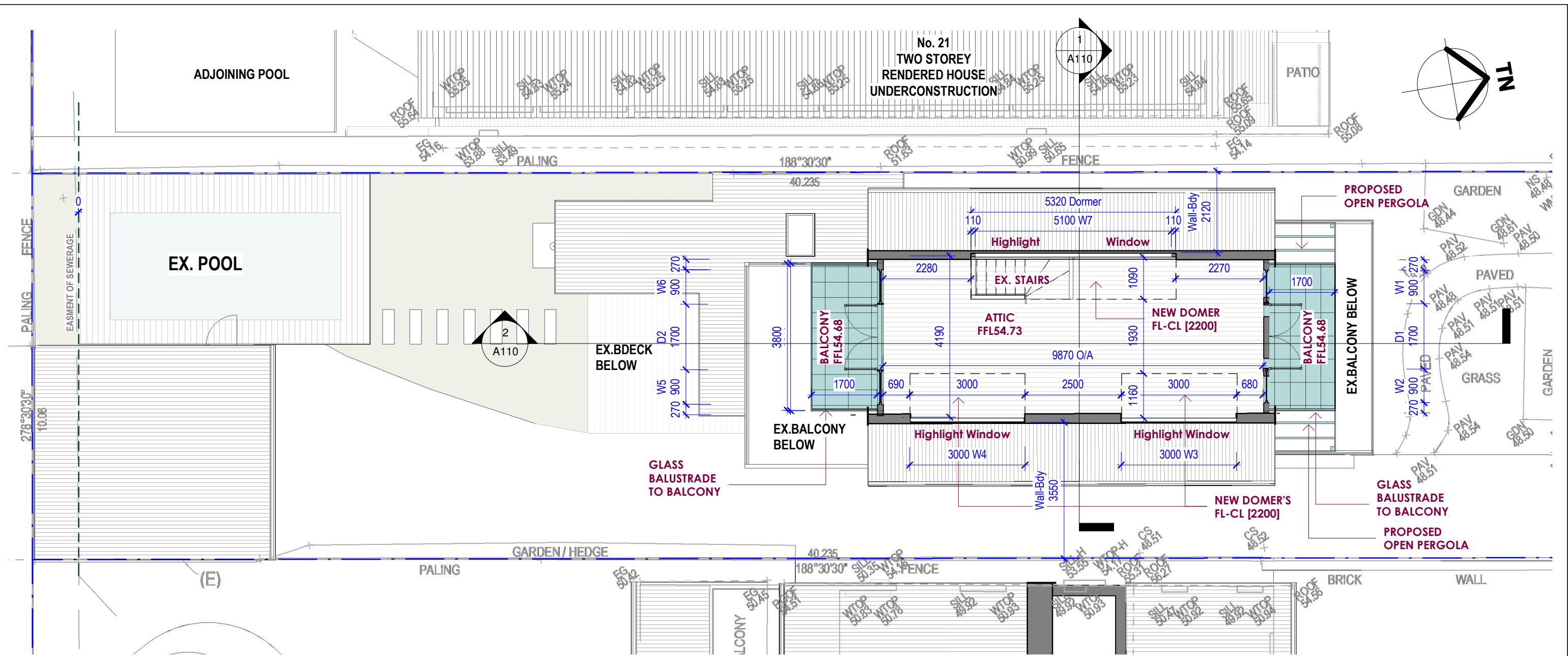
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B	DEVELOPMENT APPLICATION	05-07-24
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DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Existing Attic Floor Plan		
Project number	22-95	A104
Date	05-07-24	
Drawn by	Author	
Checked by	Checker	
Scale		1 : 100



DENOTES PROPOSED AREA OF NEW WORKS

1 Attic 54.73 - Proposed
 1 : 100

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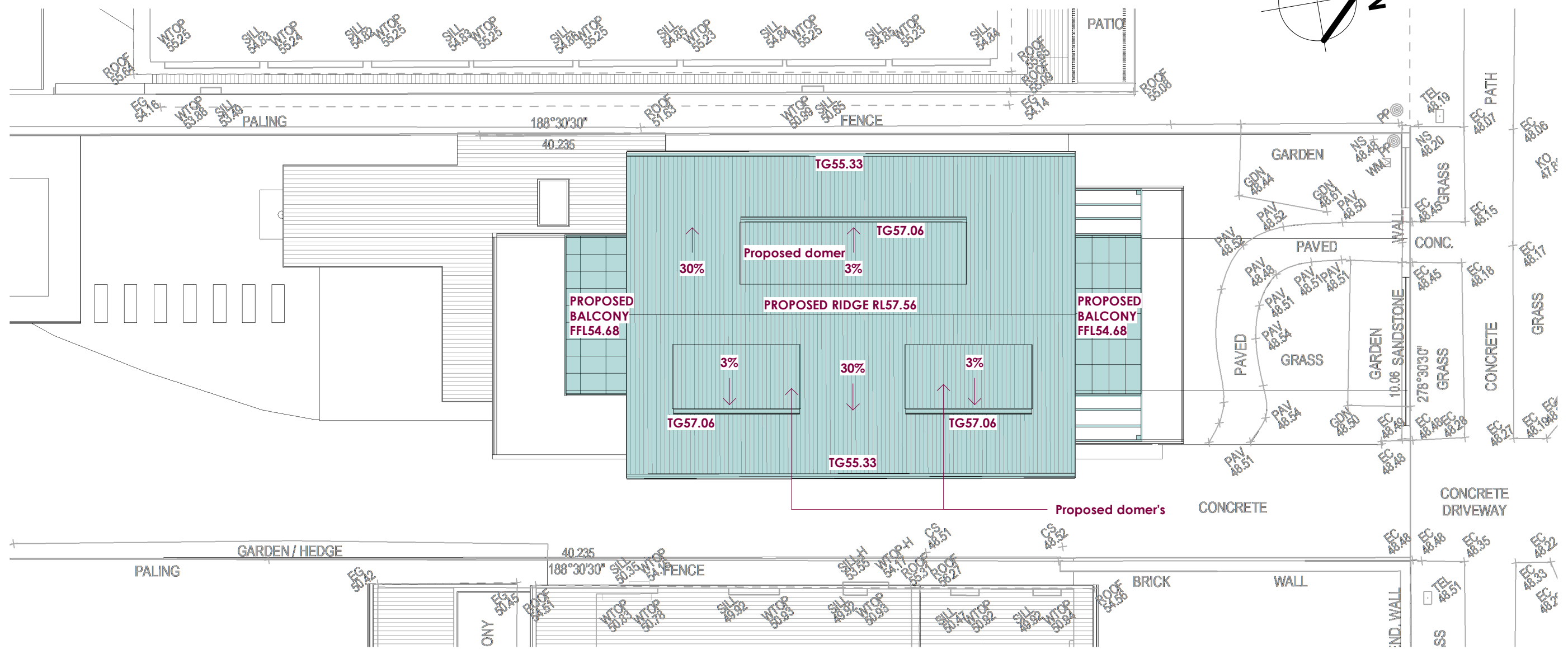
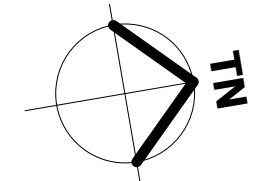
 "REFER TO GENERAL NOTES SHEET A000"

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 ABN 27 083 288 153
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No.	Description	Date
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DA APPLICATION
 ALTERATIONS AND ADDITIONS
 No. 23 TASMAN STREET,
 DEE WHY
 LOT 26 DP 7435
 CLIENT: JAMES DONNAN

Proposed Attic Floor Plan		A105
Project number	22-95	
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale	1 : 100	



STREET
TASMAN

DENOTES PROPOSED AREA OF NEW WORKS

Proposed Roof Plan

1 : 100

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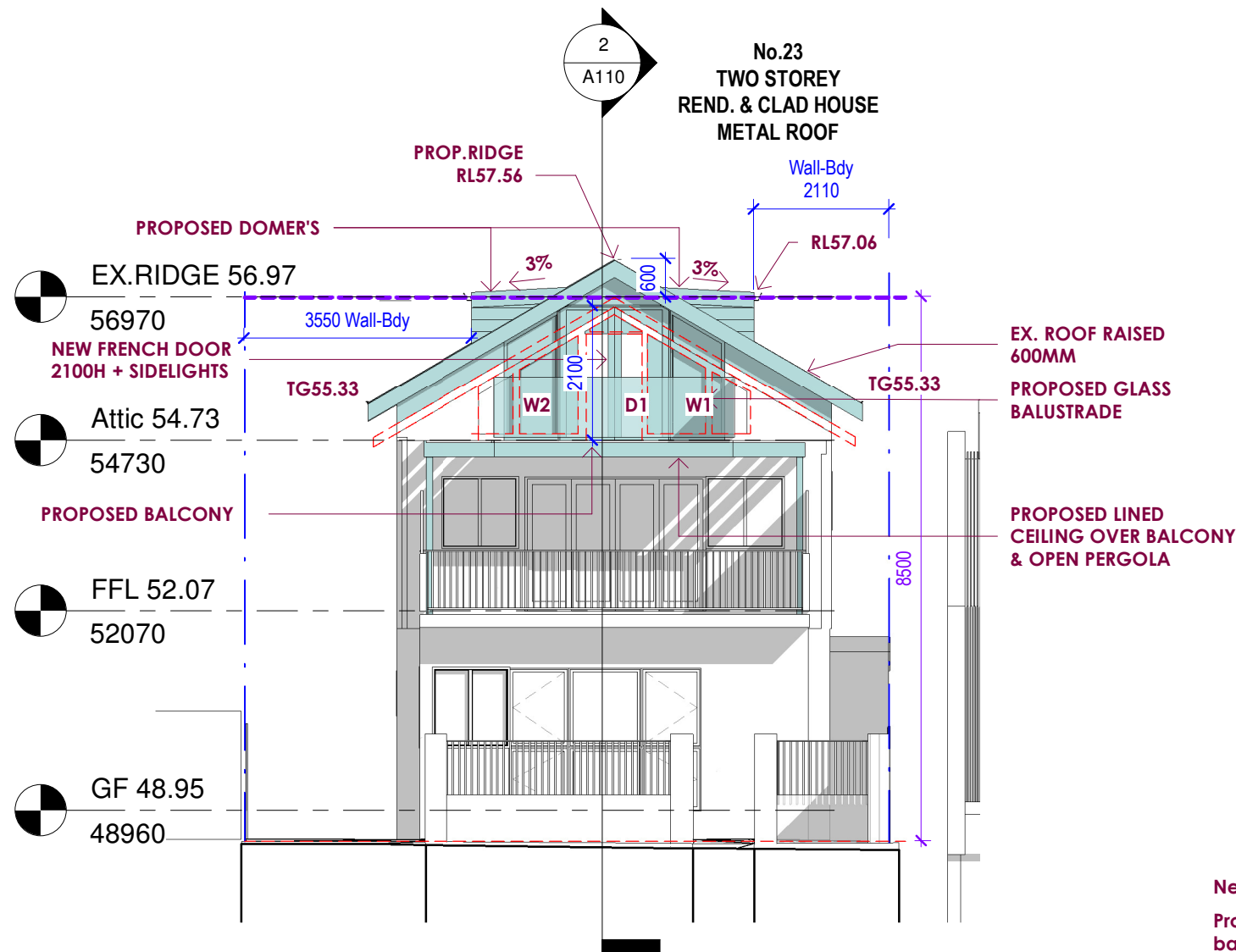
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ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Proposed Roof Plan		A106
Project number	22-95	
Date	05-07-24	
Drawn by	KP	
Checked by	JD	Scale
		1 : 100



1 Southern Elevation
1 : 100

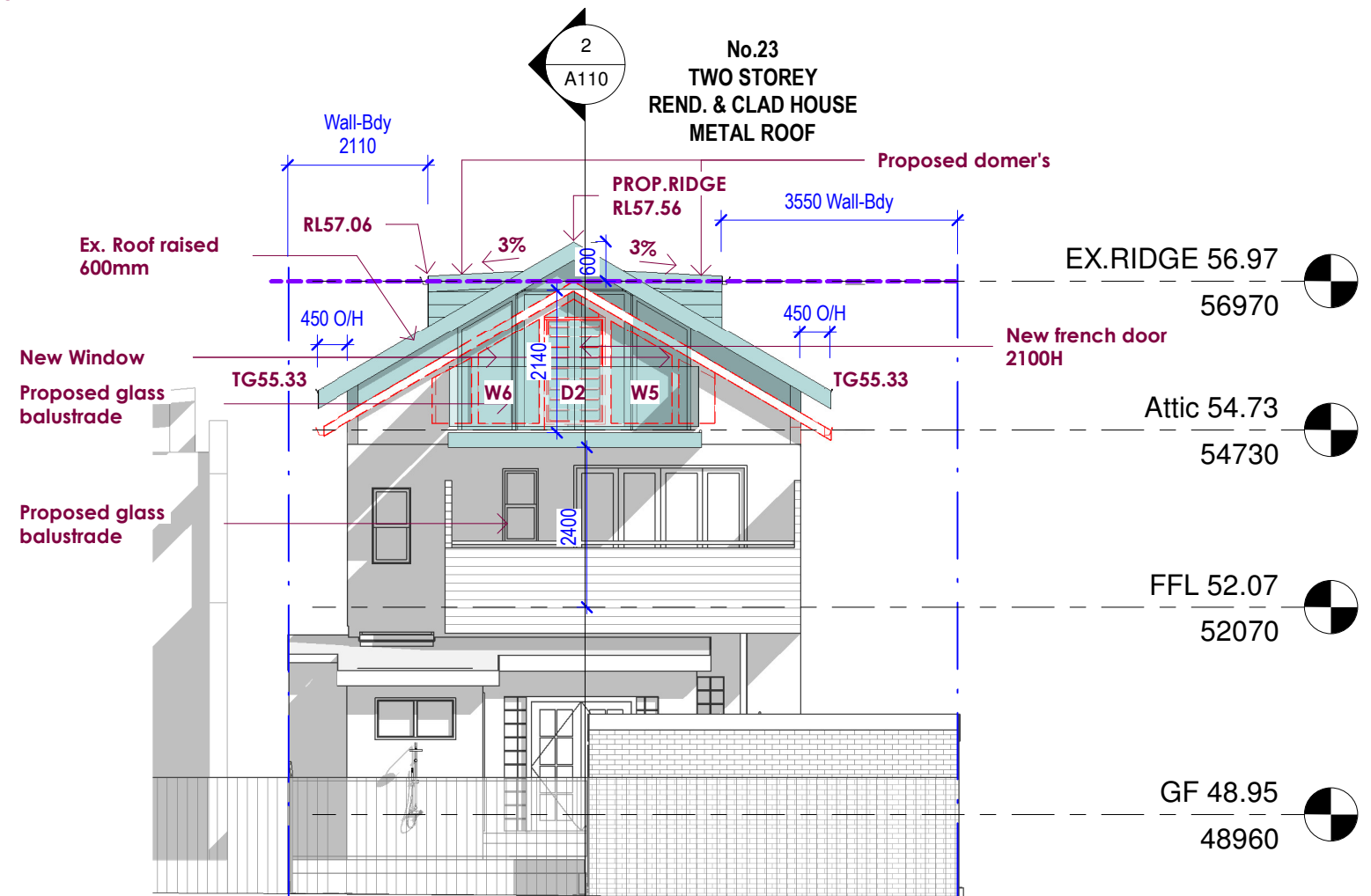
■ DENOTES PROPOSED AREA OF NEW WORKS

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FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.

"REFER TO GENERAL NOTES SHEET A000"



Northern Elevation - Proposed
1 : 100

Cad Draft P/L

ABN 27 083 288 153

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LILYFIELD, NSW 2040

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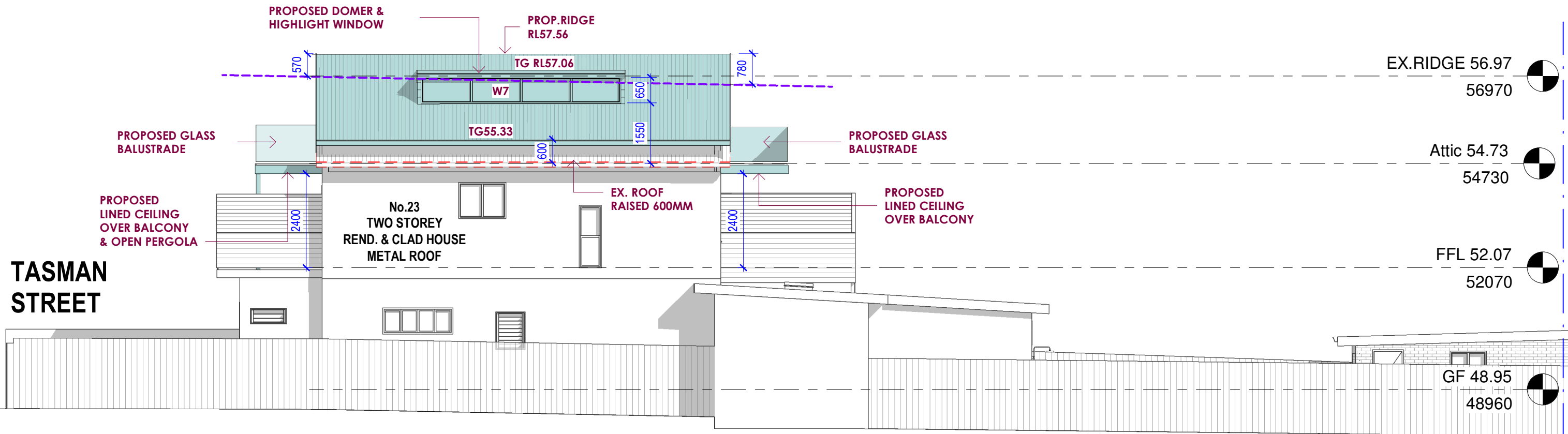
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No.	Description	Date
A	PLANNING REVIEW	31-05-24
B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Southern & Northern Elevation

Project number	22-95	A107
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale		1 : 100



DENOTES PROPOSED AREA OF NEW WORKS

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"REFER TO GENERAL NOTES SHEET A000"

1 Eastern Elevation
1 : 100

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW 2040

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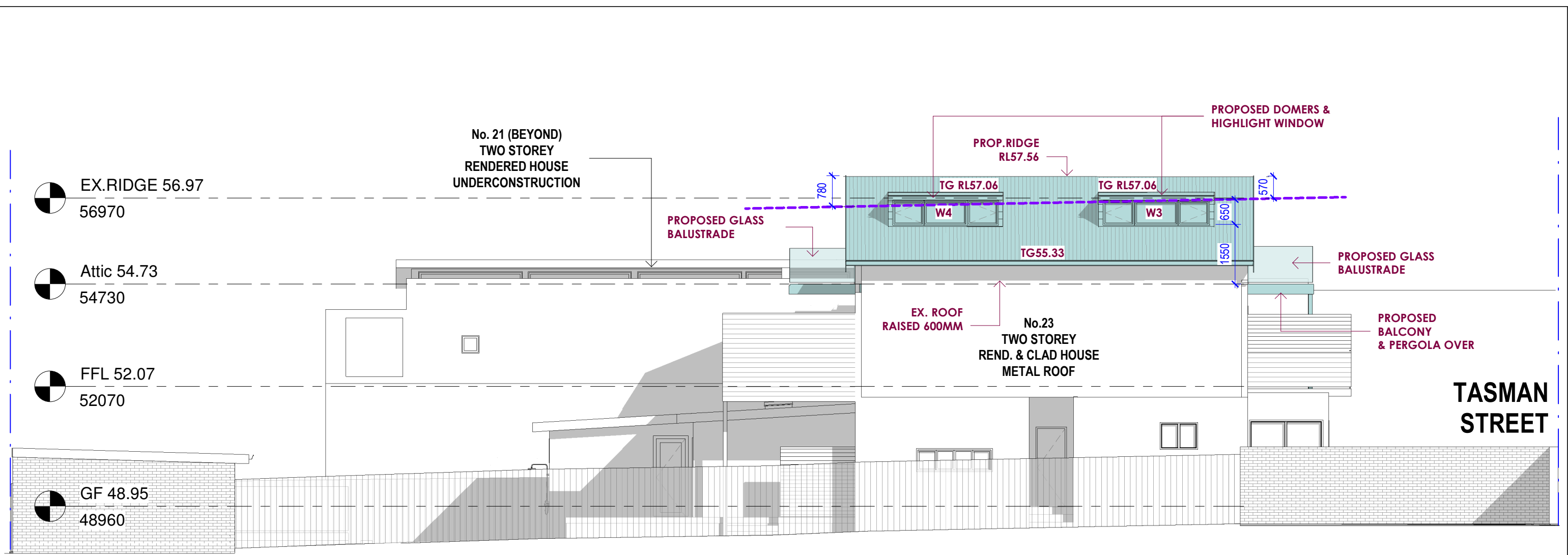
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No.	Description	Date
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B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Western Elevation

Project number	22-95	A108
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale		1 : 100



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"REFER TO GENERAL NOTES SHEET A000"

DENOTES PROPOSED AREA OF NEW WORKS

Western Elevation

1 : 100

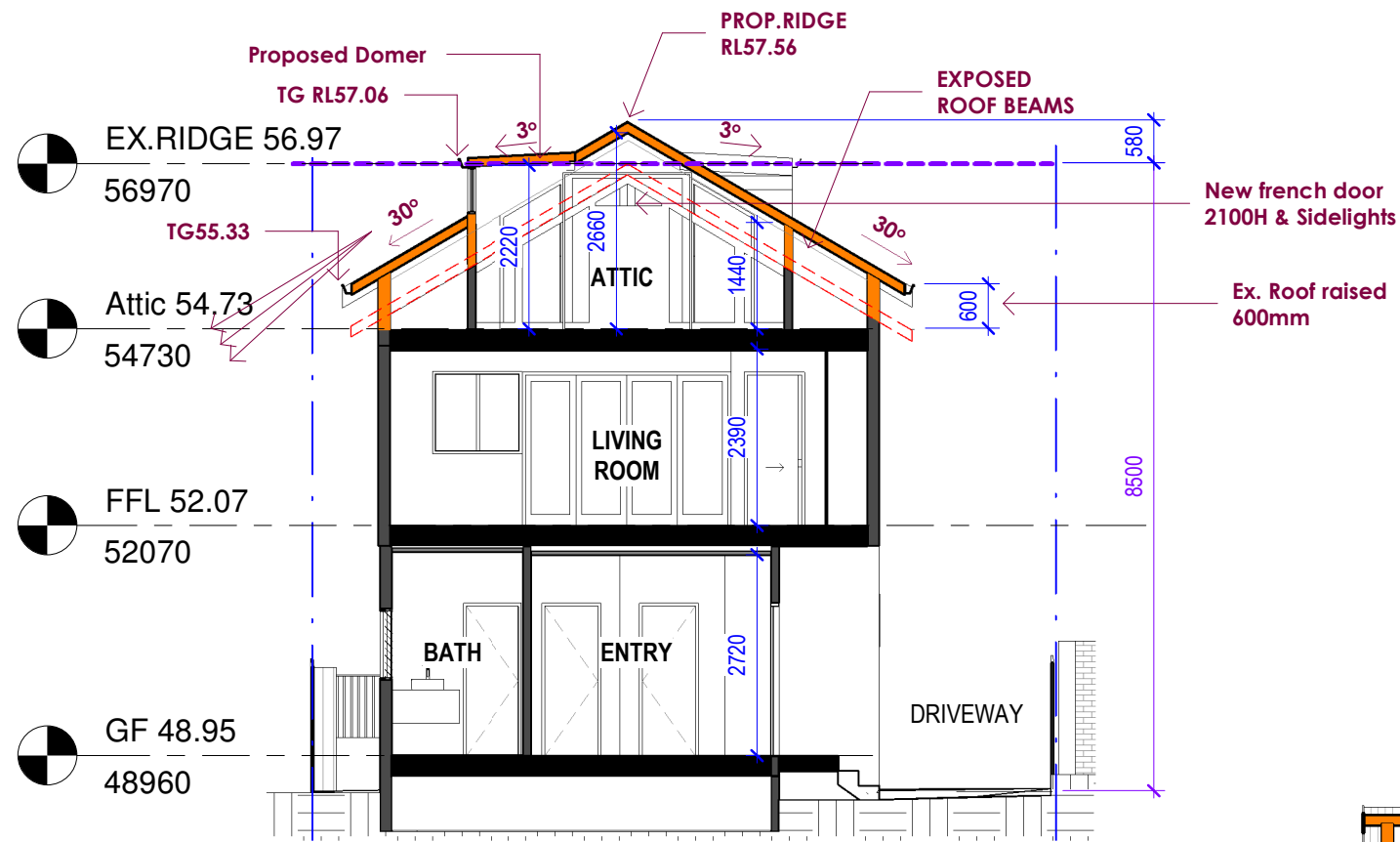
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 No. 23 TASMAN STREET,
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 LOT 26 DP 7435
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Eastern Elevation		A109
Project number	22-95	
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale	1 : 100	



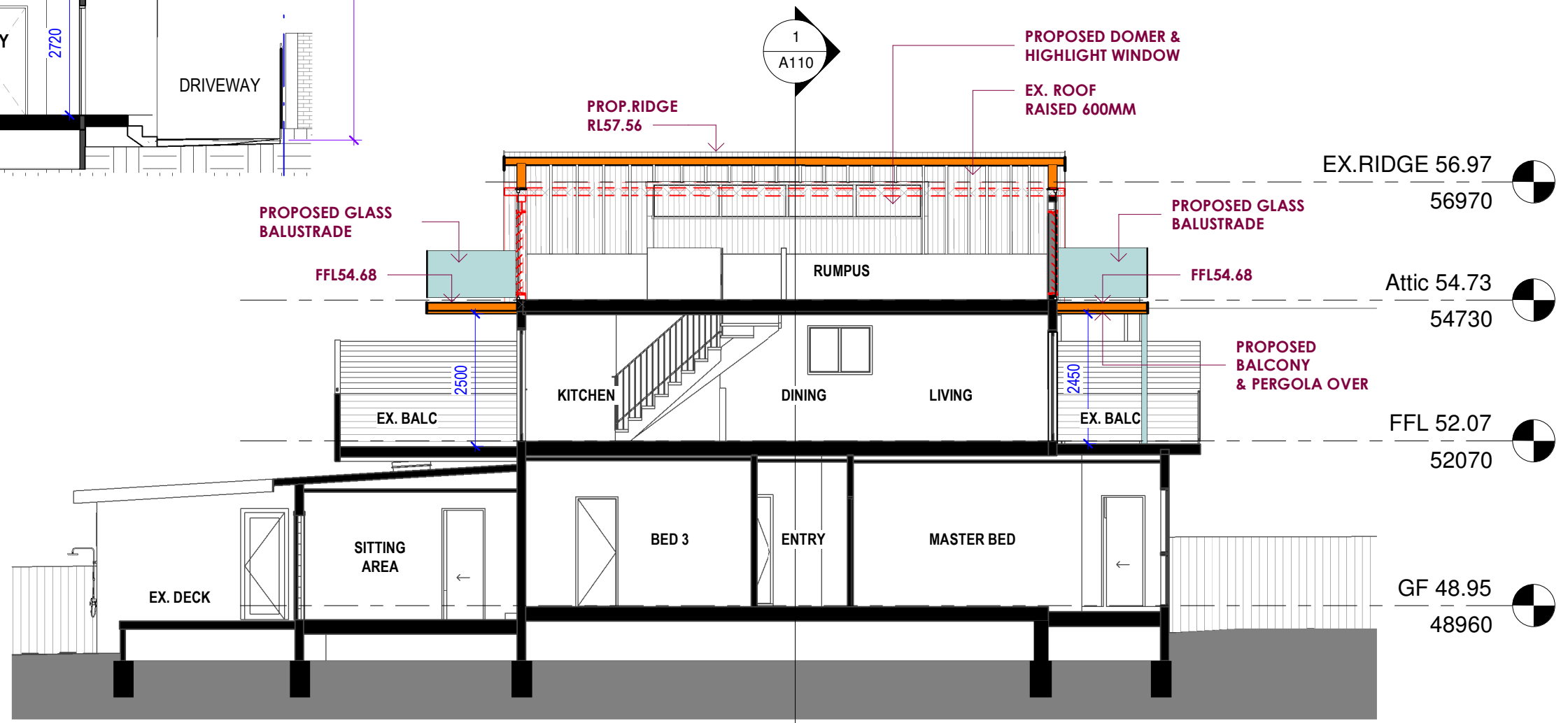
NOTE:
 ALL CONSTRUCTION TO BE IN COMPLIANCE WITH REQUIREMENTS OF BASIX ASSESSMENT, THE BUILDING CODE OF AUSTRALIA, RELEVANT AUSTRALIAN STANDARDS, AND LOCAL PLANNING CODES & MANUFACTURERS SPECIFICATIONS
 ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS & BASIX ASSESSMENT

BASIX NOTE:
 GENERAL NOTE:
 REFER TO BASIX CERTIFICATE FOR PROJECT REQUIREMENTS.
 FOR INSULATION REQUIREMENTS, REFER BASIX CERTIFICATE.
 FOR DETAILS OF FIXTURE AND FITTINGS REQUIREMENTS, REFER BASIX CERTIFICATE.
 FOR DETAILS OF WINDOWS AND SHADING, REFER BASIX CERTIFICATE.
 "REFER TO GENERAL NOTES SHEET A000"

1 Section 1
 1 : 100

LEGEND:

- - - - DENOTES EXISTING WALLS TO BE DEMOLISHED
- DENOTES EXISTING WALLS TO BE MAINTAINED
- DENOTES PROPOSED NEW WALLS
- DENOTES PROPOSED AREA OF NEW WORKS



Section 2
 1 : 100

Cad Draft P/L

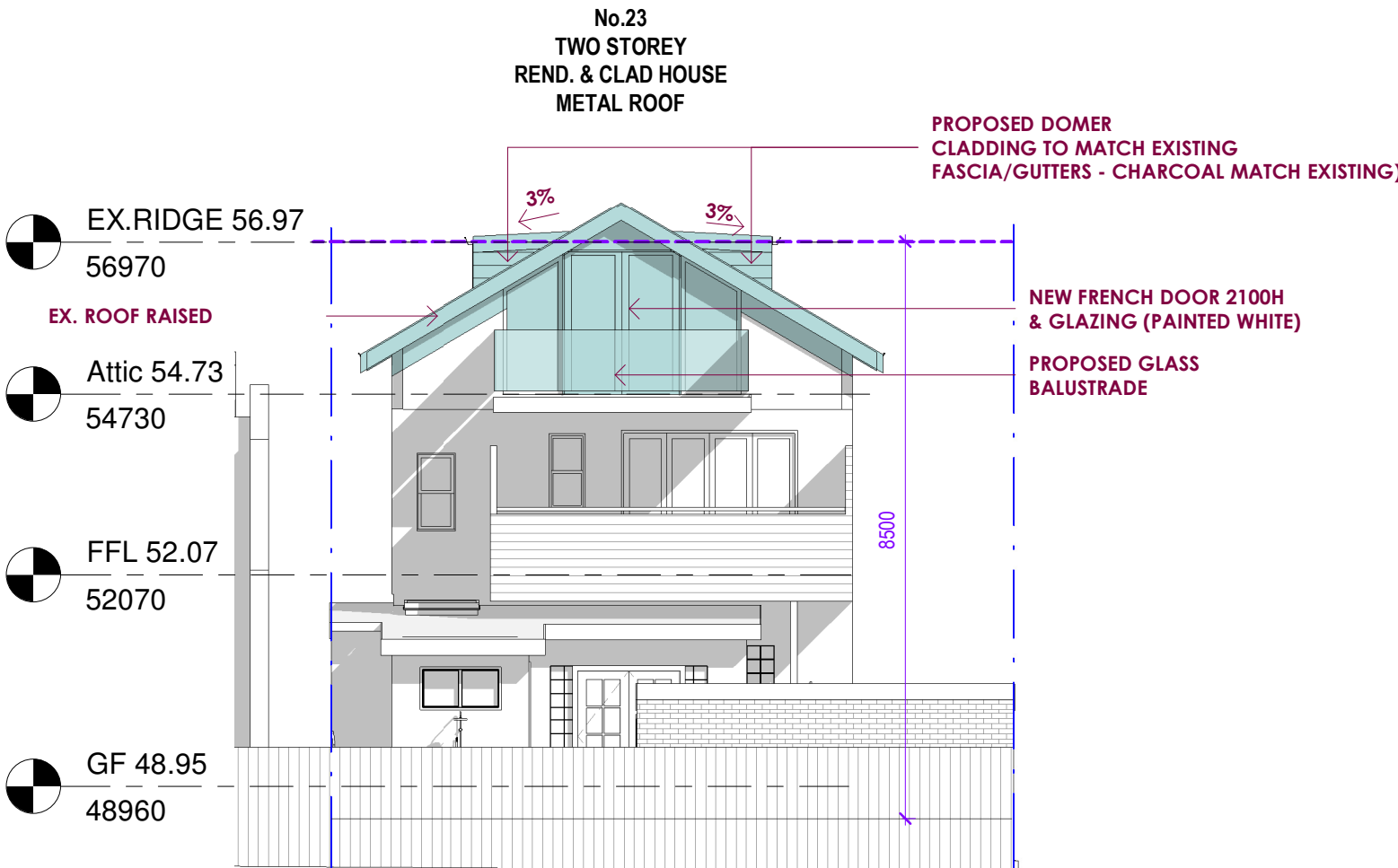
ABN 27 083 288 153
 SUITE 1, 505 BALMAIN ROAD, LILYFIELD, NSW 2040
 MOBILE: 0410 699 919
 info@caddraftnsw.com.au

No.	Description	Date
A	PLANNING REVIEW	31-05-24
B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
 ALTERATIONS AND ADDITIONS
 No. 23 TASMAN STREET,
 DEE WHY
 LOT 26 DP 7435
 CLIENT: JAMES DONNAN

Proposed Sections		A110
Project number	22-95	
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale	1 : 100	

MATERIAL PALETTE



CHARCOAL - SEMI-GLOSS
(FASCIA BOARDS- MATCH EXISTING)



WHITE - SEMI-GLOSS
(WINDOW / DOOR FRAMES - MATCH EXISTING)



SURFMIST - COLORBOND ROOF SHEETING
(MATCH EXISTING)



GLASS BALUSTRADE



PAINTED WEATHERBOARD CLADDING
(MATCH EXISTING)

Northern Elevation Materials & Finishes

1 : 100

Cad Draft P/L

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LILYFIELD, NSW 2040

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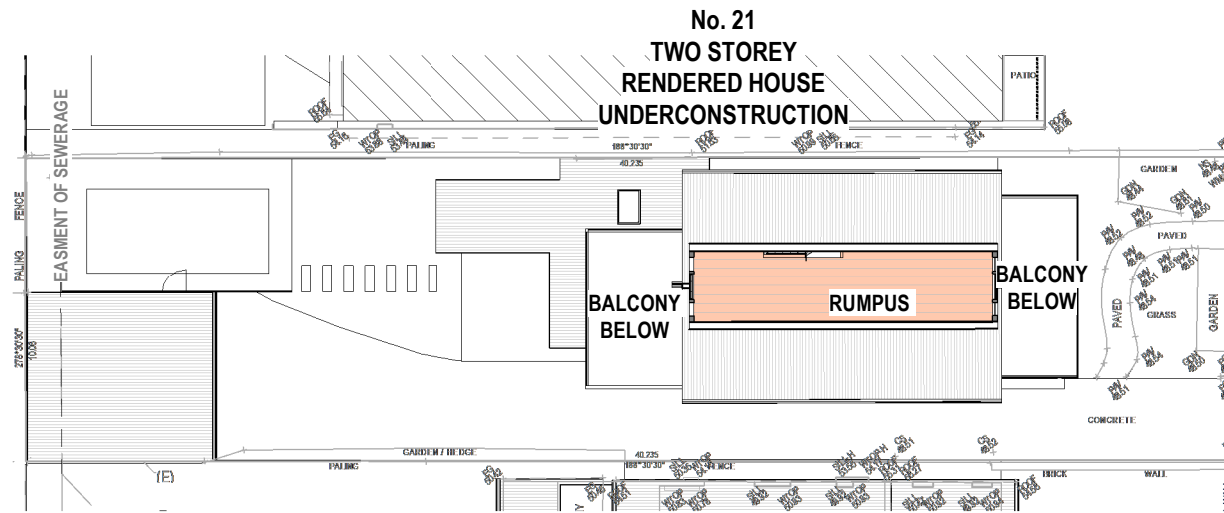
info@caddraftnsw.com.au

No.	Description	Date
A	PLANNING REVIEW	31-05-24
B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

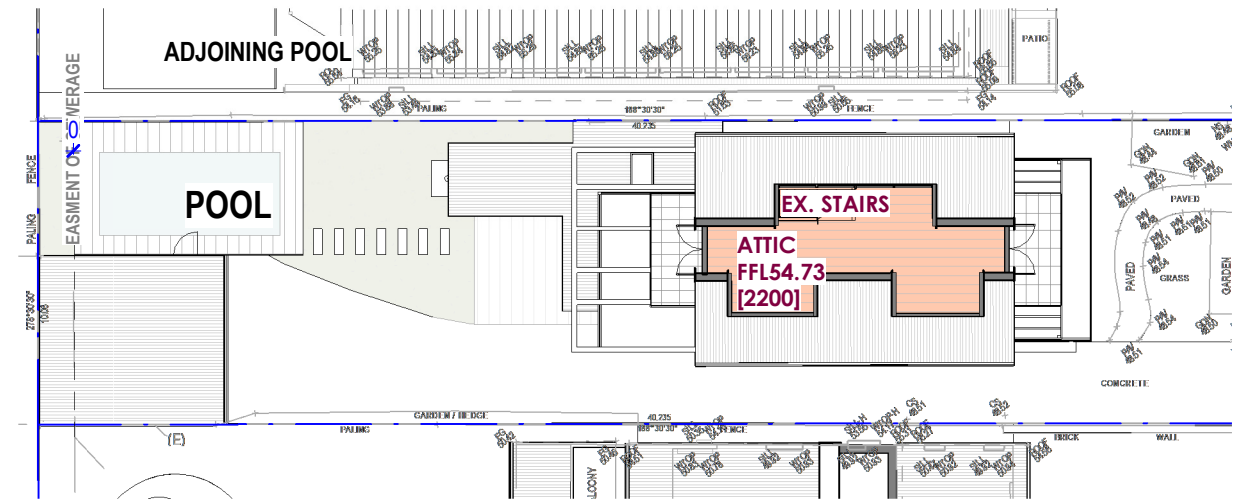
Materials & Finishes

Project number	22-95	A111
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale		1 : 100



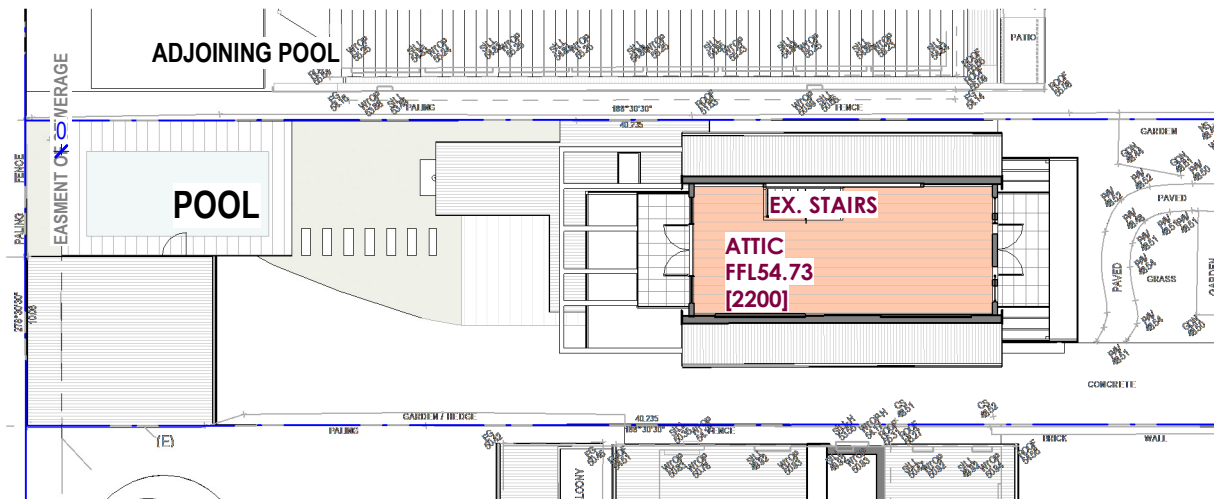
Attic 54.73 Existing FSR

1 : 250



Attic 54.73 - Proposed FSR 2.2m

1 : 250



Attic 54.73 - Proposed FSR

1 : 250

ATTIC CALCULATIONS:

EXISTING FSR ATTIC LEVEL:	23.39m ²
PROPOSED FSR ATTIC LEVEL:	39.23m ²

Min. 2/3 AT 2.2m Height :	25.82m ²
PROPOSED ATTIC LEVEL 2.2m H:	30.00m ²

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW 2040

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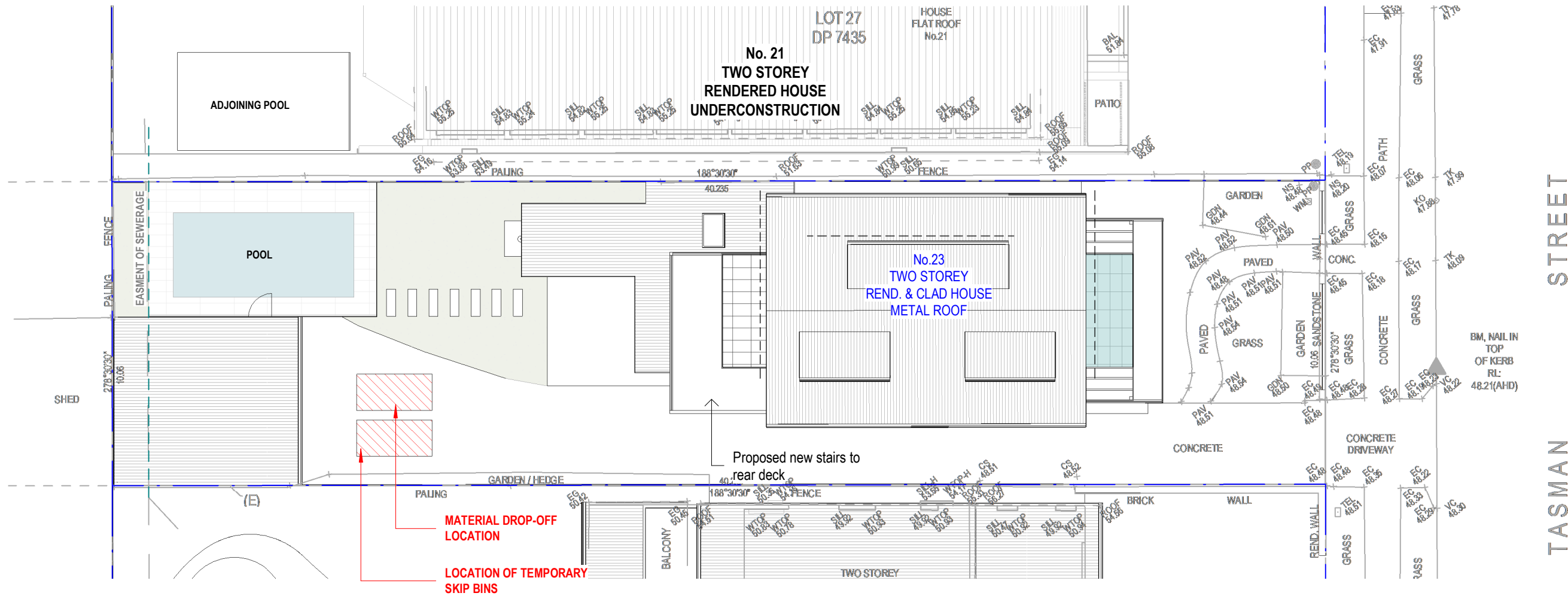
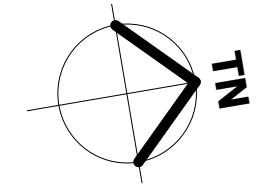
info@caddraftnsw.com.au

No.	Description	Date
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DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Attic Area Calculations

Project number	22-95	<h1>A112</h1>
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale		1 : 250



MATERIAL DROP-OFF LOCATION

LOCATION OF TEMPORARY SKIP BINS

NOTES: SITE / WASTE MANAGEMENT

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
2. MINIMISE DISTURBED AREAS
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY
6. NO MATERIAL TO BE STORED ON FOOTPATH
7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A FINE

Waste Management Plan
1 : 150

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW 2040

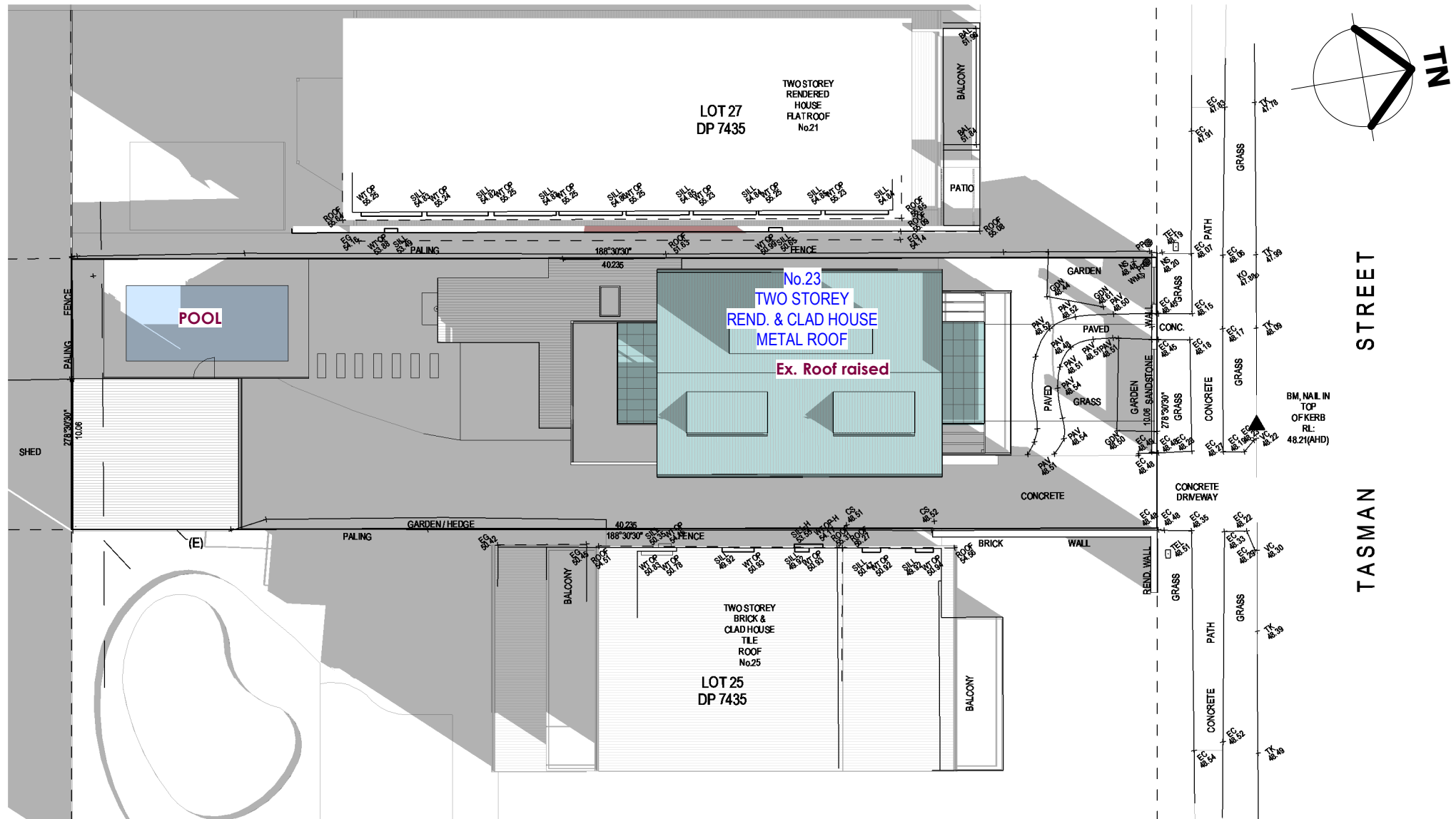
MOBILE: 0410 699 919
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No.	Description	Date
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DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

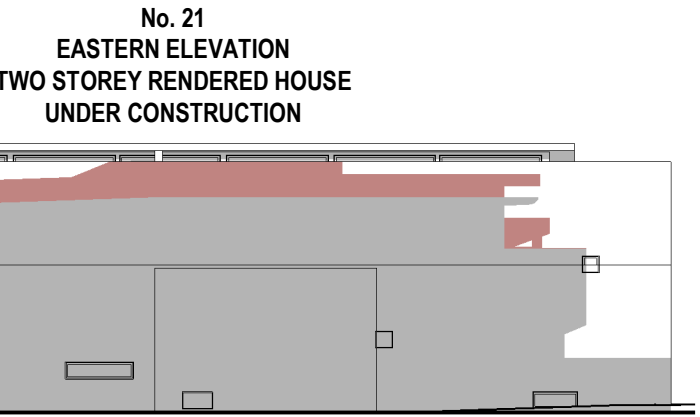
Waste Management Plan

Project number	22-95	A113
Date	05-07-24	
Drawn by	KP	
Checked by	JD	
Scale		1 : 150



LEGEND:

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
- DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW



Shadowing June 21st 9.00am
1 : 200

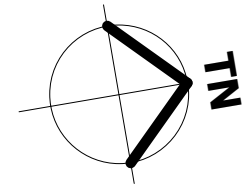
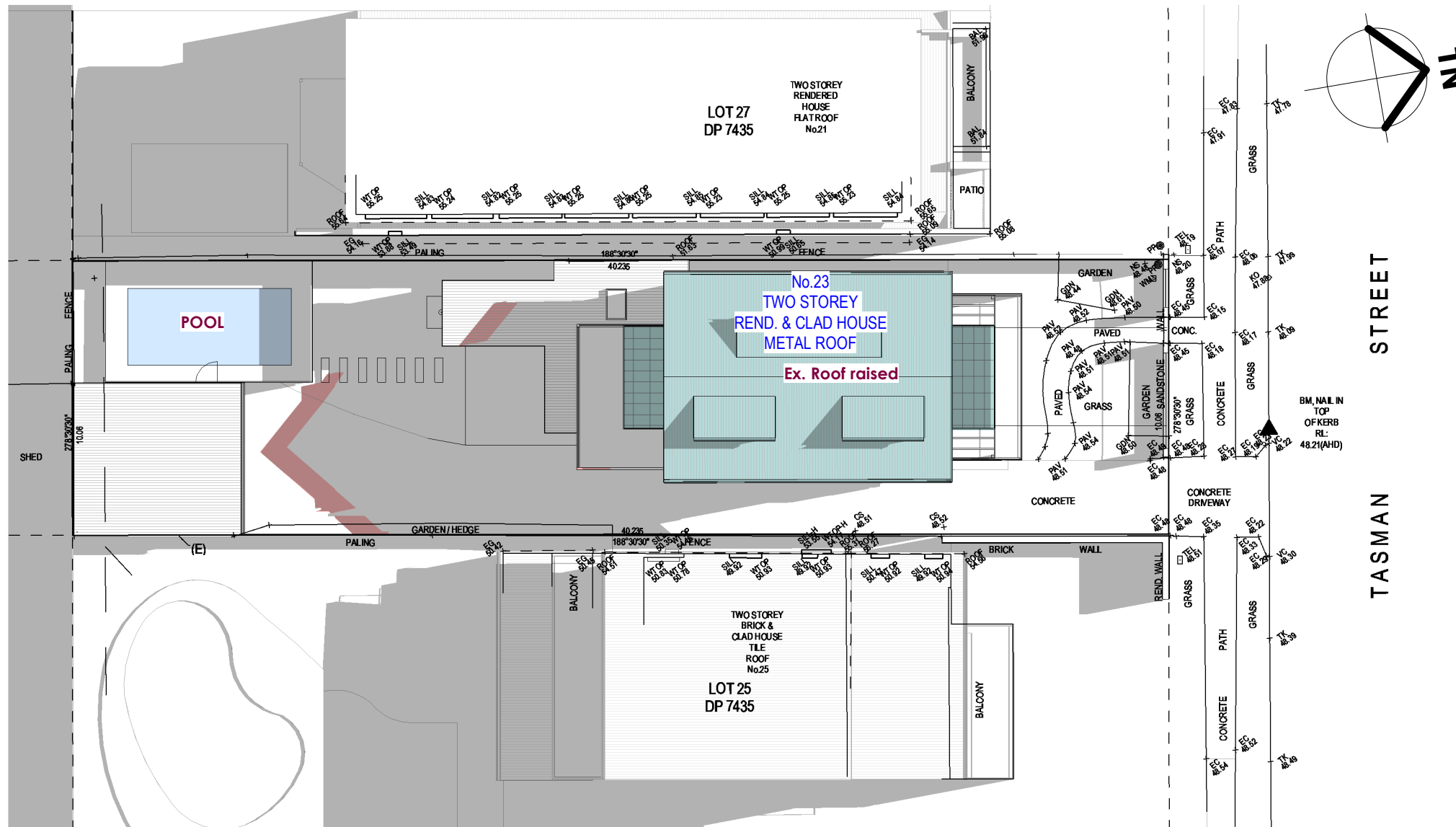
Cad Draft P/L
 ABN 27 083 288 153
 SUITE 1, 505 BALMAIN ROAD,
 LILYFIELD, NSW 2040
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 info@caddraftnsw.com.au

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B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
 ALTERATIONS AND ADDITIONS
 No. 23 TASMAN STREET,
 DEE WHY
 LOT 26 DP 7435
 CLIENT: JAMES DONNAN

Shadowing June 21st 9.00am

Project number	22-95	A114
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale		1 : 200



TASMAN STREET

LEGEND:

	DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
	DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
	DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
	DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW

Shadowing June 21st 12.00pm

1 : 200

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW 2040

MOBILE: 0410 699 919

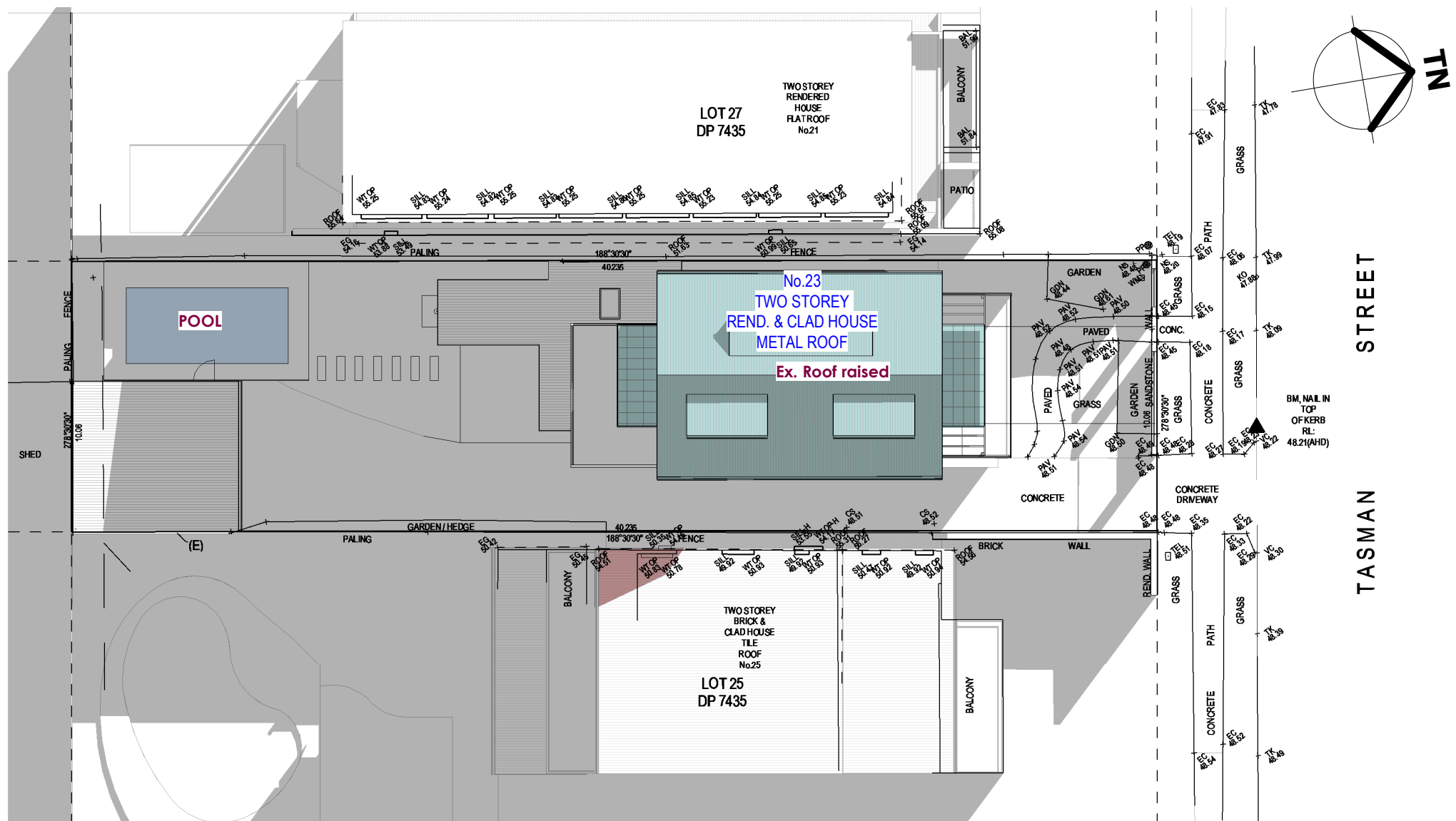
info@caddraftnsw.com.au

No.	Description	Date
A	PLANNING REVIEW	31-05-24
B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

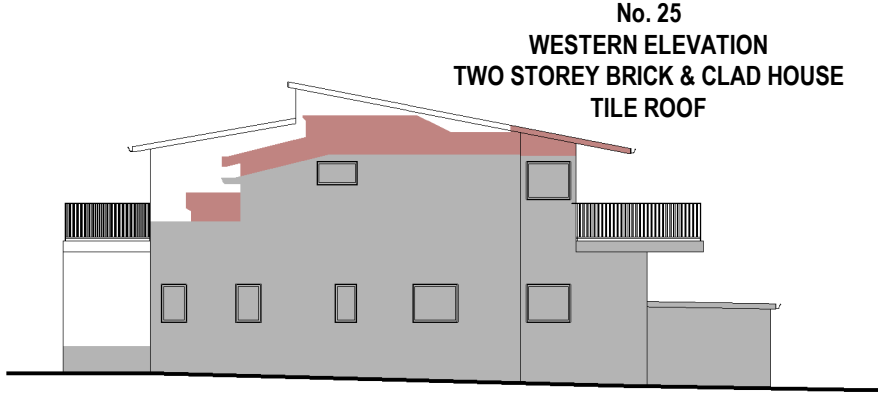
Shadowing June 21st 12.00pm

Project number	22-95	<h1>A115</h1>
Date	05-07-24	
Drawn by	AB	
Checked by	JD	
Scale	1 : 200	



LEGEND:

- DENOTES OUTLINE OF EXISTING STRUCTURES TO BE DEMOLISHED
- DENOTES AREA OF EXISTING & SURROUNDING BUILDING SHADOW
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
- DENOTES AREA OF PROPOSED ADDITIONAL BUILDING SHADOW



Shadowing June 21st 3.00pm
1 : 200

Cad Draft P/L

ABN 27 083 288 153
SUITE 1, 505 BALMAIN ROAD,
LILYFIELD, NSW 2040

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No.	Description	Date
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B	DEVELOPMENT APPLICATION	05-07-24
C	FSR REVISION	16-08-24

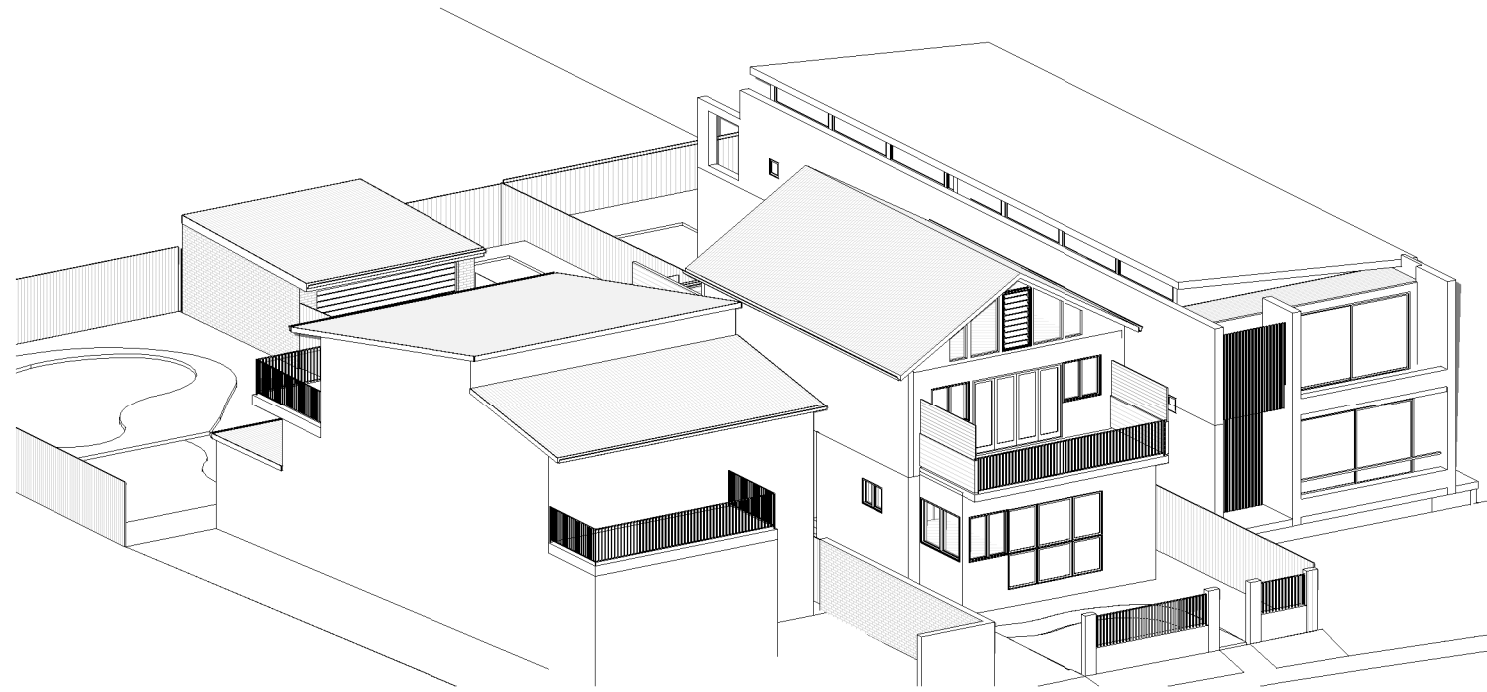
DA APPLICATION
ALTERATIONS AND ADDITIONS
No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

Shadowing June 21st 3.00pm

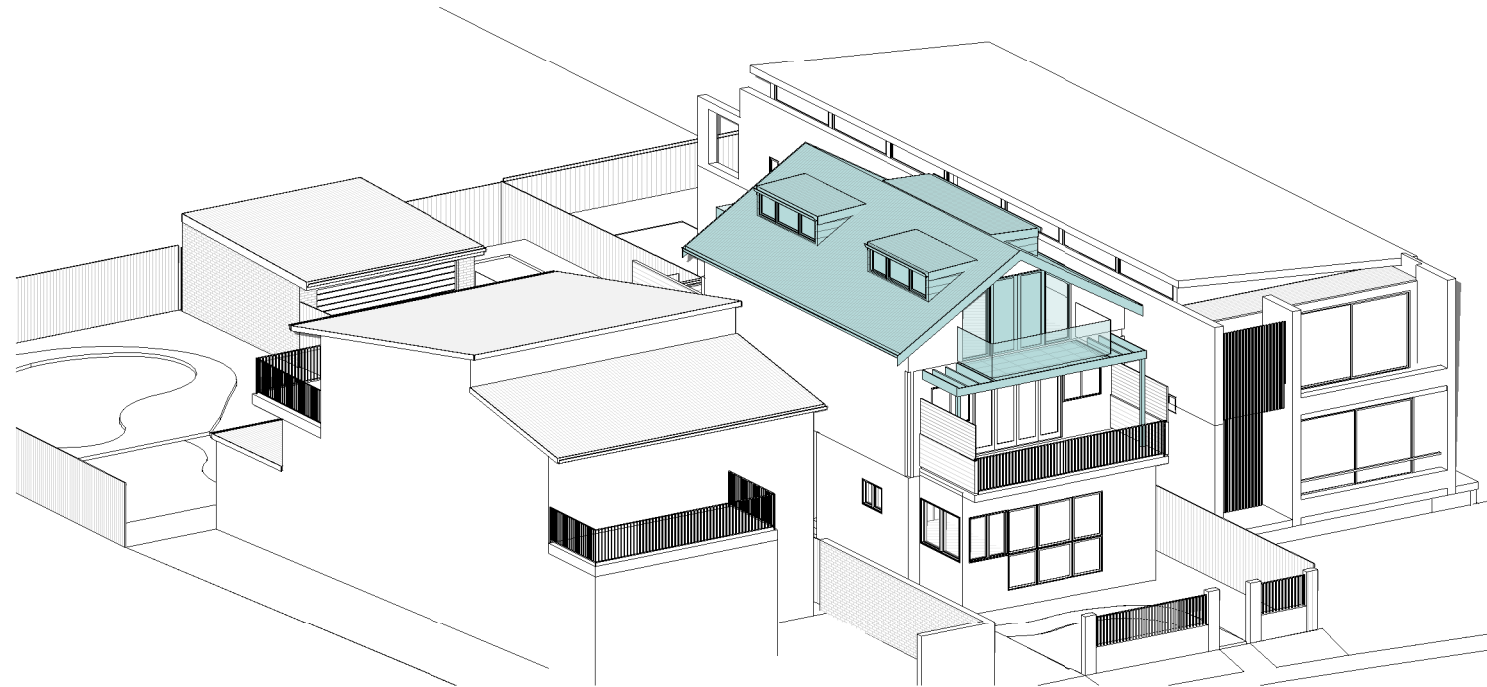
Project number	22-95
Date	05-07-24
Drawn by	AB
Checked by	JD

A116

Scale 1 : 200



June 21st 9.00am Existing



June 21st 9.00am Proposed

Cad Draft P/L

ABN 27 083 288 153

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No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

3D Sun Views June 21st 9.00am

Project number 22-95

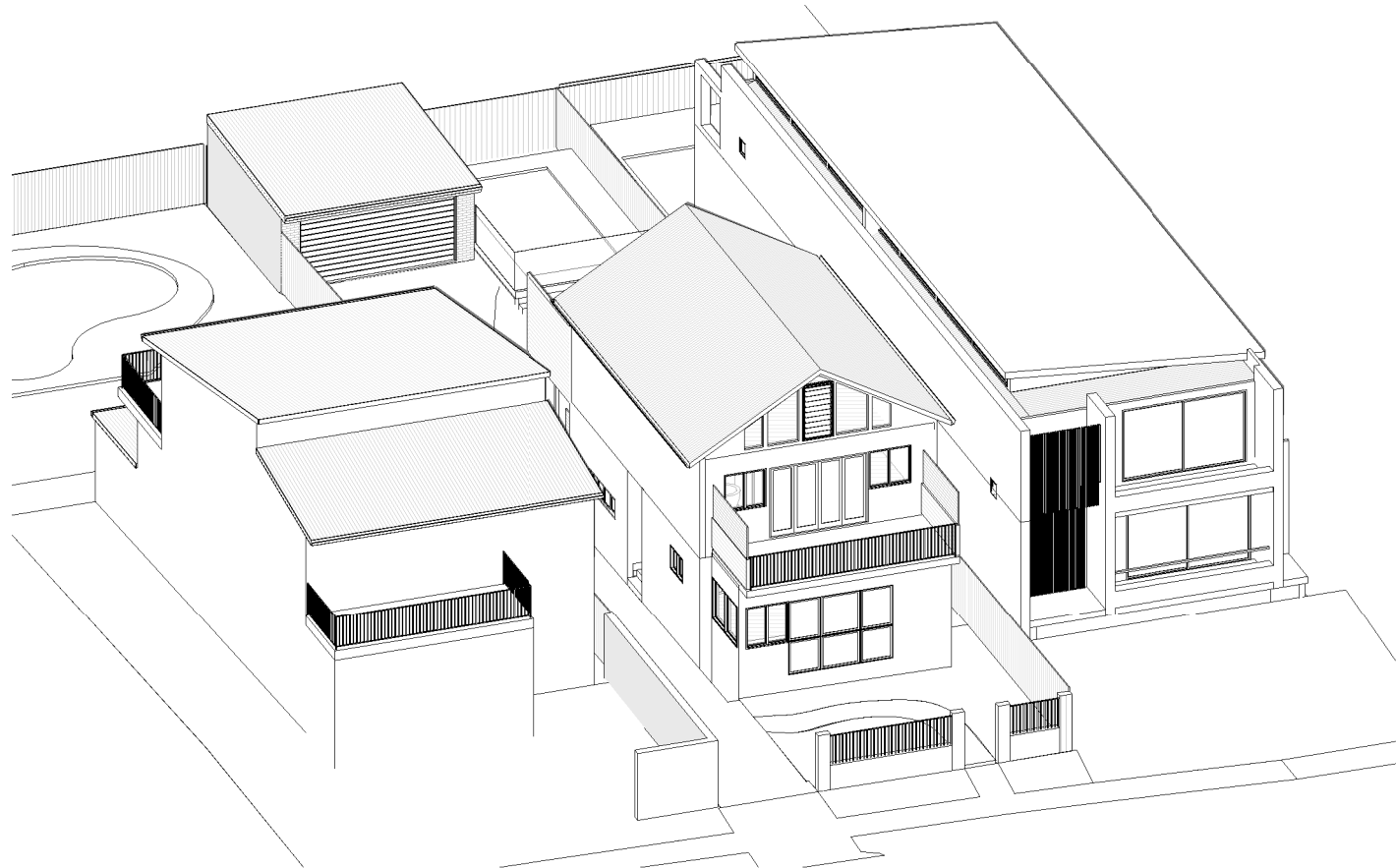
Date 05-07-24

Drawn by AB

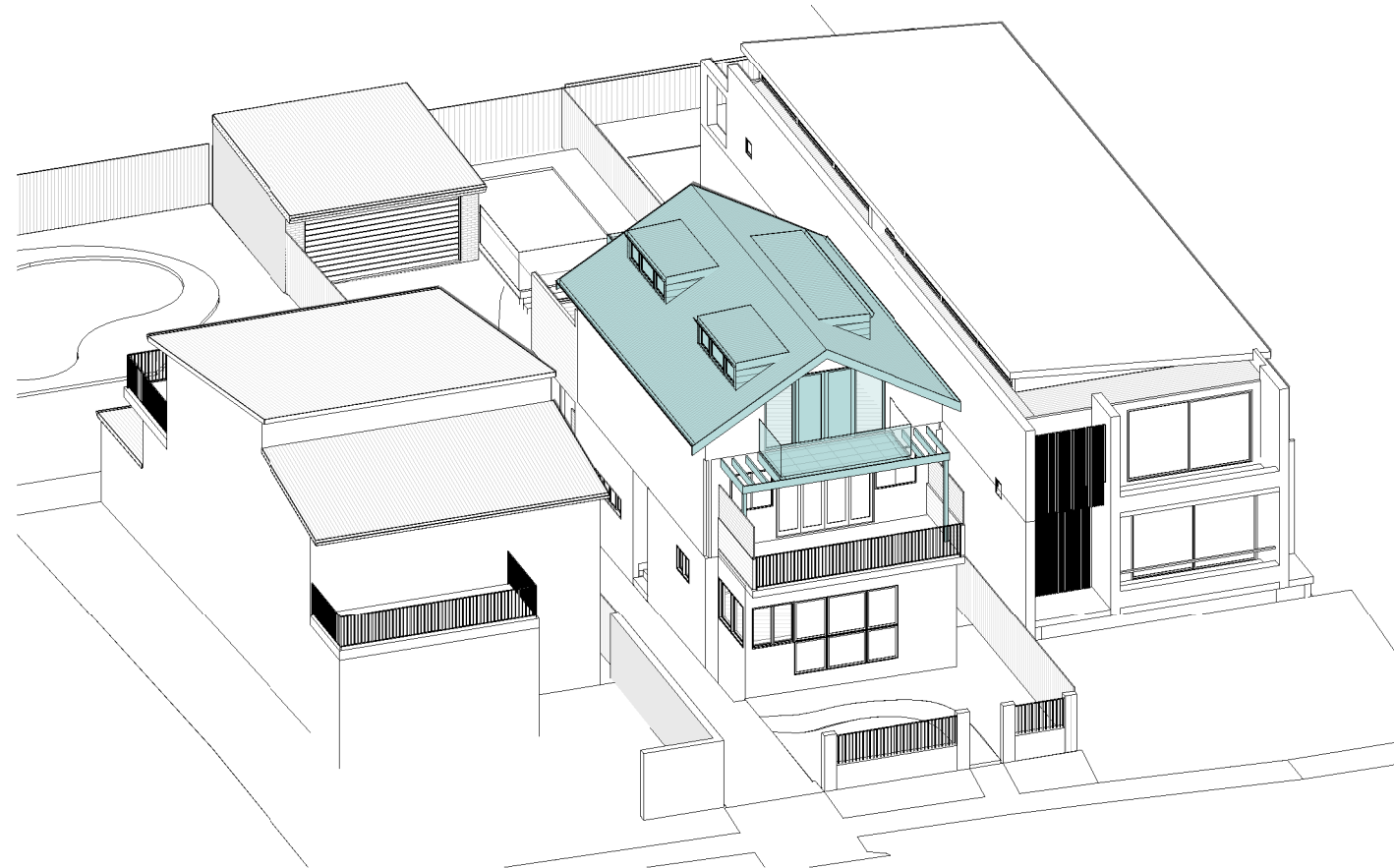
Checked by JD

Scale

A117



June 21st 10.00am Existing



June 21st 10.00am Proposed

Cad Draft P/L

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LILYFIELD, NSW 2040

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LOT 26 DP 7435
CLIENT: JAMES DONNAN

3D Sun Views June 21st 10.00am

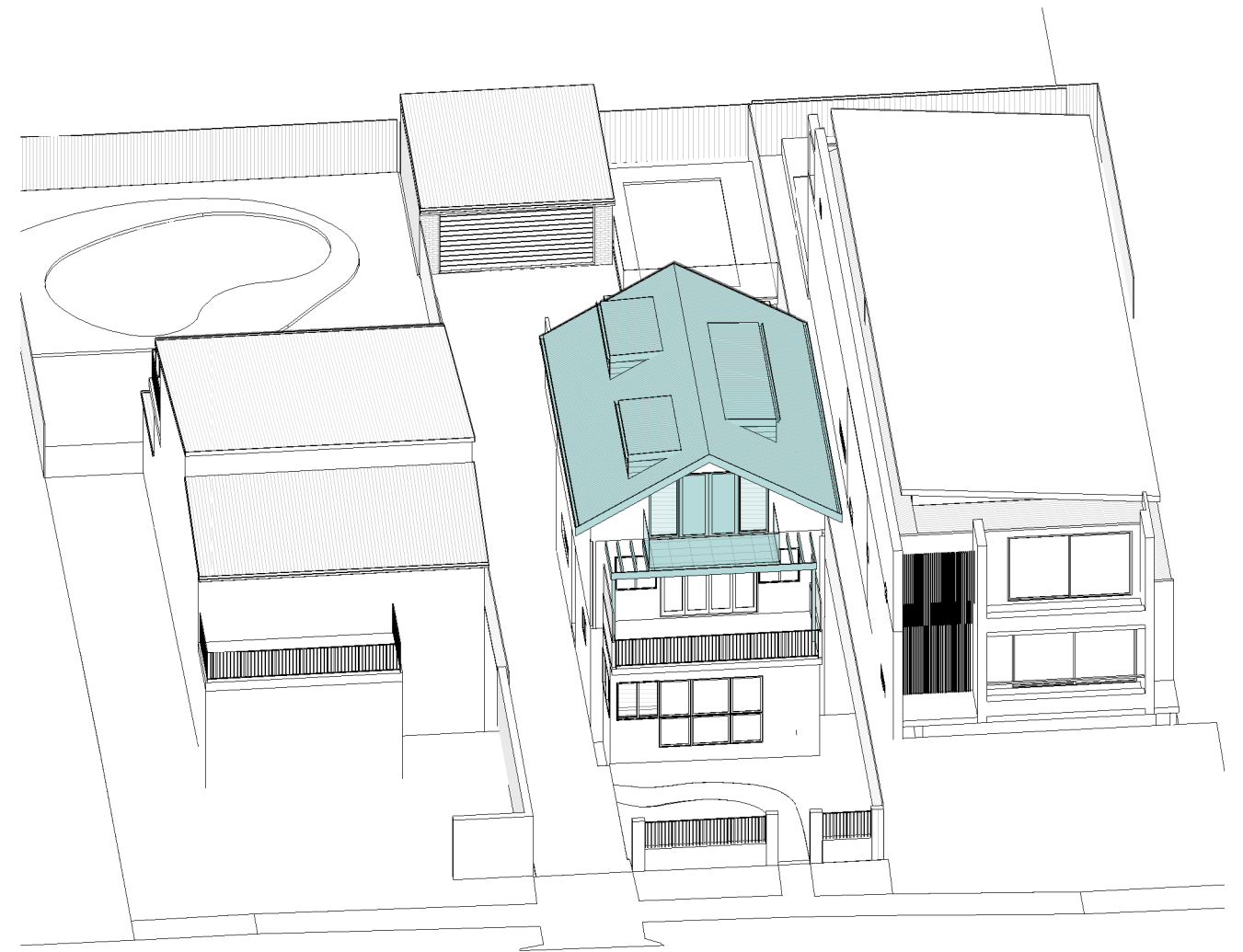
Project number	22-95
Date	05-07-24
Drawn by	AB
Checked by	JD

A118

Scale



June 21st 11.00am Existing



June 21st 11.00am Proposed

Cad Draft P/L

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LILYFIELD, NSW 2040

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DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

3D Sun Views June 21st 11.00am

Project number 22-95

Date 05-07-24

Drawn by AB

Checked by JD

Scale

A119



June 21st 12.00pm Existing



June 21st 12.00pm Proposed

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SUITE 1, 505 BALMAIN ROAD,
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No.	Description	Date
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No. 23 TASMAN STREET,
DEE WHY
LOT 26 DP 7435
CLIENT: JAMES DONNAN

3D Sun Views June 21st 12.00pm

Project number 22-95

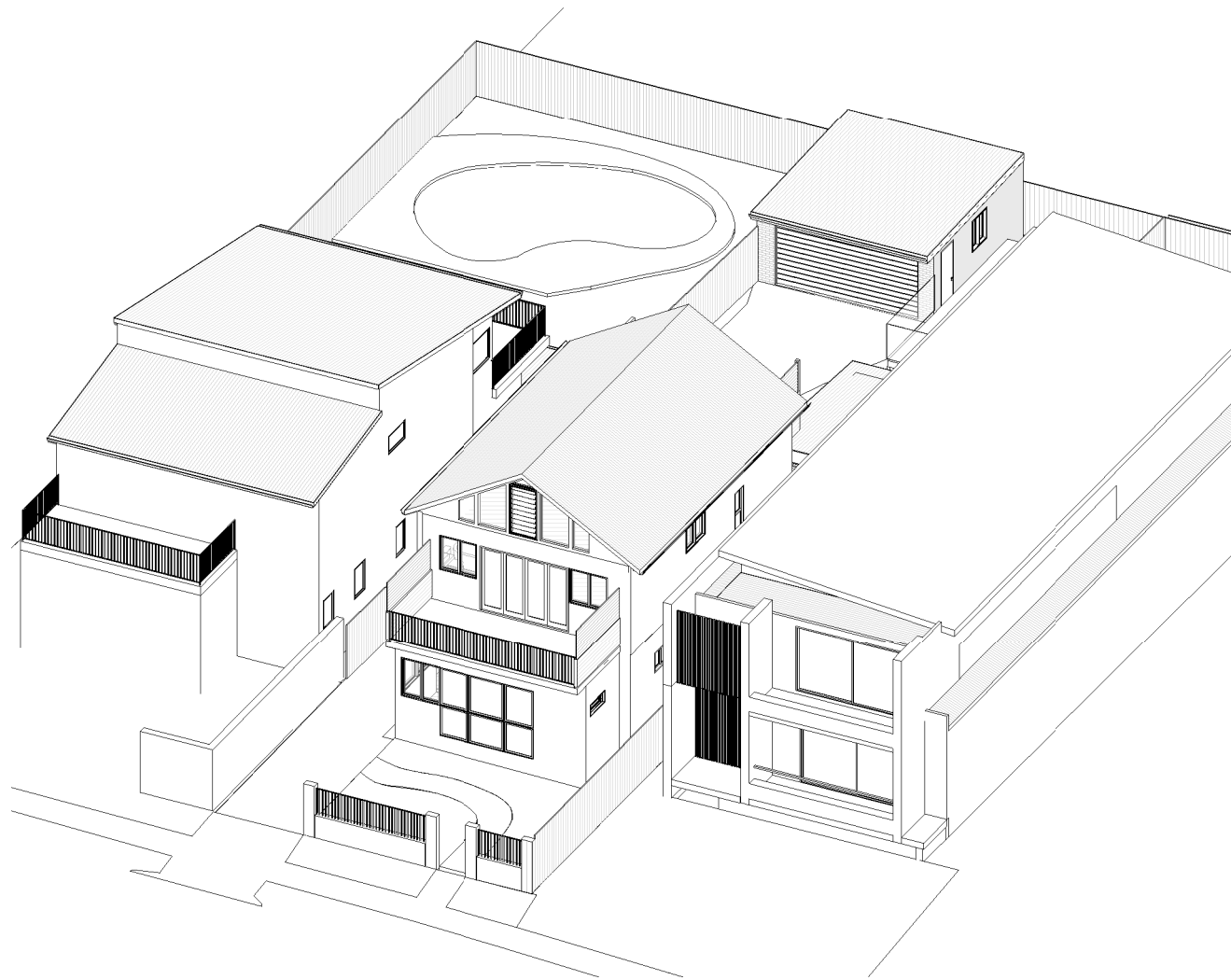
Date 05-07-24

Drawn by AB

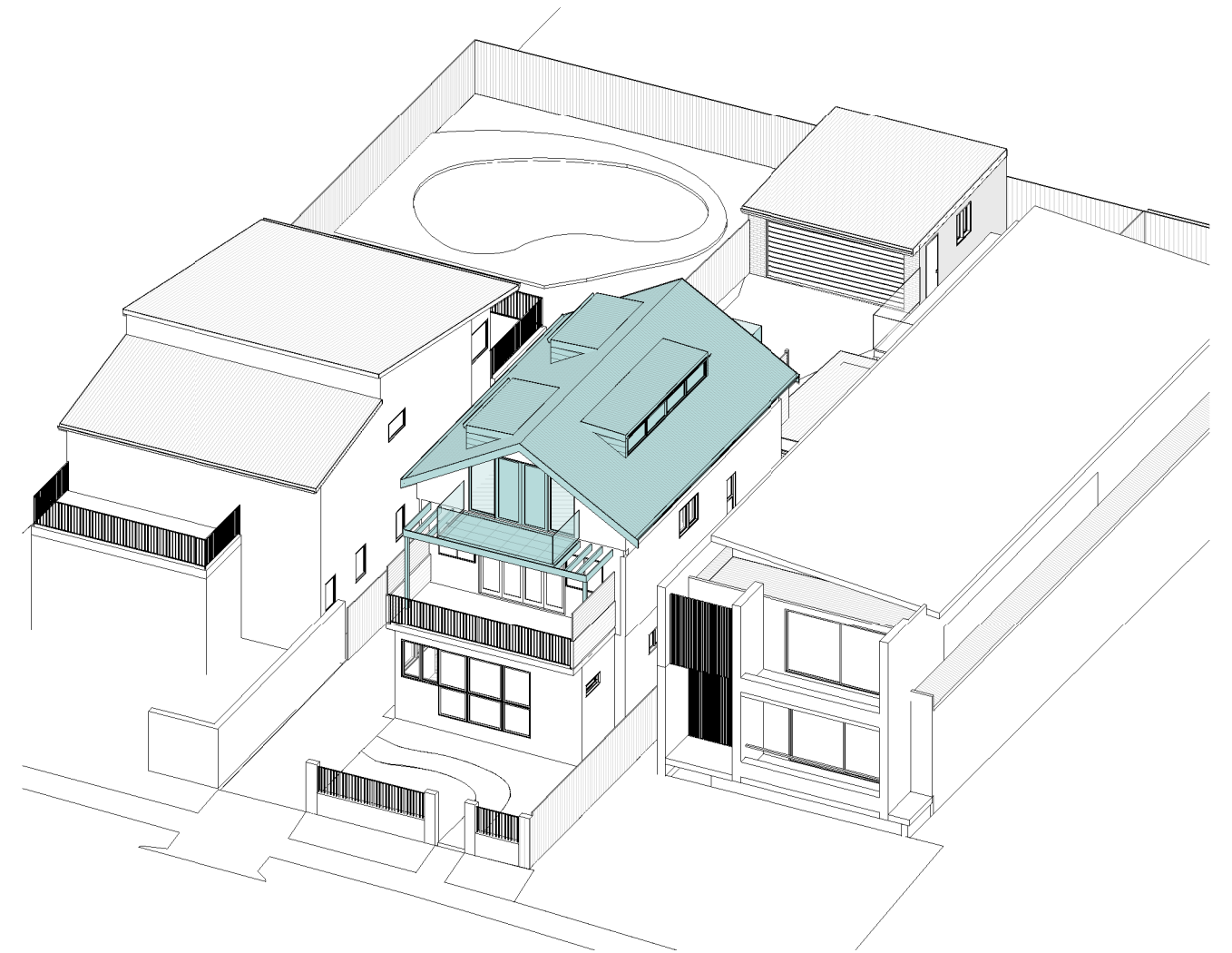
Checked by JD

Scale

A120



June 21st 1.00pm Existing



June 21st 1.00pm Proposed

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3D Sun Views June 21st 1.00pm

Project number 22-95

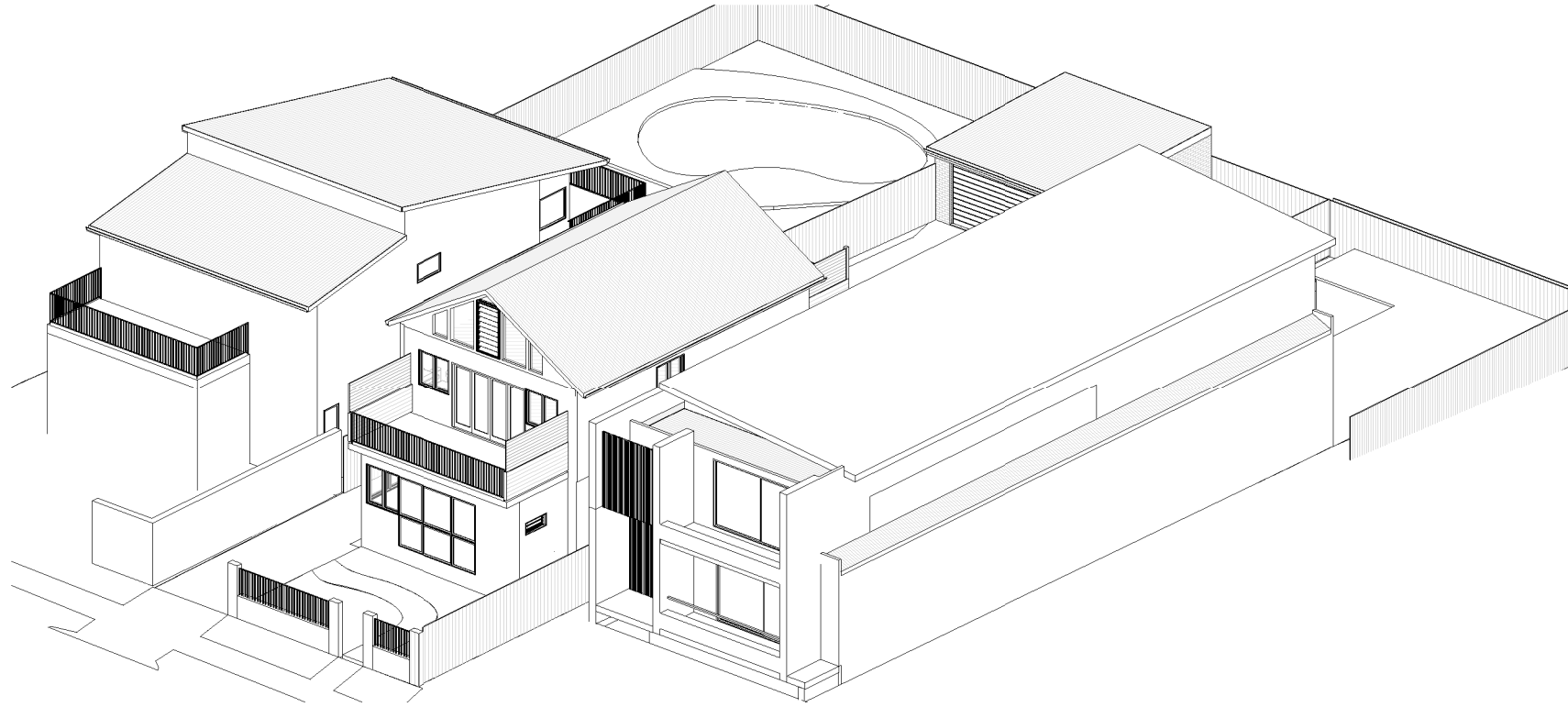
Date 05-07-24

Drawn by AB

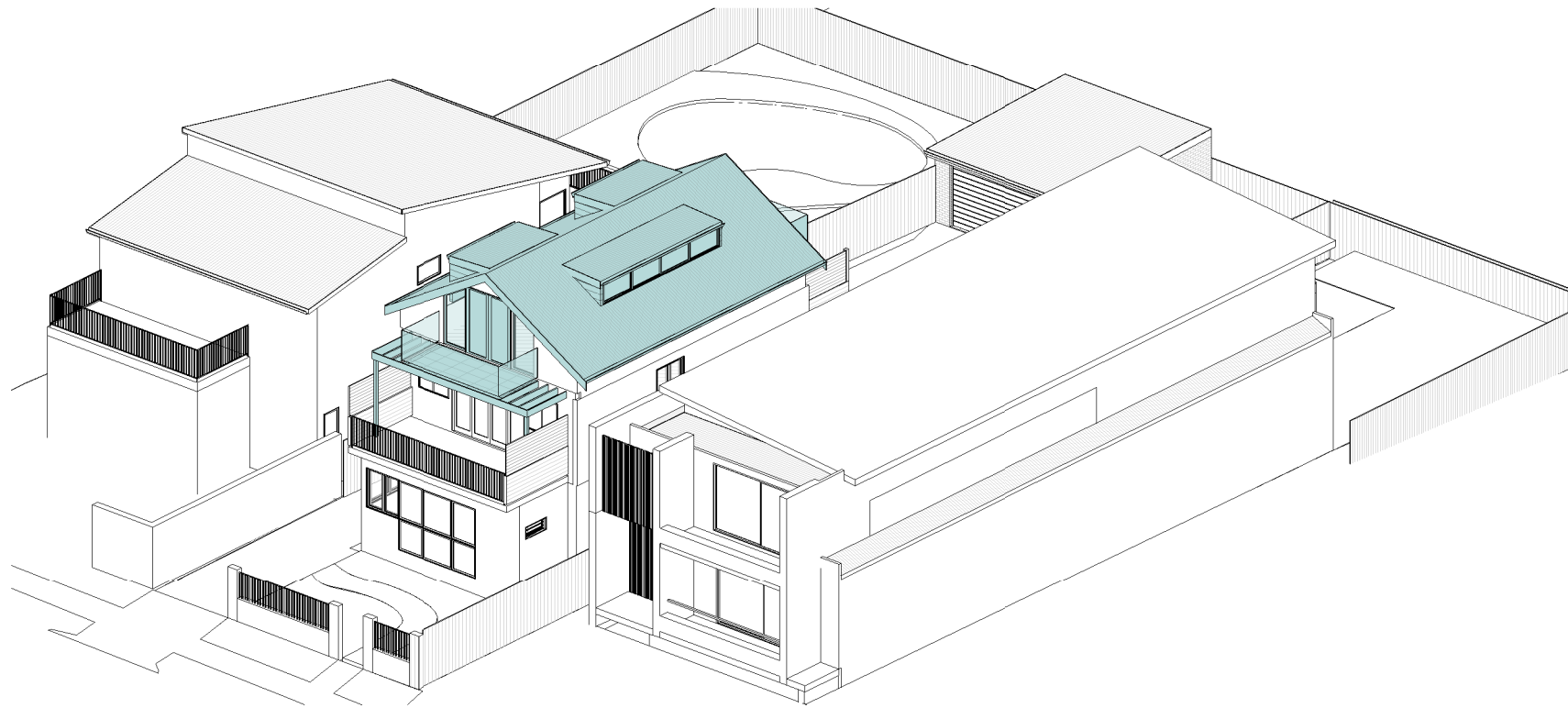
Checked by JD

Scale

A121



June 21st 2.00pm Existing



June 21st 2.00pm Proposed

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LOT 26 DP 7435
CLIENT: JAMES DONNAN

3D Sun Views June 21st 2.00pm

Project number 22-95

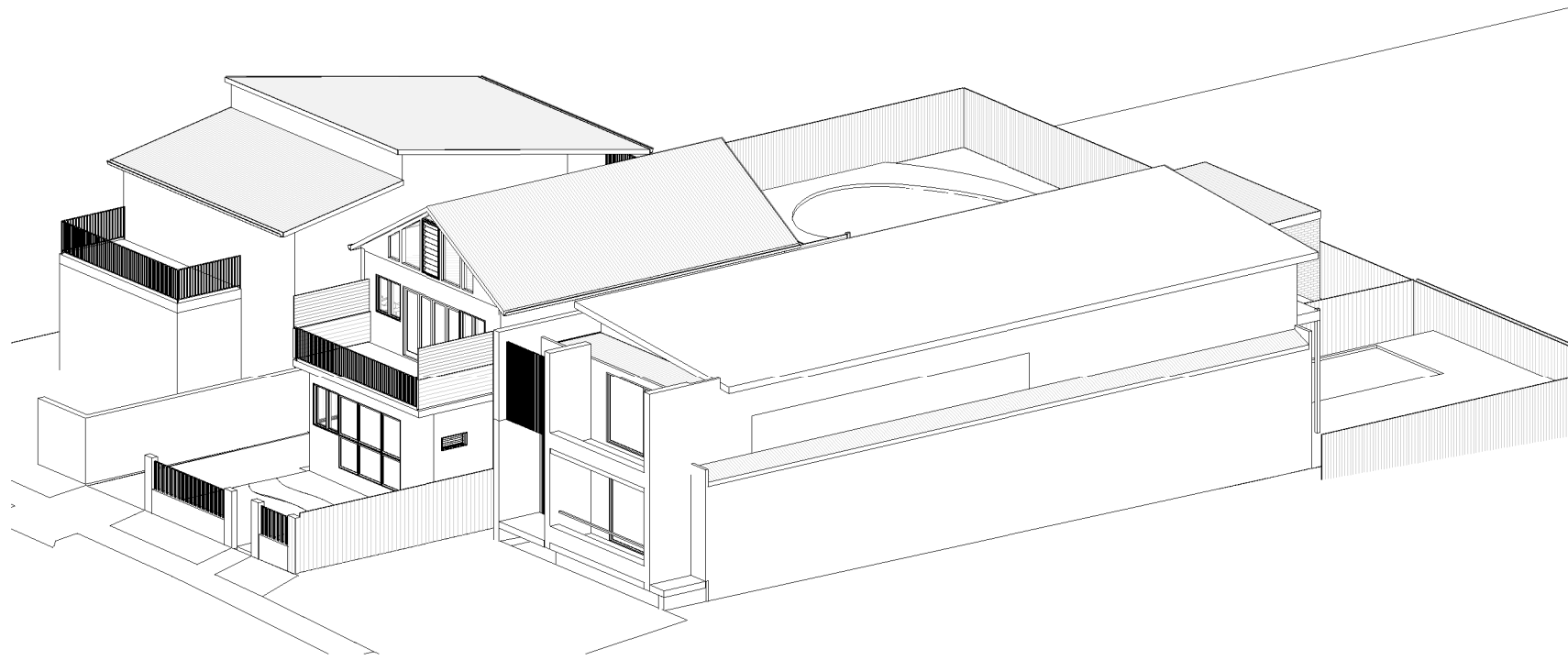
Date 05-07-24

Drawn by AB

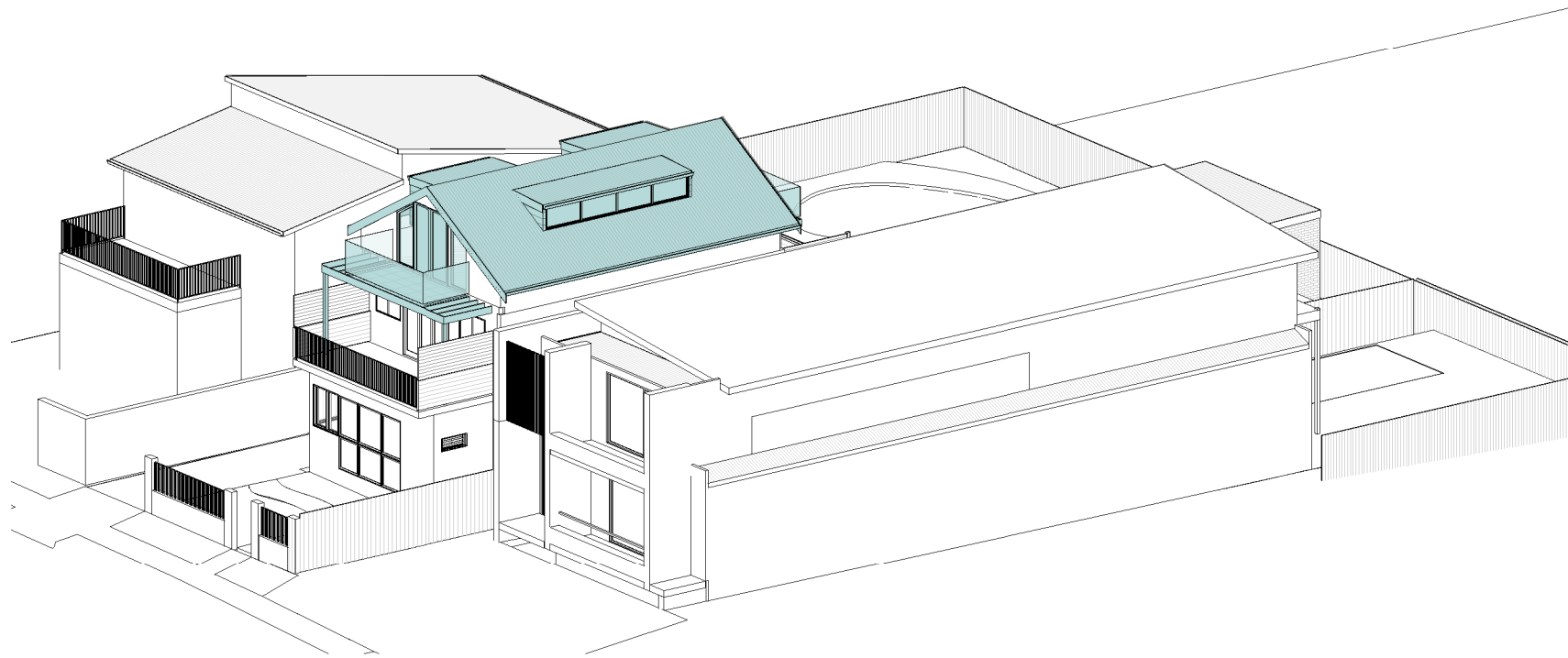
Checked by JD

Scale

A122



June 21st 3.00pm Existing



June 21st 3.00pm Proposed

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Project number 22-95

Date 05-07-24

Drawn by AB

Checked by JD

Scale

A123