



Access Assessment Report

101-105 Old Pittwater Road, Brookvale



Project: 101-105 Old Pittwater Road, Brookvale

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BCA Logic Acquired by Jensen Hughes

BCA Logic was acquired by Jensen Hughes, the largest specialist fire and safety engineering firm in the world, in September 2021.

A respected global leader in safety, security and risk-based engineering and consulting, Jensen Hughes employs more than 1,400 people across 100 countries. This acquisition marks the company's entry into the Australian market and speaks to BCA Logic's experience and expertise in building legislation and regulations, fire, accessibility, and energy consulting.

Partnering with Jensen Hughes allows BCA Logic to further advance our capabilities in all aspects of fire safety engineering and support our clients with an expanded range of complementary services. Both companies share a commitment to technical excellence and exceptional client service.

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EXECUTIVE SUMMARY

This document provides an assessment of the architectural design drawings for the proposed development at 101-105 Old Pittwater Road, Brookvale, against the Deemed-to-Satisfy provisions relating to Access for Persons with a Disability.

Part 2 'Matters for Further Consideration' of this report outlines the identified compliance issues that require further information or consideration and/or assessment as Performance Solutions. Any Performance Solution will need to be detailed in a separate report and must clearly indicate methodologies for achieving compliance with the relevant Performance Requirements.

Item	Description	BCA Provision
Performance Solutions Required		
1.	To omit lift access to the mezzanine levels of each SOU where a mezzanine has a floor area less than 200m ² and is the only mezzanine provided within the relevant 'part' of the building, in this case being each single SOU.	DtS Provision – D3.3 Performance Solution – DP1
Compliance Matters to be Addressed		
1.	Access to Buildings	DtS Provision – D3.2
2.	Parts of Building to be Accessible	DtS Provision – D3.3
3.	Accessible Carparking	DtS Provision – D3.5
Further Information Required		
1.	Signage and Door Schedules should be further developed and provided to the Principal Certifier at Construction Certificate stage of the design.	DtS Provisions – D2.21, D3.2, D3.3, D3.6, & Spec D3.6

The Annexures of this Report provide detailed assessments of the proposal against all compliance requirements.

1 BASIS OF ASSESSMENT

1.1. Location

The building development, the subject of this report, is located at 101-105 Old Pittwater Road, Brookvale. The development proposal consists of the construction of a large industrial development that contains several individual warehouse Sole Occupancy Units (SOU's) throughout the middle and upper storeys of the building, many of which will incorporate an enclosed office mezzanine space within the warehouse. The basement level of the building contains storage space only.



Site Aerial (Source Google Maps)

1.2. Purpose

The purpose of this report is to assess the proposed building against the documents and their relevant Deemed to Satisfy requirements. The report is intended to clearly outline those areas where compliance is not achieved and provide recommendations to achieve compliance:

- > Disability (Access to Premises – Buildings) Standards 2010 (the Premises Standards) as intended to give certainty to meeting certain obligations for the design of a building under the Disability Discrimination Act 1992 (the DDA) in relation to those matters covered by the Premises Standards;

- > Building Code of Australia 2019 (BCA2019) Volume One Amendment 1 – Part D3 and Clauses E3.6 and F2.4, as applicable; and
- > Applicable Australian Standards AS1428.1-2009 Amdt. 1&2 (AS1428.1), AS/NZS 1428.4.1-2009 Amdt. 1&2 (AS1428.4.1) and AS/NZS 2890.6-2009 (AS2890.6).

1.3. Limitations

This report is limited to an assessment of the access and amenity provisions for people with a disability against the documents as outlined in 1.2 above. It is not an assessment of the proposal against all provisions of the BCA2019 and if this is required, a separate report will be necessary.

This report does not include nor imply any detailed assessment for design, compliance or upgrading for:

- > The structural adequacy or design of the building;
- > The inherent derived fire-resistance ratings of any existing or proposed structural elements of the building (unless specifically referred to); and
- > The design basis and/or operating capabilities of any existing or proposed electrical, mechanical or hydraulic services.

This report does not include, or imply compliance with:

- > The Disability Discrimination Act (it cannot be guaranteed that a complaint under the DDA will not be made, however should the building comply with BCA2019 and the Premises Standard then a degree of surety is afforded to those responsible for the design of the building);
- > BCA2019 Sections B, C, D (except Part D3), E (except Clause E3.6), F (except Clauses F2.4 & F2.9), G, H, I & J;
- > Demolition Standards not referred to by the BCA2019;
- > Work Health and Safety Act;
- > Construction Safety Act;
- > Requirements of other Regulatory Authorities including, but not limited to, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Work Cover, Roads and Maritime Services (RMS), Local Council, ARTC, Department of Planning and the like;
- > Conditions of Development Consent issued by the Local Consent Authority; and
- > This report does not assess the safety of the particular aspects of the building but merely the minimum standards called up by the documents outlined in Part 1.2 of this report.

1.4. Federal Disability Discrimination Act (DDA)

Disability is broadly defined and includes disabilities which are physical, intellectual, psychiatric, neurological, cognitive or sensory (a hearing or vision impairment), learning difficulties, physical disfigurement and the presence in the body of disease causing organisms.

All organisations have a responsibility, under the DDA, to provide equitable, dignified access to goods and services and to premises used by the public. Premises are broadly defined and would include all areas included within the subject development.

The DDA applies nationally and is complaint based. While the Disability (Access to Premises – Buildings) Standards 2010 and the BC2019 are recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA2019 and the referenced standards does not guarantee that a complaint will not be lodged.

1.5. Disability (Access to Premises – Buildings) Standards 2010 (Premises Standards)

The aim of the Premises Standards is to provide the building and design industry with detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings.

The Premises Standards intend to provide certainty for the building industry in relation to meeting the requirements for access in new and upgraded buildings. They only apply to elements addressed within the Standards. All other elements related to premises will still be subject to the existing provisions of the DDA.

The Premises Standards generally align with the BCA2019 and reference a range of Australian Standards relating to access and other associated matters.

They do not apply to existing buildings that are not undergoing upgrade; however they introduce the concept of the “Affected Part”. This means that new works need to be connected to the building’s Principal Pedestrian Entrance by an accessible path of travel. This can mean that upgrade to the building may be necessary even where none is proposed.

1.6. Design Documentation

This report has been based on the Design plans and Specifications listed in Annexure A of this Report.

1.7. Definitions

Accessible

Having features to enable use by people with a disability.

Accessway

A continuous accessible path of travel (as defined in AS 1428.1) to, into or within a building.

Luminance Contrast

The light reflected from one surface or component, compared to the light reflected from another surface or component.

Ramp

An inclined surface on a continuous accessible path of travel between two landings with a gradient steeper than 1 in 20 but not steeper than 1 in 14.

Tactile Indicators

Tactile Ground Surface Indicators (TGSIs)

Truncated cones and/or bars installed on the ground or floor surface, designed to provide pedestrians who are blind or vision-impaired with warning or directional orientation information

2 KEY COMPLIANCE CONSIDERATIONS

2.1. General

The following is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible.

Accessibility has been assessed against the documents outlined in Part 1.2 of this Report.

2.2. Classification

Under the provisions of Parts A6 of BCA2019 and Part A4 of the Access Code, the building has been classified as follows:

Table 1. Building Classification

Class	Level	Description
Class 7b	Basement	Self-Storage
Class 7a, & 7b or 8	Ground Floor	Open deck carparking & warehouse SOU's
Class 5	First Floor (Mezzanines)	Enclosed office mezzanines
Class 7a, & 7b or 8	Second Floor	Open deck carparking & warehouse SOU's
Class 5	Third Floor (Mezzanines)	Enclosed office mezzanines

2.3. Dimensions and Tolerances

The Premises Standards and BCA contains the minimum standards for building construction and safety, and therefore generally stipulates minimum dimensions which must be met. BCA Logic's assessment of the plans and specifications has been undertaken to ensure the minimum dimensions have been met.

The designer and builder should ensure that the minimum dimensions are met onsite, and consideration needs to be given to construction tolerances for wall set outs, applied finishes and skirtings to corridors and bathrooms for example, tiling bed thicknesses and the like which can adversely impact on critical matters such as access for people with disabilities, stair and corridor widths and balustrade heights.

2.4. Performance Based Design – Performance Solutions

There are specific areas throughout the development where strict Deemed-to-Satisfy Premises Standards and BCA Compliance may not be achieved by the proposed design and site constraints. These matters may need to be addressed in a detailed Performance Solution Report to be prepared for this development under separate cover:

Table 2. Performance Solutions

Item	Description of Performance Solution	DTS Provision
1.	To omit lift access to the mezzanine levels of each SOU where a mezzanine has a floor area less than 200m ² and is the only mezzanine provided within the relevant 'part' of the building, in this case being each single SOU.	DtS Provisions – D3.3 Performance Requirement – DP1

2.5. Areas Required to be Accessible

The following areas of the building are required to be accessible:

Table 3. Areas Required to be Accessible

Area / Room	Description
Class 5 – Enclosed Mezzanines	To and within all areas normally used by the occupants
Class 7a – Carpark	To and within any level containing accessible car parking spaces
Class 7b – Warehouse SOU's	To and within all areas normally used by the occupants
Class 8 – Warehouse SOU's	To and within all areas normally used by the occupants

Note: The limitations and exemptions of Clauses D3.2, D3.3 and D3.4 of the BCA2019 and Access Code have been considered where applicable in the process of developing the above table. The 'Pump Room', 'Switch Room', & 'Control Room' all located within the basement storey of the building may receive an exemption under Clause D3.4 from accessibility requirements, subject to concurrence from the certifying authority.

2.6. PART D3 – ACCESS FOR PEOPLE WITH A DISABILITY

2.6.1. D3.2 Access to Buildings

As a requirement of this clause access is to be provided from the following areas of the site:

- > The principal pedestrian entry of the allotment boundary and the common lift landing at ground floor.
- > To and within the principal pedestrian entry of each SOU.
- > From an on-site accessible parking space provided in accordance with Clause D3.5.

All principal pedestrian entry doors of each SOU are required to achieve a clear width of 850mm and circulation space complying with Clause 13 of AS1428.1-2009.

2.6.2. D3.3 Part of Building Required to be Accessible

The following non-compliances are to be addressed through design changes:

- (a) The low rise platform lift stairways serving as the only means of access from the ground floor lift landing to the warehouse SOU's is to demonstrate a minimum lift landing of 1100mm wide by 1400mm deep is achievable as prescribed by Clause E3.6 of the BCA.

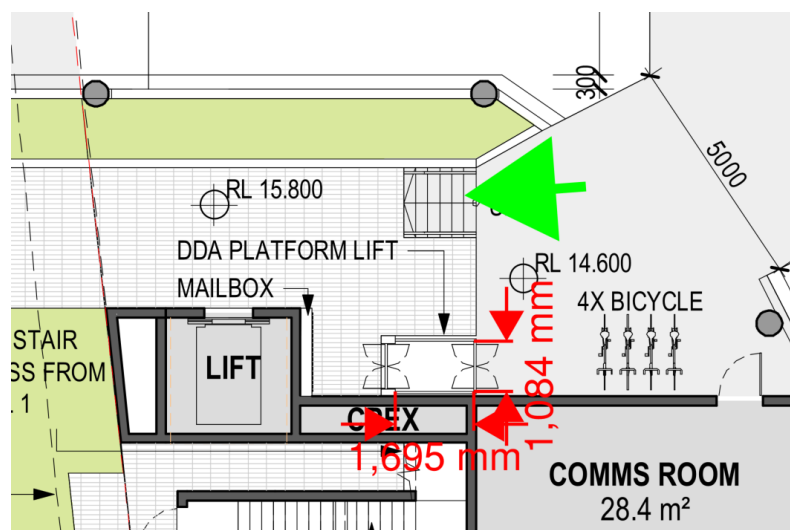


Figure: Minimum lift floor sizes.

- (b) All fire isolated stairways are to incorporate a one tread off-set to ensure inner handrail complies with Clause D2.17 and Clause 11 (f) & (g) of AS1428.1-2009. (Refer to BCA Report for commentary on 'Open Stair' serving Level 1 of the building)

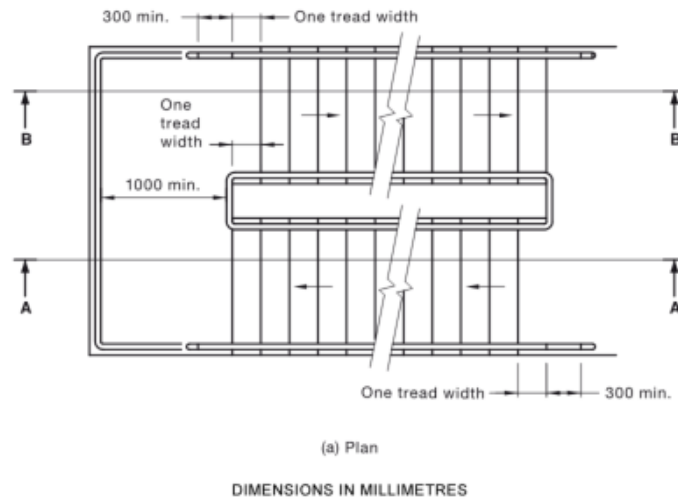


FIGURE 28 (in part) HANDRAILS TO STAIRS WITH INTERMEDIATE LANDINGS

Figure: fire isolated stairways to incorporate one tread off-set to achieve level handrail at landing.

- (c) Each required exit stairway serving the enclosed office mezzanines, and any other non-fire isolated stairway within the common areas of the building, is to incorporate accessible features of Clause 11 & 12 of AS1428.1-2009 including, but not limited to, TGSIs, luminance contrasting nosing strips, double handrails incorporating extensions and turn downs.
- (d) Where the total combined floor area of the office mezzanines storeys contained within the building exceed 200m² and the total RIS for the building exceeds 3, a non-fire Performance Solution may address the departure from Clause D3.3 (f) to rationalise lift or ramp access being omitted from the design of each mezzanine.
- (e) At least a single door leaf providing access to the lift lobby on the second floor of the building is to maintain a clear width of 850mm.

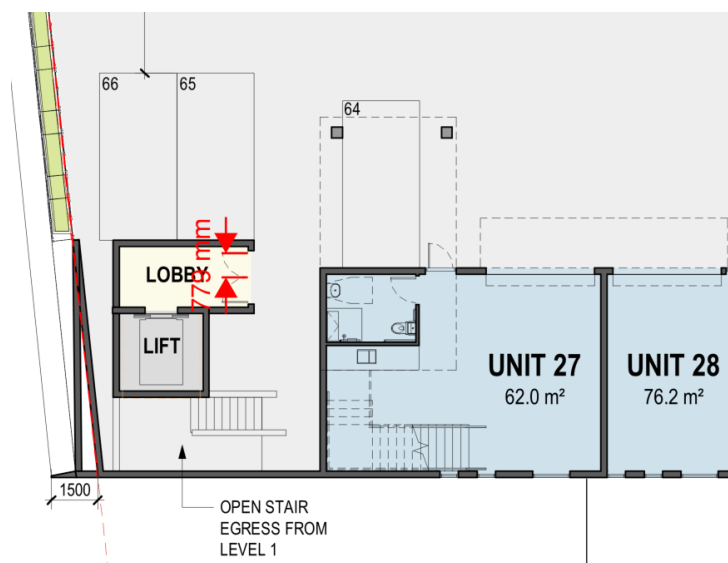


Figure: Door widths to achieve minimum 850mm clearance.

2.6.3. D3.5 Accessible Carparking

A minimum of one single accessible carparking space is to be nominated on the design plans. The accessible parking space should be conveniently located, and a continuous accessible path of travel shall provide access through to the lift landing of the building. Construction and sign marking of the space is to comply with AS2890.6-2009 requirements.

ANNEXURE A – DESIGN DOCUMENTATION

This report has been based on the following design documentation.

Table 4. Architectural Plans

Architectural Plans Prepared by ROTHELOWMAN			
Drawing Number	Revision	Date Title	Title
DA00.00	-	21.04.22	COVER SHEET
DA00.01	-	21.04.22	PROPOSED SITE PLAN
DA01.01	-	21.04.22	BASEMENT
DA01.02	-	21.04.22	GROUND FLOOR
DA01.03	-	21.04.22	GROUND MEZZANINE
DA01.04	-	21.04.22	LEVEL 1
DA01.05	-	21.04.22	LEVEL 1 MEZZANINE
DA01.06	-	21.04.22	ROOF
DA02.01	-	21.04.22	ELEVATION SHEET 1
DA02.02	-	21.04.22	ELEVATION SHEET 2
DA03.01	-	21.04.22	SECTIONS

ANNEXURE D - COMPLIANCE SPECIFICATION

Design Certification

Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification:

General

1. Tactile ground surface indicators will be installed at the top and bottom of stairways / ramps (other than fire isolated stairways / ramps); and where an overhead obstruction is less than 2 metres above the floor level. Tactile ground surface indicators will comply with Sections 1 and 2 of AS1428.4.1.
2. On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900-1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.
3. All doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.
4. Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.
5. Fixtures and fittings in ambulant facilities will be provided and installed in accordance Clause 16 of AS1428.1-2009.
6. Walkways will comply with Clause 10 of AS1428.1-2009.
7. For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.
8. Stairways will comply with Clause 11 of AS1428.1-2009.
9. The fire isolated stairs will comply with Clause 11.1(f) and (g) of AS1428.1-2009.
10. Handrails will comply with Clause 12 of AS1428.1-2009.
11. Grabrails will comply with Clause 17 of AS1428.1-2009.
12. Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 2.4 of AS2890.6-2009.
13. Demarcation will be provided in the accessible car space and adjacent shared zone in accordance with Clause 3.1 and 3.2 of AS2890.6. Refer to Annexure B1 for a diagrammatic explanation.
14. Bollards will be provided in the shared disabled car space area in accordance with Clause 2.2.1(e) of AS2890.6-2009. Refer to Annexure B1 for a diagrammatic explanation.
15. Switches and power points will comply with Clause 14 of AS1428.1-2009.
16. Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS1428.1-2009. Any level difference over 3mm must be ramped according AS1428.1 Clause 10.5.
17. Braille and tactile signage will comply with BCA2019 Clause D3.6.
18. Signage to comply with Clause 8 of AS1428.1-2009.
19. The passenger lifts will comply with BCA2019 Table E3.6b and AS1735.12.

20. The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways.
21. Door handles and the like will be in accordance with Clause 13.5 of AS1428.1-2009.