

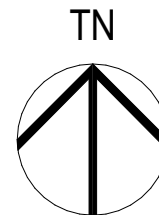
LEGEND

EXIST. STUDIO
PROP. SECONDARY
DWELLING

 northern
beaches
council

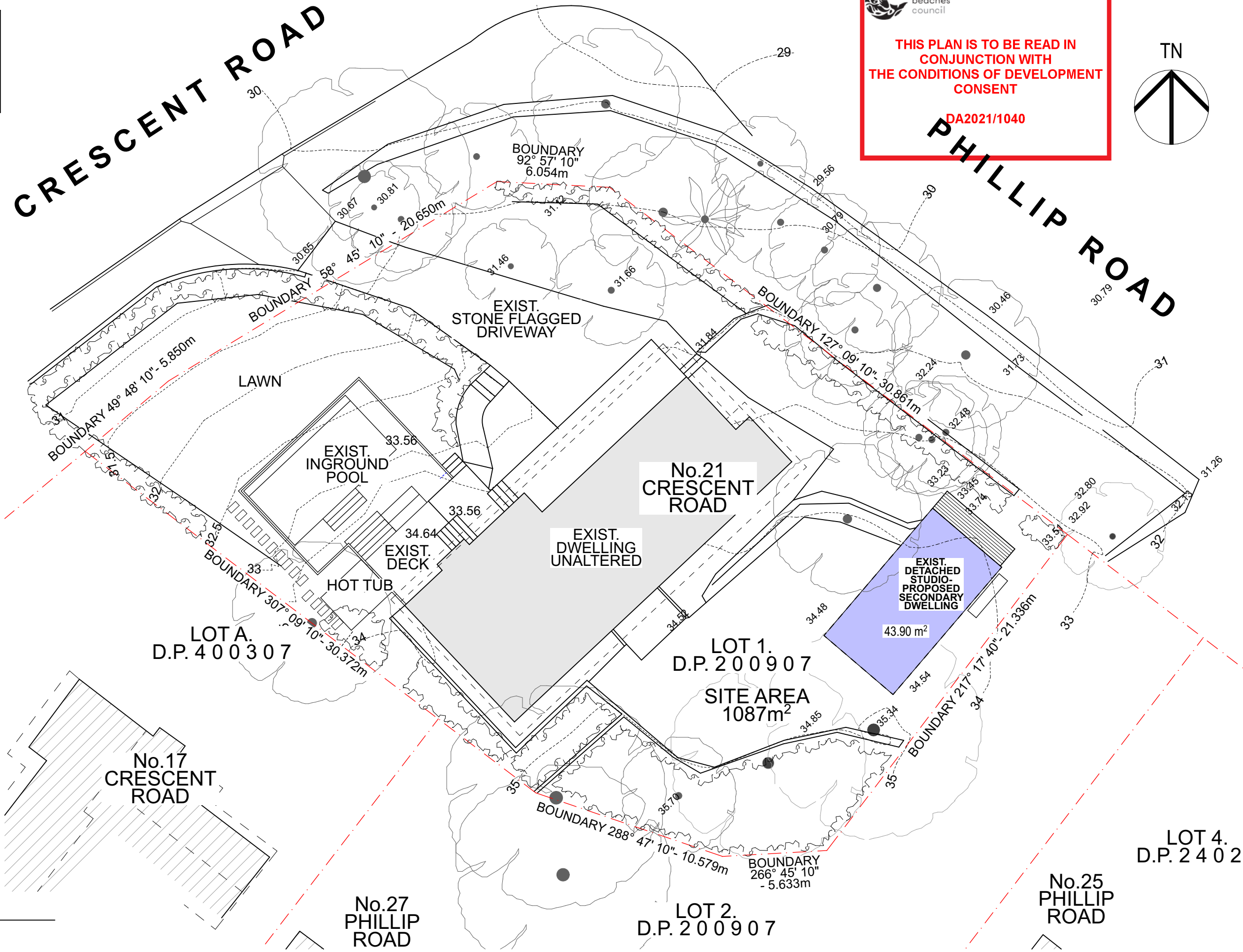
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/1040



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 **DIAL1100**
BEFORE YOU DIG



1 Site Plan
1:200

NOTES
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REV DATE AMENDMENT
A JULY 2021 DEVELOPMENT APPLICATION - CHANGE OF USE

CAD Ref: 21 Crescent Rd DA COU01.pln
Grant Seghers Design

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Hamman Residence
21 Crescent Road
MONA VALE NSW 2103
Lot 1 DP 200907

grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SITE PLAN

SCALE
1:200@A3

PROJECT NO.
1092

DRAWN BY
GS

DRAWING NO.
DA-01

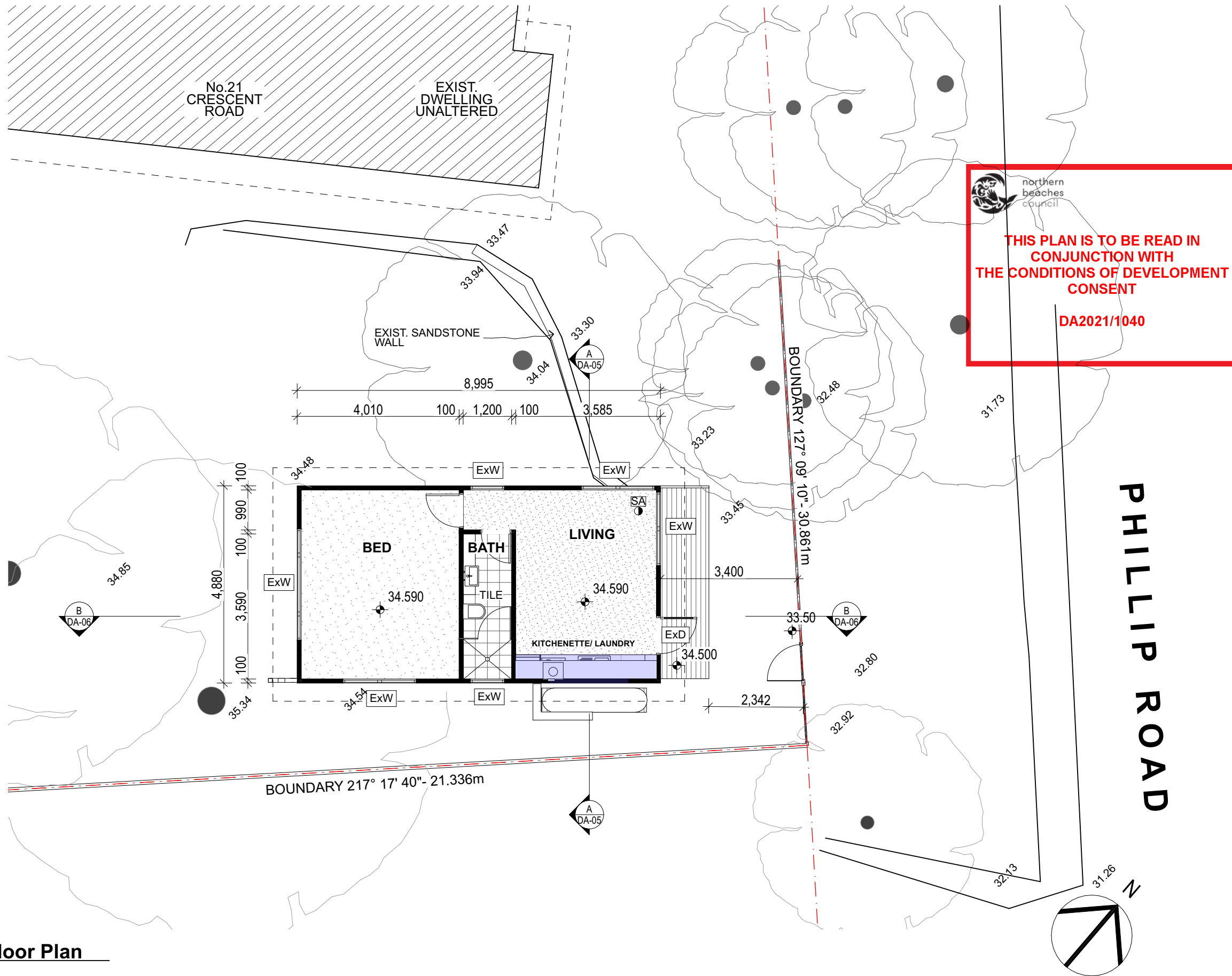
PLOT DATE
2/7/21

REVISION
B

LEGEND



PROPOSED
NEW WORK



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grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT

Hamman Residence
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MONA VALE NSW 2103
Lot 1 DP 200907

grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE

GROUND FLOOR PLAN

SCALE
1:100@A3

PROJECT NO.
1092

DRAWN BY
GS

DRAWING NO.
DA-02

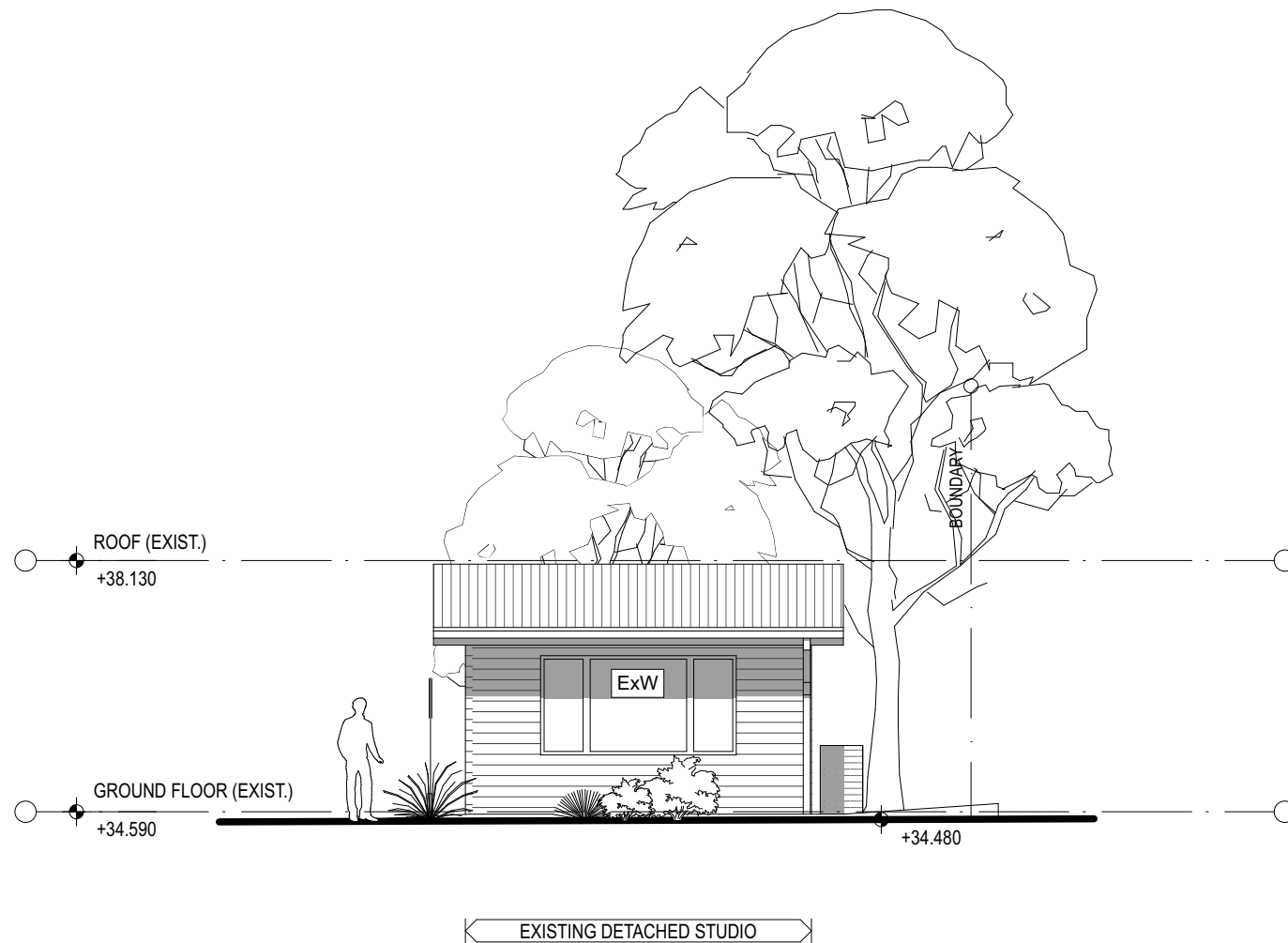
PLOT DATE
2/7/21

REVISION
A

Ex.W EXISTING WINDOW UNALTERED
Ex.D EXISTING DOOR UNALTERED

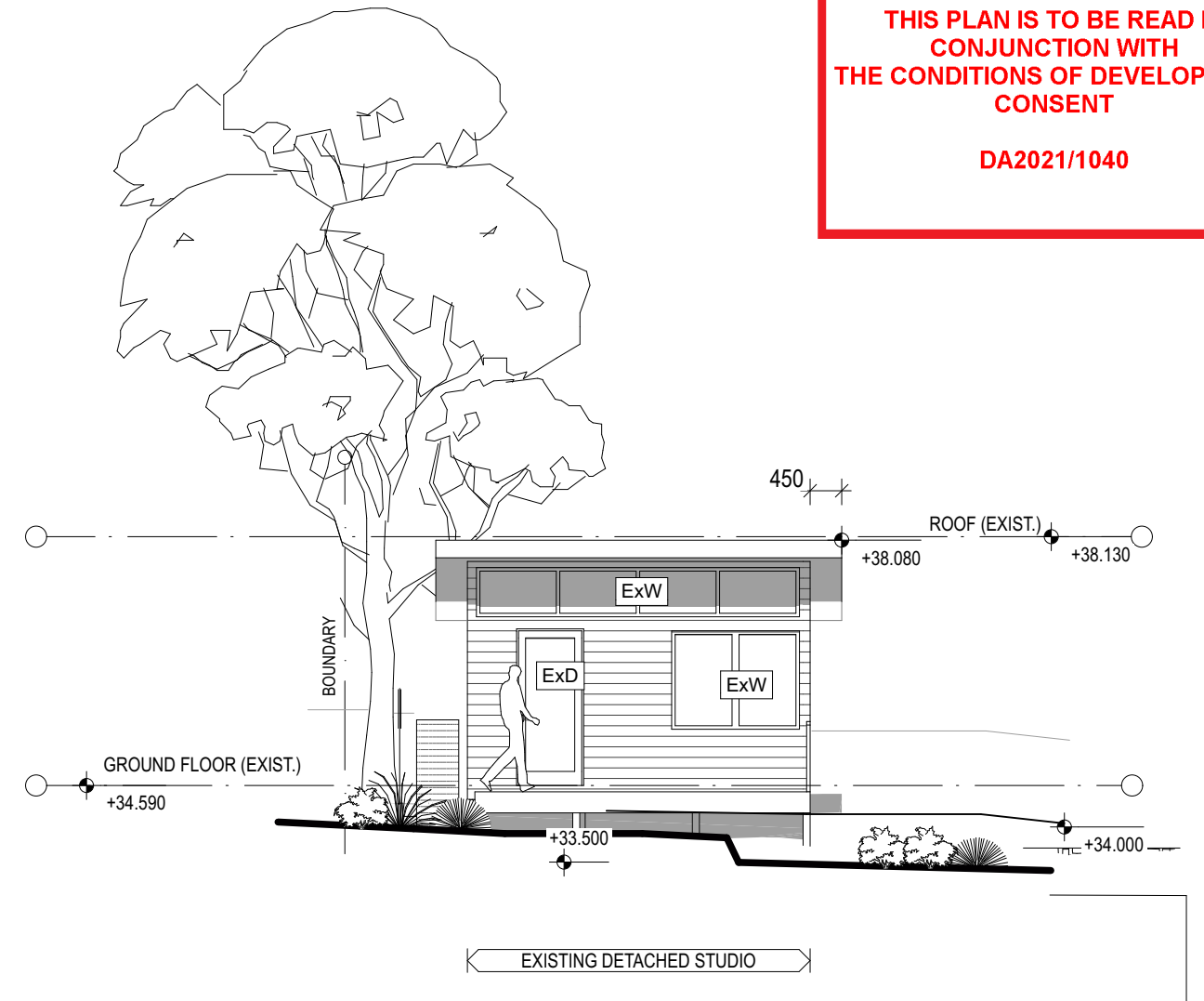


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DA2021/1040



1 South West Elevation 1:100

EXISTING ELEVATION UNALTERED



2 North East Elevation 1:100

EXISTING ELEVATION UNALTERED

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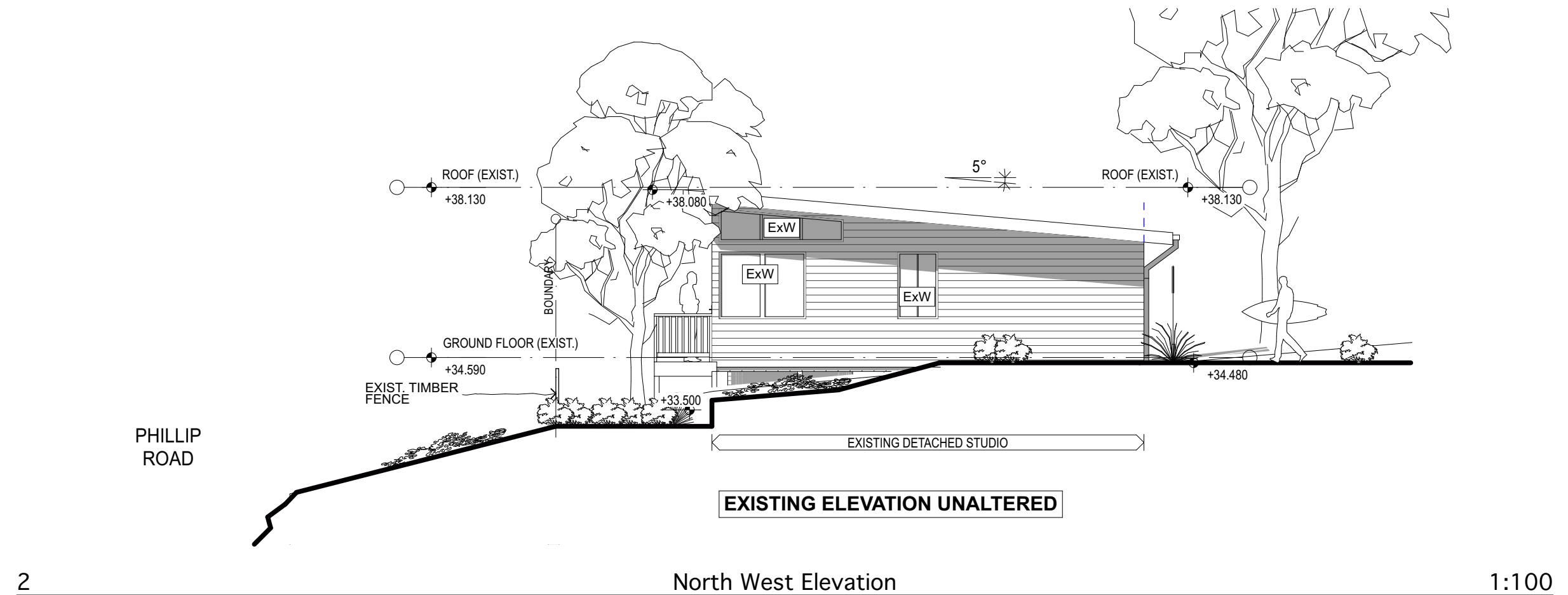
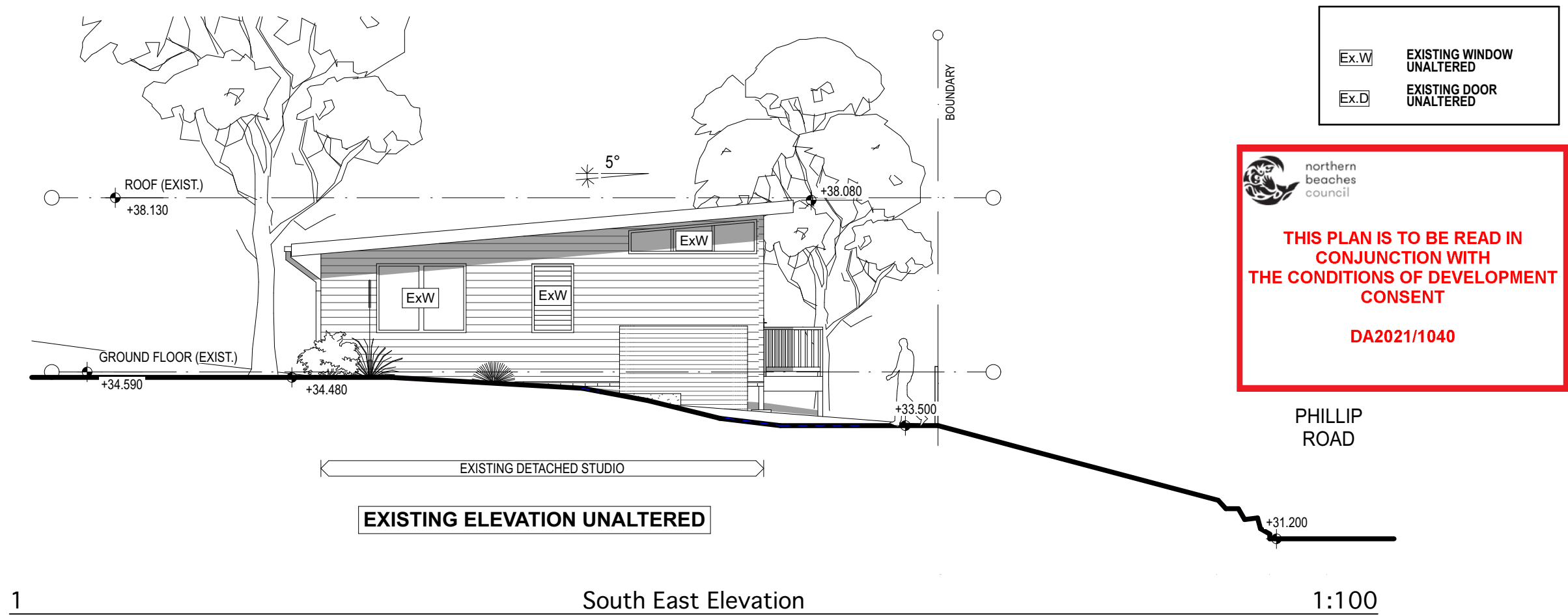


Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Hamman Residence
21 Crescent Road
MONA VALE NSW 2103
Lot 1 DP 200907
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
ELEVATIONS

SCALE 1:100@A3	DRAWN BY GS	PLOT DATE 2/7/21
PROJECT NO. 1092	DRAWING NO. DA-03	REVISION A



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REV DATE
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AMENDMENT
DEVELOPMENT APPLICATION - CHANGE OF USE

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

PROJECT
Hamman Residence
21 Crescent Road
MONA VALE NSW 2103
Lot 1 DP 200907
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
ELEVATIONS

SCALE
1:100@A3

PROJECT NO.
1092

DRAWN BY
GS

DRAWING NO.
DA-04

PLOT DATE
2/7/21

REVISION
A

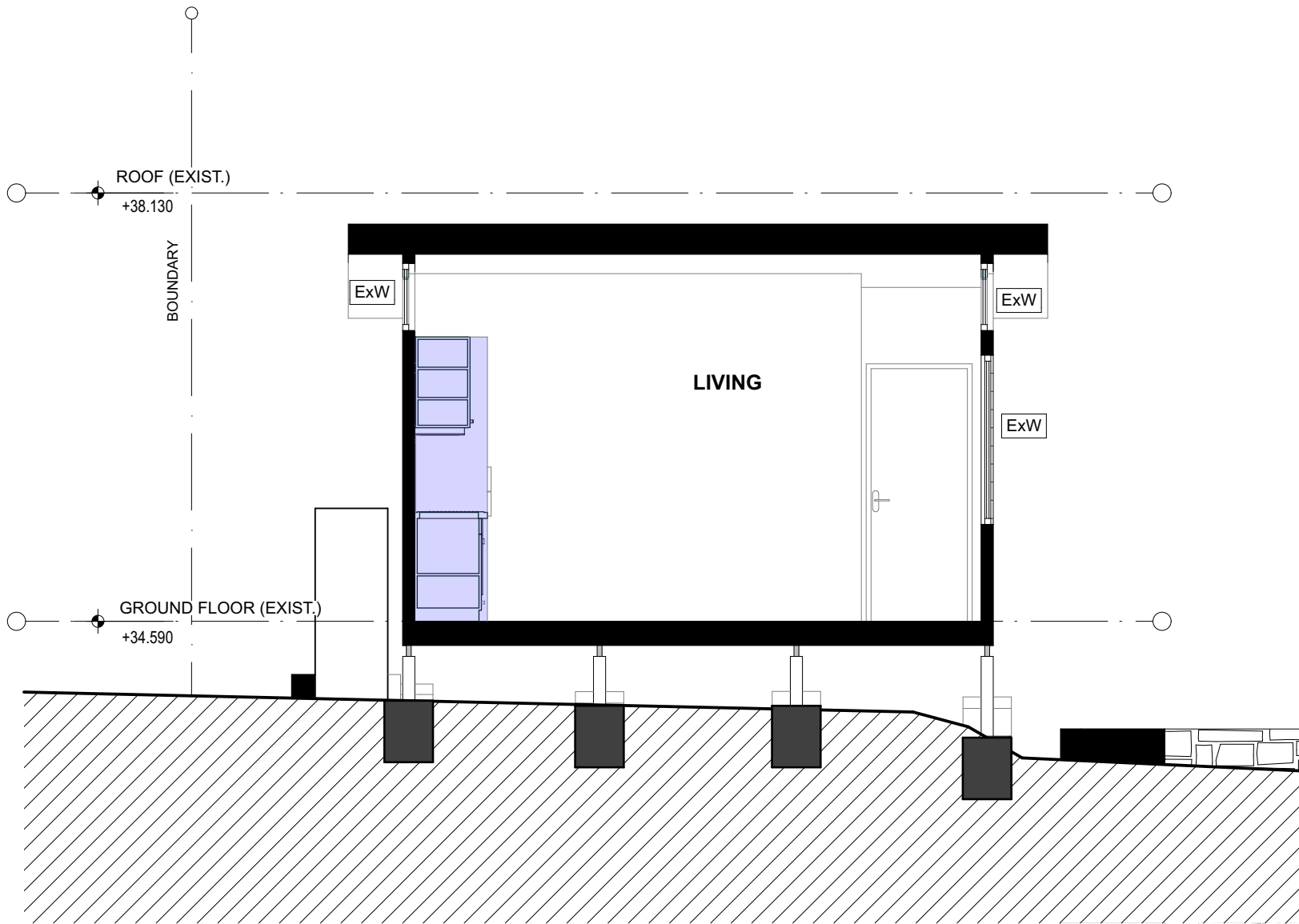
LEGEND

PROPOSED
NEW WORK



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DA2021/1040



1

Section A:A

1:50

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A	JULY 2021	DEVELOPMENT APPLICATION - CHANGE OF USE

grantseghers
design

Grant Seghers
0424 428 602
grant.seghers@bigpond.com
www.grantseghers.com.au

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Hamman Residence
21 Crescent Road
MONA VALE NSW 2103
Lot 1 DP 200907
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SECTION A:A

SCALE	DRAWN BY	PLOT DATE
1:50@A3	GS	2/7/21
PROJECT NO.	DRAWING NO.	REVISION
1092	DA-05	A

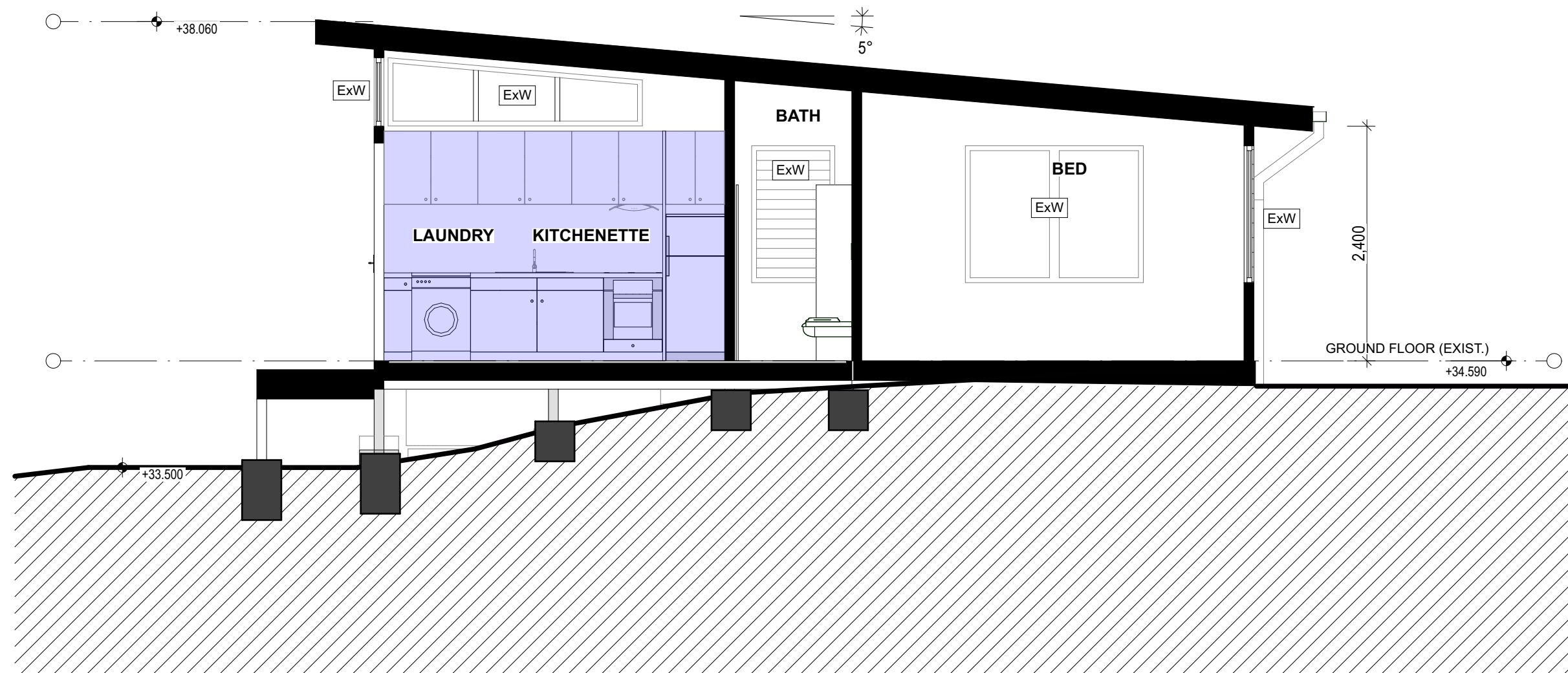
LEGEND

 **PROPOSED
NEW WORK**



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DA2021/1040



1

Section B:B

1:50

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grantseghers
design

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grant.seghers@bigpond.com
www.grantseghers.com.au

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Lot 1 DP 200907
grantseghersdesign
39 Gondola Road
NORTH NARRABEEN NSW 2101
M:0424 428 602

DRAWING TITLE
SECTION B:B

SCALE 1:50@A3	DRAWN BY GS	PLOT DATE 2/7/21
PROJECT NO. 1092	DRAWING NO. DA-06	REVISION A