

Rapid Plans www.rapidplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

For Selena Mohr

34 Robert Avenue North Manly

Lot 18 D.P.249823

Project Number: RP0122MOH

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 28/2/23
DA1001	A4 NOTIFICATION PLAN	-	- 28/2/23
DA1002	SITE SURVEY	-	- 28/2/23
DA1003	SITE PLAN	-	- 28/2/23
DA1004	Existing Ground Floor Plan	-	- 28/2/23
DA1005	Existing Roof Plan	-	- 28/2/23
DA1006	Demolition Ground Floor Plan	-	- 28/2/23
DA1007	Demolition Roof Plan	-	- 28/2/23
DA1008	Landscape Open Space Plan Existing	-	- 28/2/23
DA1009	Landscape Open Space Plan Proposed	-	- 28/2/23
DA1010	Landscape Plan	-	- 28/2/23
DA1011	Sediment & Erosion Plan	-	- 28/2/23
DA1012	Waste Management Plan	-	- 28/2/23
DA1013	Stormwater Plan	-	- 28/2/23
DA2001	GROUND FLOOR	-	- 28/2/23
DA2002	FIRST FLOOR	-	- 28/2/23
DA2003	ROOF	-	- 28/2/23
DA3000	SECTION 1	-	- 28/2/23
DA3001	SECTION 2	-	- 28/2/23
DA4000	ELEVATIONS 1	-	- 28/2/23
DA4001	ELEVATIONS 2	-	- 28/2/23
DA5000	PERSPECTIVE FRONT	-	- 28/2/23
DA5001	PERSPECTIVE REAR	-	- 28/2/23
DA5002	MATERIAL & COLOUR SAMPLE BOARD	-	- 28/2/23
DA5003	SHADOW PLAN 21st June 9am	-	- 28/2/23
DA5004	SHADOW PLAN 21st June 12pm	-	- 28/2/23
DA5005	SHADOW PLAN 21st June 3pm	-	- 28/2/23



BASIX Certificate

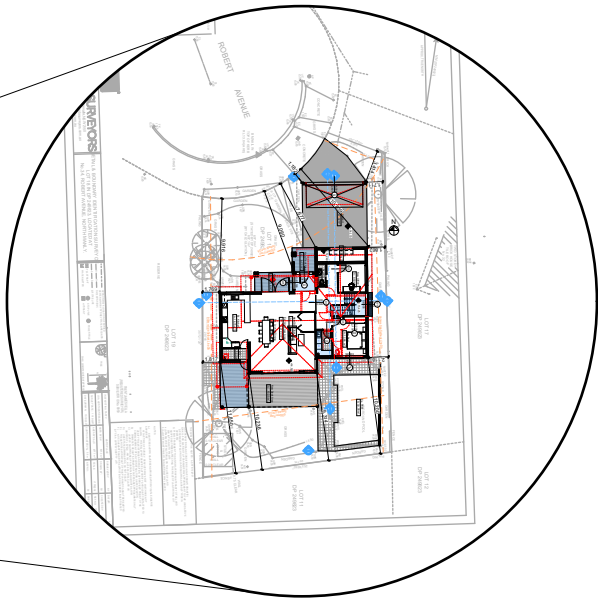
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A483455_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

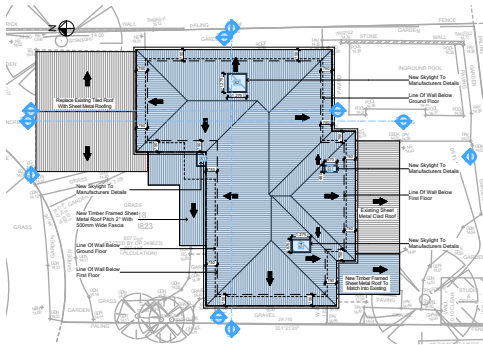
Secretary
Date of issue: Tuesday, 28, February 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Mohr_02
Street address	34 Robert Avenue North Manly 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 249823
Lot number	18
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592



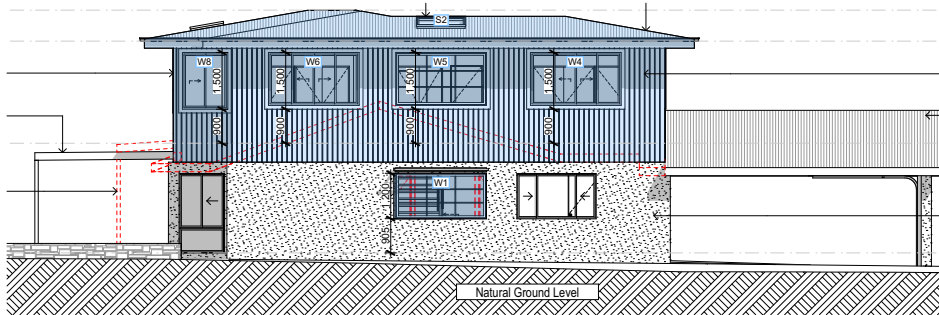
4

Roof Plan
1:500



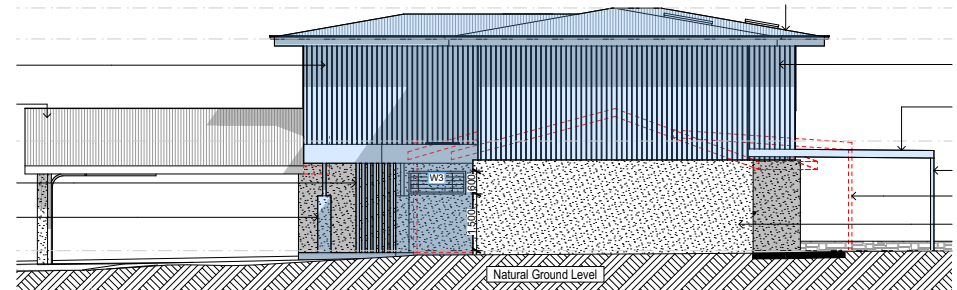
E-01

North
1:200



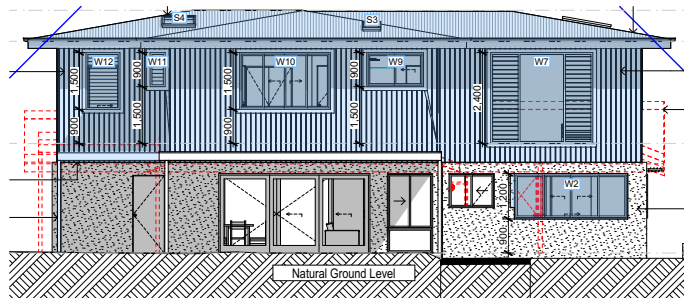
E-02

East
1:200



E-04

West
1:200



E-03

South
1:200



Denotes New Works

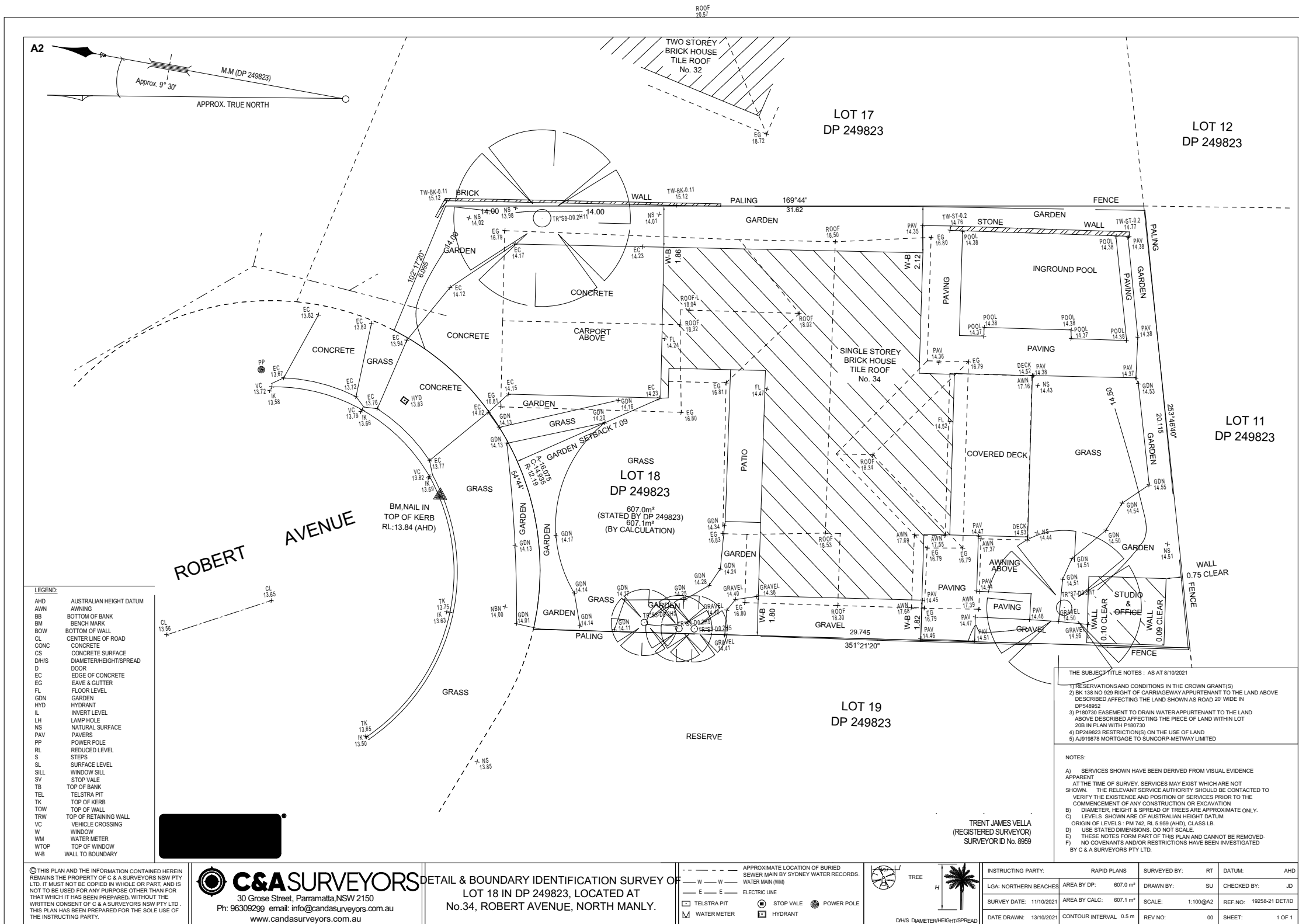
Wall Legend



Denotes Existing Wall



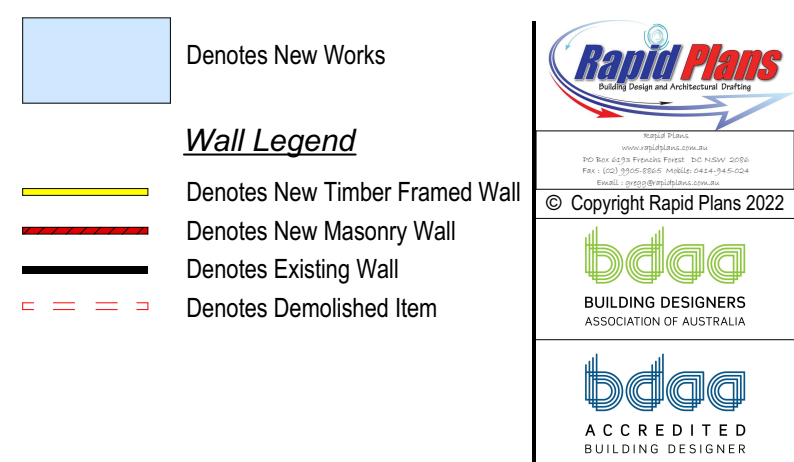
Denotes Demolished Item



1

SURVEY PLAN
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



<p>Fixtures and systems</p>
<p>Lighting</p> <p>The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.</p>
<p>Fixtures</p> <p>The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.</p> <p>The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.</p> <p>The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.</p>

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)

<p>These plans are for DA Application purposes only. These plans are not to be used in any construction certificate application without the written permission of Rapier.</p>	<p>DRAWING TITLE :</p> <p>SITE AND LOCATION</p> <p>SITE PLAN</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

RAPID PLANS
[www.rapidplans.com.au](#)
PO Box 6039 Fremantle, Western Australia 6157
Ph: (08) 9250-8864 Mobile: 0424-344-026
[info@rapidplans.com.au](#)

© Copyright Rapid Plans 2022

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to its copyright; this drawing remains the property of Rapid Plans and will not be copied without written consent, all content including intellectual remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes unless issued by the Designer for construction.

NOTES

#4 Robert Avenue North Manly is zoned R2 Low Density

#4 Robert Avenue North Manly is not considered a heritage item

All Plans to be made in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Construction

Slab & Framed Walls, Framed Walls

R/R Framed Ceiling R/R Insulation

Insulation to External Framed Walls R1 70

Refer to Engineering drawings for structural details

To work to Engineering Specification and BCA

Framing timbers to BCA and AS 1844

Femile Management to BCA and AS 3660.1

Glazing to BCA and ASD1288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

all wiring/materials must be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction completion application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certification drawings by Rapid Plans Assn

Basic Certificate Number A4E3455 02

All Plans to be read in conjunction with Basic Certificate

No Plans may consist of the ground or altered construction floor (s), walls, and ceilings/croft(s) in accordance with the specifications listed in the tables below, except that if additional insulation is not required where the new construction is less than 2m(± .0)

For projections described in millimetres, the leading edge of each eave, gargoyle, windrattle, balcony or awning must be no more than 500 mm above the head of the window or glazing door and no more than 2400 mm above the sill

Overheadwiring balconies or vegetation must be of the height and distance from the centre and the base of the window and glazing door,

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Natl. GL	7.2m	Yes
Max Bldg Ht Above Natl. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4@m / 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into grd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans**

Project North	N
Drawn Checked GBJ Plot Date : 28/02/2023 Project NO.: RP012ZMOH Project Status DA	
Client Selena Mohr	
Site:	#4 Robert Avenue North Manly
DRAWING TITLE :	
SITE AND LOCATION SITE PLAN	
PROJECT NAME :	
DA Alterations & Additions	
REVISION NO.	DATE
-	28/2/23
DRAWING NO.	
DA1003	
Plot Date:	28/02/2023
Sheet Size: A3	(Printed on standard Australian Standard Paper Size)

Wall Legend

Denotes Existing Wall



© Copyright Rapid Plans 2022



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Site & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any

Carrying Authority without the written permission of Rapid Plans or the

supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor

(s), walls, and ceilings/roofs) in accordance with the specifications

listed in the table below, except that a) additional insulation is not

required where the area of new construction is less than 2m², b)

insulation specified is not required for parts of altered construction

where insulation already exists.

The applicant must install the windows, glazed doors and shading

devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each

window and glazed door.

For projections described in millimetres, the leading edge of each

space, pergola, verandah, balcony or awning must be no more

than 500 mm above the head of the window or glazed door and

no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and

distance from the centre and the base of the window and glazed door.

Site Information

Prop. Comp.

Site Area 607.1m² Yes

Housing Density (dwelling/m²) 1 Yes

Max Ceiling Ht Above Nat. GL 7.2m Yes

Max Bldg Ht Above Nat. GL 8.5m Yes

Front Setback (Min.) 6.5m Yes

Rear Setback (Min.) 6.0m Yes

Min. side bdy setback (Min.) 0.9m Yes

Building envelope 4m@ 45Deg Yes

% of landscape open space (40% min) 40% Yes

Impervious area (m²) 60% Yes

Maximum cut into gnd (m) N/A Yes

Maximum depth of fill (m) N/A Yes

No. of car spaces provided 2 Yes

Builder to Check and Confirm all

Measurements Prior to

Commencement of any works.

Immediately Report any Discrepancies

to Rapid Plans

Project North

z

Drawn | Checked GBJ

Plot Date: 28/02/2023

Project NO.: RPD12240H

Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE SITE AND LOCATION

Existing Ground Floor

Plan

PROJECT NAME:

Alterations & Additions

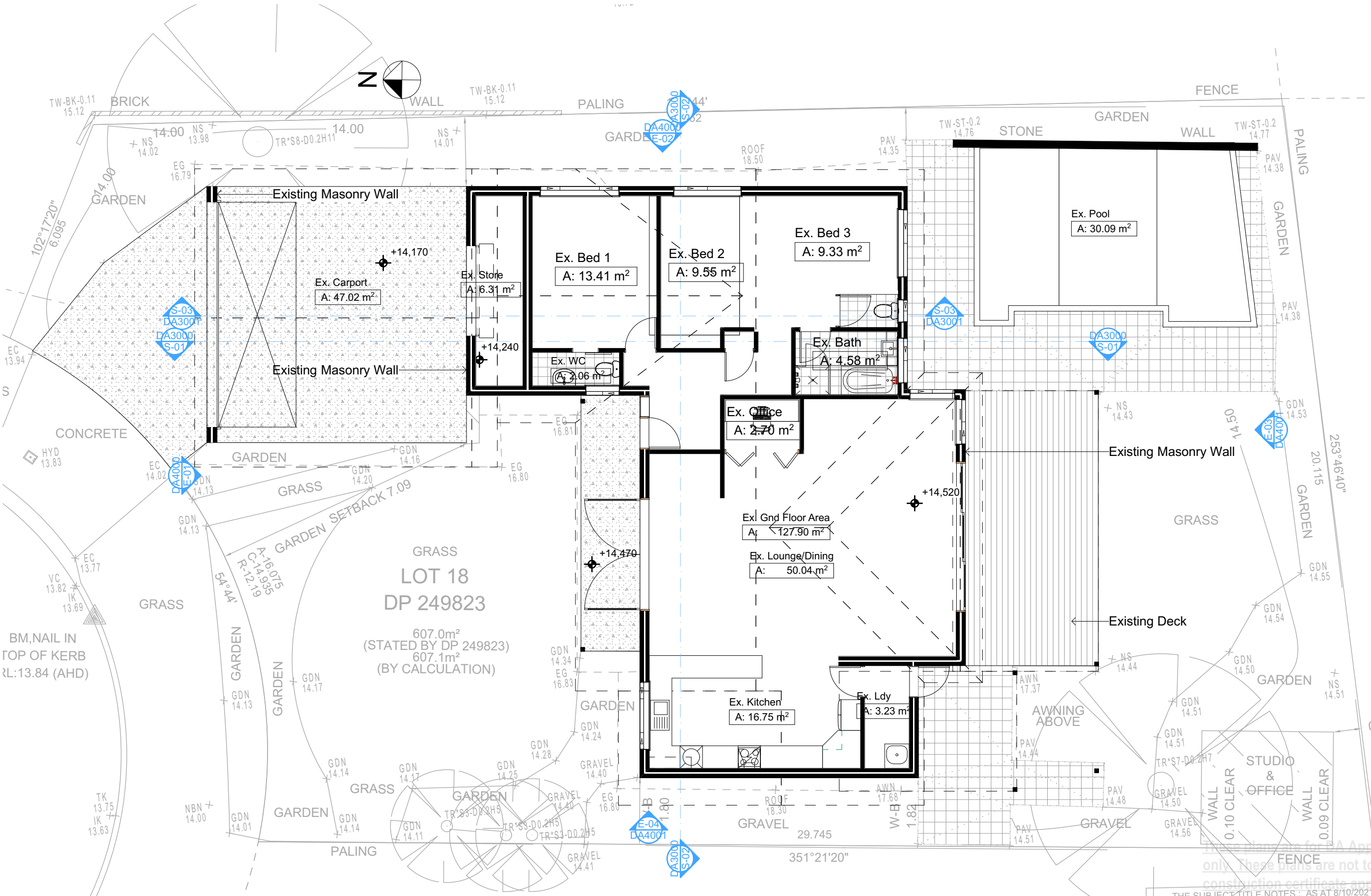
REVISION NO. DATE

- 28/2/23

DRAWING NO. DA1004

Plot Date: 28/02/2023

Sheet Size: A3



2

EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Wall Legend

— Denotes Existing Wall
- - - Denotes Demolished Item



© Copyright Rapid Plans 2022



Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual property, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Manly is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Site & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any

Carrying Authority without the written permission of Rapid Plans or the

supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455 (2)

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor

(s), walls, and ceilings/roofs) in accordance with the specifications

listed in the table below, except that a) additional insulation is not

required where the area of new construction is less than 2m², b)

insulation specified is not required for parts of altered construction

where insulation already exists.

The applicant must install the windows, glazed doors and shading

devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each

window and glazed door.

For projections described in millimetres, the leading edge of each

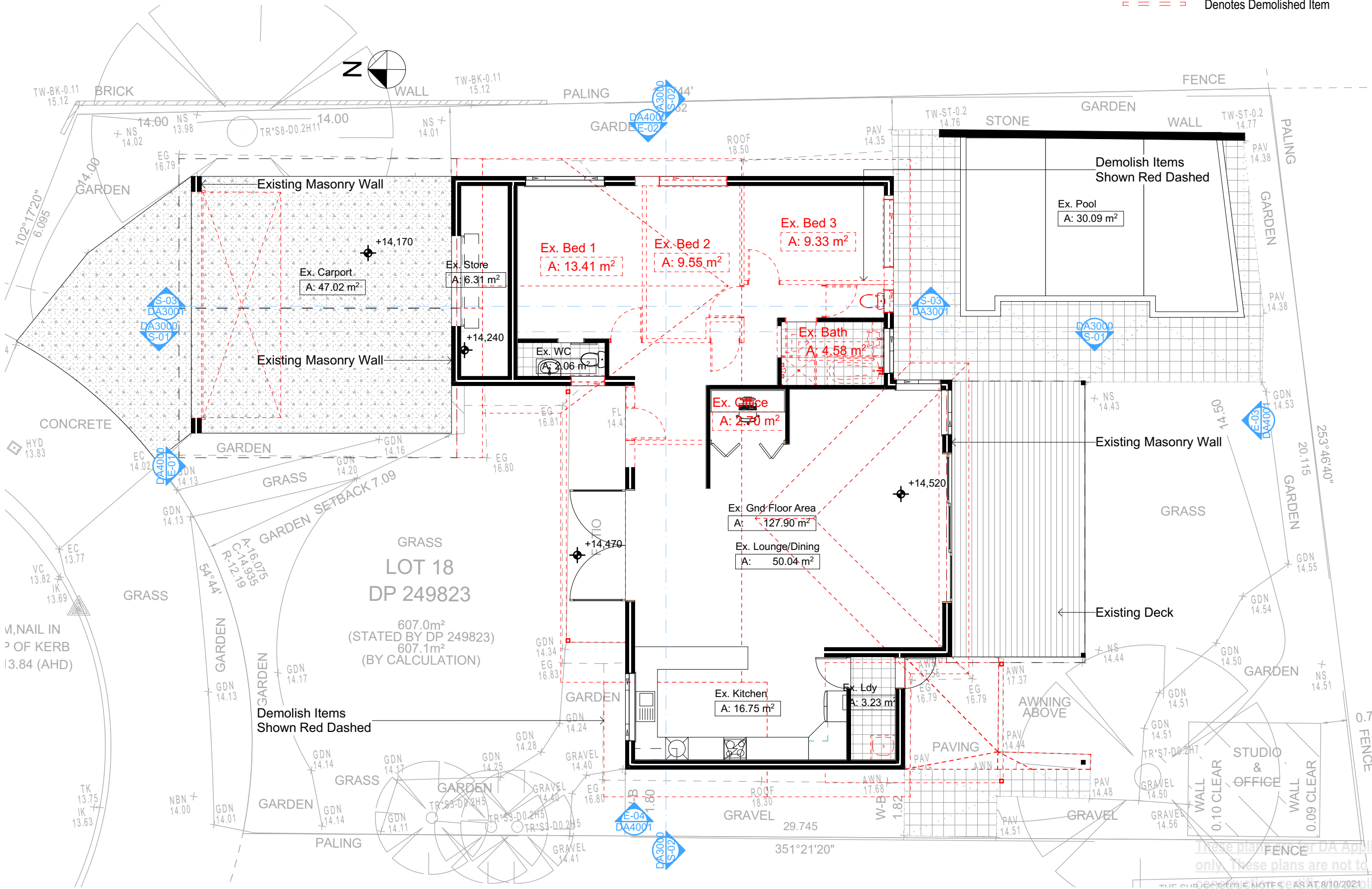
space, veranda, balcony or awning must be no more

than 500 mm above the head of the window or glazed door and

no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and

distance from the centre and the base of the window and glazed door.



2 DEMOLITION GROUND FLOOR
1:100

All Demolition to be done in Accordance with Australian
Standards, BCA and Workcover Regulations

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

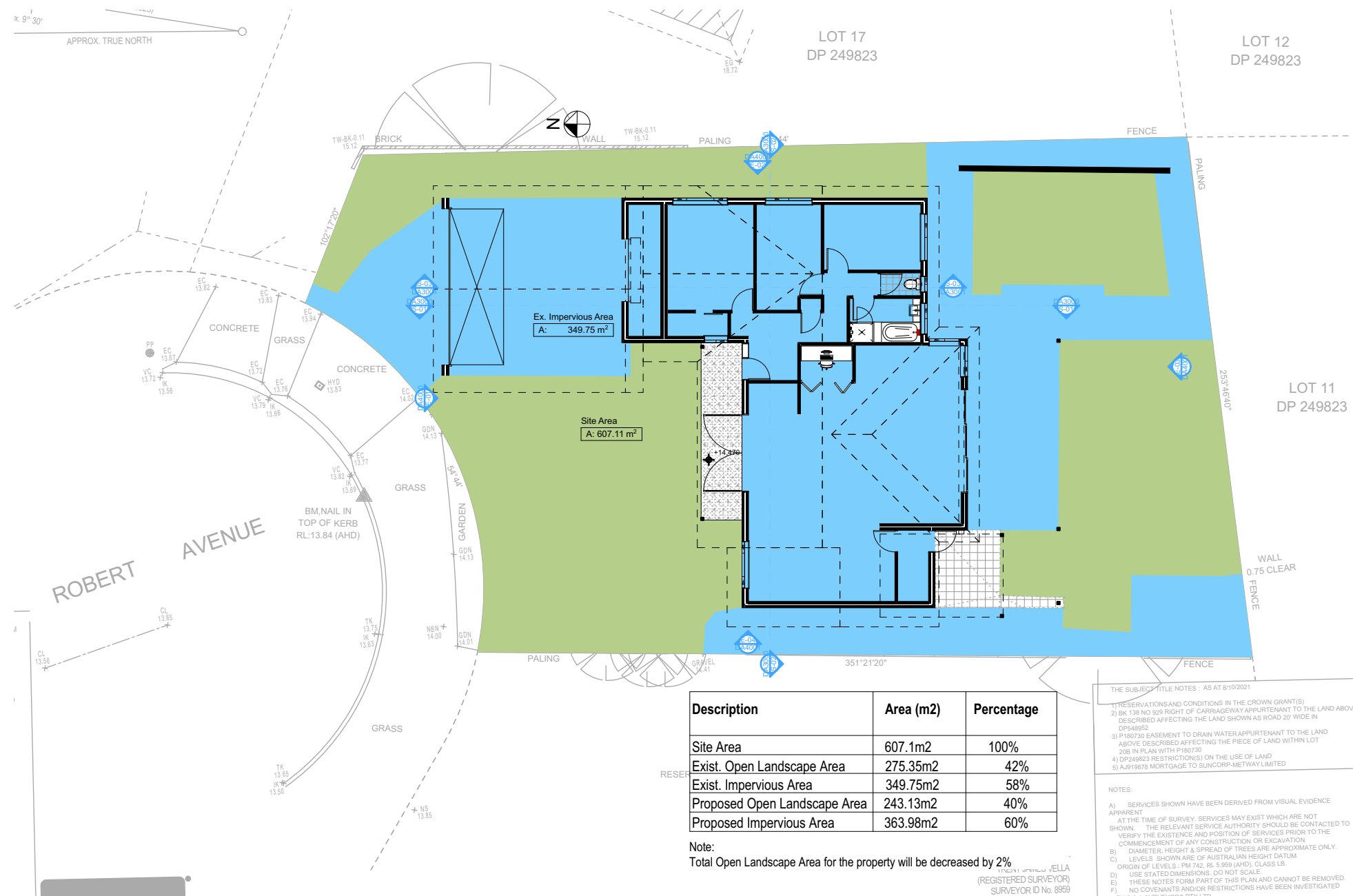
Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RPD12240H
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly



Description	Area (m2)	Percentage
Site Area	607.1m2	100%
Exist. Open Landscape Area	275.35m2	42%
Exist. Impervious Area	349.75m2	58%
Proposed Open Landscape Area	243.13m2	40%
Proposed Impervious Area	363.98m2	60%

Note:
Total Open Landscape Area for the property will be decreased by 2%

(REGISTERED SURVEYOR)
SURVEYOR ID No. 8959

THE SUBJECT TITLE NOTES : AS AT 8/10/2021
1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2) BK 138 NO 929 RIGHT OF CARRIAGEWAY APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE LAND SHOWN AS ROAD 20' WIDE IN DP548952
3) P180730 EASEMENT TO DRAIN WATER APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE PIECE OF LAND WITHIN LOT 20B IN PLAN WITH P180730
4) DP249823 RESTRICTIONS(S) ON THE USE OF LAND
5) J919878 MORTGAGE TO SUNCORP-METWAY LIMITED

NOTES:
A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT.
AT THE TIME OF SURVEY, SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS: PM 742, RL 5.959 (AHD), CLASS LB.
D) USE STATED DIMENSIONS, DO NOT SCALE.
E) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
F) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED

2

LANDSCAPE OPEN SPACE EXISTING

1:200

Denotes Impervious Area

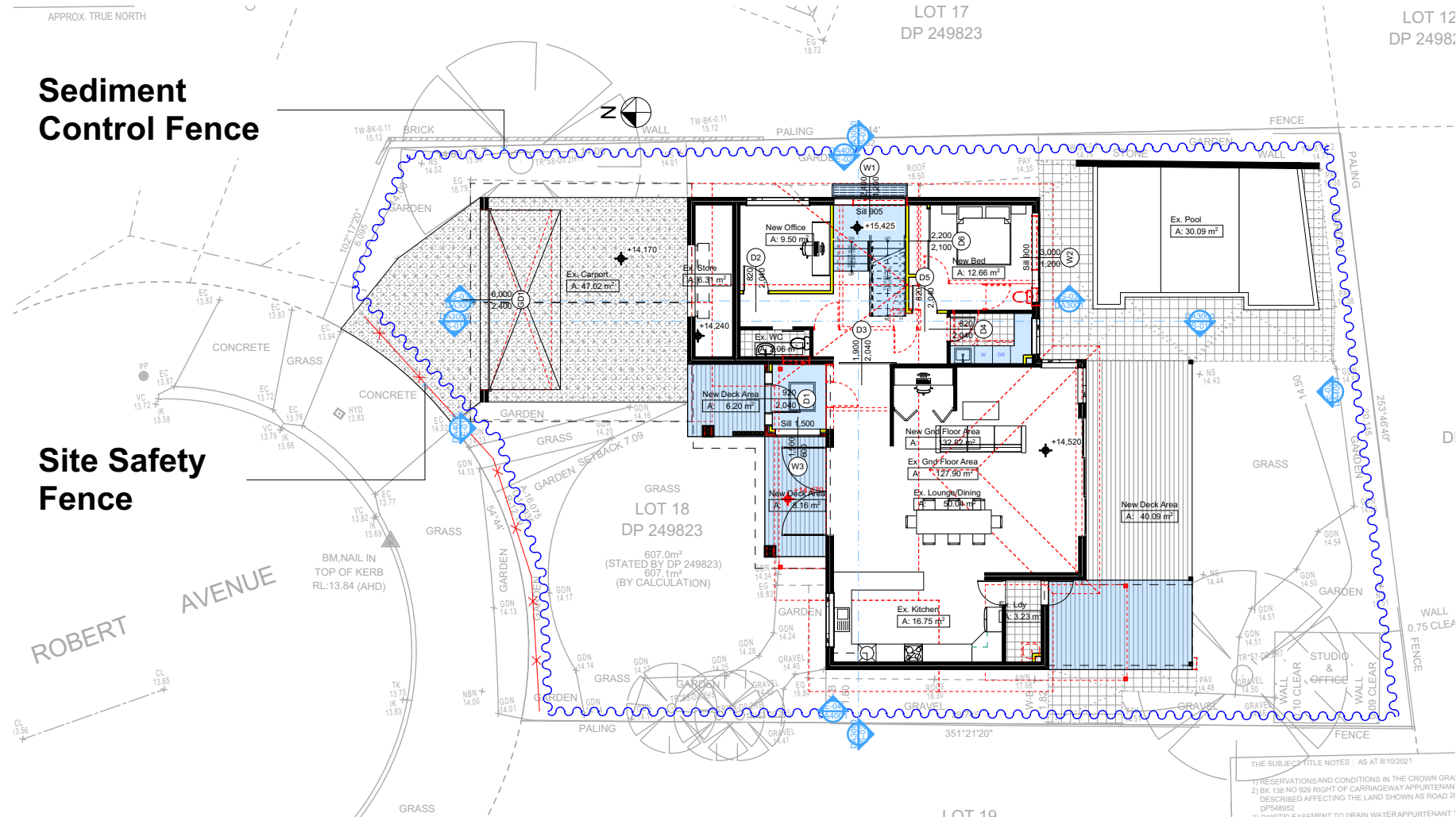
Denotes Pervious Area



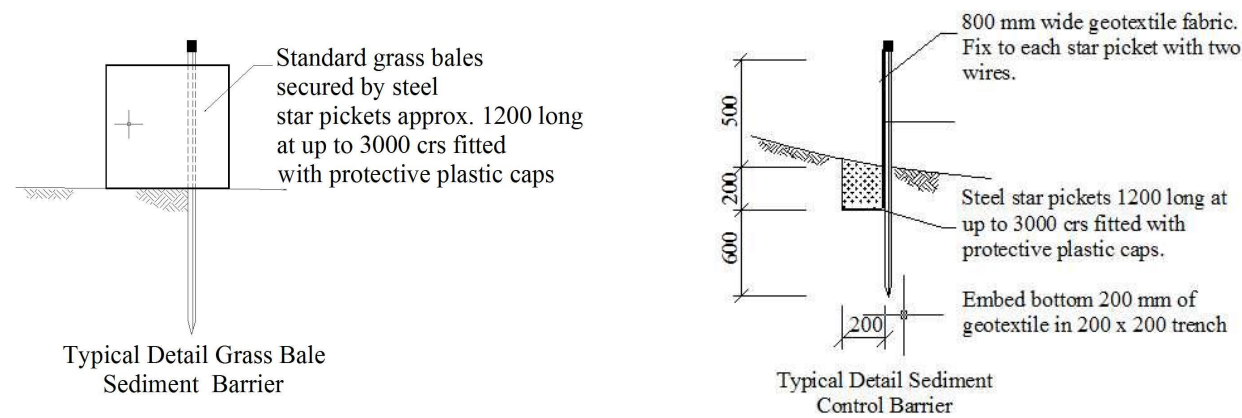
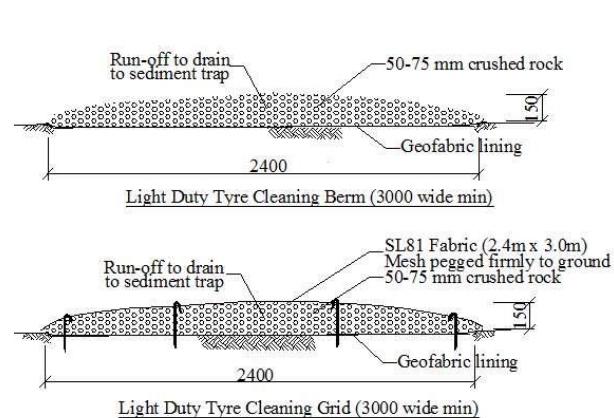
Rapid Plans
100/101/102/103/104/105/106/107/108/109/110/111/112/113/114/115/116/117/118/119/120/121/122/123/124/125/126/127/128/129/130/131/132/133/134/135/136/137/138/139/140/141/142/143/144/145/146/147/148/149/150/151/152/153/154/155/156/157/158/159/160/161/162/163/164/165/166/167/168/169/170/171/172/173/174/175/176/177/178/179/180/181/182/183/184/185/186/187/188/189/190/191/192/193/194/195/196/197/198/199/200/201/202/203/204/205/206/207/208/209/210/211/212/213/214/215/216/217/218/219/220/221/222/223/224/225/226/227/228/229/230/231/232/233/234/235/236/237/238/239/240/241/242/243/244/245/246/247/248/249/250/251/252/253/254/255/256/257/258/259/260/261/262/263/264/265/266/267/268/269/270/271/272/273/274/275/276/277/278/279/280/281/282/283/284/285/286/287/288/289/290/291/292/293/294/295/296/297/298/299/300/301/302/303/304/305/306/307/308/309/310/311/312/313/314/315/316/317/318/319/320/321/322/323/324/325/326/327/328/329/330/331/332/333/334/335/336/337/338/339/340/341/342/343/344/345/346/347/348/349/350/351/352/353/354/355/356/357/358/359/360/361/362/363/364/365/366/367/368/369/370/371/372/373/374/375/376/377/378/379/380/381/382/383/384/385/386/387/388/389/390/391/392/393/394/395/396/397/398/399/400/401/402/403/404/405/406/407/408/409/410/411/412/413/414/415/416/417/418/419/420/421/422/423/424/425/426/427/428/429/430/431/432/433/434/435/436/437/438/439/440/441/442/443/444/445/446/447/448/449/450/451/452/453/454/455/456/457/458/459/460/461/462/463/464/465/466/467/468/469/470/471/472/473/474/475/476/477/478/479/480/481/482/483/484/485/486/487/488/489/490/491/492/493/494/495/496/497/498/499/500/501/502/503/504/505/506/507/508/509/510/511/512/513/514/515/516/517/518/519/520/521/522/523/524/525/526/527/528/529/530/531/532/533/534/535/536/537/538/539/540/541/542/543/544/545/546/547/548/549/550/551/552/553/554/555/556/557/558/559/560/561/562/563/564/565/566/567/568/569/570/571/572/573/574/575/576/577/578/579/580/581/582/583/584/585/586/587/588/589/590/591/592/593/594/595/596/597/598/599/600/601/602/603/604/605/606/607/608/609/610/611/612/613/614/615/616/617/618/619/620/621/622/623/624/625/626/627/628/629/630/631/632/633/634/635/636/637/638/639/640/641/642/643/644/645/646/647/648/649/650/651/652/653/654/655/656/657/658/659/660/661/662/663/664/665/666/667/668/669/670/671/672/673/674/675/676/677/678/679/680/681/682/683/684/685/686/687/688/689/690/691/692/693/694/695/696/697/698/699/700/701/702/703/704/705/706/707/708/709/710/711/712/713/714/715/716/717/718/719/720/721/722/723/724/725/726/727/728/729/730/731/732/733/734/735/736/737/738/739/740/741/742/743/744/745/746/747/748/749/750/751/752/753/754/755/756/757/758/759/760/761/762/763/764/765/766/767/768/769/770/771/772/773/774/775/776/777/778/779/780/781/782/783/784/785/786/787/788/789/790/791/792/793/794/795/796/797/798/799/800/801/802/803/804/805/806/807/808/809/810/811/812/813/814/815/816/817/818/819/820/821/822/823/824/825/826/827/828/829/830/831/832/833/834/835/836/837/838/839/840/841/842/843/844/845/846/847/848/849/850/851/852/853/854/855/856/857/858/859/860/861/862/863/864/865/866/867/868/869/870/871/872/873/874/875/876/877/878/879/880/881/882/883/884/885/886/887/888/889/890/891/892/893/894/895/896/897/898/899/900/901/902/903/904/905/906/907/908/909/910/911/912/913/914/915/916/917/918/919/920/921/922/923/924/925/926/927/928/929/930/931/932/933/934/935/936/937/938/939/940/941/942/943/944/945/946/947/948/949/950/951/952/953/954/955/956/957/958/959/960/961/962/963/964/965/966/967/968/969/970/971/972/973/974/975/976/977/978/979/980/981/982/983/984/985/986/987/988/989/990/991/992/993/994/995/996/997/998/999/1000/1001/1002/1003/1004/1005/1006/1007/1008/1009/1010/1011/1012/1013/1014/1015/1016/1017/1018/1019/1020/1021/1022/1023/1024/1025/1026/1027/1028/1029/1030/1031/1032/1033/1034/1035/1036/1037/1038/1039/1040/1041/1042/1043/1044/1045/1046/1047/1048/1049/1050/1051/1052/1053/1054/1055/1056/1057/1058/1059/1060/1061/1062/1063/1064/1065/1066/1067/1068/1069/1070/1071/1072/1073/1074/1075/1076/1077/1078/1079/1080/1081/1082/1083/1084/1085/1086/1087/1088/1089/1090/1091/1092/1093/1094/1095/1096/1097/1098/1099/1100/1101/1102/1103/1104/1105/1106/1107/1108/1109/1110/1111/1112/1113/1114/1115/1116/1117/1118/1119/1120/1121/1122/1123/1124/1125/1126/1127/1128/1129/1130/1131/1132/1133/1134/1135/1136/1137/1138/1139/1140/1141/1142/1143/1144/1145/1146/1147/1148/1149/1150/1151/1152/1153/1154/1155/1156/1157/1158/1159/1160/1161/1162/1163/1164/1165/1166/1167/1168/1169/1170/1171/1172/1173/1174/1175/1176/1177/1178/1179/1180/1181/1182/1183/1184/1185/1186/1187/1188/1189/1190/1191/1192/1193/1194/1195/1196/1197/1198/1199/1200/1201/1202/1203/1204/1205/1206/1207/1208/1209/1210/1211/1212/1213/1214/1215/1216/1217/1218/1219/1220/1221/1222/1223/1224/1225/1226/1227/1228/1229/1230/1231/1232/1233/1234/1235/1236/1237/1238/1239/1240/1241/1242/1243/1244/1245/1246/1247/1248/1249/1250/1251/1252/1253/1254/1255/1256/1257/1258/1259/1260/1261/1262/1263/1264/1265/1266/1267/1268/1269/1270/1271/1272/1273/1274/1275/1276/1277/1278/1279/1280/1281/1282/1283/1284/1285/1286/1287/1288/1289/1290/1291/1292/1293/1294/1295/1296/1297/1298/1299/1300/1301/1302/1303/1304/1305/1306/1307/1308/1309/1310/1311/1312/1313/1314/1315/1316/1317/1318/1319/1320/1321/1322/1323/1324/1325/1326/1327/1328/1329/1330/1331/1332/1333/1334/1335/1336/1337/1338/1339/1340/1341/1342/1343/1344/1345/1346/1347/1348/1349/1350/1351/1352/1353/1354/1355/1356/1357/1358/1359/1360/1361/1362/1363/1364/1365/1366/1367/1368/1369/1370/1371/1372/1373/1374/1375/1376/1377/1378/1379/1380/1381/1382/1383/1384/1385/1386/1387/1388/1389/1390/1391/1392/1393/1394/1395/1396/1397/1398/1399/1400/1401/1402/1403/1404/1405/1406/1407/1408/1409/1410/1411/1412/1413/1414/1415/1416/1417/1418/1419/1420/1421/1422/1423/1424/1425/1426/1427/1428/1429/1430/1431/1432/1433/1434/1435/1436/1437/1438/1439/1440/1441/1442/1443/1444/1445/1446/1447/1448/1449/1450/1451/1452/1453/1454/1455/1456/1457/1458/1459/1460/1461/1462/1463/1464/1465/1466/1467/1468/1469/1470/1471/1472/1473/1474/1475/1476/1477/1478/1479/1480/1481/1482/1483/1484/1485/1486/1487/1488/1489/1490/1491/1492/1493/1494/1495/1496/1497/1498/1499/1500/1501/1502/1503/1504/1505/1506/1507/1508/1509/1510/1511/1512/1513/1514/1515/1516/1517/1518/1519/1520/1521/1522/1523/1524/1525/1526/1527/1528/1529/1530/1531/1532/1533/1534/1535/1536/1537/1538/1539/1540/1541/1542/1543/1544/1545/1546/1547/1548/1549/1550/1551/1552/1553/1554/1555/1556/1557/1558/1559/1560/1561/1562/1563/1564/1565/1566/1567/1568/1569/1570/1571/1572/1573/1574/1575/1576/1577/1578/1579/1580/1581/1582/1583/1584/1585/1586/1587/1588/1589/1590/1591/1592/1593/1594/1595/1596/1597/1598/1599/1600/1601/1602/1603/1604/1605/1606/1607/1608/1609/1610/1611/1612/1613/1614/1615/1616/1617/1618/1619/1620/1621/1622/1623/1624/1625/1626/1627/1628/1629/1630/1631/1632/1633/1634/1635/1636/1637/1638/1639/1640/1641/1642/1643/1644/1645/1646/1647/1648/1649/1650/1651/1652/1653/1654/1655/1656/1657/1658/1659/1660/1661/1662/1663/1664/1665/1666/1667/1668/1669/1670/1671/1672/1673/1674/1675/1676/1677/1678/1679/1680/1681/1682/1683/1684/1685/1686/1687/1688/1689/1690/1691/1692/1693/1694/1695/1696/1697/1698/1699/1700/1701/1702/1703/1704/1705/1706/1707/1708/1709/1710/1711/1712/1713/1714/1715/1716/1717/1718/1719/1720/1721/1722/1723/1724/1725/1726/1727/1728/1729/1730/1731/1732/1733/1734/1735/1736/1737/1738/1739/1740/1741/1742/1743/1744/1745/1746/1747/1748/1749/1750/1751/1752/1753/1754/1755/1756/1757/1758/1759/1760/1761/1762/1763/1764/1765/1766/1767/1768/1769/1770/1771/1772/1773/1774/1775/1776/1777/1778/1779/1780/1781/1782/1783/1784/1785/1786/1787/1788/1789/1790/1791/1792/1793/1794/1795/1796/1797/1798/1799/1800/1801/1802/1803/1804/1805/1806/1807/1808/1809/1810/1811/1812/1813/1814/1815/1816/1817/1818/1819/1820/1821/1822/1823/1824/1825/1826/1827/1828/1829/1830/1831/1832/1833/1834/1835/1836/1837/1838/1839/1840/1841/1842/1843/1844/1845/1846/1847/1848/1849/1850/1851/1852/1853/1854/1855/1856/1857/1858/1859/1860/1861/1862/1863/1864/1865/1866/1867/1868/1869/1870/1871/1872/1873/1874/1875/1876/1877/1878/1879/1880/1881/1882/1883/1884/1885/1886/1887/1888/1889/1890/1891/1892/1893/1894/1895/1896/1897/1898/1899/1900/1901/1902/1903/1904/1905/1906/1907/1908/1909/1910/1911/1912/1913/1914/1915/1916/1917/1918/1919/1920/1921/1922/1923/1924/1925/1926/1927/1928/1929/1930/1931/1932/1933/1934/1935/1936/1937/1938/1939/1940/1941/1942/1943/1944/1945/1946/1947/1948/1949/1950/1951/1952/1953/1954/1955/1956/1957/1958/1959/1960/1961/1962/1963/1964/1965/1966/1967/1968/1969/1970/1971/1972/1973/1974/1975/1976/1977/1978/1979/1980/1981/1982/1983/1984/1985/1986/1987/1988/1989/1990/1991/1992/1993/1994/1995/1996/1997/1998/1999/2000/2001/2002/2003/2004/2005/2006/2007/2008/2009/2010/2011/2012/2013/2014/2015/2016/2017/2018/2019/2020/2021/2022/2023/2024/2025/2026/2027/2028/2029/2030/2031/2032/2033/2034/2035/2036/2037/2038/2039/2040/2041/2042/2043/2044/2045/2046/2047/2048/2049/2050/2051/2052/2053/2054/2055/2056/2057/2058/2059/2060/2061/2062/2063/2064/2065/2066/2067/2068/2069/2070/2071/2072/2073/2074/2075/2076/2077/2078/2079/2080/2081/2082/2083/2084/2085/2086/2087/2088/2089/2090/2091/2092/2093/2094/2095/2096/2097/2098/2099/2100/2101/2102/2103/2104/2105/2106/2107/2108/2109/2110/2111/2112/2113/2114/2115/2116/2117/2118/2119/2120/2121/2122/2123/2124/2125/2126/2127/2128/2129/2130/2131/2132/2133/2134/2135/2136/2137/2138/2139/2140/2141/2142/2143/2144/2145/2146/2147/2148/2149/2150/2151/2152/2153/2154/2155/2156/2157/2158/2159/2160/2161/2162/2163/2164/2165/2166/2167/2168/2169/2170/2171/2172/2173/2174/2175/2176/2177/2178/2179/2180/2181/2182/2183/2184/2185/2186/2187/2188/2189/2190/2191/2192/2193/2194/2195/2196/2197/2198/2199/2200/2201/2202/2203/2204/2205/2206/2207/2208/2209/2210/2211/2212/2213/2214/2215/2216/2217/2218/2219/2220/2221/2222/2223/2224/2225/2226/2227/2228/2229/2230/2231/2232/2233/2234/2235/2236/2237/2238/2239/2240/2241/2242/2243/2244/2245/2246/2247/2248/2249/2250/2251/2252/2253/2254/2255/2256/2257/2258/2259/2260/2261/2262/2263/2264/2265/2266/2267/2268/2269/2270/2271/2272/2273/2274/2275/2276/2277/2278/2279/2280/2281/2282/2283/2284/2285/2286/2287/2288/2289/2290/2291/2292/2293/2294/2295/2296/2297/2298/2299/2300/2301/2302/2303/2304/2305/2306/2307/2308/2309/2310/2311/2312/2313/2314/2315/2316/2317/2318/2319/2320/2321/2322/2323/2324/2325/2326/2327/2328/2329/2330/2331/2332/2333/2334/2335/2336/2337/2338/2339/2340/2341/2342/2343/2344/2345/2346/2347/2348/2349/2350/2351/2352/2353/2354/2355/2356/2357/2358/2359/2360/2361/2362/2363/2364/2365/2366/2367/2368/2369/2370/2371/2372/2373/2374/2375/2376/2377/2378/2379/2380/2381/2382/2383/2384/2385/2386/2387/2388/2389/2390/2391/2392/2393/2394/2395/2396/2397/2398/2399/2400/2401/2402/2403/2404/2405/2406/2407/2408/2409/2410/2411/2412/2413/2414/2415/2416/2417/2418/2419/2420/2421/2422/2423/2424/2425/2426/2427/2428/2429/2430/2431/2432/2433/2434/2435/2436/2437/2438/2439/2440/2441/2442/2443/2444/2445/2446/2447/2448/2449/2450/2451/2452/2453/2454/2455/2456/2457/2458/2459/2460/2461/2462/2463/2464/2465/2466/2467/2468/2469/2470/2471/2472/2473/2474/2475/2476/2477/2478/2479/2480/2481/2482/2483/2484/2485/2486/2487/2488/2489/2490/2491/2492/2493/2494/2495/2496/2497/2498/2499/2500/2501/2502/2503/2504/2505/2506/2507/2508/2509/2510/2511/2512/2513/2514/2515/2516/2517/2518/2519/2520/2521/2522/2523/252



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



2 SEDIMENT & EROSION CONTROL PLAN 1:200



- Denotes New Works
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

Rapid Plans
Building Design and Architectural Drafting

© Copyright Rapid Plans 2022

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Marly is zoned R2 Low Density

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Site & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1019.2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Caravanning

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Caravanning Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455.02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each space, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RPD122MCH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Marly

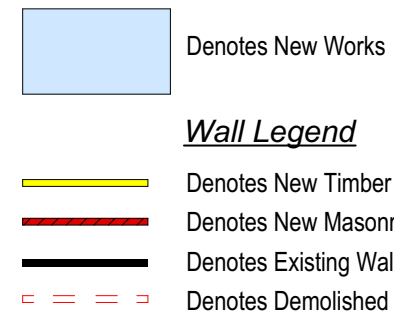
DRAWING TITLE:
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME:
Alterations & Additions

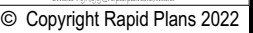
REVISION NO. DATE
- 28/2/23
DRAWING NO.
DA1011

Plot Date: 28/02/2023
Sheet Size: A3

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item



Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
4 Robert Avenue North Manly is zoned R2 Low Density

4 Robert Avenue North Manly is not considered a heritage item
 || Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue

lab & Framed Floors, Framed Walls, Framed
roof Framed to have R1.08 insulation
insulation to External Framed Walls R1.70
refer to Engineers drawings for structural details
to work to Engineers Specification and BCA
timber framing to BCA and AS 1684
termite Management to BCA and AS 3660.1
glazing to BCA and AS01288-2047
waterproofing to BCA and AS 3740
new Lighting to have minimum of 40% compact fluorescent lamps
workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

Verifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

asix Certificate Number A483455_02
 All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

relevant overshadowing specifications must be satisfied for each window and glazed door.

or projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Shedding buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (10% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO. RP0122MOH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE : SITE AND LOCATION
Waste Management Plan

PROJECT NAME : **Alterations & Additions**

REVISION NO. DATE
28/2/23

DRAWING NO.

DA1012

Plot Date: 28/02/2023
Sheet Size: A3

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of Ralcorp Pty Ltd.</p>	<p>DRAWING TITLE :</p>
	<p>SITE AND LOCATION</p> <p>Waste Management Plan</p>
	<p>PROJECT NAME :</p> <p>Alterations &</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

WASTE MANAGEMENT PLAN
1:200

Denotes New Works

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

Wall Legend

Rapid Plans

Building Design and Architectural Drafting

Website: rapidplans.com.au

PO Box 6239 Fitzroy Vic 3065

Ph: (03) 9360-8845

Fax: (03) 9360-8845

Email: info@rapidplans.com.au

© Copyright Rapid Plans 2022

bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Marly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

Construction

Slab & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

z

Drawn | Checked GBJ

Plot Date: 28/02/2023

Project NO.: RPD122MCH

Project Status DA

Client

Selena Mohr

Site:

34 Robert Avenue North Marly

DRAWING TITLE:

SITE AND LOCATION

Stormwater Plan

PROJECT NAME:

Alterations & Additions

REVISION NO.

DATE

-

28/2/23

DRAWING NO.

DA1013

Plot Date:

28/02/2023

Sheet Size: A3

Assumed Existing Stormwater.
Plumber To Confirm Location
Prior To Commencement

Proposed Stormwater Line To Be Fed
Into The Existing Drainage System

4

STORMWATER PLAN
1:200

Plumber To Confirm Location Of Existing
Stormwater/Sewer Prior To Commencement

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

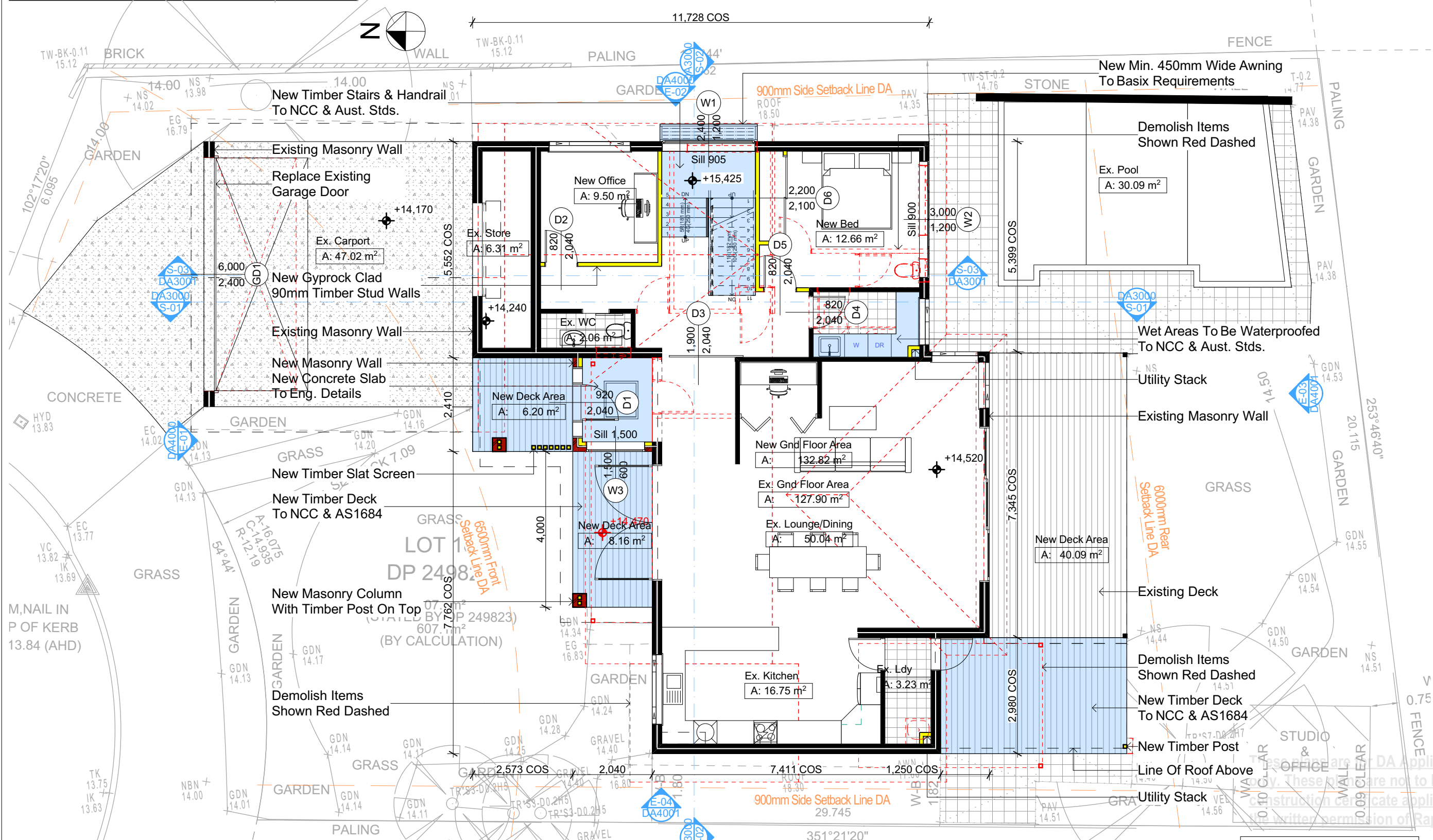
Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



Building Design and Architectural Drafting

World Plans
PO Box 6239 Pyralis Forest NSW 2080
Ph: (02) 9360-8845 Mobile: 0414-945-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2022

BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density

34 Robert Avenue North Manly is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Basic

Basic Certificate Number A483455 (2)

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Site Information

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO: RP0122MCH
Project Status DA

Client: Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE: PLANS
GROUND FLOOR

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

- 28/02/23

DRAWING NO. DA2001

Plot Date: 28/02/2023
Sheet Size: A3

3 FIRST FLOOR 1:100

<p>Fixtures and systems</p>
<p>Lighting</p> <p>The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.</p>
<p>Fixtures</p> <p>The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.</p> <p>The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.</p> <p>The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.</p>

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

<div> Rapid Plans Building Design and Architectural Drafting</div>		
<div><div><div>rapid Plans</div><div>www.rapidplans.com.au</div><div>PO Box 4639 Fremantle Western Australia 6155 Tel: 08 9439 2100 / 08 9439 2104 / 08 9439 2104 Email: info@rapidplans.com.au</div></div></div>		
© Copyright Rapid Plans 2022		
<div> BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div>		
<div> ACCREDITED BUILDING DESIGNER</div>		
<p>Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and omissions to be the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p>		
NOTES 34 Robert Avenue North Manly is zoned R2 Low Density		
34 Robert Avenue North Manly is not considered a heritage item All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue		
Construction Roof & Framed Floors, Framed Walls Stair Framing to have R10 Insulation Insulation to External Framing Walls R1.70 Rafter to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1844 Femur framing to BCA and AS 3060.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.		
Certifying The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of Authorized Construction Certificate drawing by Rapid Plans		
Basic Basic Certificate Number A483455.02 All Plans to be read in conjunction with Basic Certificate The applicant must construct the new or altered construction (floor slabs, walls, and parapet) in accordance with the specifications listed in the table below, except that a) additional insulation is not required in the case of new construction is less than 200, b) insulation specification is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each awning, pergola, verandah, balcony or awning must be not more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.		
Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@	Yes
% of landscape open space (40% min)	45Deg	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans		
<div><div>Project North</div><div></div><div><div>Drawn / [checked] GBJ Plot Date: 28/02/2023 Project NO. RP01/22MOH Project Status DA</div><div><div>Client Selena Mohr</div><div>Site: 34 Robert Avenue North Manly</div></div></div></div>		
<div><div>DRAWING TITLE :</div><div>PLANS FIRST FLOOR</div></div>		
<div><div>PROJECT NAME :</div><div>Alterations & Additions</div></div>		
REVISION NO.	DATE	
-	28/2/23	
DRAWING NO.		
DA2002		
Plot Date:	28/02/2023	
Sheet Size: A3	28/02/2023	



Roof Plan
1:100

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.85	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S2	1.63	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S3	0.4	no shading	timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)
S4	1.11	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Construction		
Insulation requirements		
<p>The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specification is not required for parts of altered construction where insulation already exists.</p>		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

<p>These plans are for DA Application purposes only. These plans are not to be used for a construction certificate application without the written permission of Rapid Construction Pty Ltd.</p>	<p>DRAWING TITLE : PLANS ROOF</p>
	<p>PROJECT NAME : Alterations &</p>
	<p>DATE : 11/01/2024</p>

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

Ngapi Plans
www.rapidplans.com.au
PO Box 6576 Fremantle WA 6155 Australia
Phone: (08) 9396 8561 Mobile: 0424 346 024
Email: contact@rapidplans.com.au

© Copyright Rapid Plans 2022



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, creative the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall be used for construction purposes only issued by the Designer for construction.

NOTES
34 Robert Avenue North Marly is zoned R2 Low Density

34 Robert Avenue North Marly is not considered a heritage item All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue Construction

Slab 5 Framed Floors, Framed Walls
Roof Framed to have R1.08 insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and AS 1884
Termite treatment to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps
All landscaping and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The Building Certificate Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the issue of Authorized Construction Certificate drawings by Rapid Plans

Basic Certificate Number A435455_02
All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/floors) in accordance with the specifications listed in the table below, except that if additional insulation is not required where the area of new construction is less than 2m², 0% insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhead shading specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gable, pergola, verandah, balcony or awning must be no more than 200 mm above the base of the window or glazed door and no more than 2400 mm above the sill.

Overhanging balconies or vegetation must be of the height and distance from the entrance and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@	Yes
% of landscape open space	45Deg	
(40% min)	40%	Yes
Impervious area (m ²)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
28/02/2023
Project No. 2812/2020H
Project Status DA

Client	Selena Mohr
Site:	34 Robert Avenue North Marly

DRAWING TITLE :
PLANS
ROOF

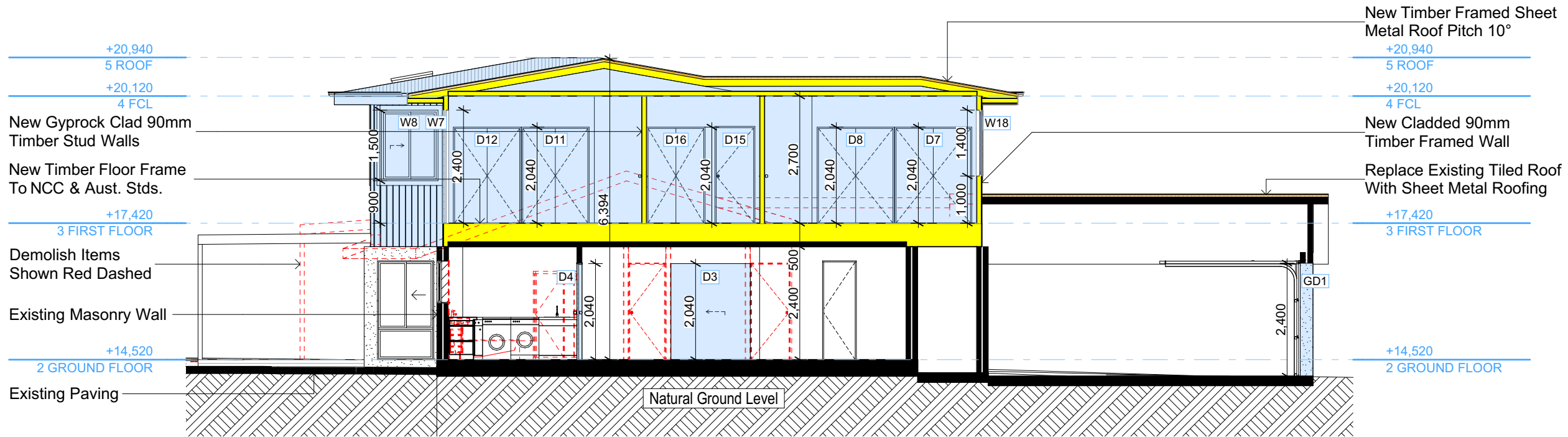
PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	

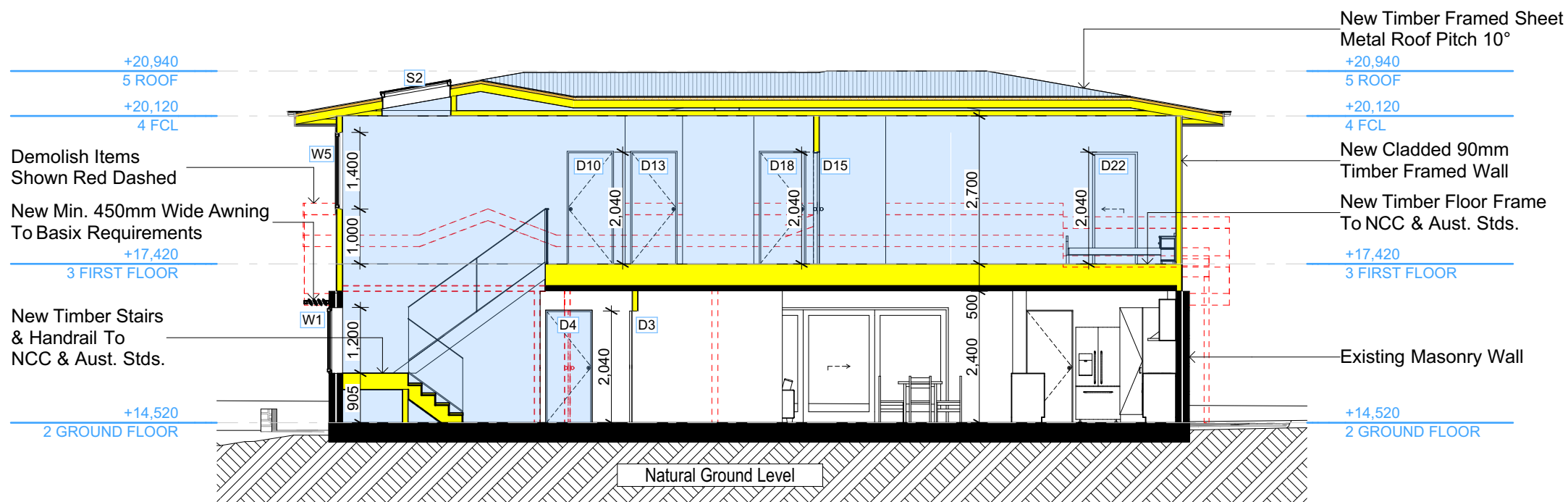
DRAWING NO.
DA2003

Plot Date:
Sheet Size: A3

28/02/2023
E:\Customer\2812\2020H\2812020H.dwg



S-01 SECTION 1
1:100



S-02 SECTION 2
1:100

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
34 Robert Avenue North Manly is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
34 Robert Avenue North Manly is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A483455_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

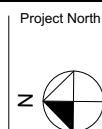


© Copyright
Rapid Plans 2022

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :
SECTIONS
SECTION 1
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
28/2/23
DRAWING NO.
DA3000

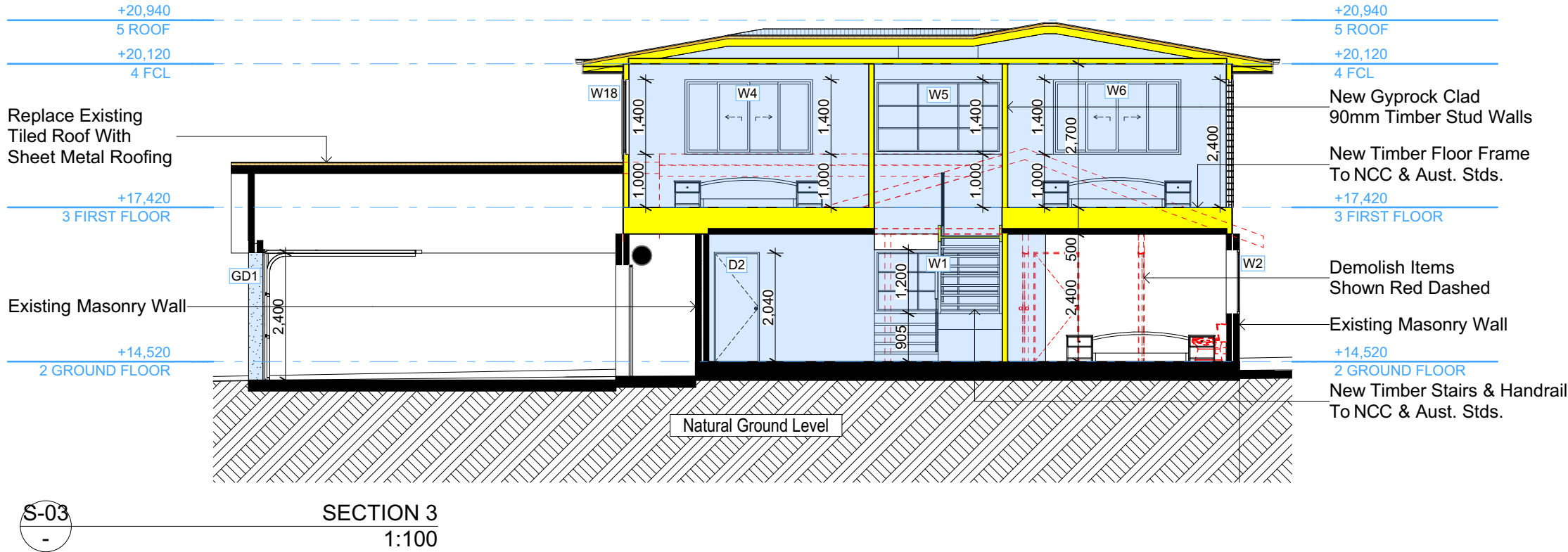
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	dark (solar absorptance > 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Pyralis Forest NSW 2080
Ph : (02) 9350-8545 Mobile: 0414-946-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2022

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
34 Robert Avenue North Manly is zoned R2 Low Density
34 Robert Avenue North Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Slab & Framed Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS10798-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Basic
Basic Certificate Number A483455_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP0122MOH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE : SECTIONS
SECTION 2

PROJECT NAME : Alterations & Additions

REVISION NO. DATE
- 28/2/23

DRAWING NO. DA3001

Plot Date: 28/02/2023
Sheet Size: A3

Max Building Height 8500 Above GL

Max Ceiling Height 7200 Above GL

New Timber Framed Sheet
Metal Roof Pitch 10°

+20,940

5 ROOF

+20,120

4 FCL

New Cladded 90mm
Timber Framed Wall

Building Envelope

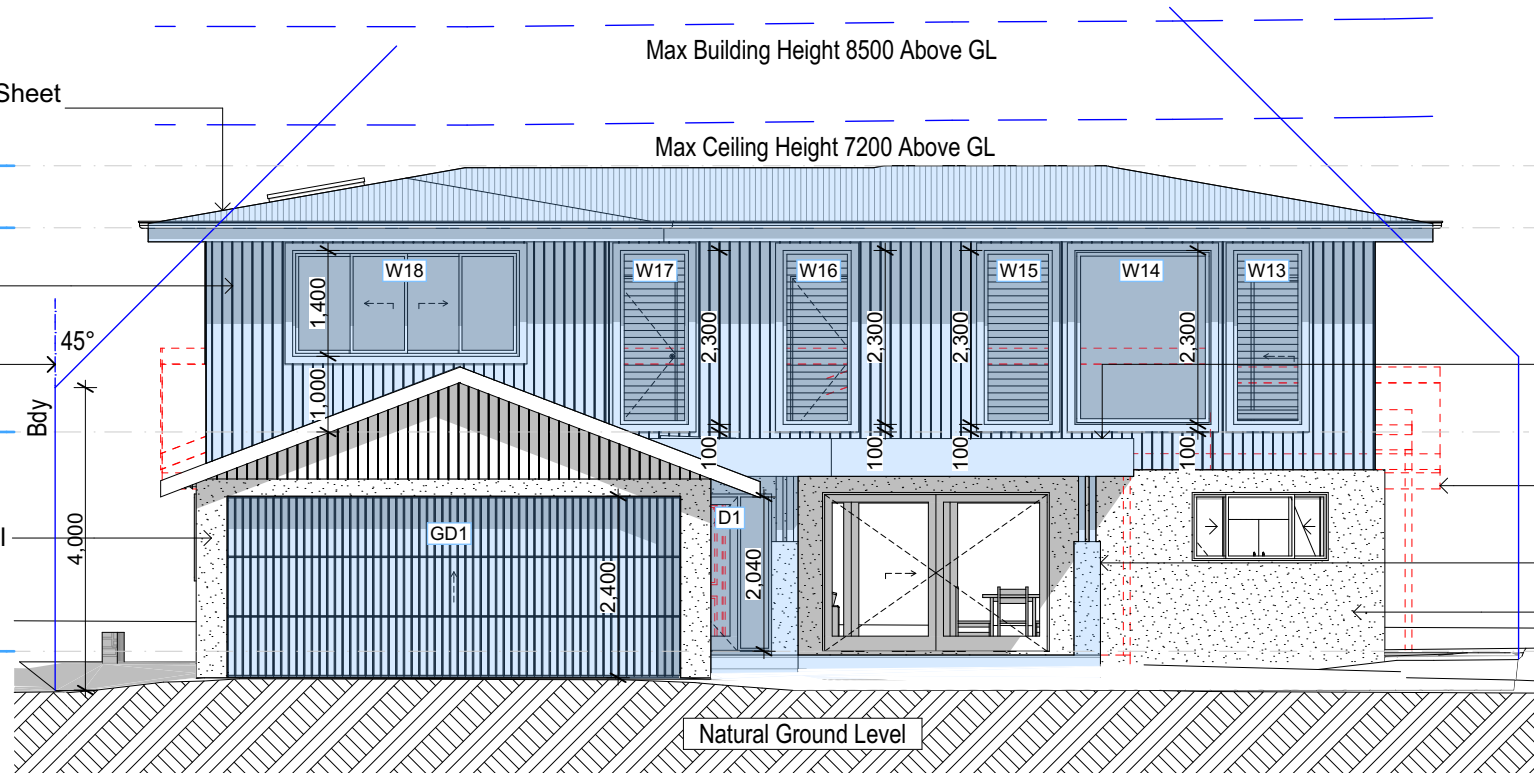
+17,420

3 FIRST FLOOR

Existing Masonry Wall

+14,520

2 GROUND FLOOR



E-01

North
1:100

New Timber Framed
Sheet Metal Roof Pitch 2°
With 500mm Wide Fascia

+17,420

3 FIRST FLOOR

Demolish Items
Shown Red Dashed

New Masonry Column With
Timber Post On Top

Existing Masonry Wall

+14,520

2 GROUND FLOOR

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

New Skylight To
Manufacturers Details

+20,940

5 ROOF

+20,120

4 FCL

New Cladded 90mm
Timber Framed Wall

Existing Sheet
Metal Clad Roof

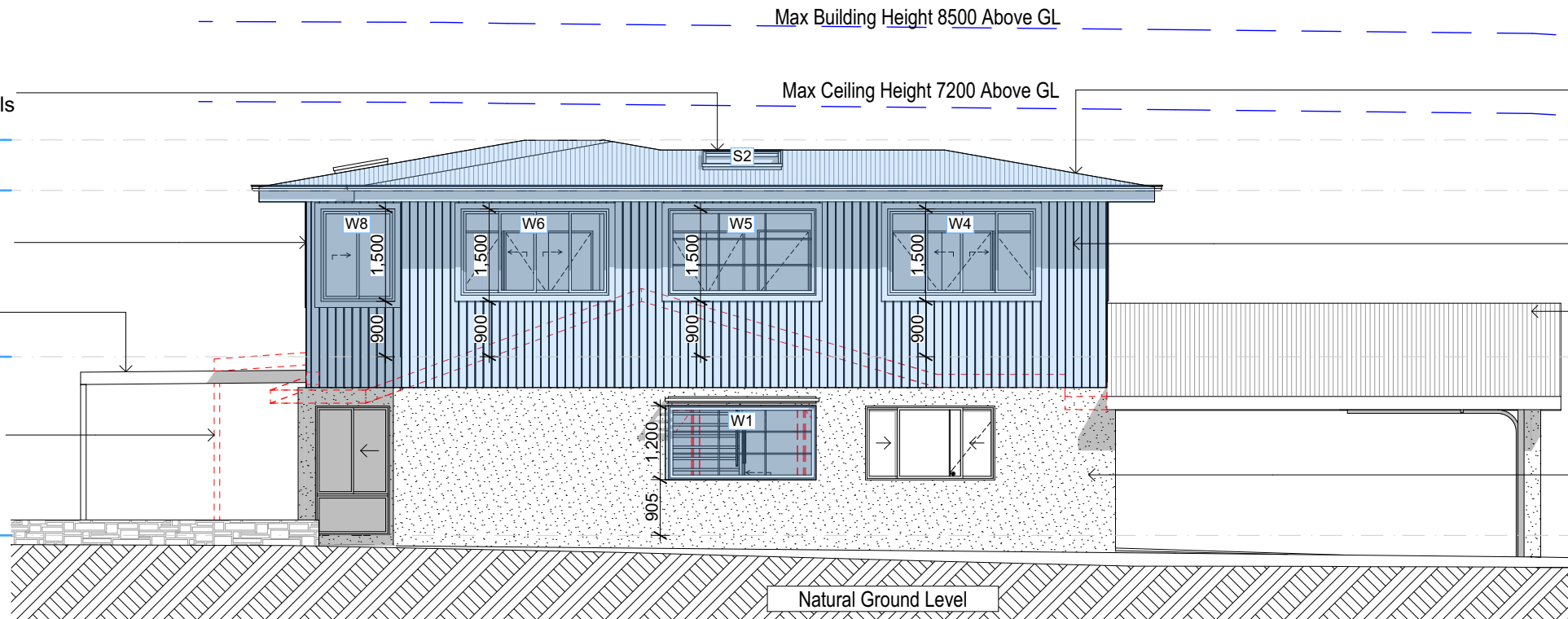
+17,420

3 FIRST FLOOR

Demolish Items
Shown Red Dashed

+14,520

2 GROUND FLOOR



E-02

East
1:100

New Timber Framed Sheet
Metal Roof Pitch 10°

+20,940

5 ROOF

+20,120

4 FCL

New Cladded 90mm
Timber Framed Wall

Replace Existing Tiled Roof
With Sheet Metal Roofing

+17,420

3 FIRST FLOOR

Existing Masonry Wall

+14,520

2 GROUND FLOOR

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes Existing Wall
Denotes Demolished Item

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
34 Robert Avenue North Manly is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A483455_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

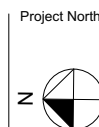


© Copyright
Rapid Plans 2022

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date:
Project NO.
Project Status

GBJ
28/02/2023
RP0122MOH
DA

Client
Site:

Selena Mohr
34 Robert Avenue North Manly

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 1

PROJECT NAME :

Alterations & Additions

REVISION NO.

-

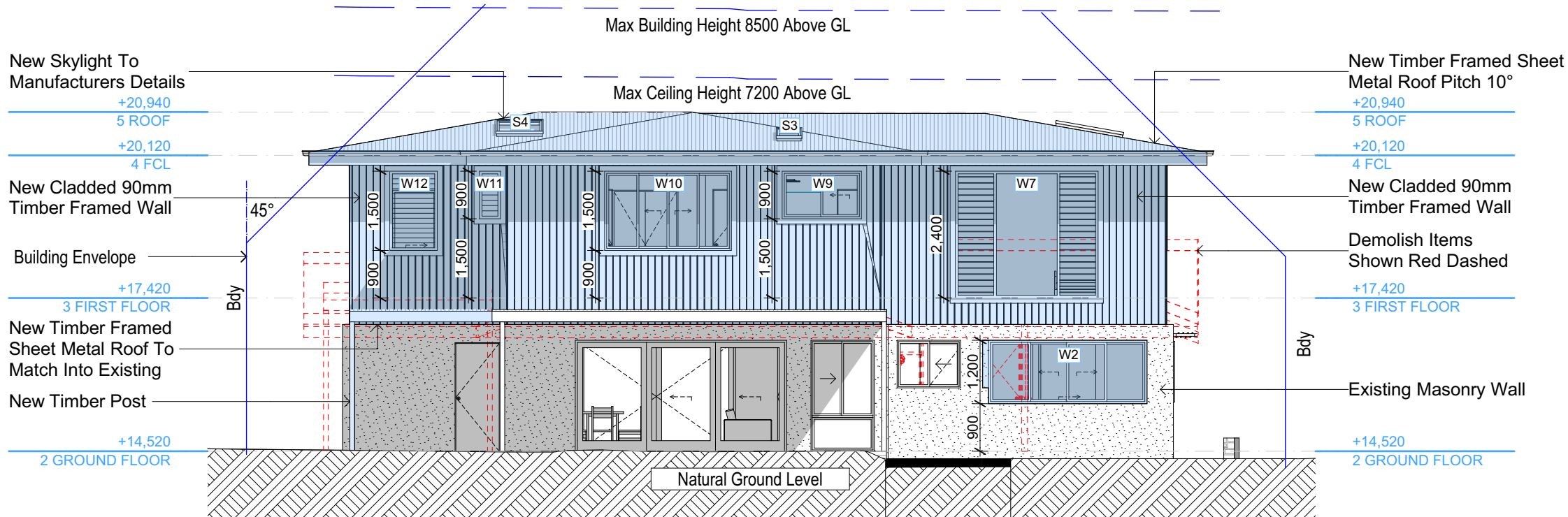
DATE:

28/2/23

DRAWING NO.

DA4000

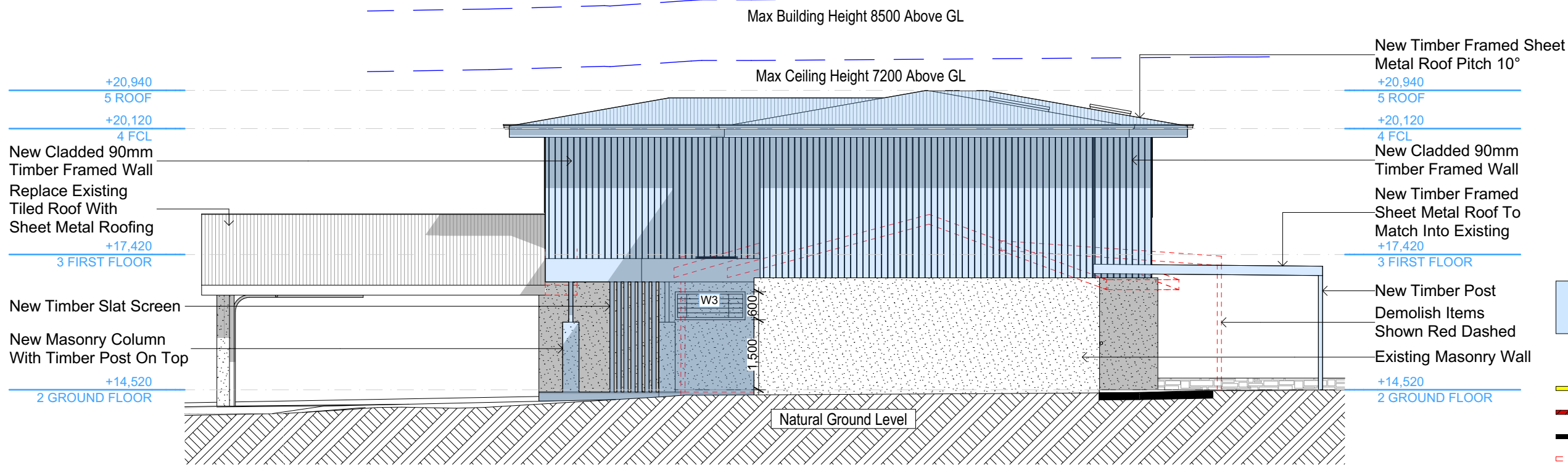
Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			



E-03

South
1:100

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



E-04

West
1:100

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
34 Robert Avenue North Manly is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab & Framed Floors, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A483455_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m².
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	607.1m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	40%	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	60%	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

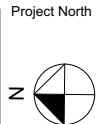


© Copyright
Rapid Plans 2022

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date: 28/02/2023
Project NO: RP0122MOH
Project Status: DA

Client
Site: Selena Mohr
34 Robert Avenue North Manly

Sheet Size: A3

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 2

PROJECT NAME :
Alterations & Additions

REVISION NO.

DATE:

28/2/23

DRAWING NO.

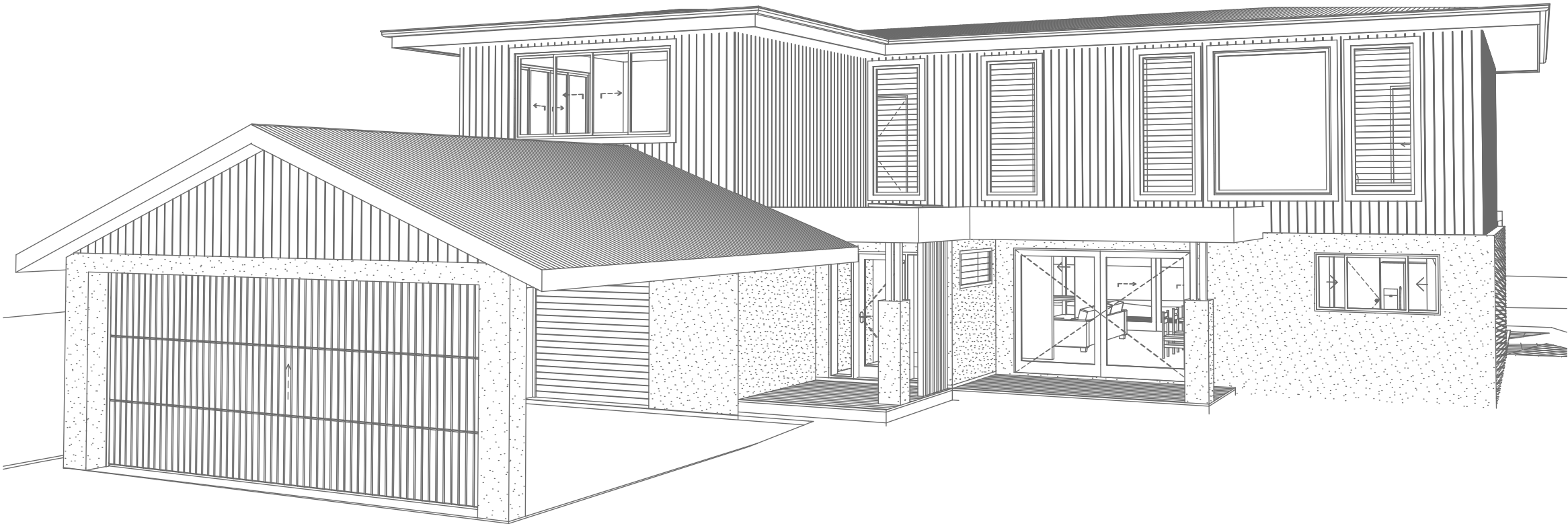
DA4001

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.88	0	0	eave/verandah/ pergola/ balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)



Perspective 1
1:150



Perspective 2
1:150



Rapid Plans
Building Design and Architectural Drafting

North Plans
PO Box 6239 Fitzroy Vic 3065
Tel: (03) 9350-8845 Mobile: 0414-546-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2022



bdca
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



bdca
ACCREDITED
BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
34 Robert Avenue North Marly is zoned R2 Low Density
All Plans to be read in conjunction with Basic Certificate
New Works to be completed shown in Shaded/Blue
Construction
Slab & Framed Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Conditioning
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A483455_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP0122MCH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Marly

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE FRONT

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	28/2/23

DRAWING NO.:
DA5000

Plot Date: 28/02/2023
Sheet Size: A3

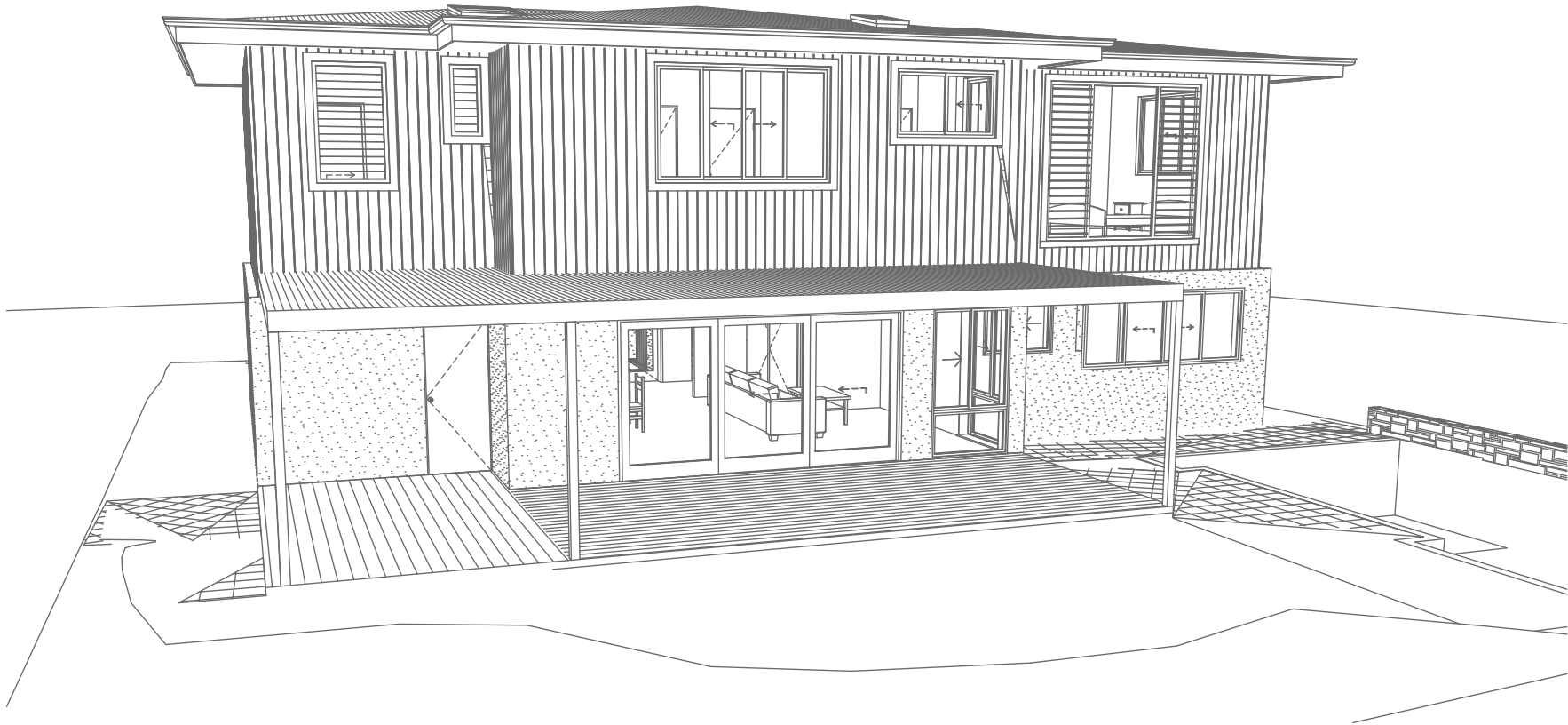
**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.88	0	0	eave/verandah/ pergola/ balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/ pergola/ balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/ pergola/ balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

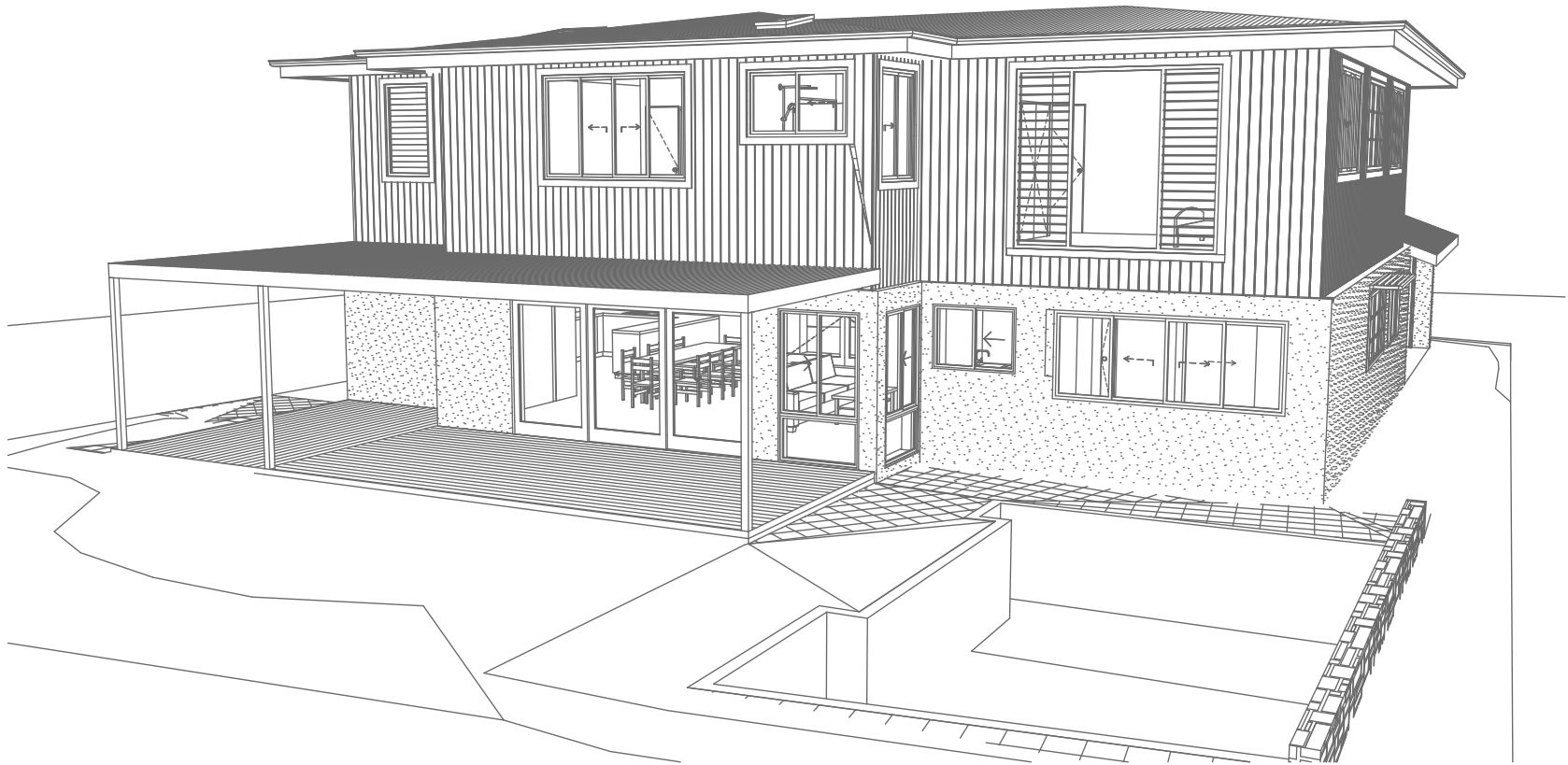
3
-

Perspective 3
1:200



4
-

Perspective 4
1:200



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Rydges Park NSW 2114
Ph: (02) 9550-8845 Mob: 0414-546-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2022



BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

34 Robert Avenue North Manly is zoned R2 Low Density

All Plans to be read in conjunction with Basic Certificate

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Slab & Framed Floor, Framed Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic

Basic Certificate Number A483455_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP0122MOH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE REAR

PROJECT NAME :
Alterations & Additions

REVISION NO.	DATE
-	28/2/23

DRAWING NO.:
DA5001

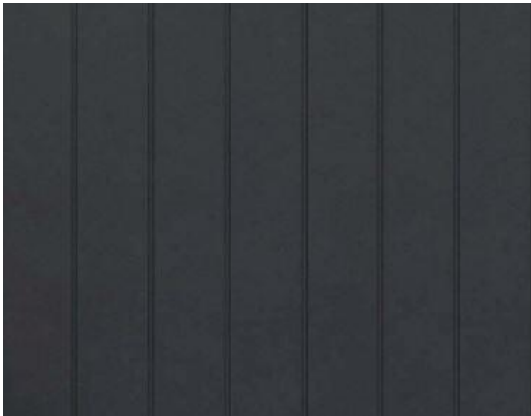
Plot Date: 28/02/2023
Sheet Size: A3



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Skylight (Typical).
Owner To Confirm Type & Colour



Denotes Vertical Cladding (Typical).
Owner To Confirm Type & Colour



Denotes Window Awning (Typical).
Owner To Confirm Type & Colour

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W2	S	3.6	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	W	0.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W6	E	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	S	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	1.35	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	3.6	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W11	S	0.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	1.35	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	N	4.14	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	N	2.07	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	4.2	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D1	N	3.79	0	0	projection/height above sill ratio >=0.43	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



Rapid Plans
Building Design and Architectural Drafting

Website: www.rapidplans.com.au
PO Box 6239 Fitzroy South VIC 3065
Ph : (03) 9360-8845 Mob: 0414-946-024
Email: info@rapidplans.com.au

© Copyright Rapid Plans 2022



BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans. All copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
34 Robert Avenue North Manly is zoned R2 Low Density
34 Robert Avenue North Manly is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Construction
Slab & Framed Floor, Framed Walls
Roof Framed to have R1.08 Insulation
Insulation to External Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1288-2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Carrying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A483455_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	607.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	40%	Yes
Impervious area (m2)	60%	Yes
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 28/02/2023
Project NO.: RP0122MCH
Project Status DA

Client Selena Mohr

Site: 34 Robert Avenue North Manly

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

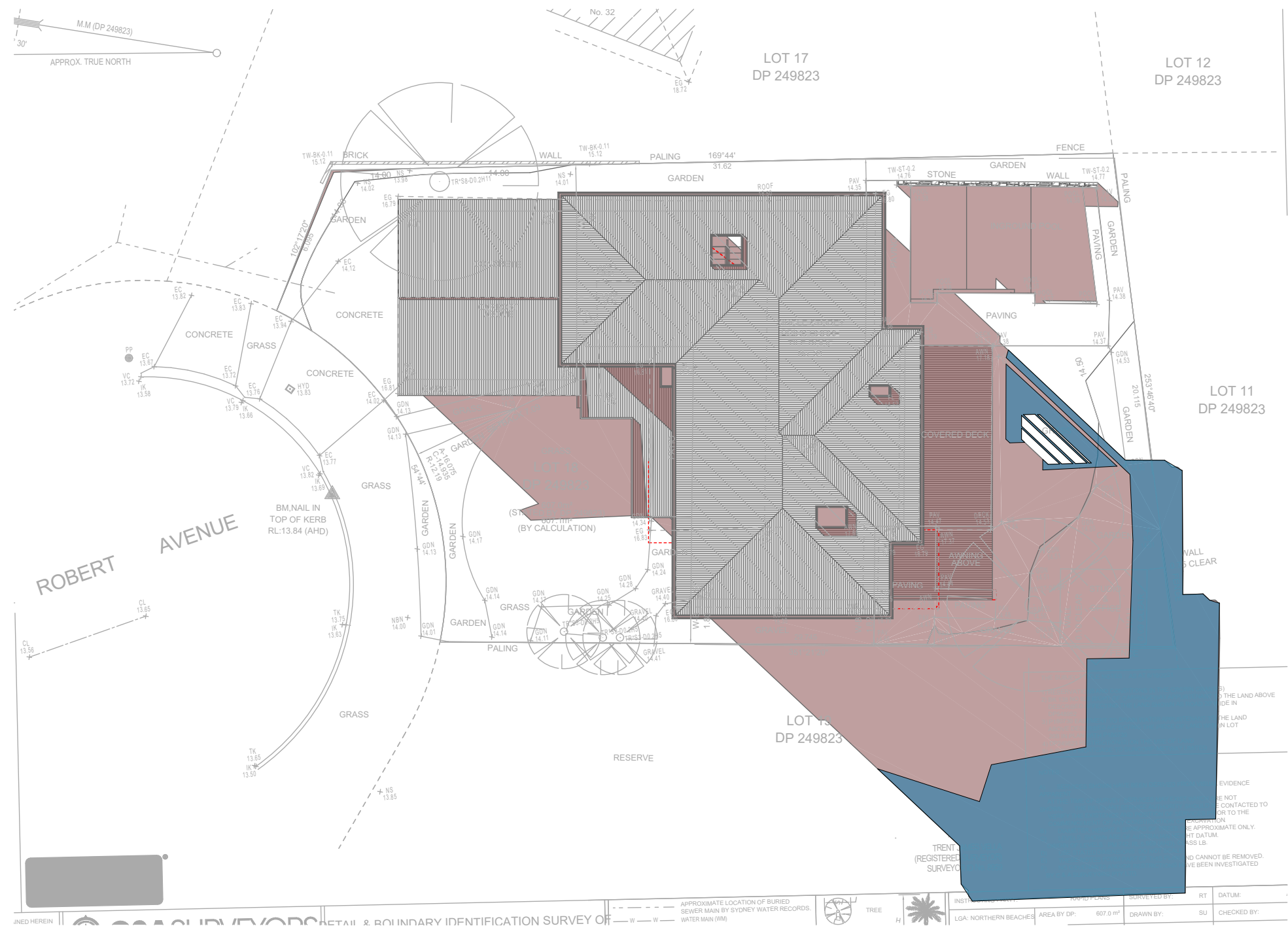
REVISION NO.	DATE
-	28/2/23

DRAWING NO.
DA5002

Plot Date: 28/02/2023
Sheet Size: A3

Denotes Proposed Shadow

Denotes Existing Shadow

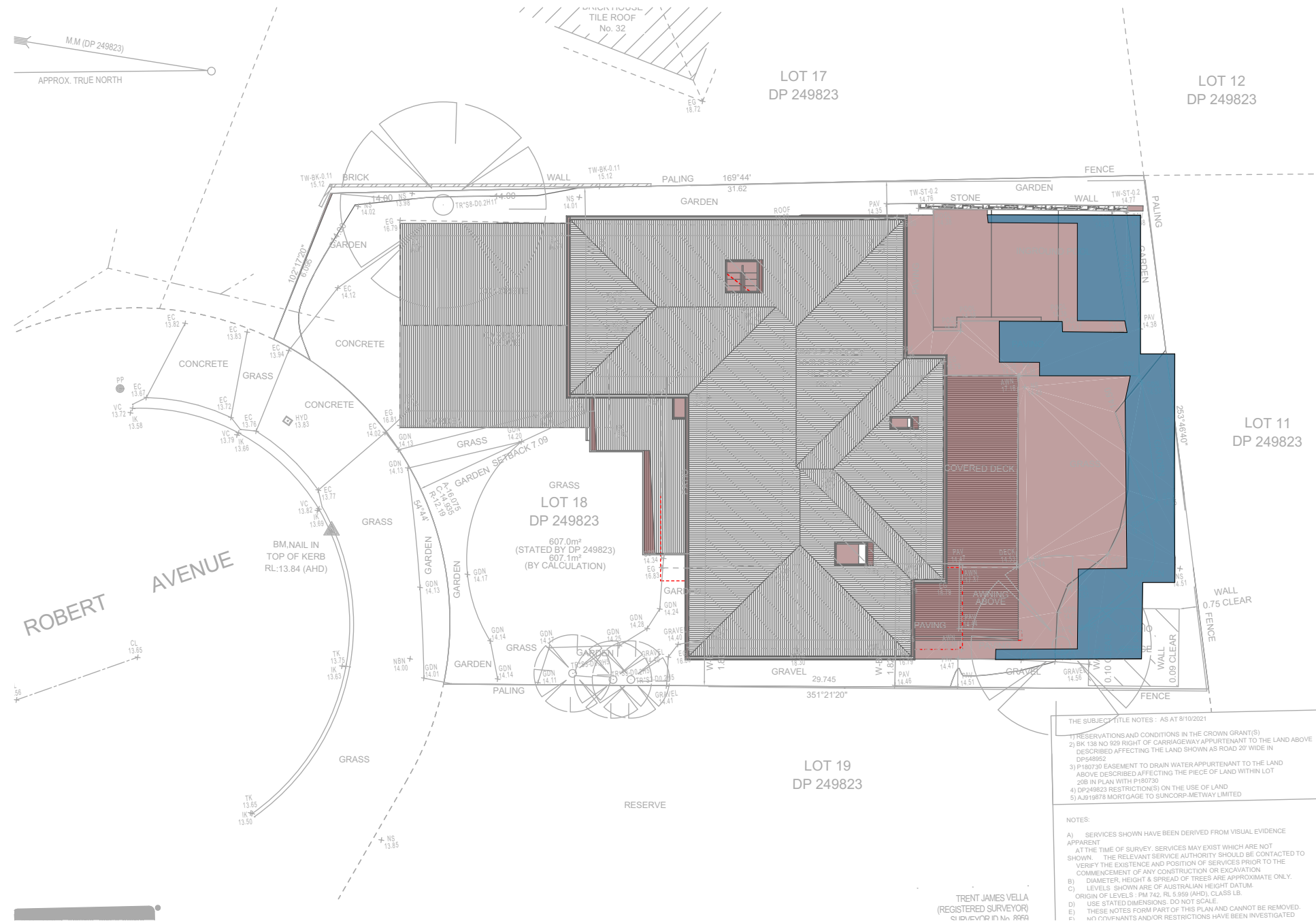


01 SHADOW PLAN 21 JUN at 0900h 1:200

DA APPLICATION ONLY NOT FOR CONSTRUCTION

Denotes Proposed Shadow

Denotes Existing Shadow



THE SUBJECT TITLE NOTES : AS AT 8/10/2021

1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)

2) BK 138 NO 129 RIGHT OF CARRIAGEWAY APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE LAND SHOWN AS ROAD 20' WIDE IN DP549862

3) P180730 EASEMENT TO DRAIN WATER APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE PIECE OF LAND WITHIN LOT 20B IN PLAN WITH P180730

4) DP249823 RESTRICTIONS(S) ON THE USE OF LAND

5) AJ919878 MORTGAGE TO SUNCORP-METWAY LIMITED

NOTES:

A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.

B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.

C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.

D) ORIGIN OF LEVELS : FM 142, RL 8.959 (AND), CLASS 1B.

E) USE STATED DIMENSIONS. DO NOT SCALE.

F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.

G) NO COMPANIES AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED

02 SHADOW PLAN 21 JUN at 1200h 1:200

DA APPLICATION ONLY NOT FOR CONSTRUCTION



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : greg@rapidplans.com.au

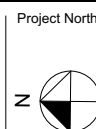
© Copyright
Rapid Plans 2022

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Checked
Plot Date: 28/02/2023
Project NO: RP0122MOH
Project Status: DA

Client: Selena Mohr
Site: 34 Robert Avenue North Manly

Sheet Size: A3

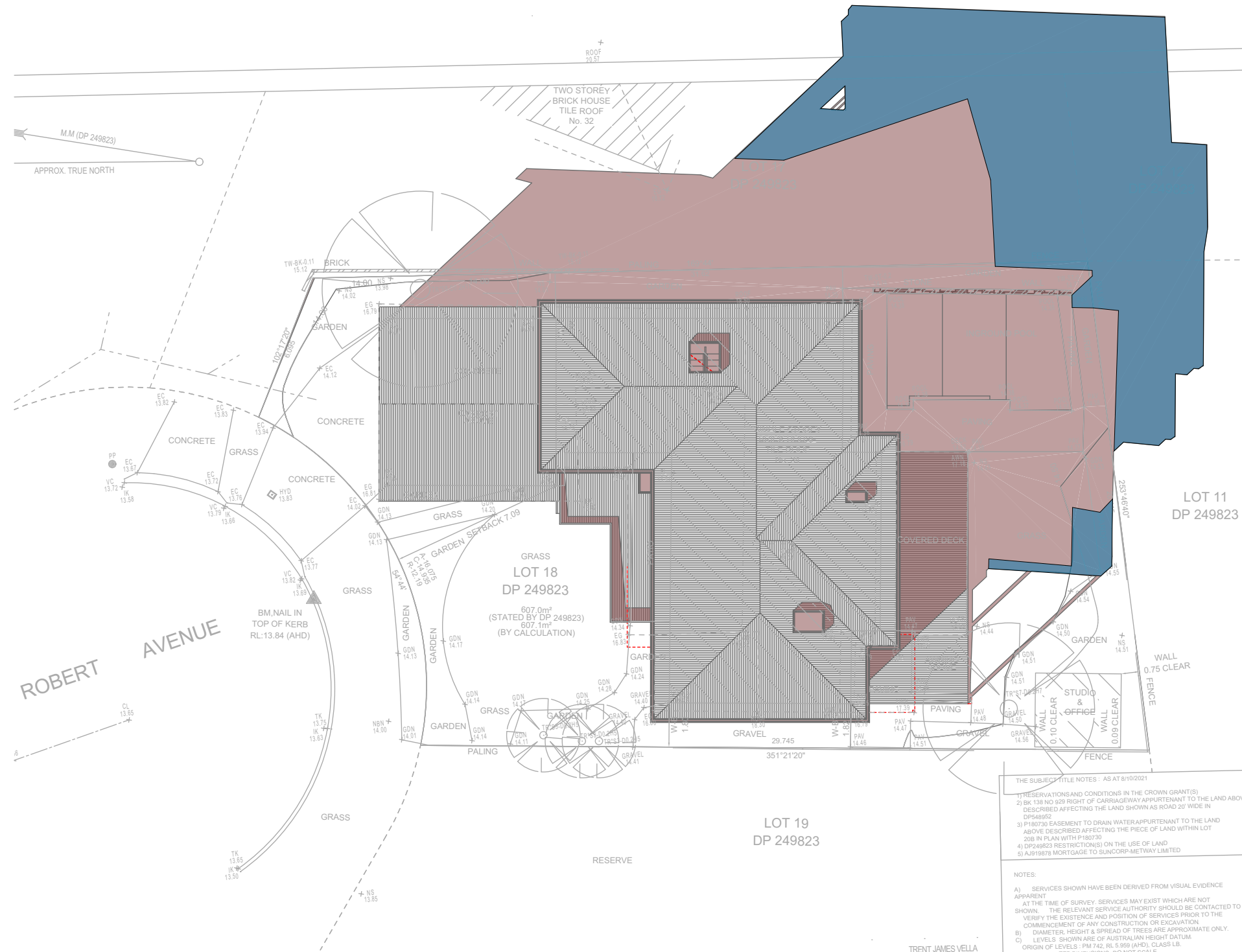
DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 12pm

PROJECT NAME : Alterations & Additions

REVISION NO.
-
DATE: 28/2/23
DRAWING NO. DA5004

Denotes Proposed Shadow

Denotes Existing Shadow



THE SUBJECT TITLE NOTES : AS AT 8/10/2021

1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
2) BK 138 NO 929 RIGHT OF CARRIAGEWAY APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE LAND SHOWN AS ROAD 20' WIDE IN DP548652
3) P180730 EASEMENT TO DRAIN WATER APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE PIECE OF LAND WITHIN LOT 208 IN PLAN WITH P180730
4) DP249823 RESTRICTIONS ON THE USE OF LAND
5) A/1918678 MORTGAGE TO SUNCORP-METWAY LIMITED

NOTES:

A) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
B) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
C) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
ORIGIN OF LEVELS : PM 742, RL 5.959 (AHD), CLASS 1.B.
DRAWN BY: TRENT JAMES VELLA

03 SHADOW PLAN 21 JUN at 1500h 1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



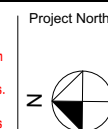
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

© Copyright
Rapid Plans 2022

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Project North

Checked
Plot Date: 28/02/2023
Project NO: RP0122MOH
Project Status: DA

Client: Selena Mohr
Site: 34 Robert Avenue North Manly

Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 3pm

PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE: 28/2/23
DRAWING NO.
DA5005