

SECTION 4.56



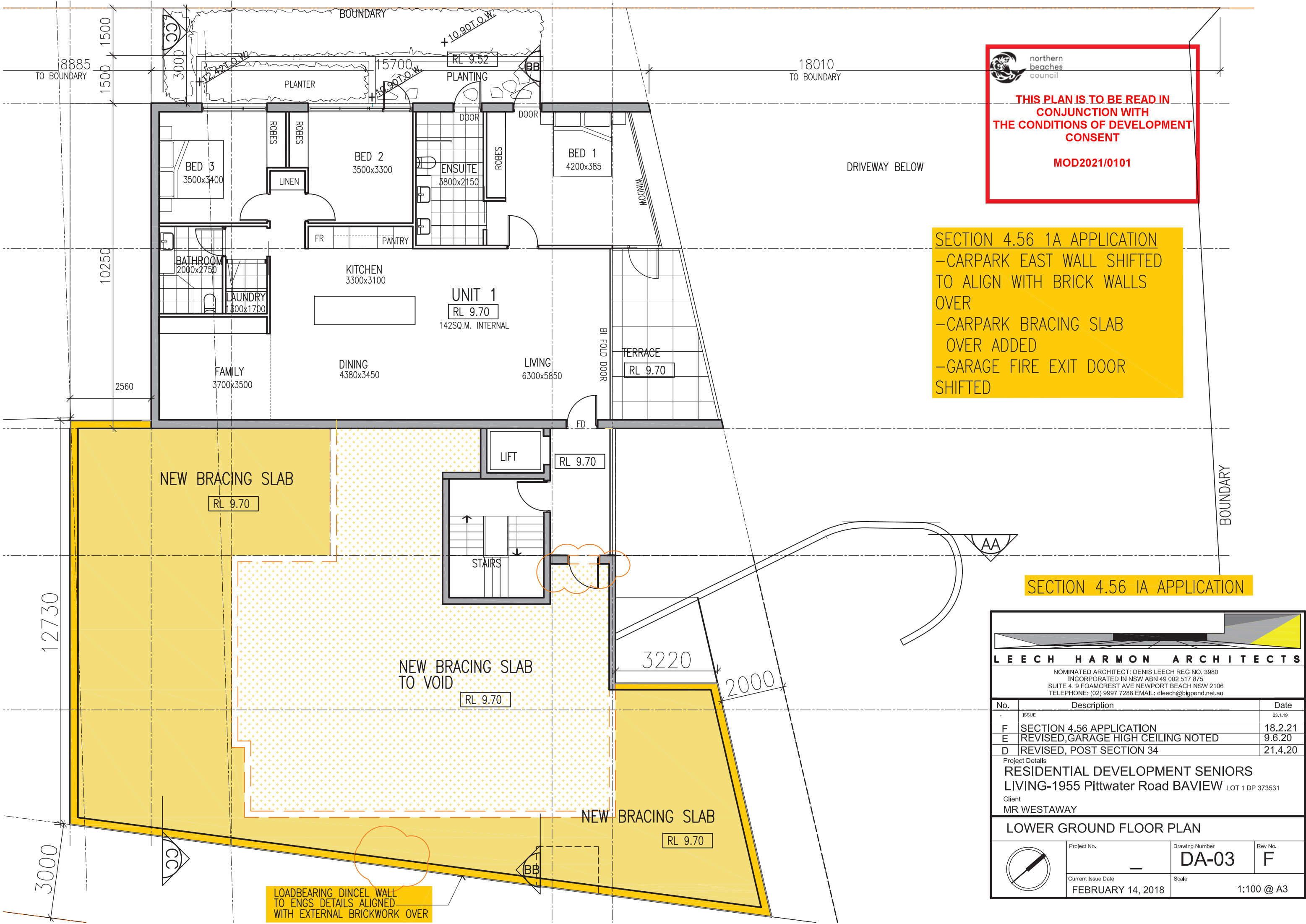
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT MOD2021/0101


LEECH HARMON ARCHITECTS

NOMINATED ARCHITECT: DENIS LEECH REG NO. 3980
INCORPORATED IN NSW ABN 49 002 517 875
SUITE 4, 9 FOAMCREST AVE NEWPORT BEACH NSW 2106
TELEPHONE: (02) 9997 7288 EMAIL: dleech@bigpond.net.au

No.	Description	Date
F	SECTION 4.56	23.1.19
E	REVISED, GARAGE HIGH CEILING NOTED	18.2.21
D	REVISED, POST SECTION 34	9.6.20
Project Details		21.4.20
RESIDENTIAL DEVELOPMENT SENIORS		
LIVING-1955 Pittwater Road BAVIEW LOT DP 373531		
Client		
MR WESTAWAY		
CARPARK FLOOR PLAN		
Project No.	Drawing Number	Rev No.
—	DA-02	F
Current Issue Date	Scale	
FEBRUARY 14, 2018	1:100 @ A3	

LOADBEARING DINCEL WALL TO ENGS DETAILS ALIGNED WITH EXTERNAL BRICKWORK OVER



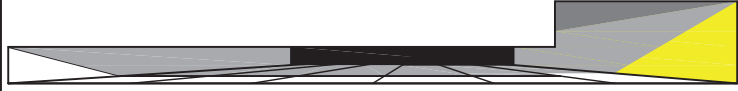

 northern
beaches
council

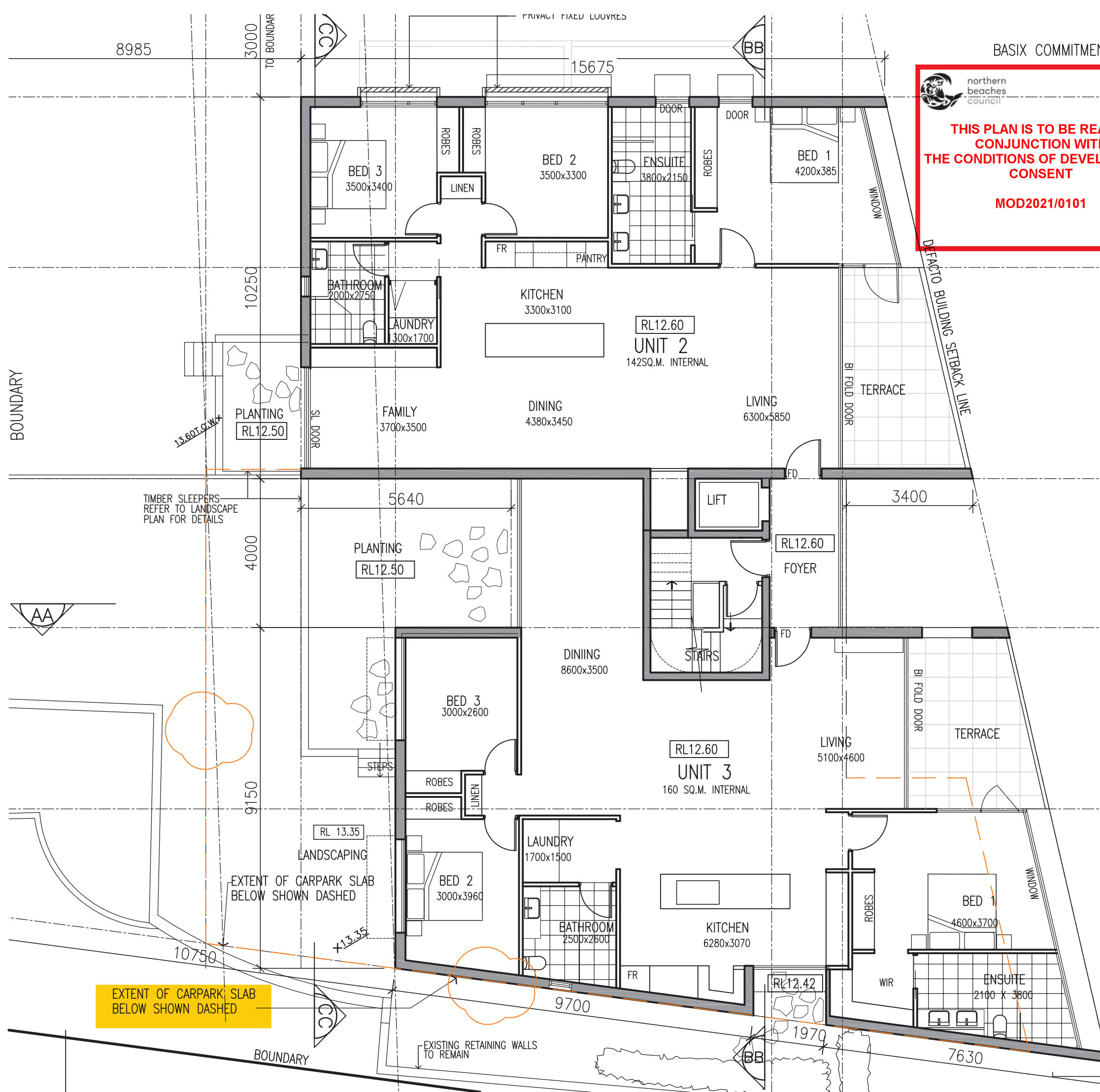
**THIS PLAN IS TO BE READ IN
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CONSENT**

MOD2021/0101

SECTION 4.56 1A APPLICATION
-CARPARK EAST WALL SHIFTED
TO ALIGN WITH BRICK WALLS
OVER
-CARPARK BRACING SLAB
OVER ADDED
-GARAGE FIRE EXIT DOOR
SHIFTED

SECTION 4.56 1A APPLICATION

 LEECH HARMON ARCHITECTS		
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No.	Description	Date
F	SECTION 4.56 APPLICATION	18.2.21
E	REVISED, GARAGE HIGH CEILING NOTED	9.6.20
D	REVISED, POST SECTION 34	21.4.20
Project Details		
RESIDENTIAL DEVELOPMENT SENIORS LIVING-1955 Pittwater Road BAVIEW LOT 1 DP 373531		
Client MR WESTAWAY		
LOWER GROUND FLOOR PLAN		
	Project No.	Drawing Number
	—	DA-03
Current Issue Date		Rev No.
FEBRUARY 14, 2018		F
Scale		1:100 @ A3



BASIX COMMITMENTS- REFER TO BASIX CERTIFICATE 991214M FOR DETAILS



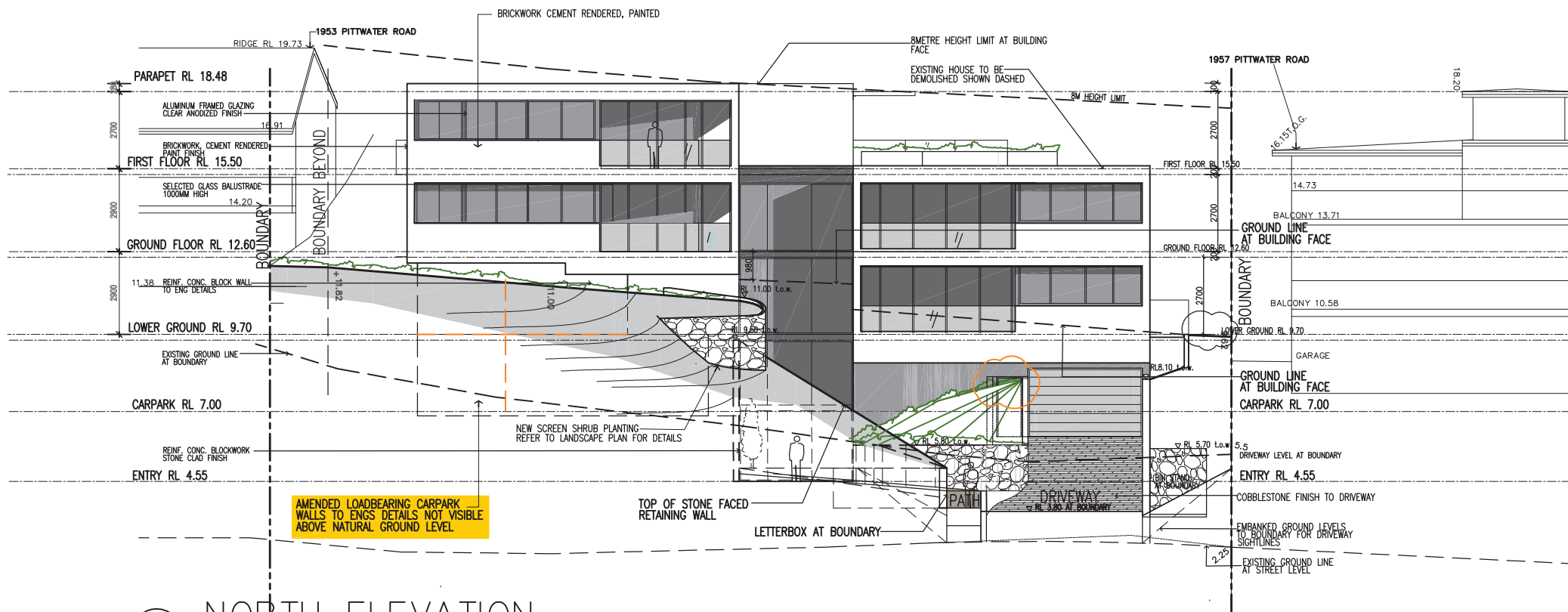
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Glazing doors/windows	Aluminium framed, low-e single glazing to unit 4 only. Group A - awning + bifold + hinged glazed doors U-value: 5.40 (equal to or lower than) SHGC: 0.49 (±10%) Group B - sliding doors/windows + fixed glazing U-value: 5.40 (equal to or lower than) SHGC: 0.58 (±10%)
	Aluminium framed, single clear glazing elsewhere: Group A - awning + bifold + hinged glazed doors U-value: 6.70 (equal to or lower than) SHGC: 0.57 (±10%) Group B - sliding doors/windows + fixed glazing U-value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)
	Given values are AFRC total window system values (glass and frame) Note: Openability modelled as per BASIX Thermal Protocol - 4.14.2 and NatHERS Technical Note 1.2 - 10.11 with regard to restricted openings
Roof	Concrete roof, no insulation Metal roof with foil backed blanket (Ru1.3 and Rd1.3) Light colour (0.475<SA)
Ceiling	Plasterboard ceiling, R3.0 insulation (insulation only value) where roof above Plasterboard ceiling, no insulation where neighbouring units are above Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights.
External wall	Brick veneer with R1.5 insulation (insulation only value) Default colour (0.475<SA<0.7)
Inter tenancy walls	75mm Hebel Power Panel to walls adjacent to neighbours, no insulation required 75mm Hebel Power Panel to walls adjacent to foyers and hallways, R1.2 insulation required. 150mm concrete internally lined with plasterboard to walls adjacent to lift shafts and fire stairs, R1.2 insulation required.
Walls with-in dwellings	Plasterboard on studs - no insulation.
Floors	Concrete between levels, no insulation required Concrete slab on ground, no insulation required Suspended concrete, R1.2 insulation where car park/storage is below.
Floor coverings	Carpet to bedrooms, tiles to wet areas and, timber elsewhere
Alternative water system	4000L central rainwater tank collecting from 180m2 of roof area. To be connected to irrigation of private/common landscaping
Hot water system	Individual gas instantaneous system - minimum 6 star efficiency

SECTION 4.56 IA APPLICATION

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No.	Description	Date
-	ISSUE	23.1.19
E	SECTION 4.55	18.2.21
D	REVISED, POST SECTION 34	21.4.20
B	REVISED DRIVEWAY, CONTOURS	9.9.19
Project Details		
RESIDENTIAL DEVELOPMENT SENIORS		
LIVING-1955 Pittwater Road BAVIEW LOT 1 DP 373531		
Client		
MR WESTAWAY		
UNIT 2 AND 3 FLOOR PLAN-GROUND FLOOR		
	Project No.	Drawing Number
	-	DA-04
	Current Issue Date	Rev No.
	FEBRUARY 14, 2018	E
Scale		1:100 @ A3



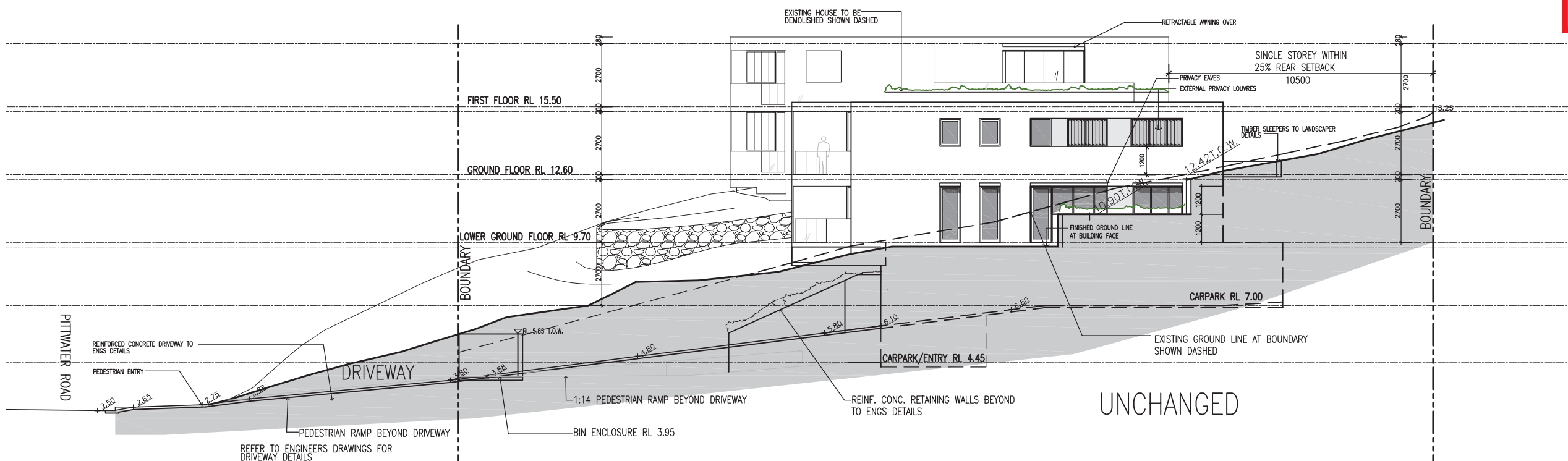
③ NORTH ELEVATION
Scale: 1:200

SECTION 4.56 1A APPLICATION
 –CARPARK EAST WALL SHIFTED TO ALIGN WITH BRICK WALLS OVER
 –CARPARK BRACING SLAB OVER ADDED
 –GARAGE FIRE EXIT DOOR SHIFTED



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④ WEST ELEVATION
Scale: 1:200

0M SCALE 5M

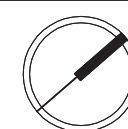


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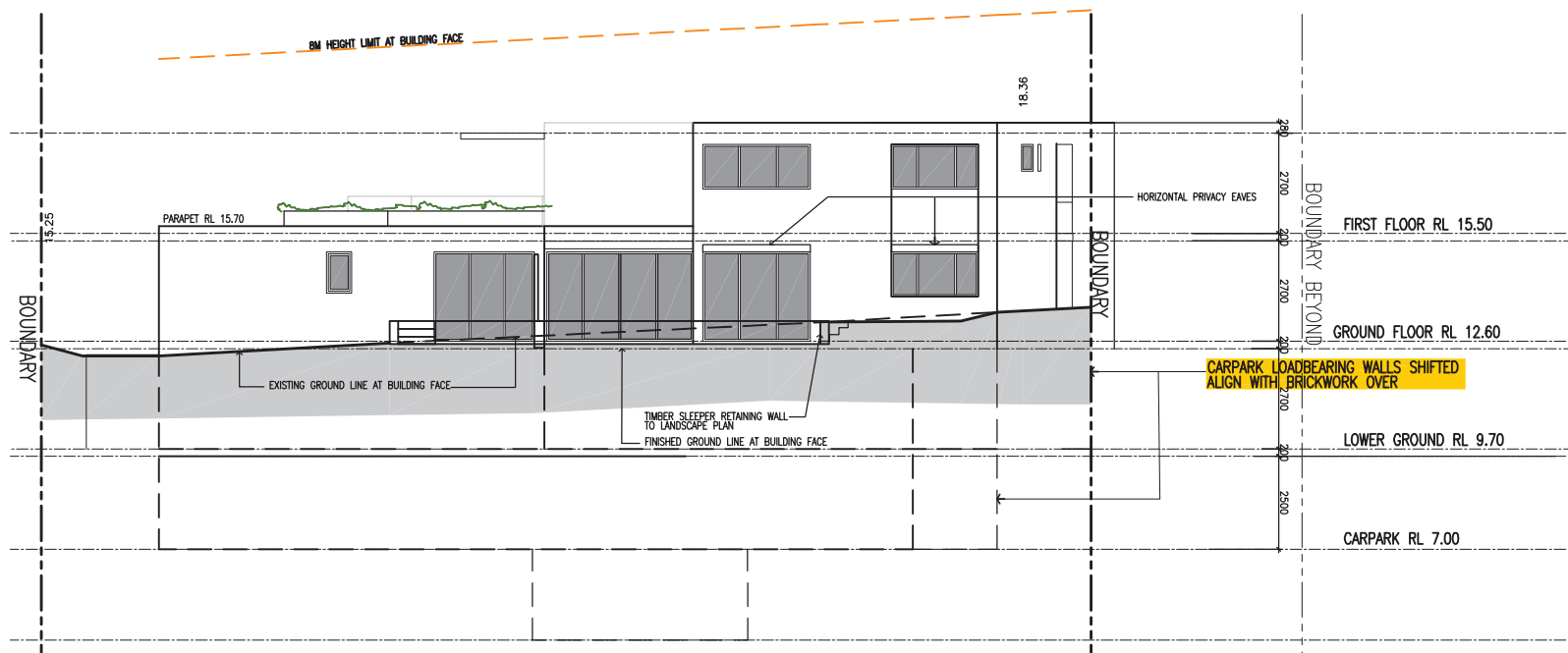
No.	Description	Date
G	SECTION 4.56 APPLICATION	18.2.21
F	REVISED, FLAT ROOF	11.6.20
E	REVISED, WEST RETAINING WALL	9.6.20
D	REVISED, POST SECTION 34	21.4.20
B	REVISED DRIVEWAY, CONTOURS	9.9.19
A	DRIVEWAY KERB AND PATH NOTED	10.5.19

Project Details
**RESIDENTIAL DEVELOPMENT
 SENIORS LIVING-LOT 1 DP 373531
 1955 Pittwater Road BAVIEW**
 Client
MR WESTAWAY

NORTH & WEST ELEVATION



Project No.	Drawing Number	Rev No.
—	DA06/07	G
Current Issue Date	Scale	
FEBRUARY 14, 2019	1:200 @ A3	



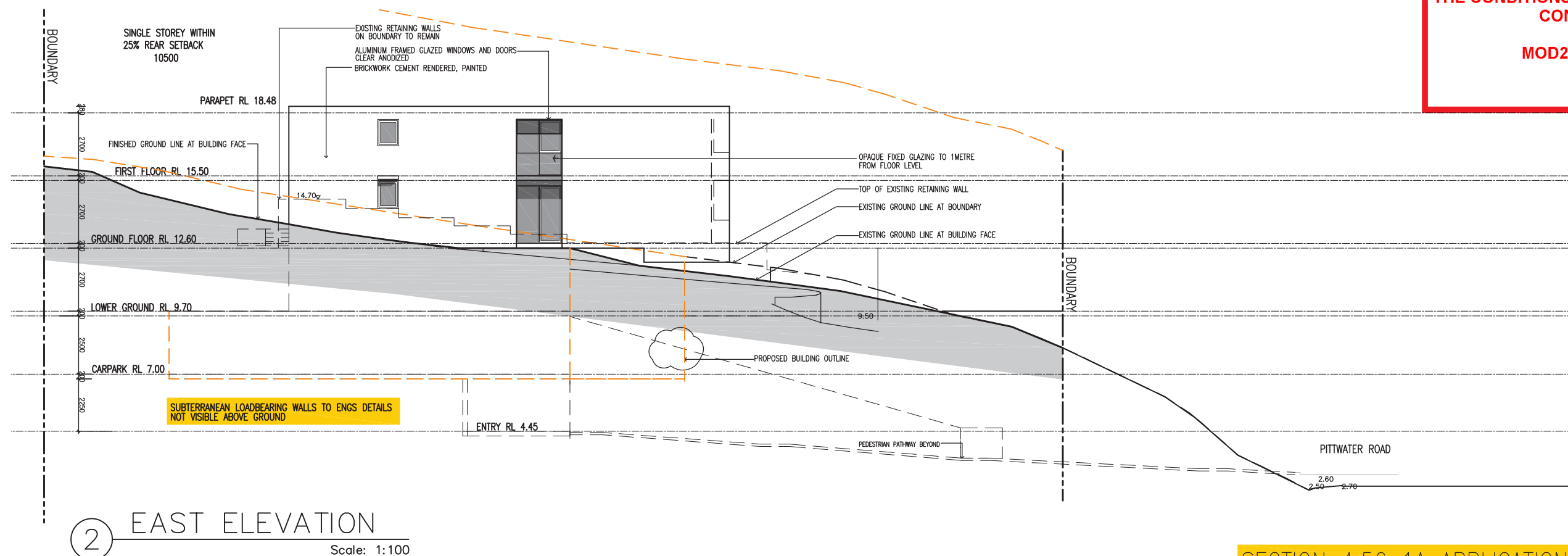
1 SOUTH ELEVATION
Scale: 1:100

SECTION 4.56 1A APPLICATION
 -CARPARK EAST WALL SHIFTED TO ALIGN WITH BRICK WALLS OVER
 -CARPARK BRACING SLAB OVER ADDED
 -GARAGE FIRE EXIT DOOR SHIFTED

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2 EAST ELEVATION
Scale: 1:100

SECTION 4.56 1A APPLICATION

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F	REVISED, FLAT ROOF	11.6.20
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D	REVISED, POST SECTION 34	21.4.20
B	REVISED DRIVEWAY , CONTOURS	9.9.19
A	DRIVEWAY KERB AND PATH NOTED	10.5.19

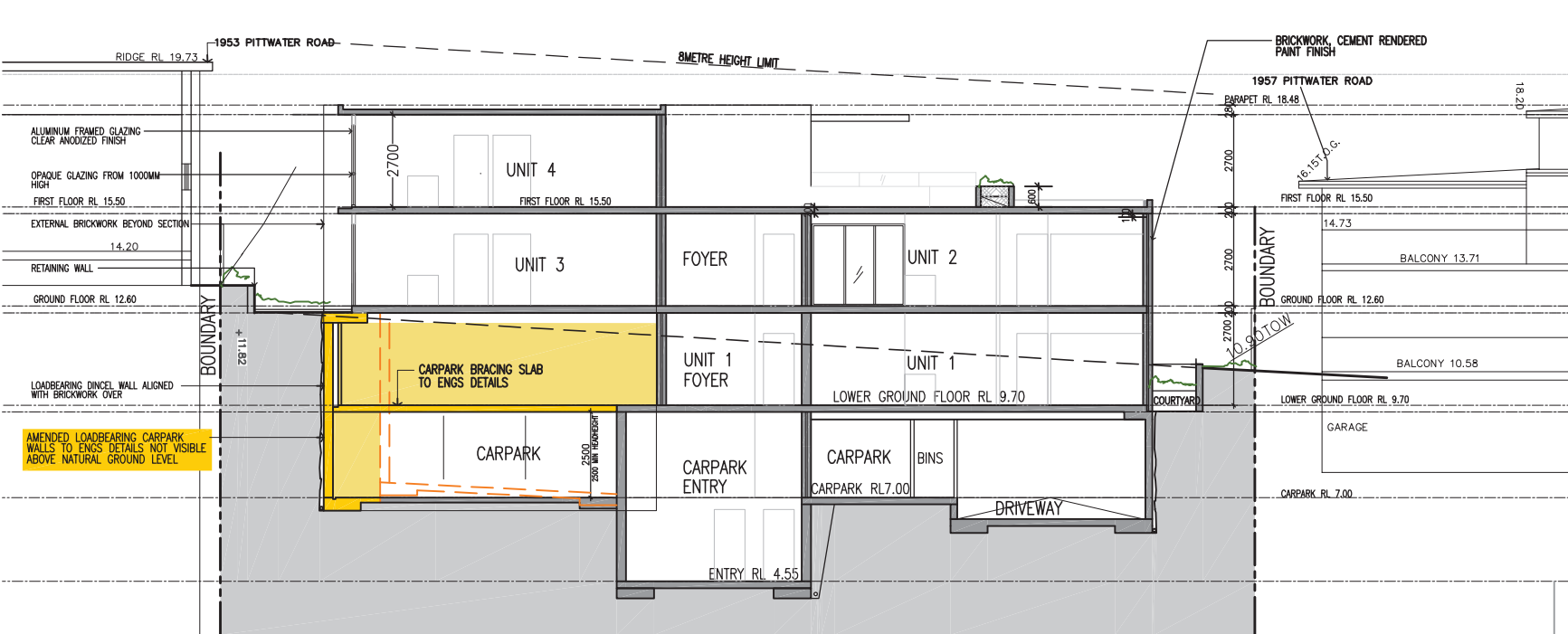
Project Details

RESIDENTIAL DEVELOPMENT
 SENIORS LIVING-LOT 1 DP 373531
 1955 Pittwater Road BAVIEW

Client
 MR WESTAWAY

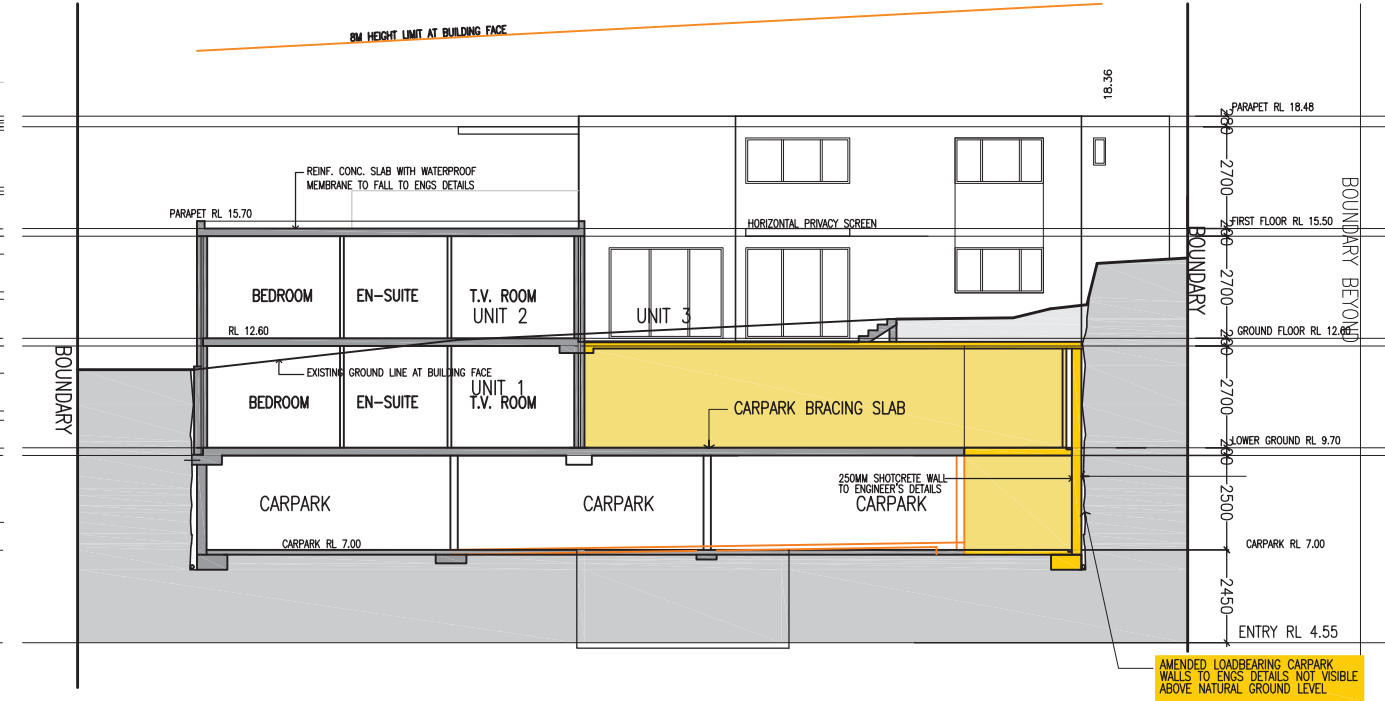
SOUTH & EAST ELEVATION

Project No.	Drawing Number	Rev No.
—	DA08/09	G
Current Issue Date	Scale	
FEBRUARY 14, 2019	1:200 @ A3	



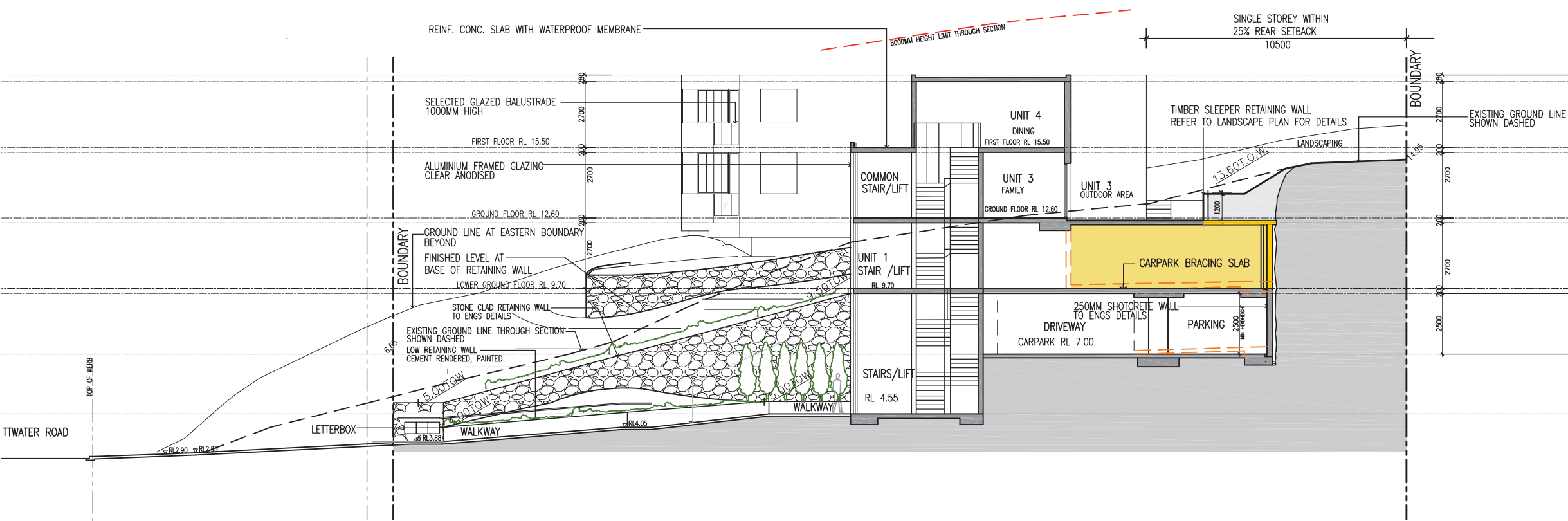
BB SECTION BB

Scale: 1:200



CC SECTION CC

Scale: 1:200



AA SECTION AA THROUGH WALKWAY

Scale: 1:200

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 -CARPARK BRACING SLAB OVER ADDED
 -GARAGE FIRE EXIT DOOR SHIFTED

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0M SCALE 5M

SECTION 4.56 1A APPLICATION

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No.	Description	Date
D	SECTION 4.56 APPLICATION	18.2.21
C	REVISED, FLAT ROOF	11.6.20
B	SECTION CC ADDED, EAST BALCONY REMOVED	9.6.20

Project Details
RESIDENTIAL DEVELOPMENT SENIORS LIVING-LOT 1 DP 373531
1955 Pittwater Road BAVIEW
 Client
MR WESTAWAY

SECTIONS AA, BB, CC

Project No.	Drawing Number	Rev No.
—	DA10	D
Current Issue Date	Scale	
FEBRUARY 14, 2019	1:200 @ A3	