

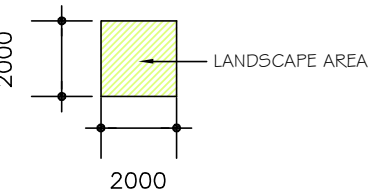
DESIGN DATA

LANDSCAPE AREA

SITE AREA = 687.5m2

PROPOSED = 277.27m2 = 40.33%

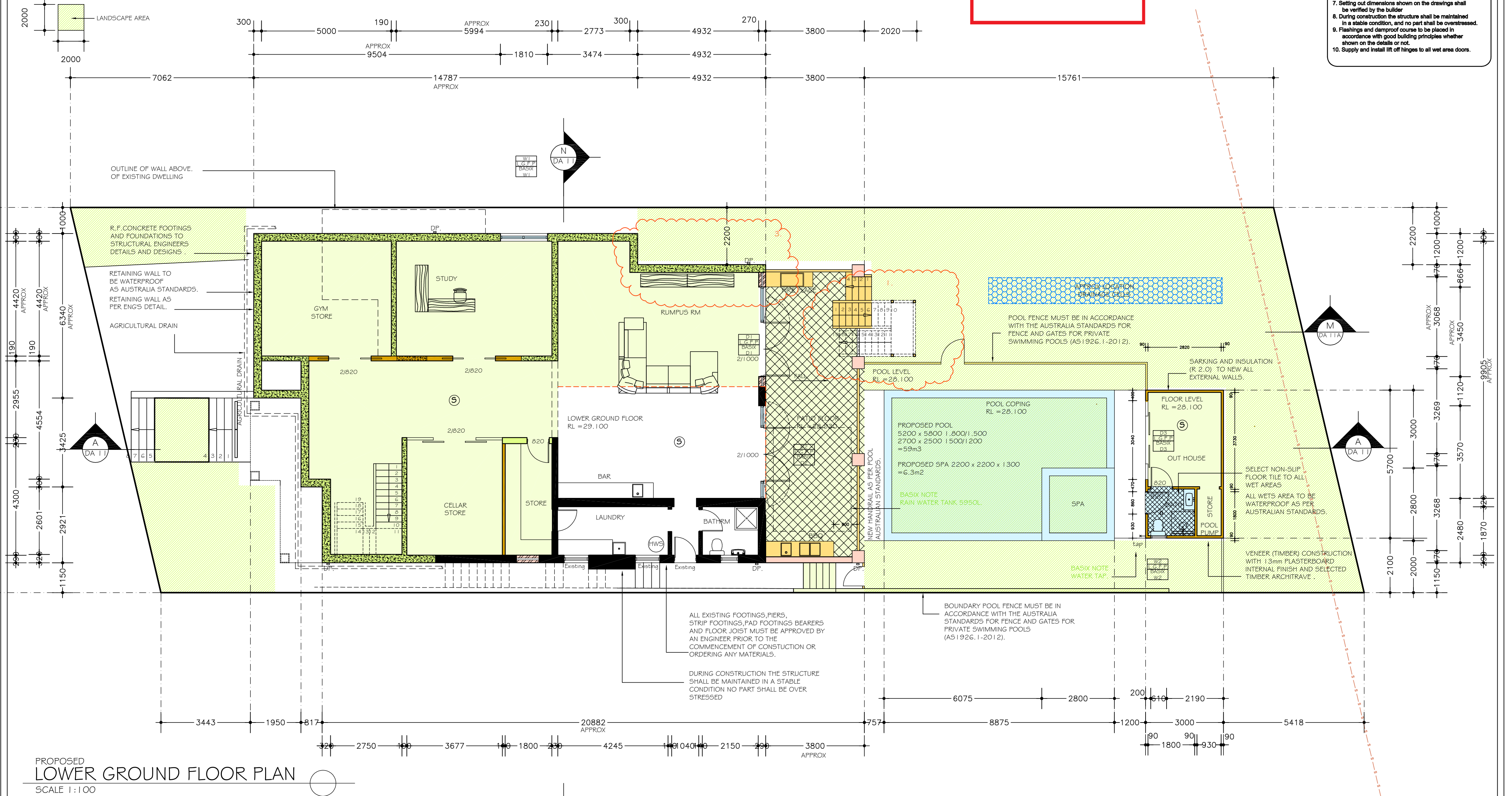
LEGEND:



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DADA2021/1824

- NOTES
1. Do not scale off drawings. (If in doubt, ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connect to existing system.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and damproof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.



PROPOSED
LOWER GROUND FLOOR PLAN
SCALE 1:100

No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE

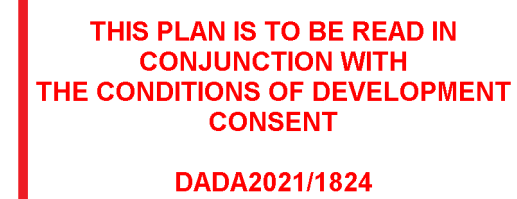
ADDRESS : 23 HAY STREET LOT 36 COLLAROY NSW 2097 DP 10648 SEC 12

PLAN

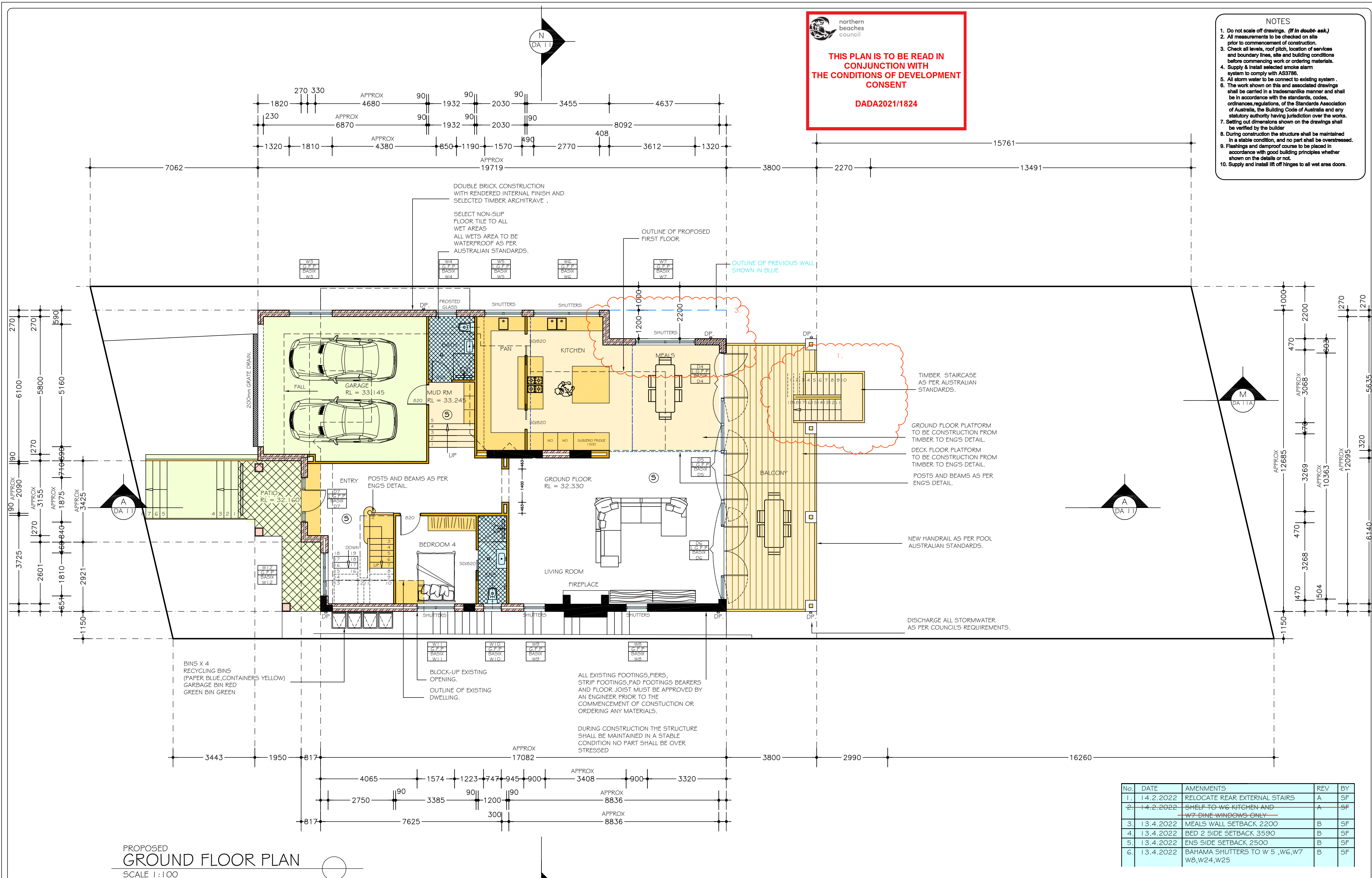
SCALE: 1:100
DATE: 10.06.2021
REV: **B** JOB: 41/20

SHEET No : **DA04**

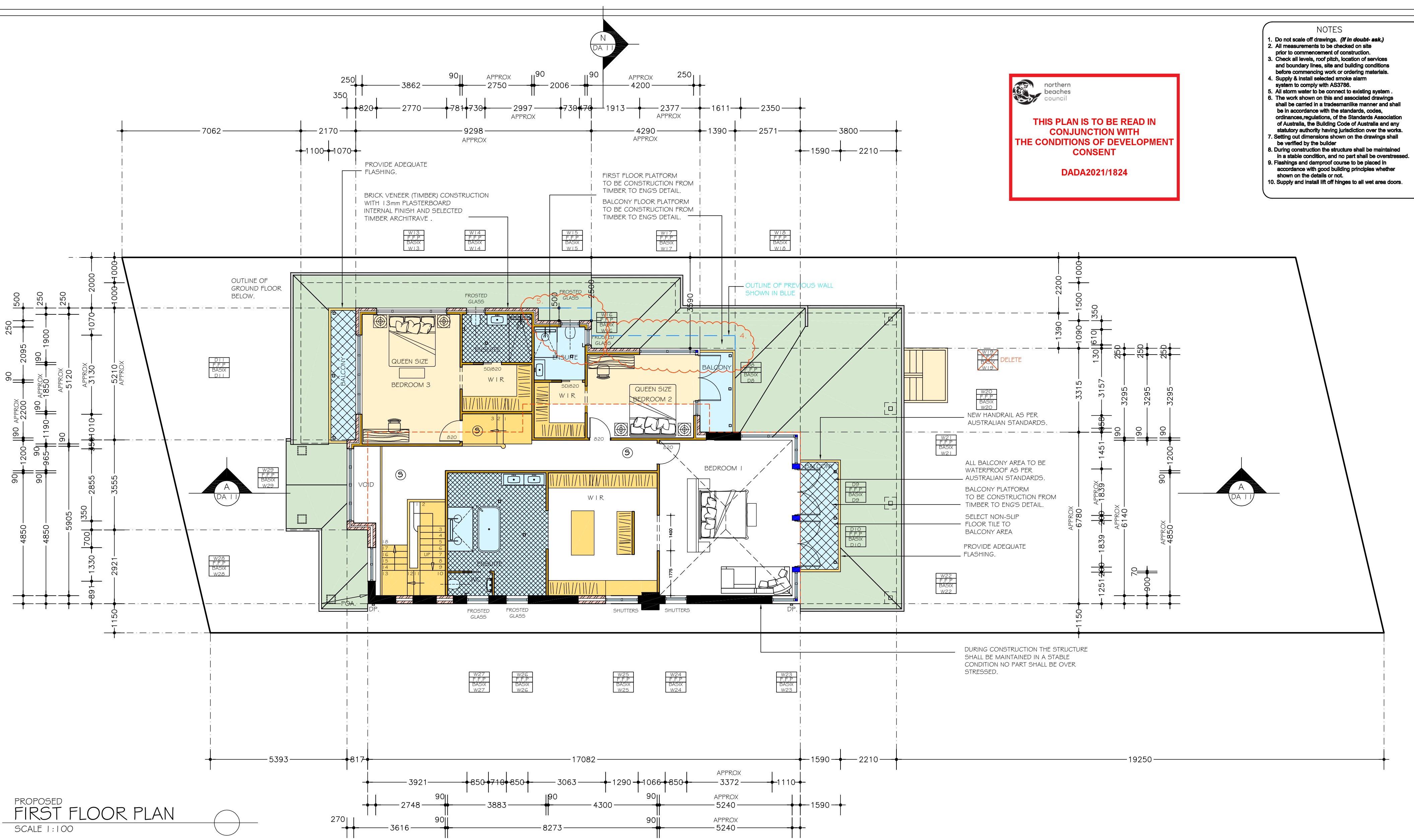
A2



- ## NOTES
1. Do not scale off drawings. (*if in doubt-ask*)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, road pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install earthing and smoke alarm system to comply with AS3788.
 5. All storm water to be connected to existing system .
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be carried out in accordance with the standards, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the contractor.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and dampproof course to be placed in accordance with good building principles wherever shown on the details and not.
 10. Supply and install life off hinges to all wet area doors.



No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF



- NOTES
1. Do not scale off drawings. (If in doubt ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connect to existing system.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DADA2021/1824

PROPOSED
FIRST FLOOR PLAN
SCALE 1:100

No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO WC KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF



abn 36 627 664 311

Architectural Drafting Services

0404 037 606

email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 10648 LOT 36 SEC 12

PLAN

SCALE: 1:100

DATE: 10.06.2021

REV: B JOB: 41/20

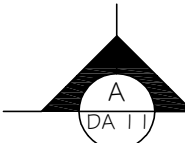
SHEET No : **DA06**

A2

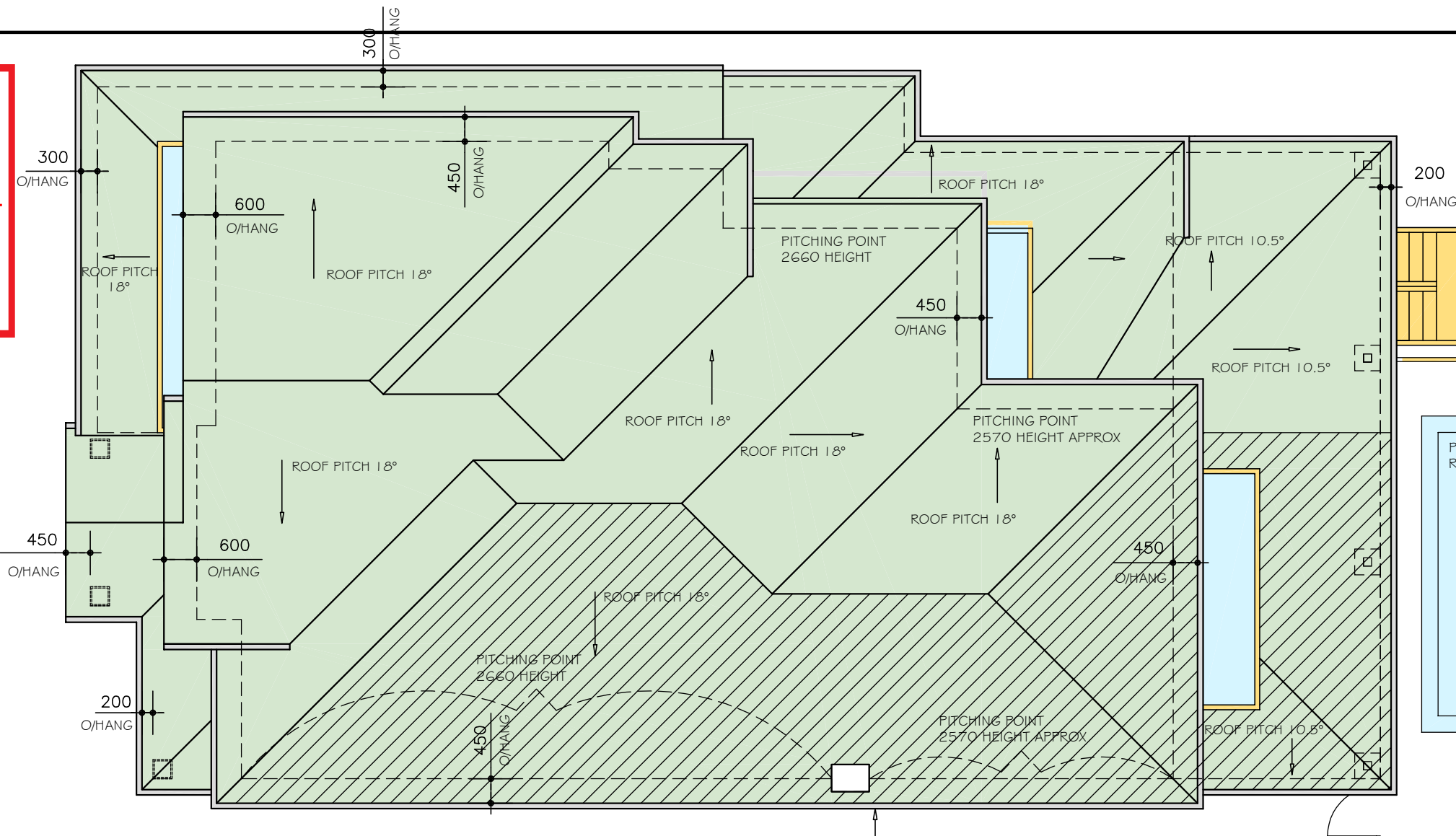


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DADA2021/1824



PROPOSED
ROOF PLAN
SCALE 1:100



No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
B.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF

- NOTES
- Do not scale off drawings. (If in doubt ask)
 - All measurements to be checked on site prior to commencement of construction.
 - Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 - Supply & install selected smoke alarm system to comply with AS3786.
 - All storm water to be connect to existing system .
 - The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 - Setting out dimensions shown on the drawings shall be verified by the builder
 - During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 - Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
 - Supply and install lift off hinges to all wet area doors.

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A422366

Pool and Spa

Rainwater tank

The applicant must install a rainwater tank of at least 5950 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.

The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.

Outdoor swimming pool

The swimming pool must be outdoors.

The swimming pool must not have a capacity greater than 59 kilolitres.

The swimming pool must have a pool cover.

The applicant must install a pool pump timer for the swimming pool.

The applicant must not incorporate any heating system for the swimming pool that is part of this development.

Outdoor spa

The spa must not have a capacity greater than 6.3 kilolitres.

The spa must have a spa cover.

The applicant must install a spa pump timer.

The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorbance 0.475 - 0.70)
sked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorbance 0.475 - 0.70)

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	N	1.07	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	0.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	1.08	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	N	1.02	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	N	1.88	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	N	4.8	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	N	4	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	S	1.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	S	1.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	S	0.67	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	1.88	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	W	3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	N	3.32	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
D11	W	6.7	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W14	N	0.68	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W15	N	0.68	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W16	E	0.57	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W17	N	2.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W18	N	2.5	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W19	E	0.51	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	E	1.3	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W21	E	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W22	E	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W23	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W24	S	0.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W25	S	2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W26	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W27	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	W	2.05	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W29	W	4.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	N	11.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	N	9.07	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D3	W	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	E	11	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D5	E	8	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D6	E	10.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D7	W	4.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D8	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D9	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D10	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

A2

DA07

PLAN

PROPOSED - ALTERATIONS AND ADDITIONS AND POOL TO EXISTING RESIDENCE

Architectural Drafting Services

0404 037 606

Sammy Fedele

SHEET No :

SCALE: 1:100

DATE: 10.06.2021

REV: B

JOB: 41/20

ADDRESS : 23 HAY STREET COLARAY NSW 2097

DP 10648 LOT 36 COLARAY NSW 2097

SFC 12

SFC 12

email:sammyfedele@iprimus.com.au

ph: 36 627 664 311

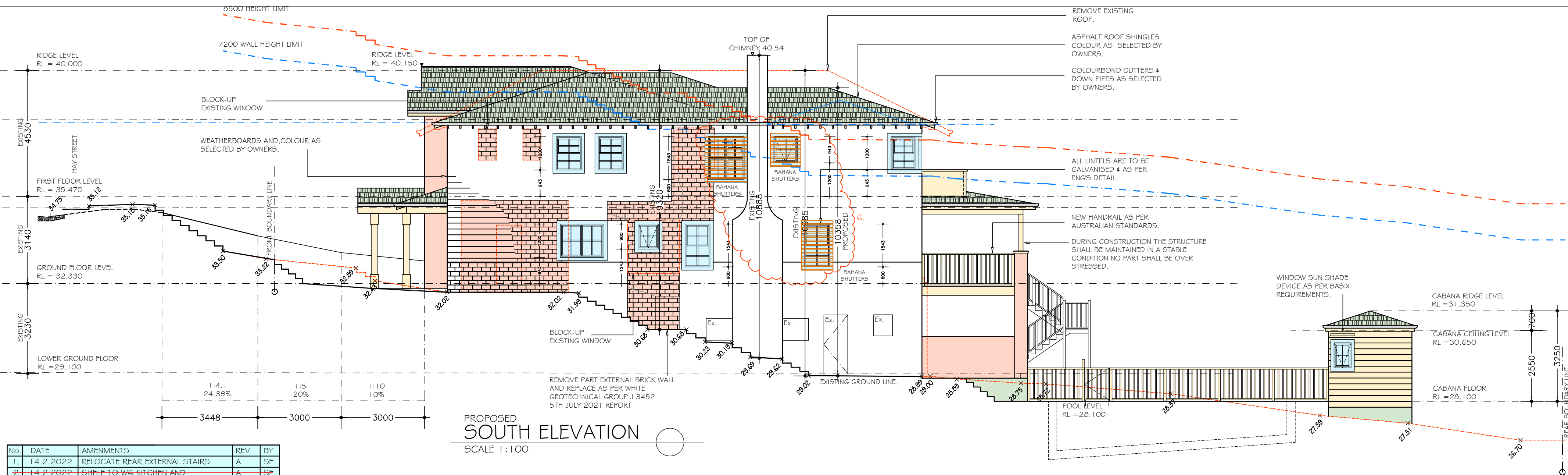
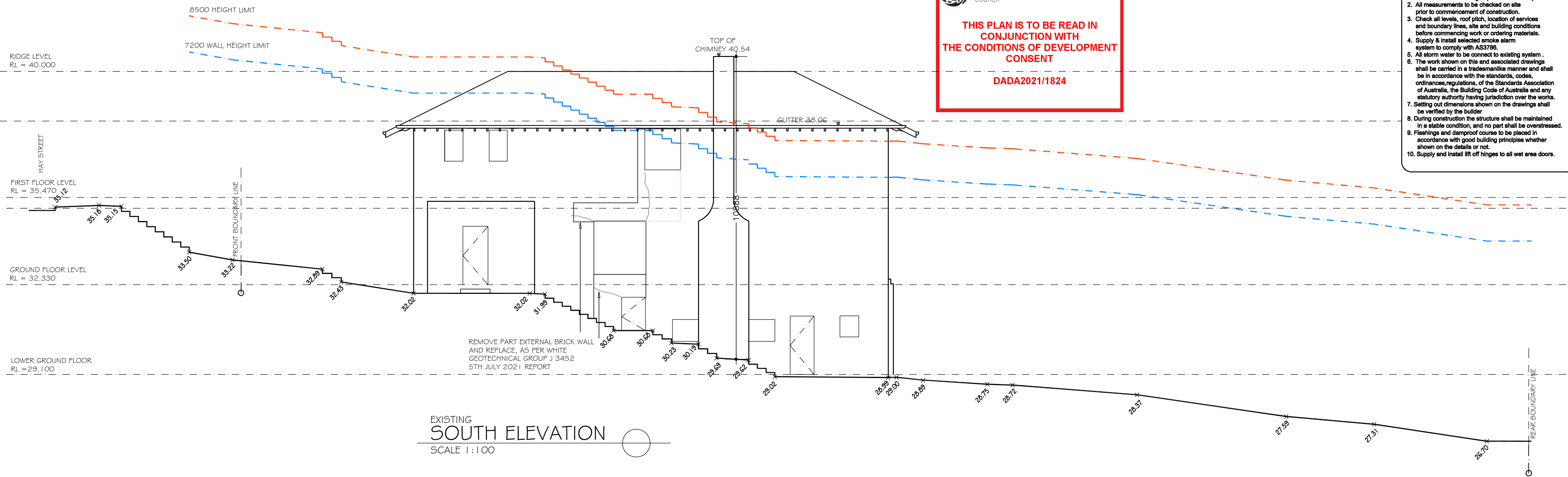


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DADA2021/1824

NOTES

1. Do not scale off drawings. (If in doubt ask)
2. All measurements to be checked on site prior to commencement of construction.
3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3786.
5. All storm water to be connect to existing system.
6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
7. Setting out dimensions shown on the drawings shall be verified by the builder
8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors.



No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF

Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services

0404 037 606

email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 10648 LOT 36 SEC 12

ELEVATION

SCALE: 1:100

DATE: 10.06.2021

REV: B JOB: 41/20

SHEET No : **DA08**

A2

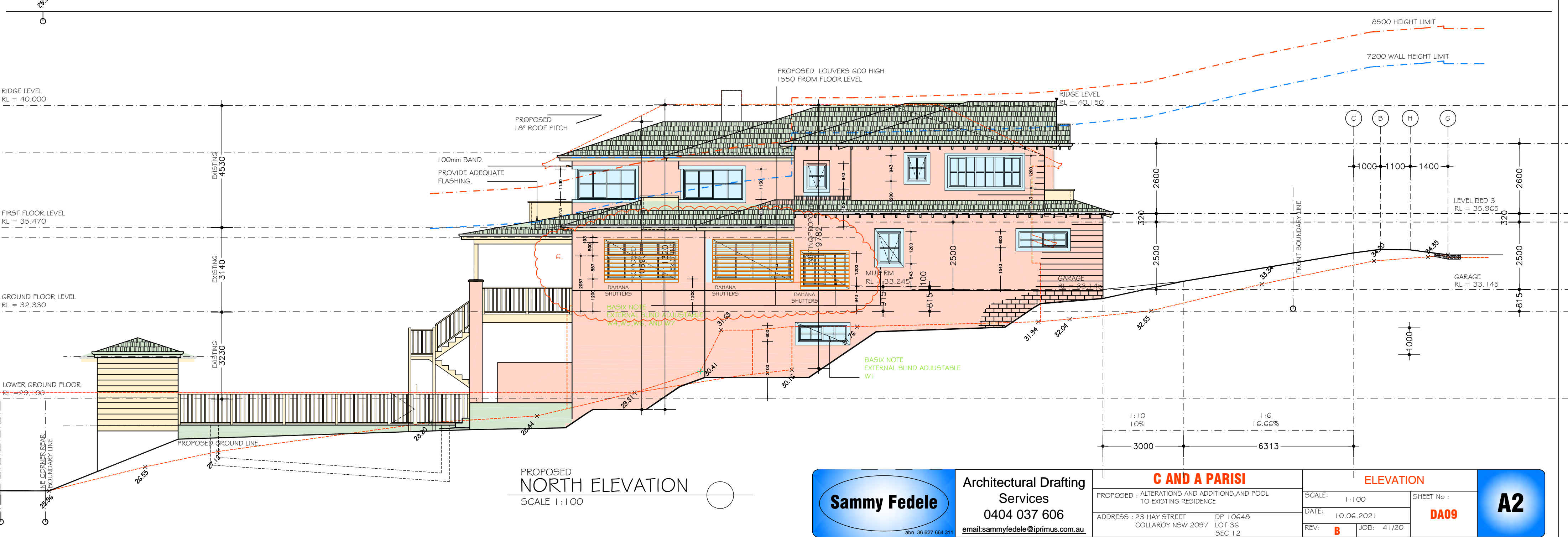
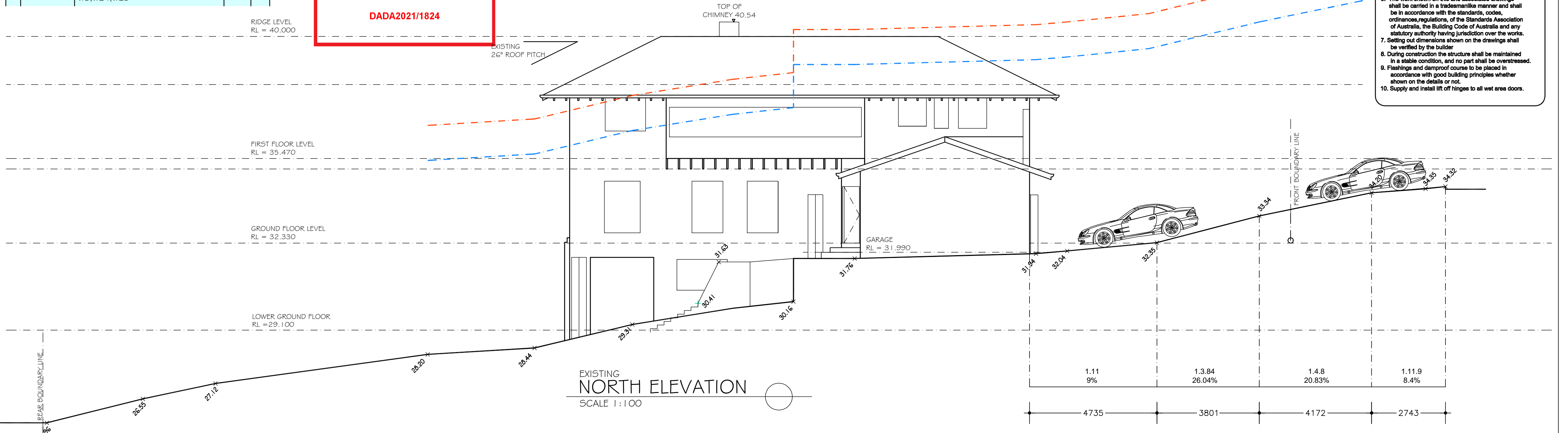
No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND	A	SF
		W7 DINE WINDOWS ONLY		
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DADA2021/1824

- NOTES
1. Do not scale off drawings. *(If in doubt ask.)*
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connect to existing system.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.



Sammy Fedele
abn 36 627 664 311

Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET LOT 36 COLLAROY NSW 2097

DP 10648 SEC 12

ELEVATION

SCALE: 1:100

DATE: 10.06.2021

REV: **B** JOB: 41/20

SHEET No : **DA09**

A2

No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF



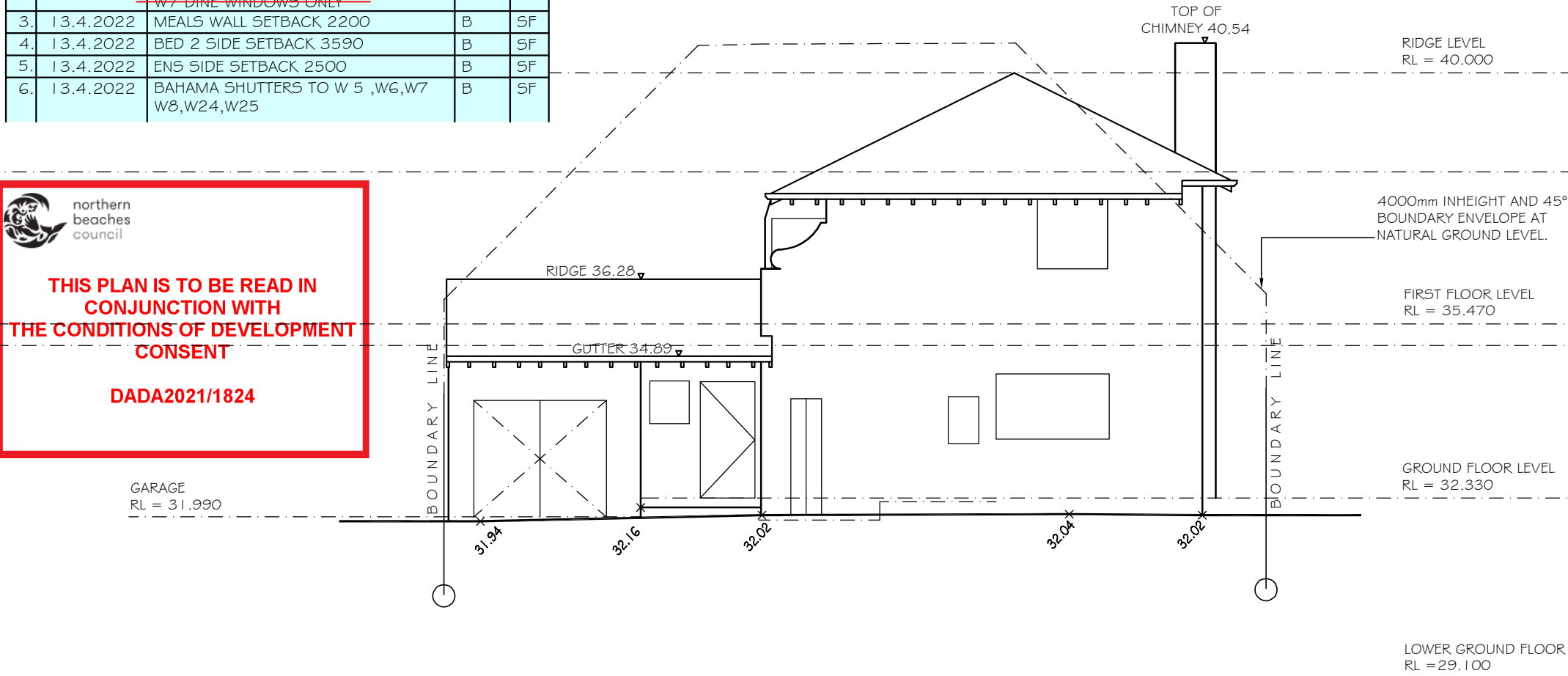
northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DADA2021/1824

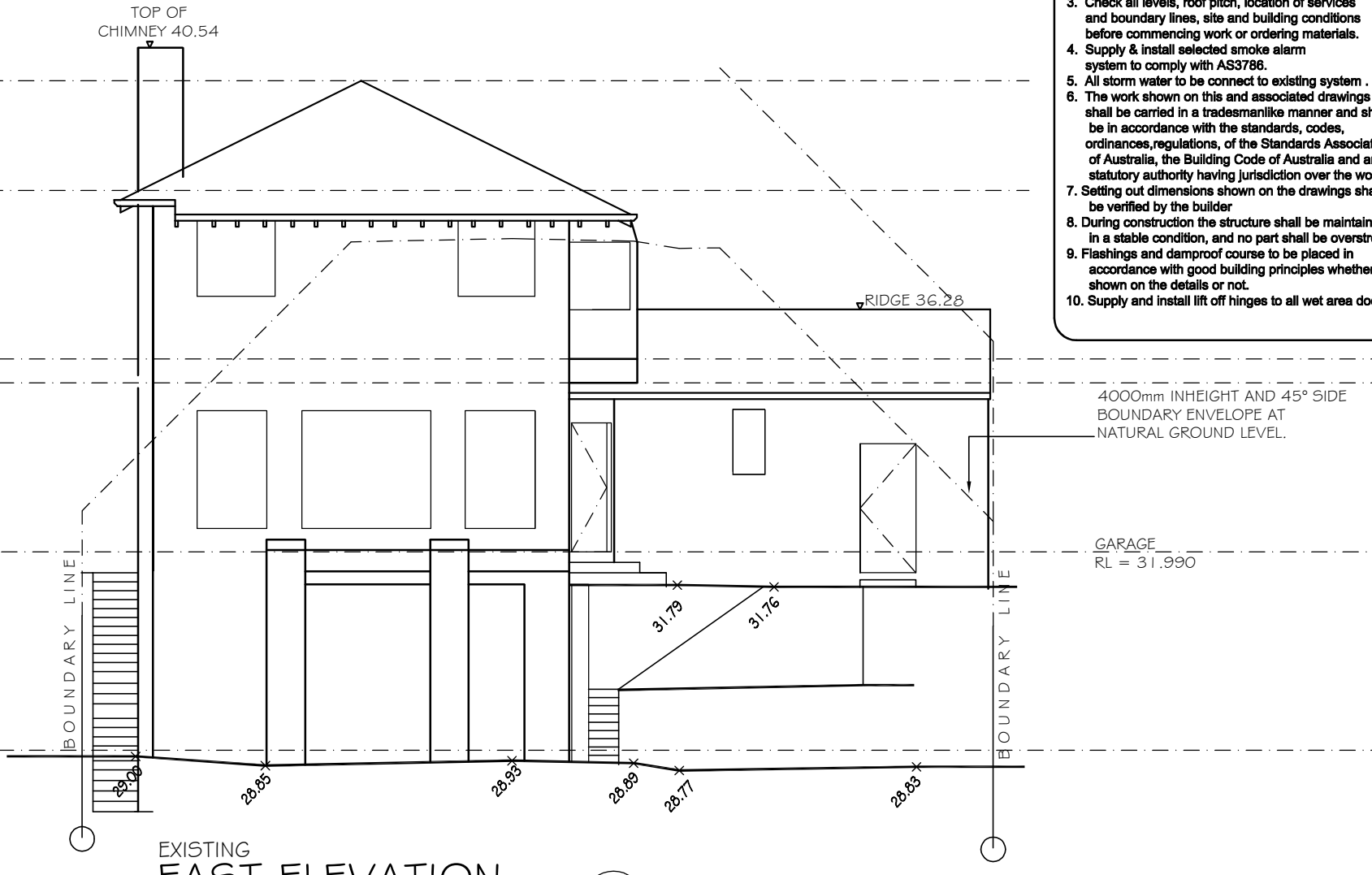
- NOTES

 - Do not scale off drawings. (If in doubt ask.)
 - All measurements to be checked on site prior to commencement of construction.
 - Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 - Supply & install selected smoke alarm system to comply with AS3786.
 - All storm water to be connect to existing system .
 - The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances,regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 - Setting out dimensions shown on the drawings shall be verified by the builder
 - During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 - Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
 - Supply and install lift off hinges to all wet area doors.



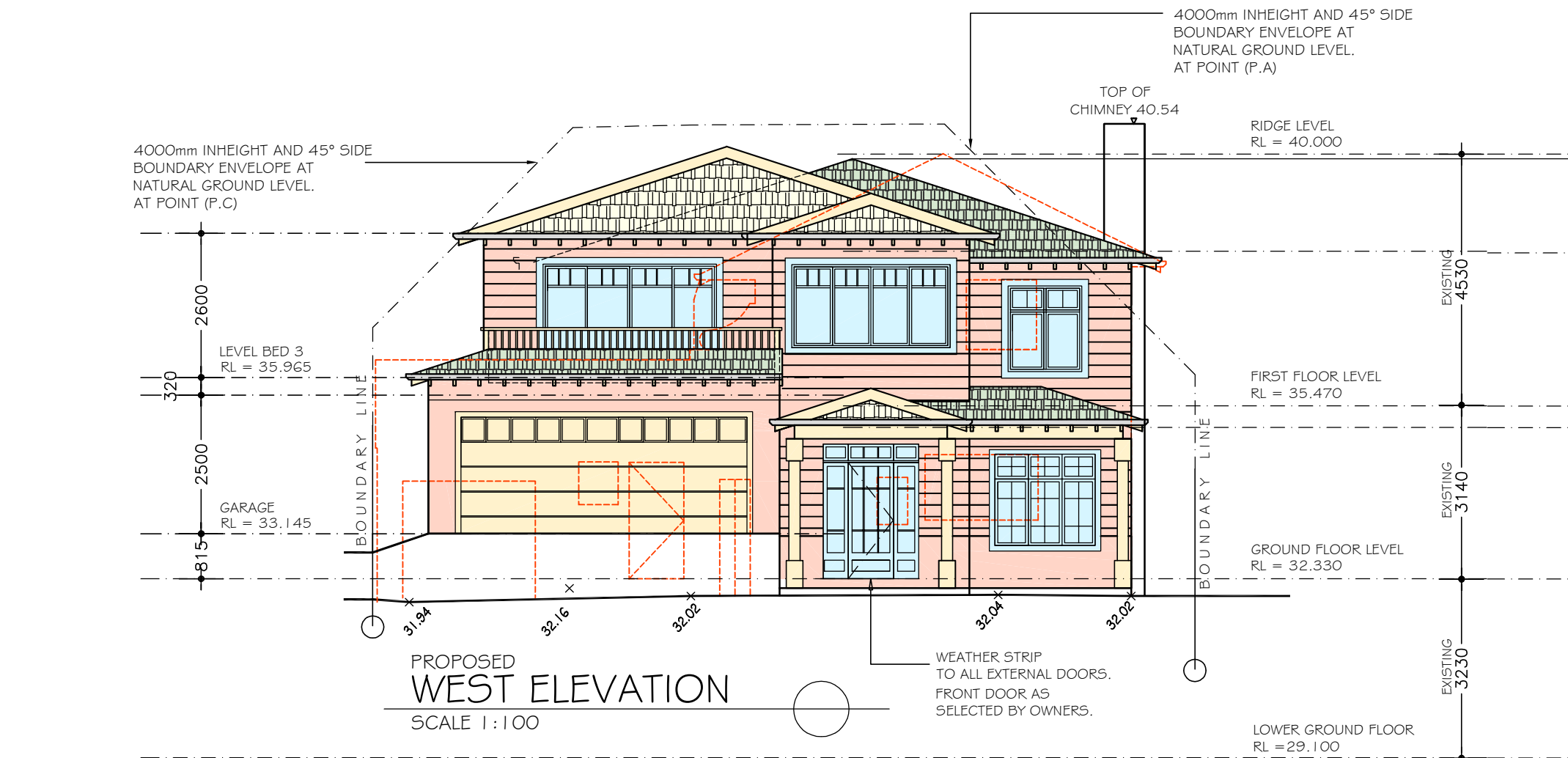
EXISTING
WEST ELEVATION

SCALE 1:100



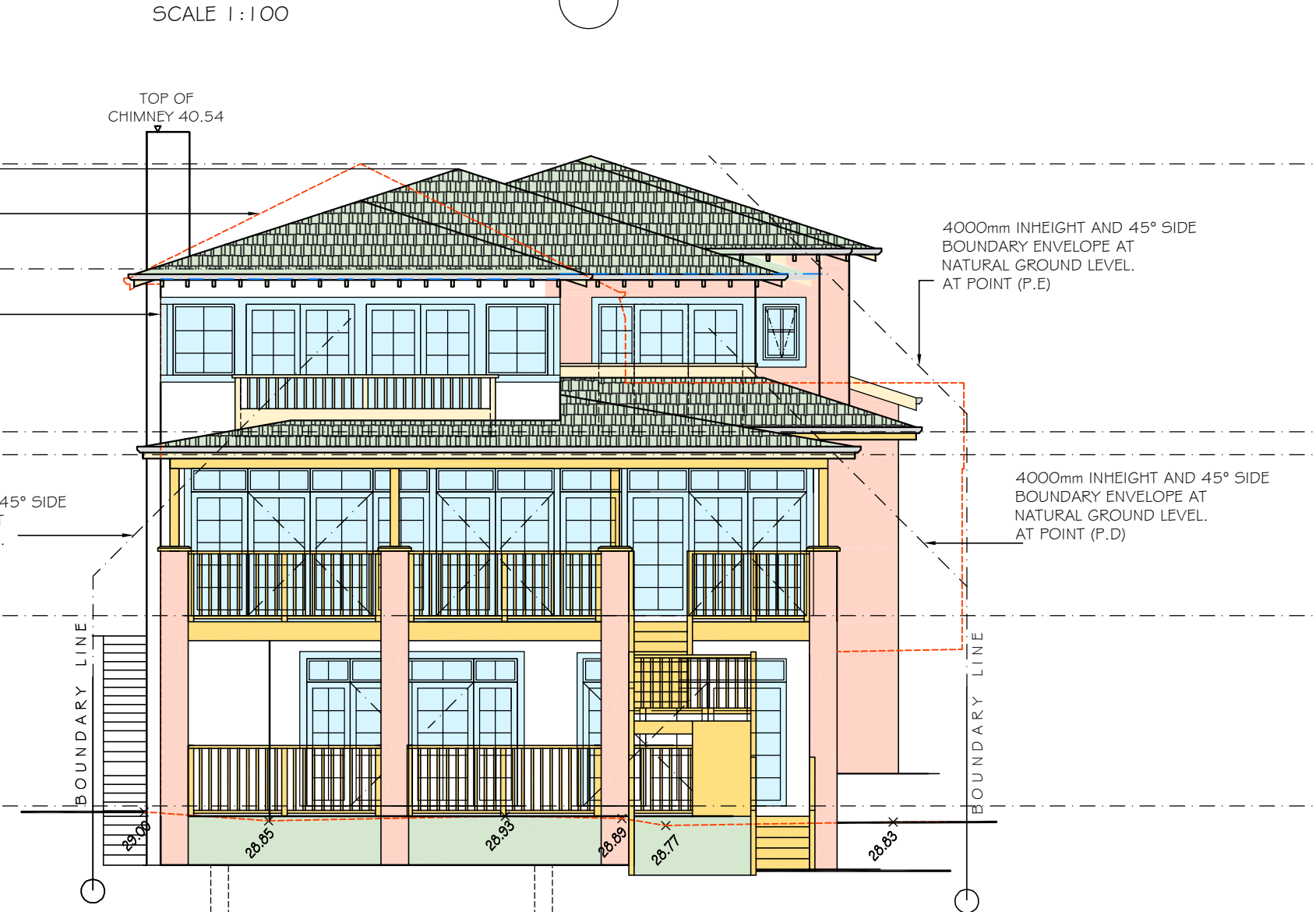
EXISTING
EAST ELEVATION

SCALE 1:100



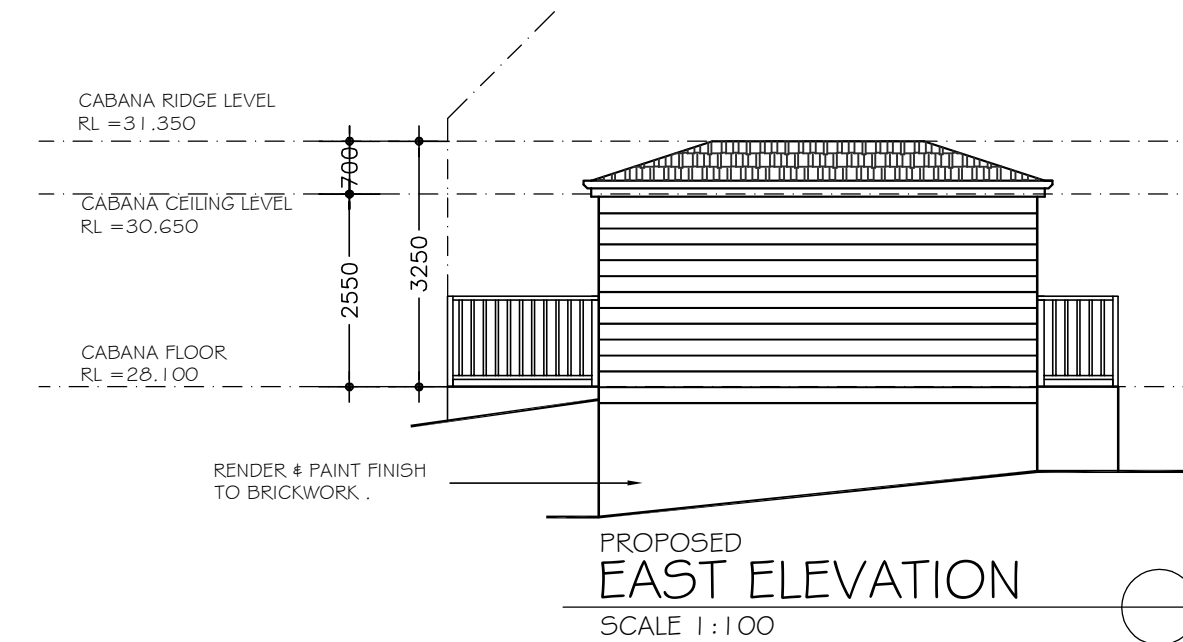
**PROPOSED
WEST ELEVATION**

SCALE 1:100



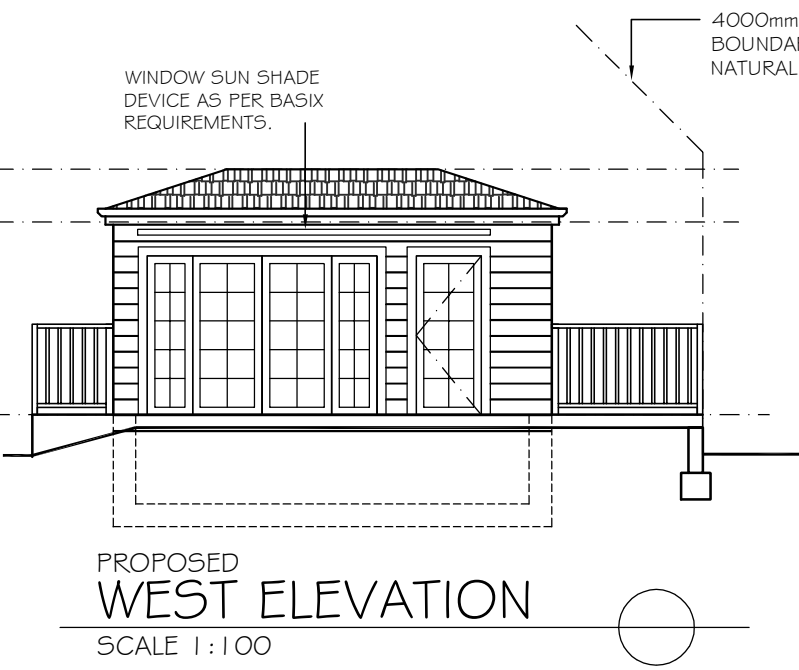
**PROPOSED
EAST ELEVATION**

SCALE 1:100



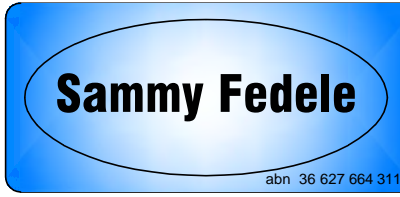
**PROPOSED
EAST ELEVATION**

SCALE 1:100



**PROPOSED
WEST ELEVATION**

SCALE 1:100



Sammy Fedele

36 627 664 311

Architectural Drafting
Services

0404 037 606

email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 1 0648 LOT 36 SEC 12

ELEVATION

SCALE: 1:100

DATE: 10.06.2021

REV: **B** JOB: 41/20

SHEET No : **DA10**

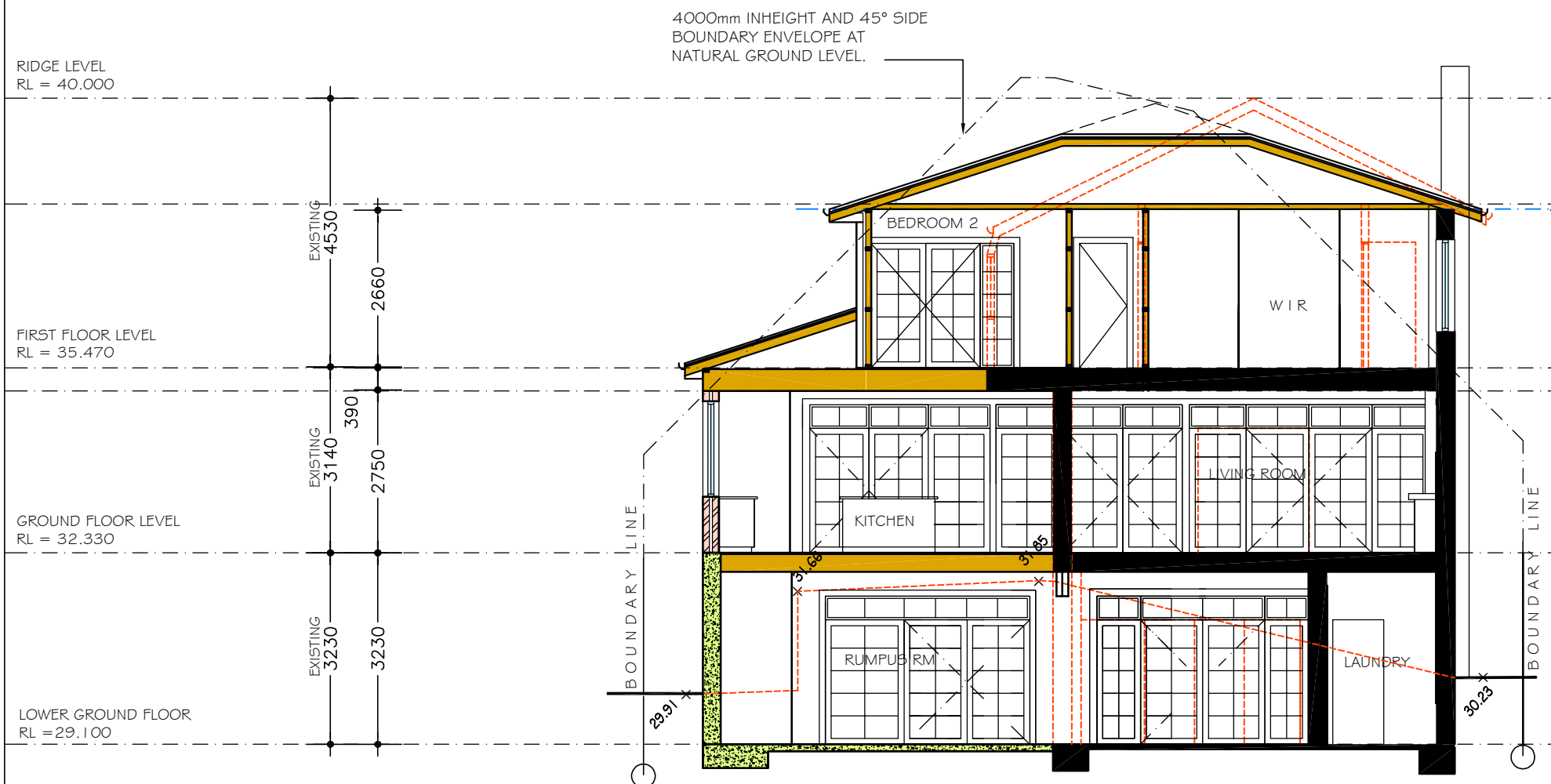
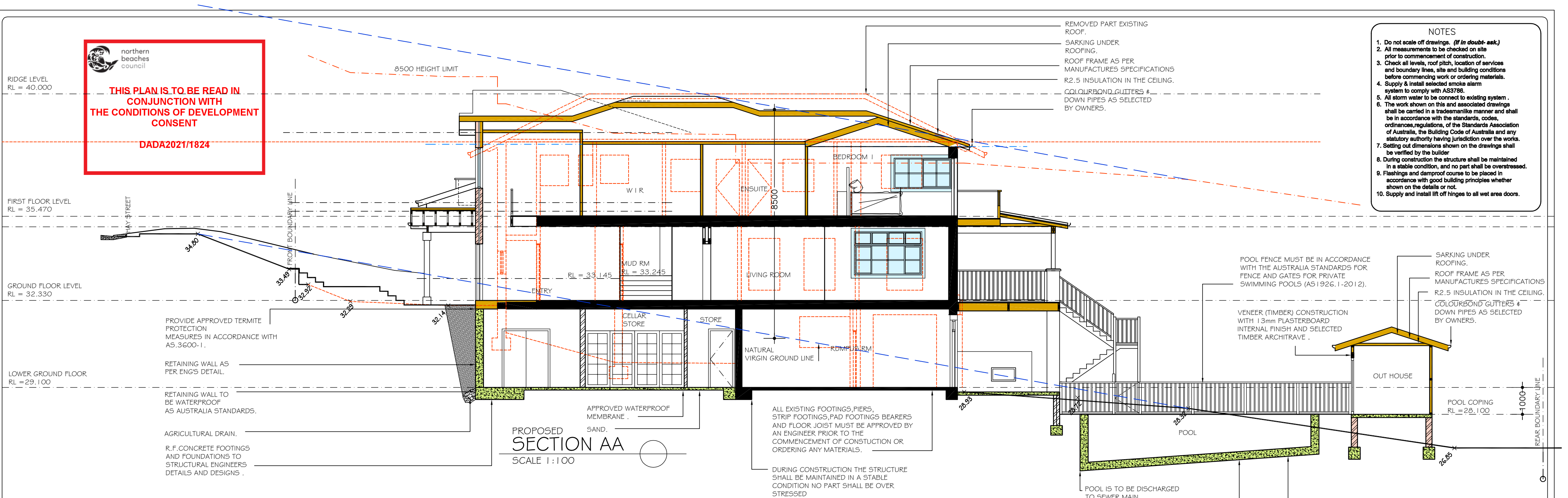
A2

 northern beaches council


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DADA2021/1824

- NOTES
1. Do not scale off drawings. (If in doubt ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connect to existing system.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.



No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF



Sammy Fedele

abn 36 627 664 311

Architectural Drafting Services

0404 037 606

email:sammyfedele@primus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 10648 LOT 36 SEC 12

SECTION AND BASIX

SCALE: 1:100

DATE: 10.06.2021

REV: B JOB: 41/20

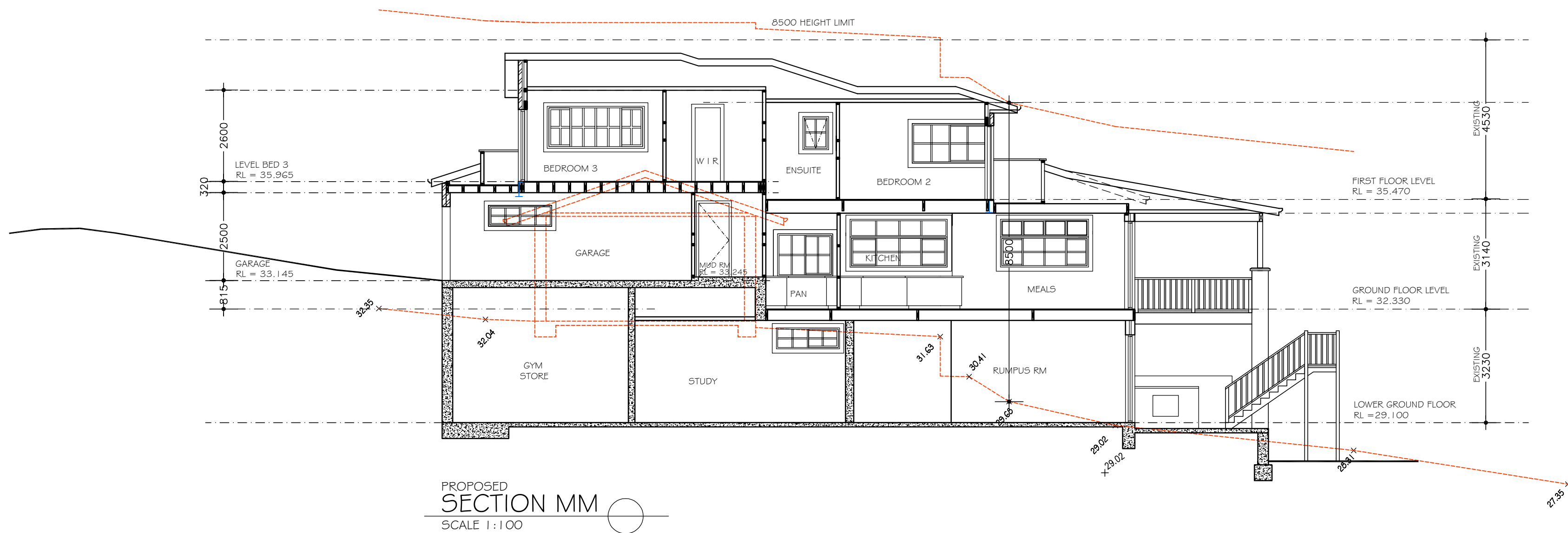
SHEET No : **DA11**

A2

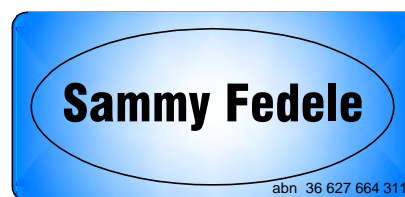


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DADA2021/1824



No.	DATE	AMENMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND	A	SF
		W7 DINE WINDOWS ONLY		
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF



Sammy Fedele

abn 36 627 664 311

Architectural Drafting
Services

0404 037 606

email:sammyfedele@iprimus.com.au

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS,AND POOL
TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
SEC 12

SECTION AND BASIX

SCALE: 1:100

DATE: 10.06.2021

REV: **B** JOB: 41/20

SHEET No : **DA11A**

A2

EXTERNAL COLOURS AND FINISHES

ROOF

ASPHALT ROOF SHINGLES



FASCIA AND GUTTERS

FACSCIA ,GUTTER AND DOWNPIPES

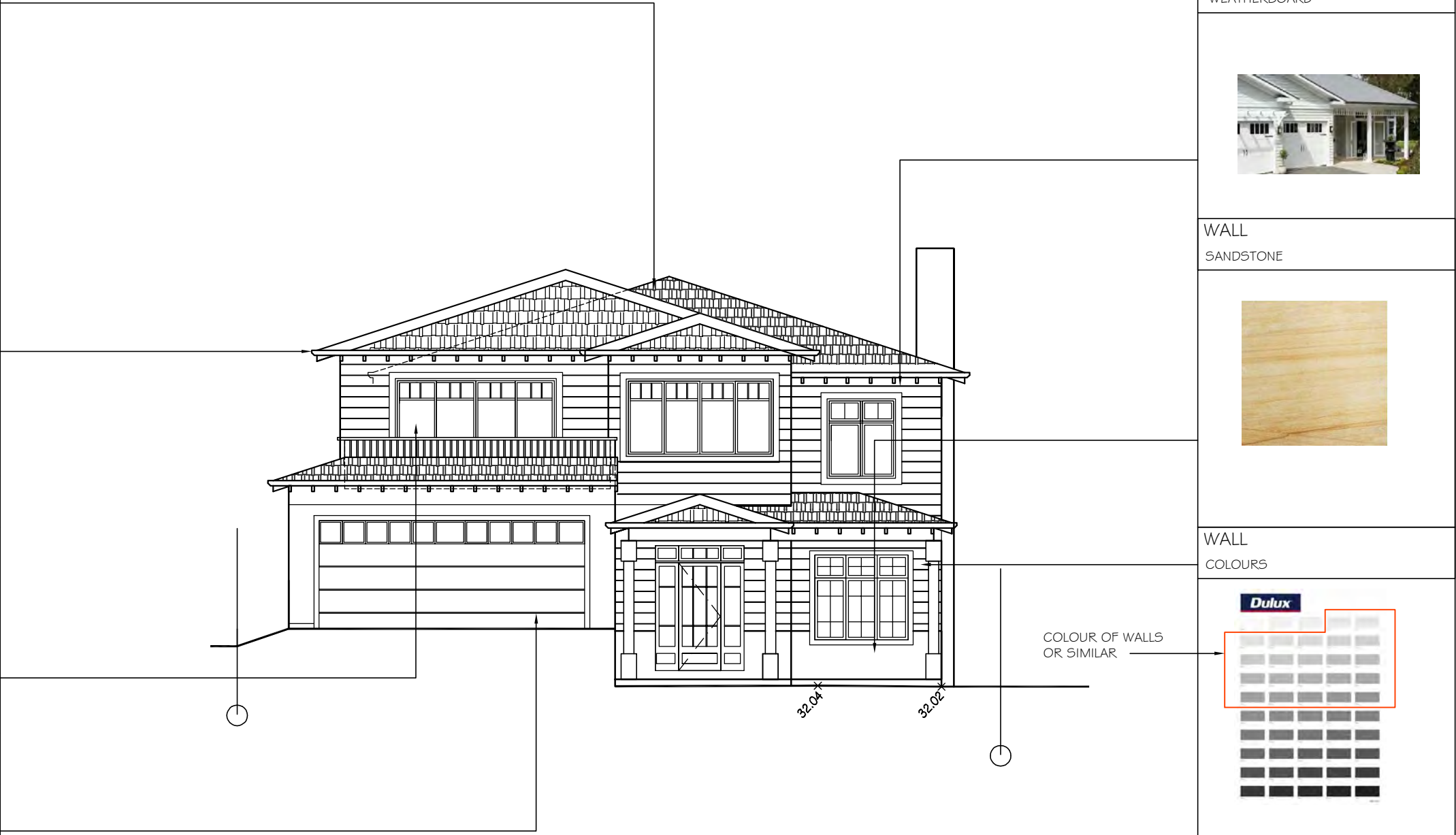


WINDOWS/DOORS



GARAGE DOOR





PROPOSED
WEST ELEVATION
SCALE 1:100

WALL

WEATHERBOARD



WALL

SANDSTONE



WALL

COLOURS



PLEASE NOTE
COLOURS AS SELECTED OR SIMILAR

A3

EXTERNAL COLOURS AND FINISHES

C AND A PARISI

PROPOSED : ALTERATIONS AND ADDITIONS, AND POOL
TO EXISTING RESIDENCE

ADDRESS : 23 HAY STREET
COLLAROY NSW 2097

DP 10648
LOT 36
SEC 12

SCALE: 1:100

DATE: 10.06.2021

REV: B

JOB: 41/20

SHEET No :
DA17

Architectural Drafting
Services
0404 037 606
email:sammyfedele@iprimus.com.au

Sammy Fedele

drawn: 38 627 664 311