

DRAWING No.	DRAWING LIST
000	COVER PAGE
005	BASIX COMMITMENT
010	LOCATION PLAN
050	SITE ANALYSIS PLAN
120	GROUND FLOOR PLAN
130	LEVEL 1 FLOOR PLAN
140	ROOF PLAN
200	ELEVATION
210	ELEVATION
300	SECTION
400	POST ADAPTABLE LAYOUTS
500	SHADOW DIAGRAM
510	SHADOW DIAGRAM
600	AREA CALCULATION
700	EXTERNAL FINISH SCHEDULE



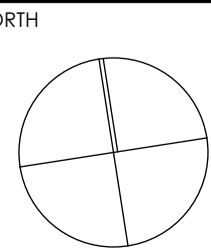
# DEVELOPMENT APPLICATION PROPOSED DWELLING AT LOT 18, 10 FERN CREEK ROAD, WARRIEWOOD

PREPARED FOR

SKYCORP AUSTRALIA

BASIX COMMITMENTS SUMMERY NOTES (TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE )				
BASIX Certificate # 1249744S				
WATER		No hot water reticulation required		
Fixtures	All shower heads	All toilets	All kitchen taps	All bathrooms taps
Rating	4 Star(>4.5 But<=6L/Min)	4 star	4 star	4 star
Alternate water source				
Rain Water Tank	Type	Size	Roof area connected	Connections
	Individual RWT	2000L	90 m2	Outdoor tap for landscape only
Swimming pool		....		
	Volume	Heated	Cover	Shaded
	....	....	....	....
ENERGY				
Hot water	Type	Rating		
	Individual, gas instantaneous		5 star	
Mech. Ventilation	System	Operation Control		
Bath	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
L'dry	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Kitchen	Indiv. fan, ducted to facade or roof		Manual Switch On/Off	
Cooling System	Type	Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned	3 star ( average zone)	3 star ( average zone)	
Heating System	Type	Living areas	Bed rooms	
	1 Phase Air conditioning: Day / Night Zoned	3 star ( average zone)	3 star ( average zone)	
Artificial Lighting	Primary type of artificial lighting is fluorescent or light emitting diode (LED)			
	No. of Bed rms & study	No. of Living	Each Kitchen, Bath / Toilet	L'dry & Hallway
	All	All	Yes	Yes
Others	Indoor private Cloth Line		Not Required	
	Outdoor or sheltered Cloth Line		Yes	
	Well ventilated Fridge space		Yes	
	Kitchen Cook top / Oven		Gas Cook top + Electric Oven	
THERMAL	As per thermal simulation carried out by assessor			
(refer assessor's stamped drawings)	External Wall Insulation: R2.8			
	Ceiling Insulation: R3.0			
	Roof type / colour : Metal roof, Medium Colour (SA 0.475 - 0.7) + SS Foil (R1.3)			
	ALM-002-01 A: Aluminium B SG Clear / tint U=6.6 SHGC =0.441 - 0.539			
	All External doors & windows to be weather sealed			
	Eaves / shading as per drawings			

					A B	DEVELOPMENT APPLICATION SURVEY ISSUE	DL DL	KC/PI GF/PI	15.10.21 11.11.21	CLIENT SKYCROP AUSTRALIA
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE	

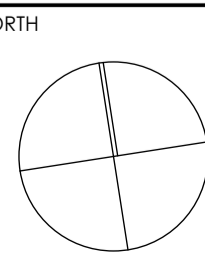


DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:1@A1,
<b>B</b>	<b>DA 005 B</b>
dsc	stage, dwg no, revision

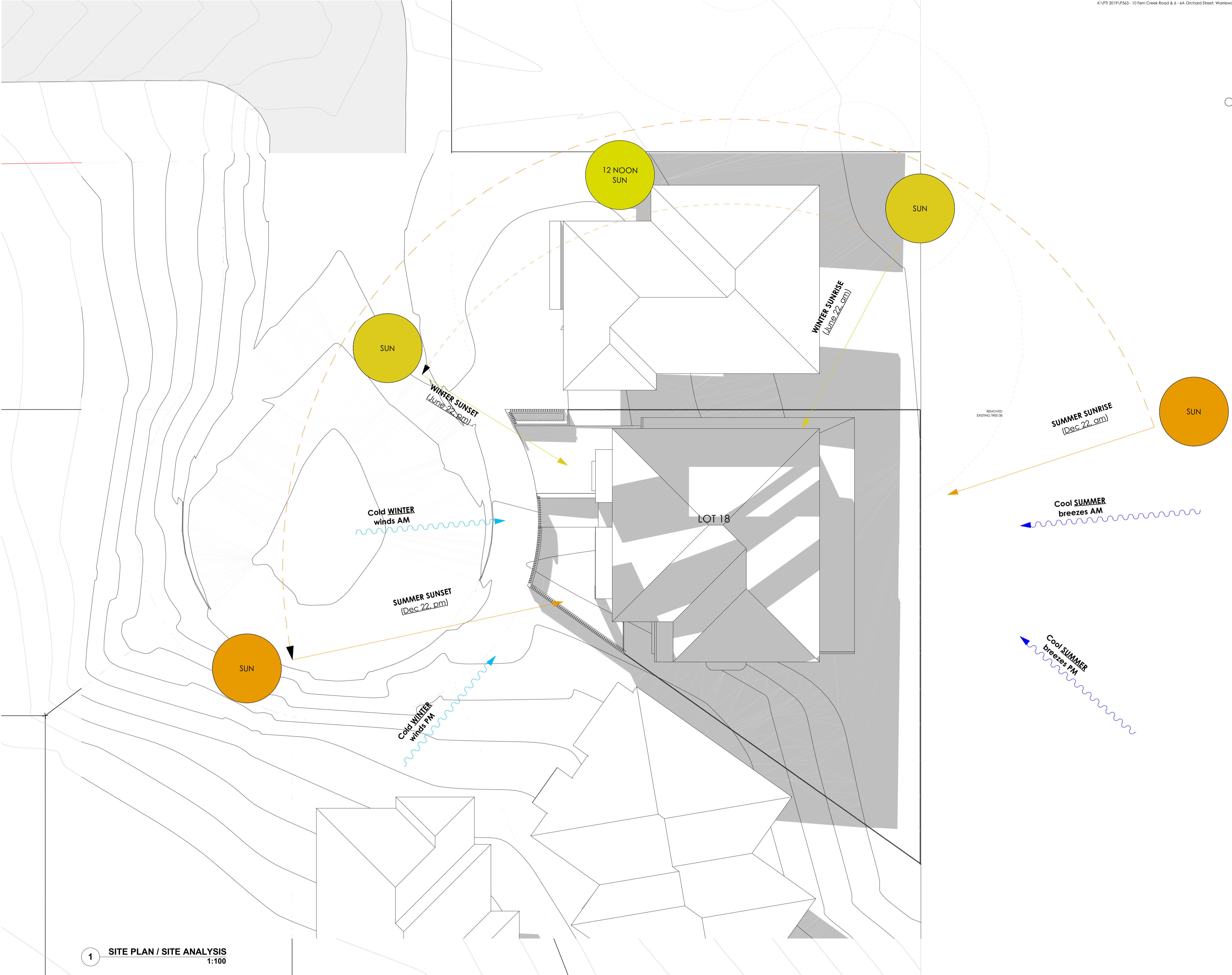


1 LOCATION PLAN

					A B	DEVELOPMENT APPLICATION SURVEY ISSUE	DL DL	KC/PI GF/PI	15.10.21 11.11.21
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE



DRAWN	DL, KC	CHECKED	PI / KC
PROJECT No	P563	SCALE	1:1000@A1,
<b>B</b>	<b>DA</b>	<b>010</b>	<b>B</b>
disc	stage	dwg no.	revision



1 SITE PLAN / SITE ANALYSIS  
1:100



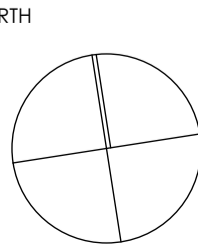
Main Office: Level 2, 68 Sophia Street, Surry Hills NSW 2010  
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+61 2 9253 0890 | www.ptiarchitecture.com.au  
Nominated Registered Architect, Peter Israel (Eng no 5096)  
ABN 90 050 071 022

- NOTE
1. Contractors to verify all dimensions on site before any shop drawings or work is commenced.
  2. Figured dimensions to be taken in preference to scaled dwgs.
  3. This drawing is to be read in conjunction with the specification and engineers drawings.

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A				B			
DEVELOPMENT APPLICATION				SURVEY ISSUE			
DL	KC/PI	15.10.21	CLINT	DL	GF/PI	11.11.21	SKYCORP AUSTRALIA
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY

PROJECT  
LOT 18, 10 FERN CREEK ROAD,  
WARRIWOOD  
DRAWING  
SITE ANALYSIS PLAN



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:100, 1:50@A1,
<b>B</b>	<b>DA 050 B</b>
disc	stage
dwg no.	revision



1 GROUND FLOOR PLAN  
1:50



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Nominated Registered Architect: Peter Israel (Eng no 5096)  
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REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY	CHK	DATE

DEVELOPMENT APPLICATION  
SURVEY ISSUE

DL  
DL

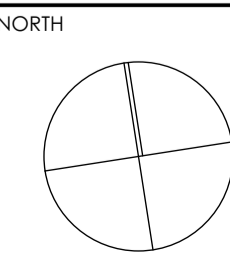
KC/PI  
GF/PI

15.10.21  
11.11.21

CLIENT  
**SKYCORP AUSTRALIA**

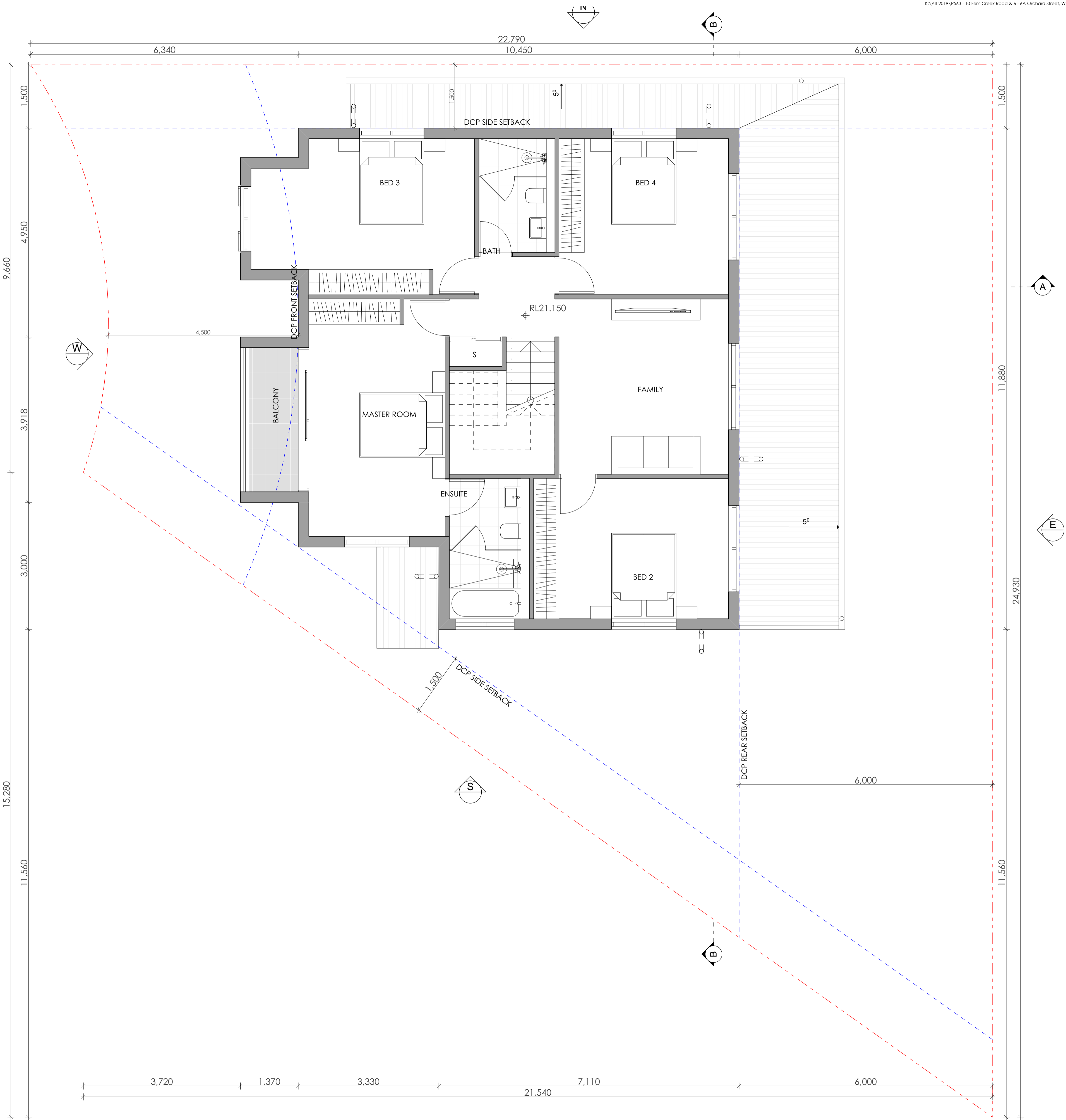
PROJECT  
**LOT 18, 10 FERN CREEK ROAD,  
WARRIEWOOD**

DRAWING  
**GROUND FLOOR PLAN**



DRAWN DL, KC	CHECKED PI / KC
PROJECT No <b>P563</b>	SCALE <b>1:50@A1,</b>
<b>B</b>	<b>DA 120 B</b>
disc	stage
dwg no.	revision

1 LEVEL 1 FLOOR PLAN  
1:50



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Nominated Registered Architect, Peter Israel (Reg no 5096)  
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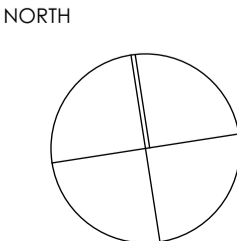
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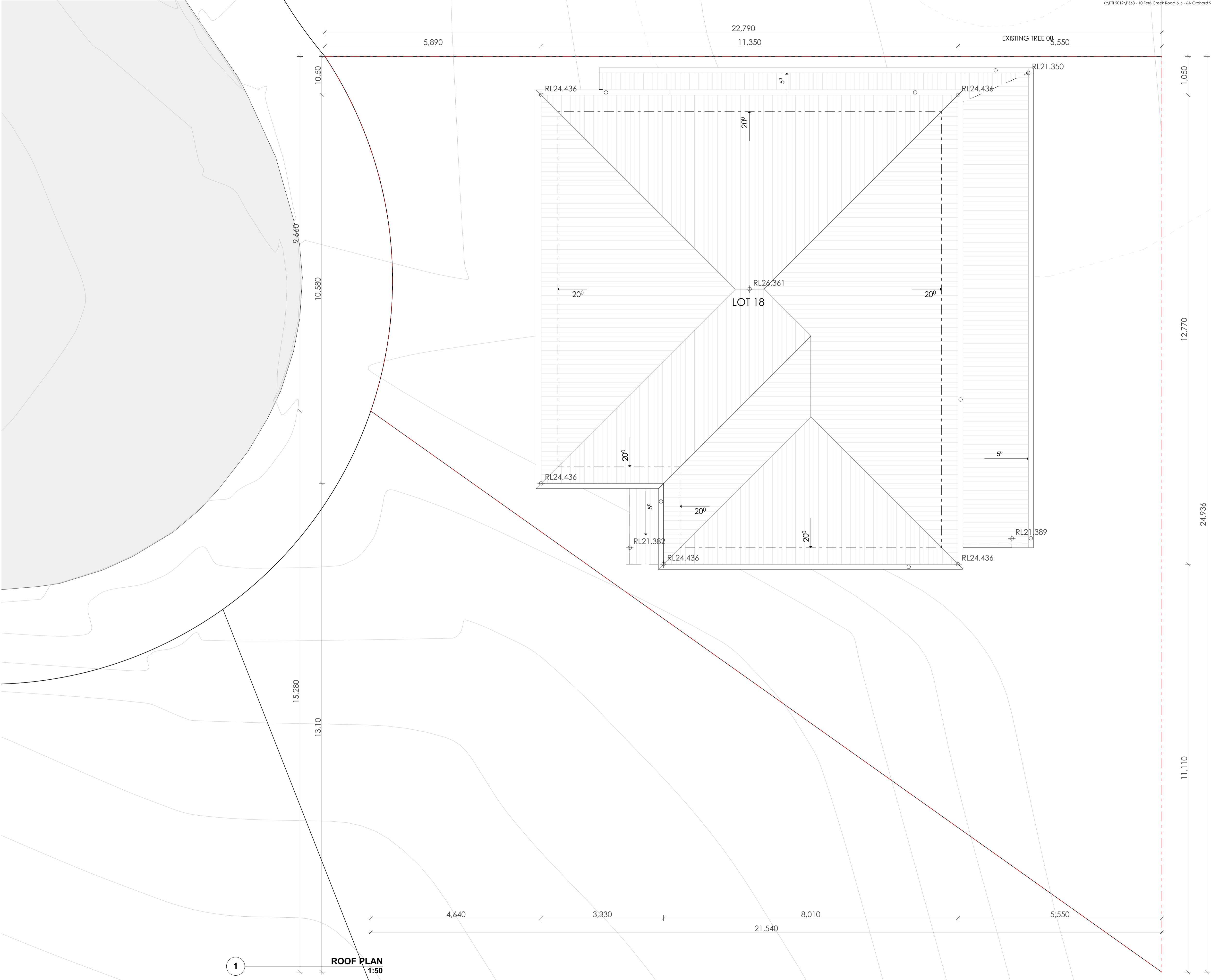
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CLIENT  
SKYCORP AUSTRALIA

PROJECT  
LOT 18,10 FERN CREEK ROAD,  
WARRIEWOOD  
DRAWING  
LEVEL 1 FLOOR PLAN



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:50@A1,
<b>B</b>	<b>DA 130 B</b>
disc	stage
dwg no.	revision



REMOVED  
EXISTING TREE 08

**ROOF PLAN**  
1:50



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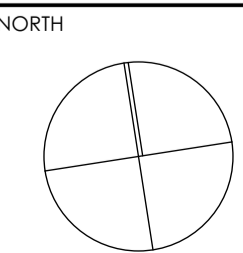
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A  
B  
DEVELOPMENT APPLICATION  
SURVEY ISSUE

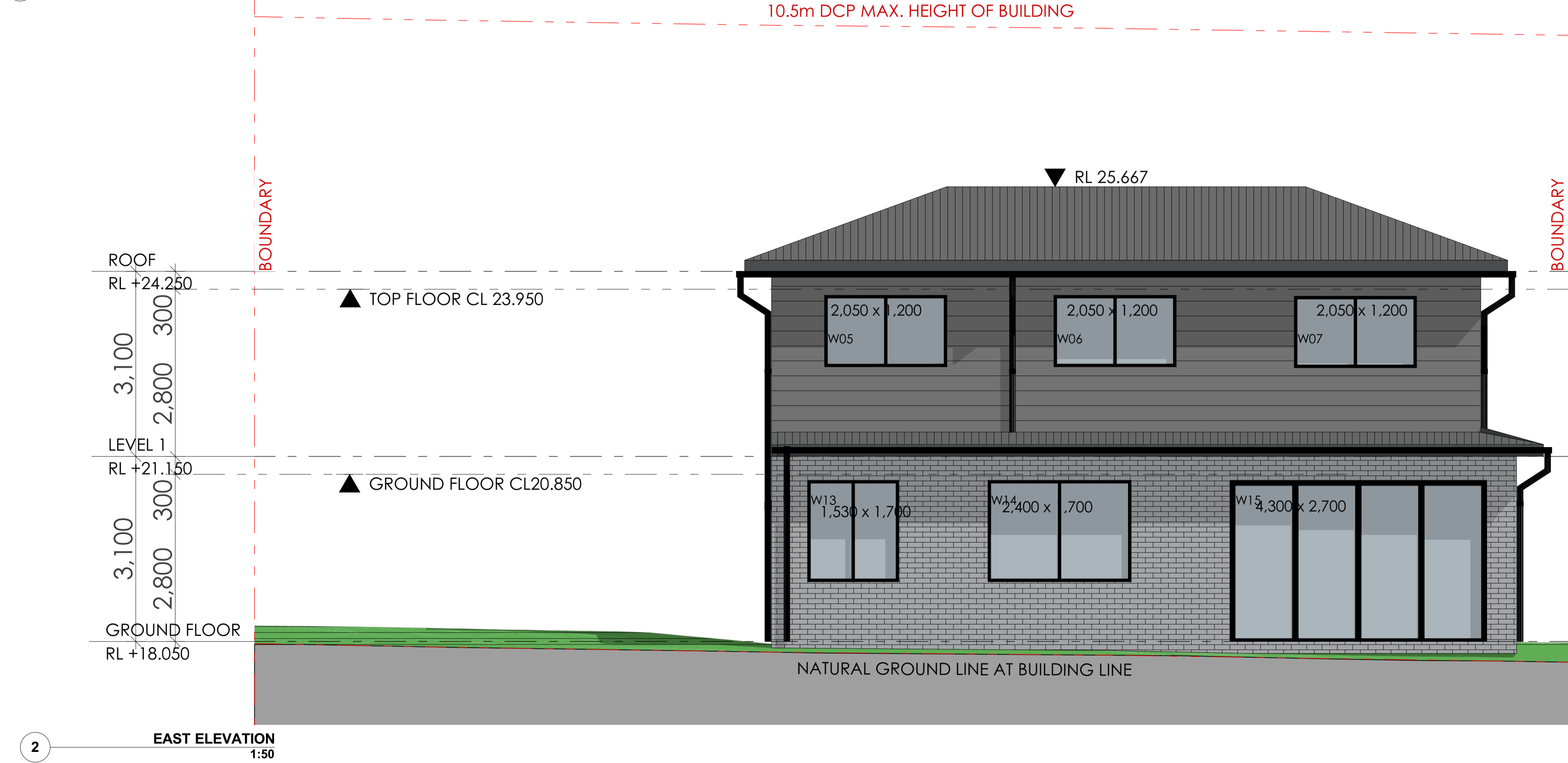
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DL  
KC/PI  
GF/PI  
15.10.21  
11.11.21

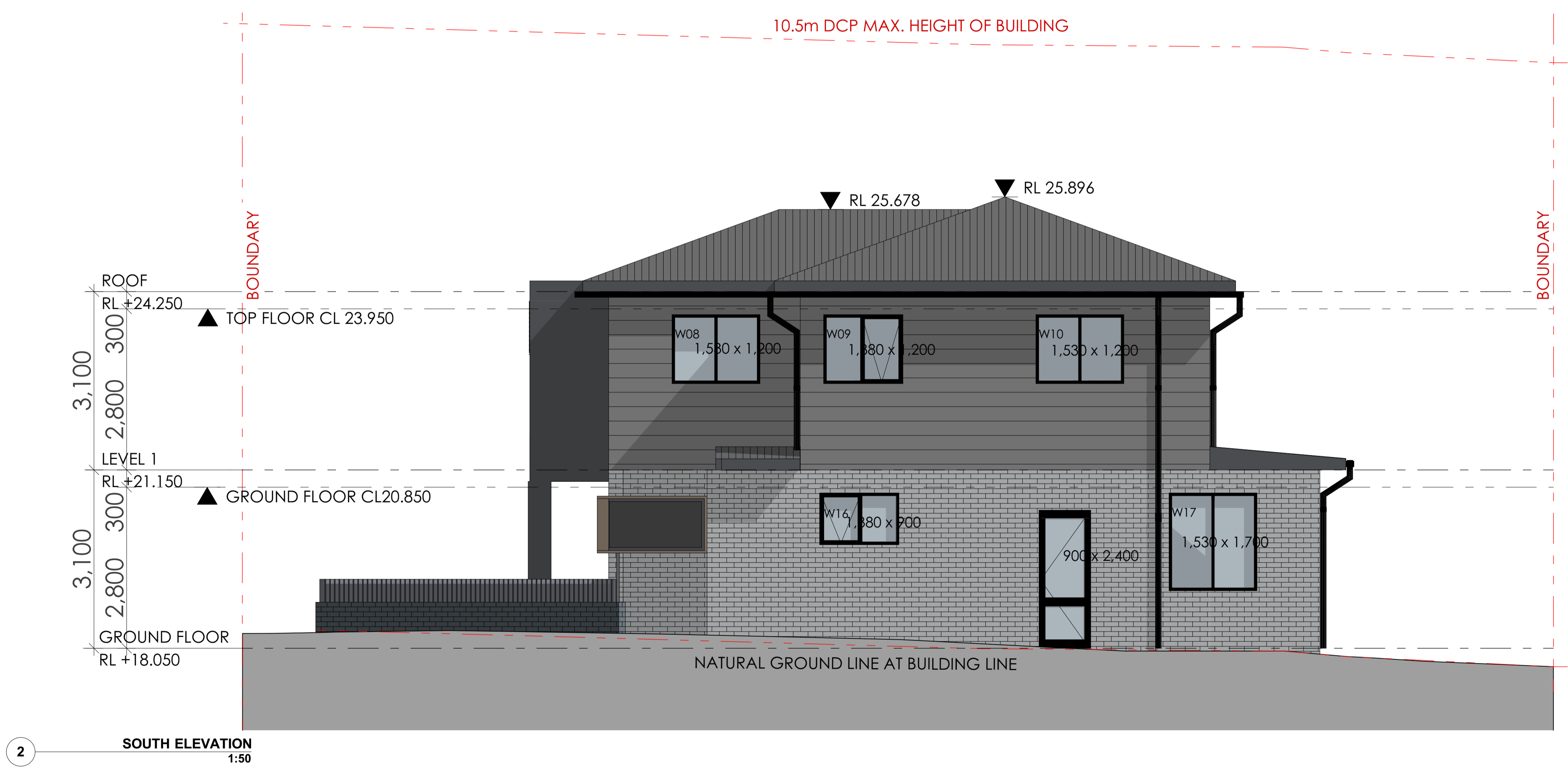
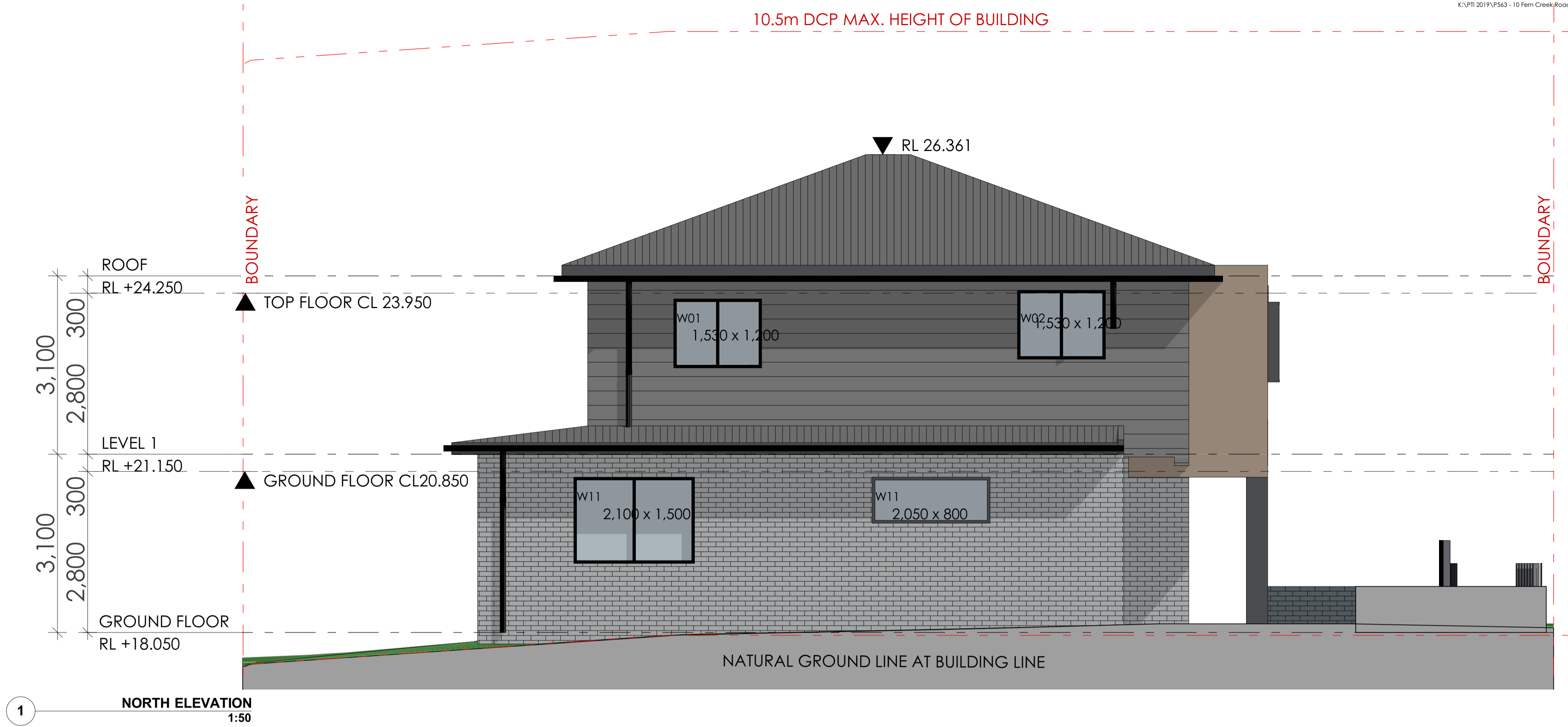
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**SKYCORP AUSTRALIA**

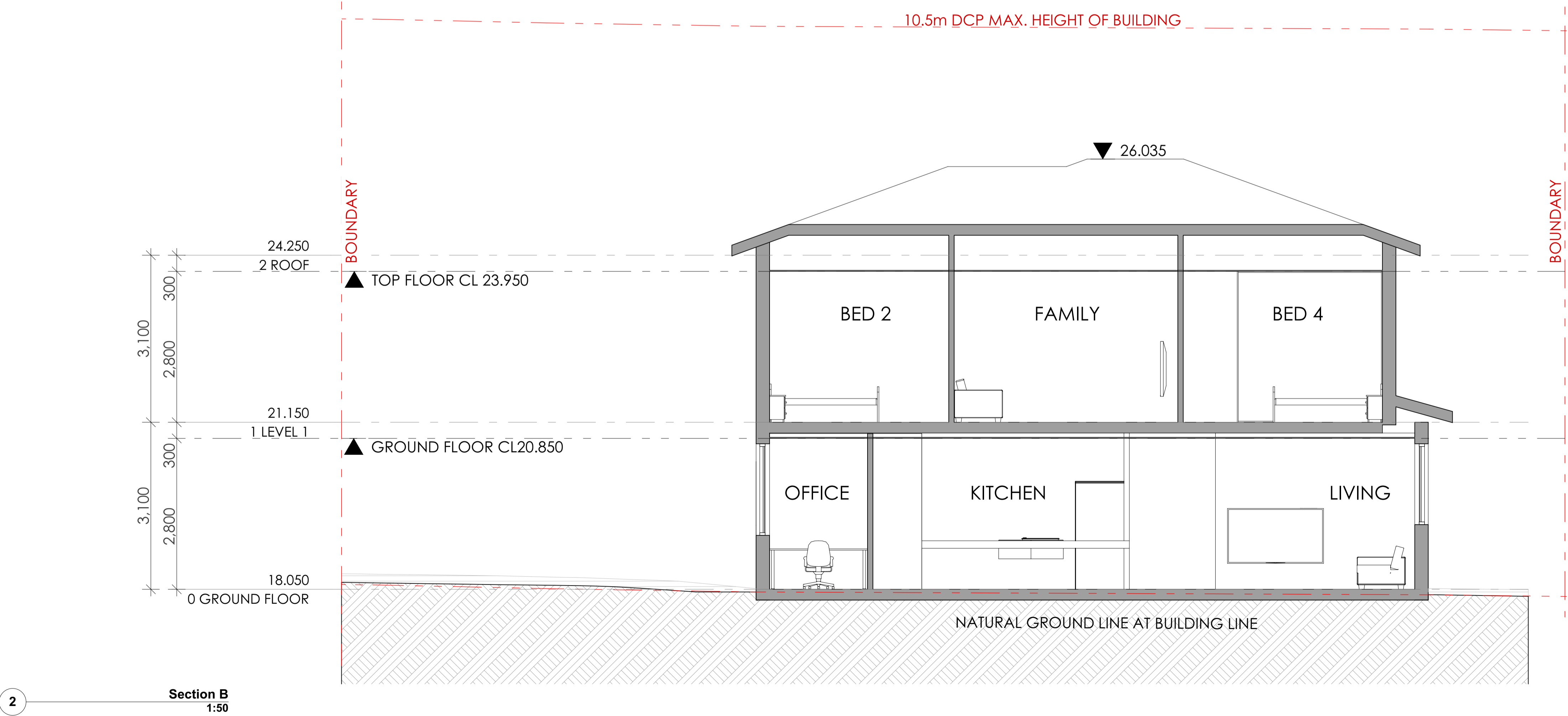
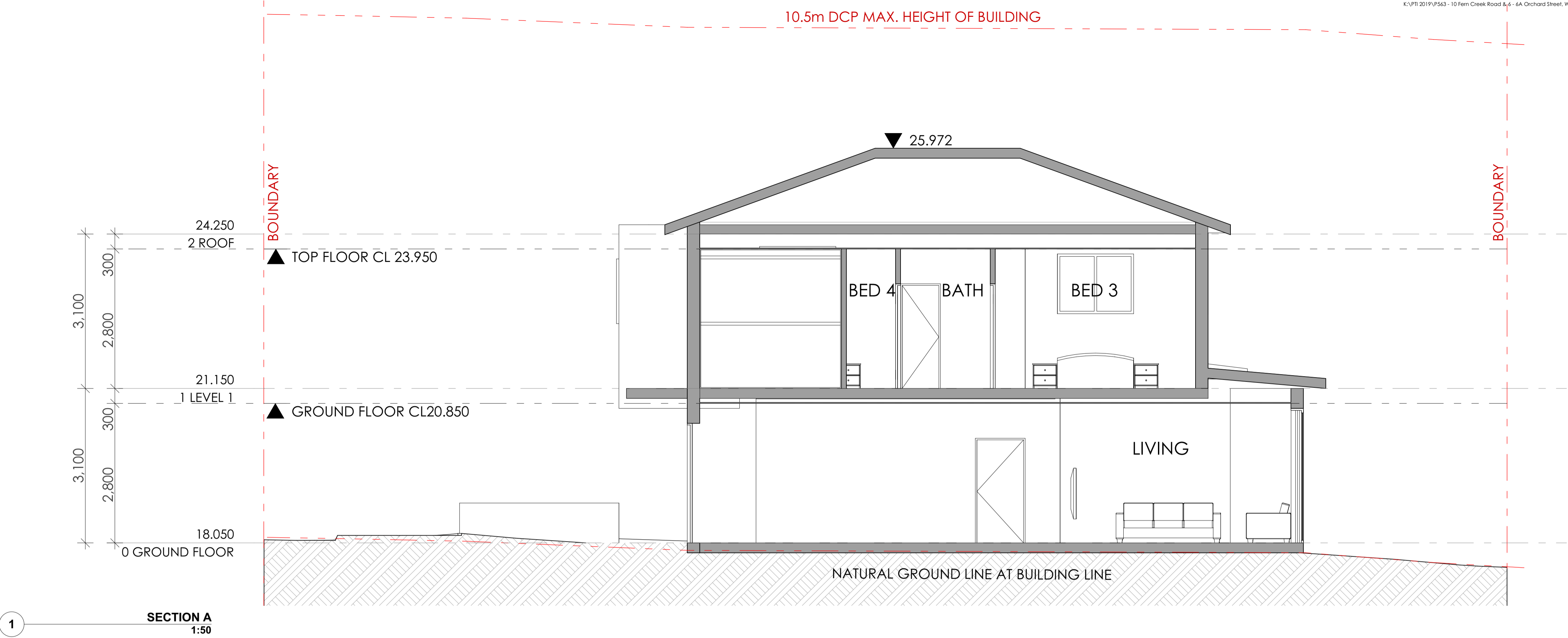
PROJECT  
**LOT 18, 10 FERN CREEK ROAD,  
WARRIEWOOD**  
DRAWING  
**ROOF PLAN**



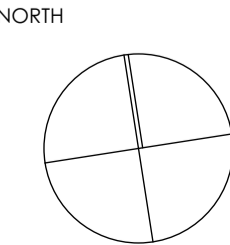
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<b>B</b>	<b>DA 140 B</b>
disc	stage
dwg no.	revision



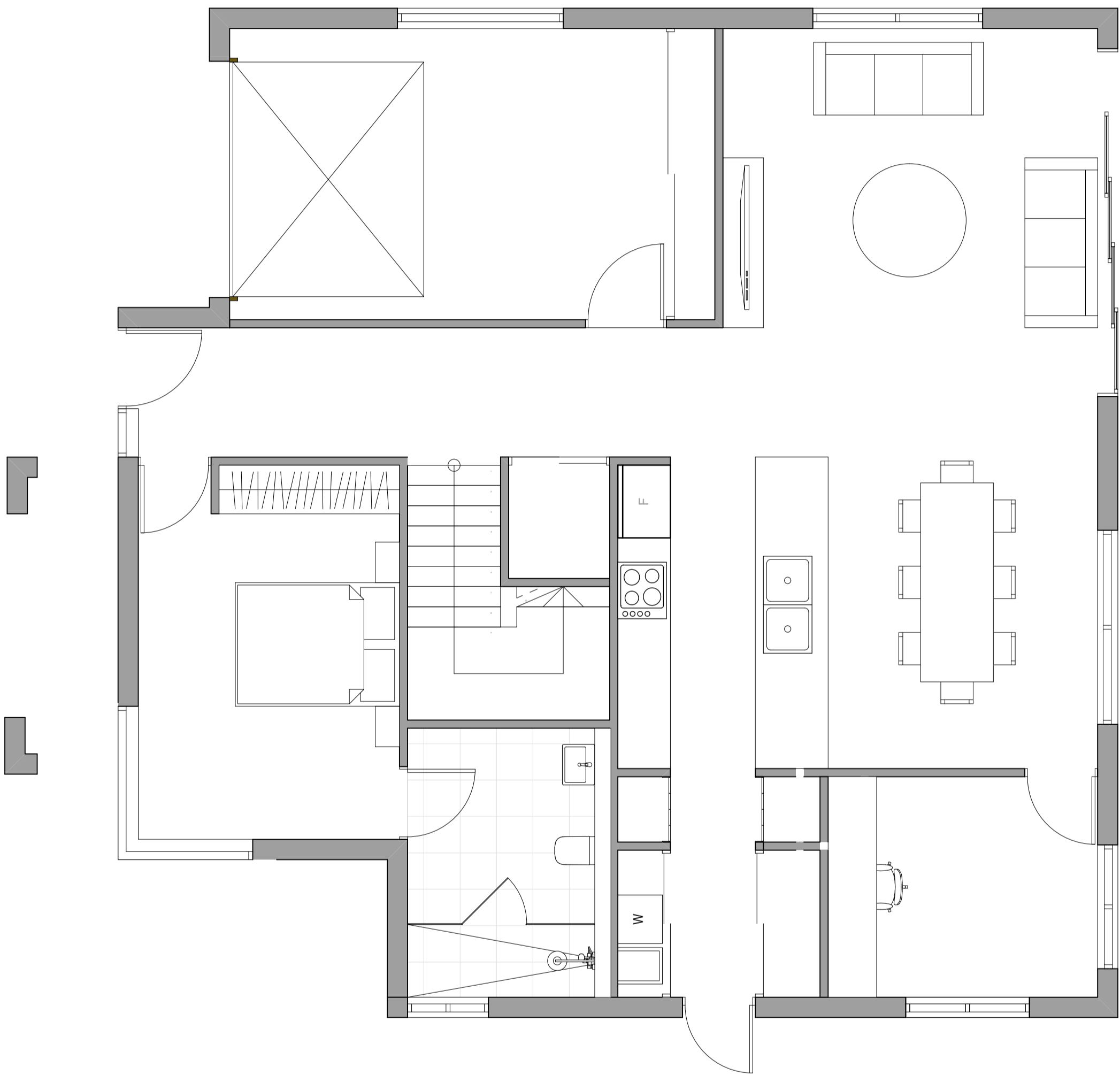




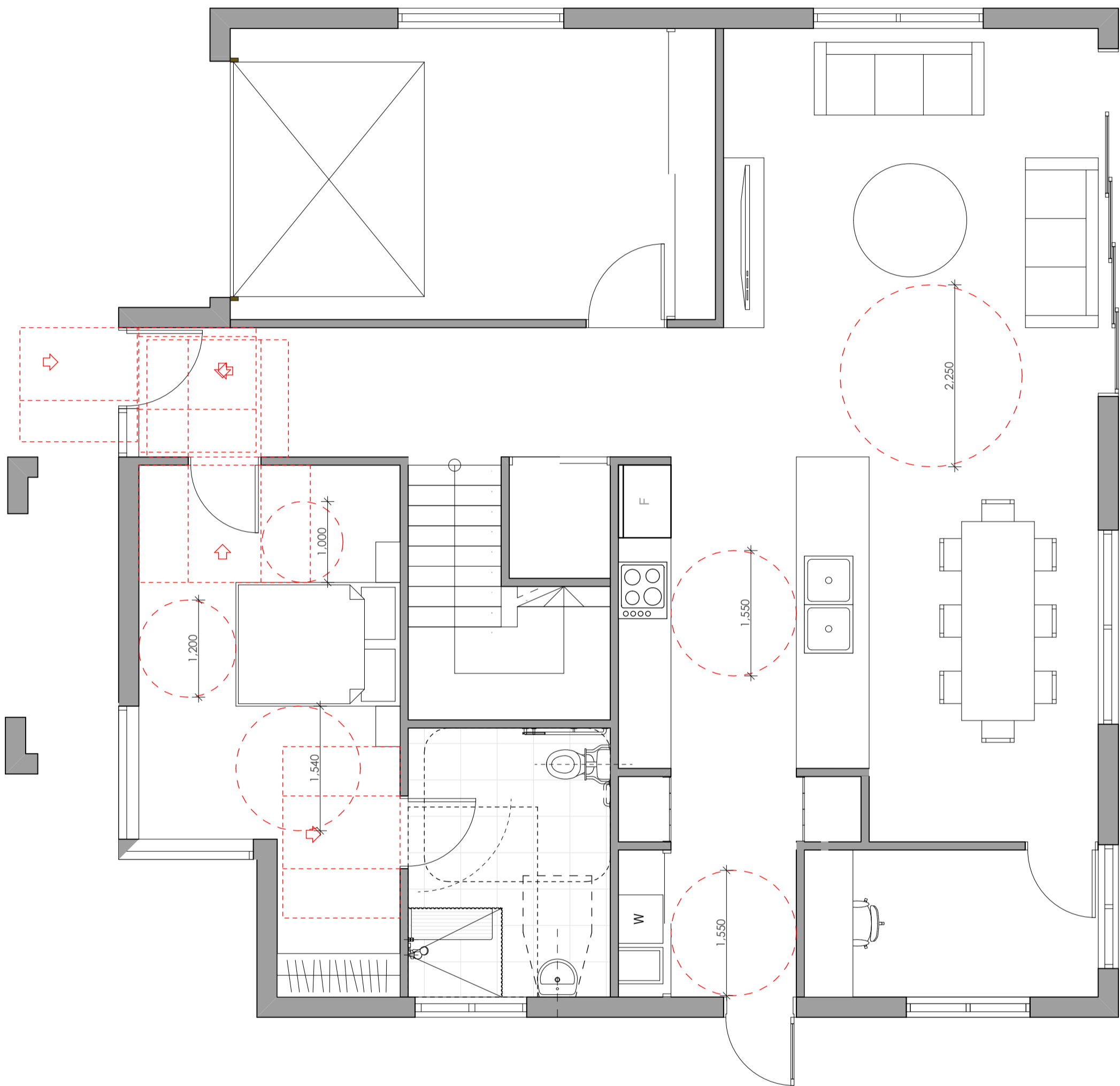
A				B			
DEVELOPMENT APPLICATION				SURVEY ISSUE			
DL	KC/PI	15.10.21	CLIENT	DL	KC/PI	11.11.21	SKYCORP AUSTRALIA
DL	GF/PI	11.11.21		DL	GF/PI	11.11.21	
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION	BY



DRAWN	DL, KC	CHECKED	PI / KC
PROJECT No	P563	SCALE	1:100@A1,
<b>B</b>	<b>DA</b>	<b>300</b>	<b>B</b>
disc	stage	dwg no.	revision



1 PRE ADAPTABLE LAYOUTS  
1:50



2 POST ADAPTABLE LAYOUTS  
1:50

NOTE

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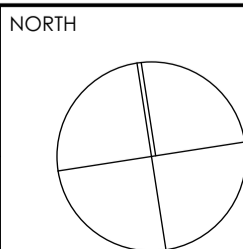
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DEVELOPMENT APPLICATION  
SURVEY ISSUE

DL KC/PI 15.10.21  
DL GF/PI 11.11.21

CLIENT  
**SKYCORP AUSTRALIA**

PROJECT  
**LOT 18, 10 FERN CREEK ROAD,  
WARRIEWOOD**  
DRAWING  
**POST ADAPTABLE LAYOUTS**



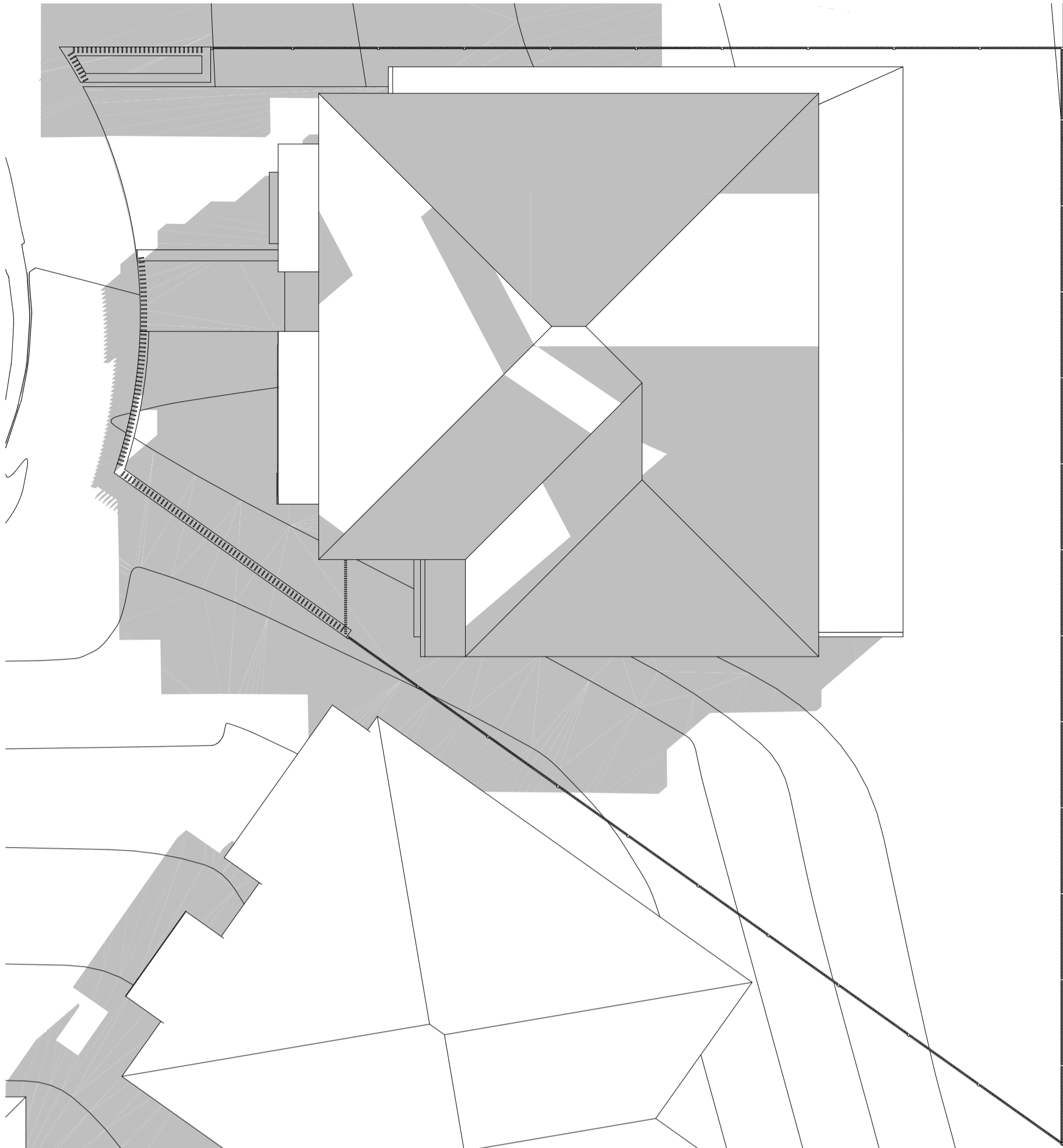
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<b>B</b> disc	<b>DA</b> stage
<b>400</b> dwg no.	<b>B</b> revision



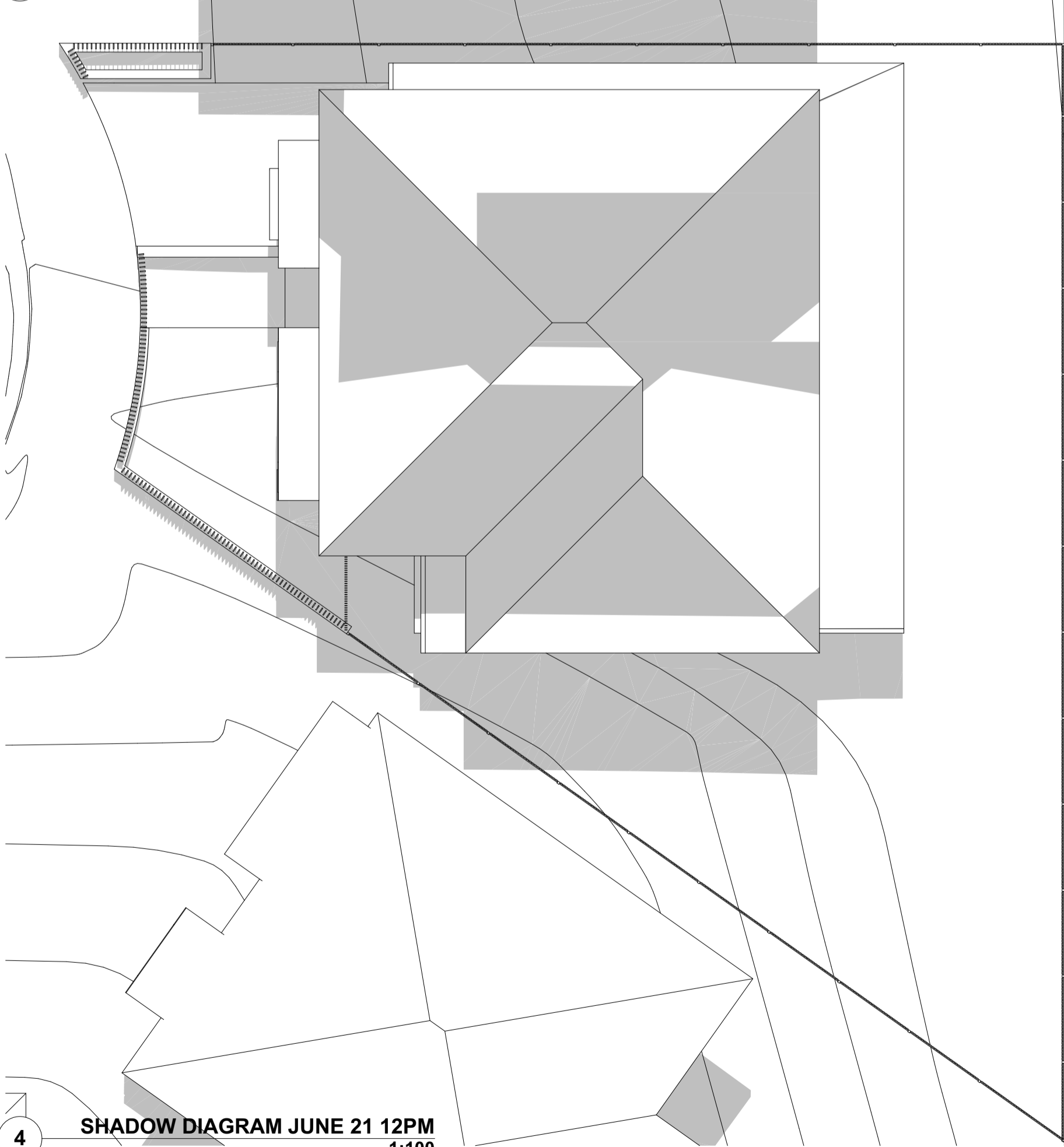
1 SHADOW DIAGRAM JUNE 21 9AM  
1:100



3 SHADOW DIAGRAM JUNE 21 11AM  
1:100



2 SHADOW DIAGRAM JUNE 21 10AM  
1:100



4 SHADOW DIAGRAM JUNE 21 12PM  
1:100

NOTE

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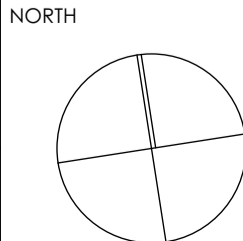
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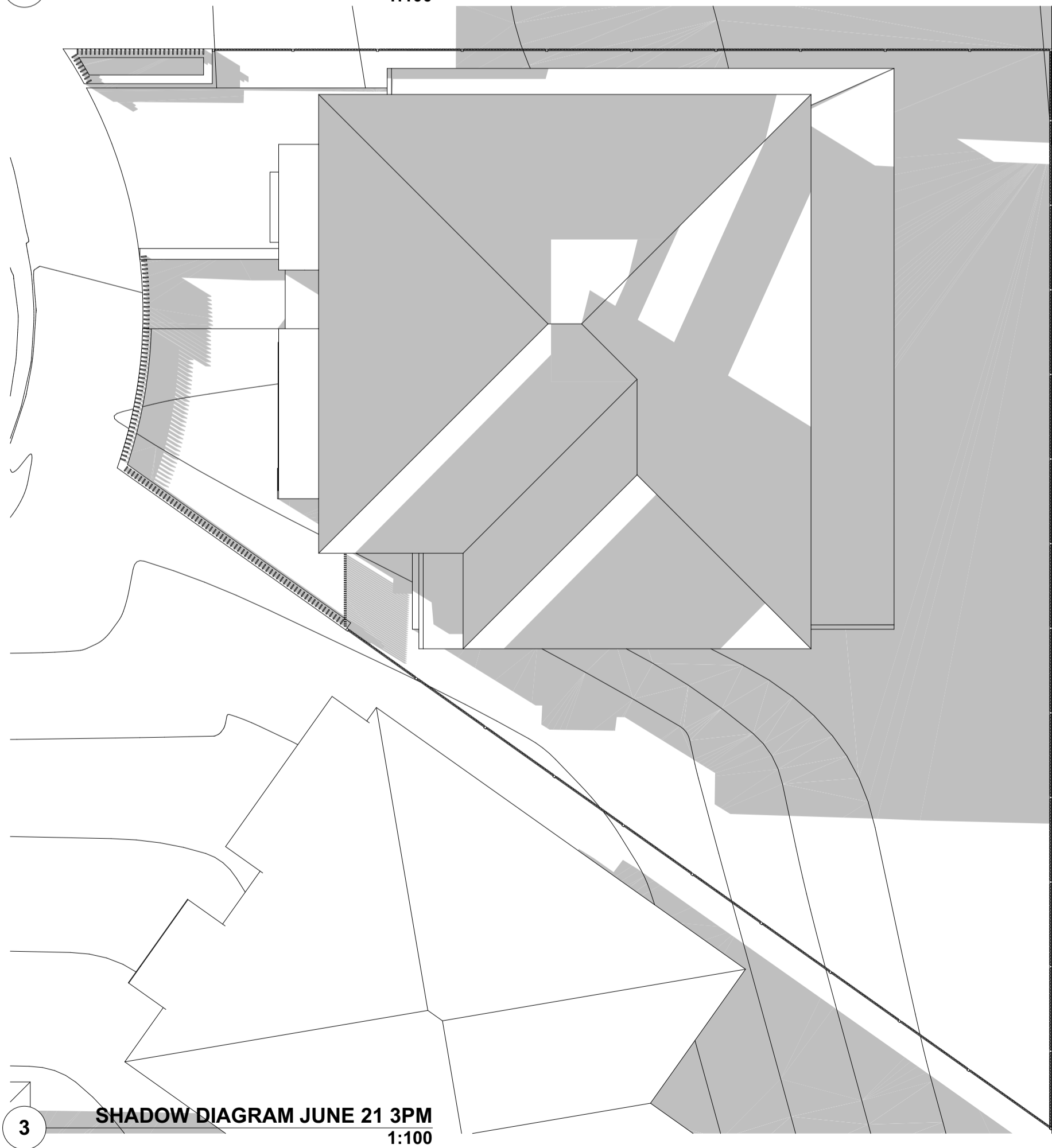
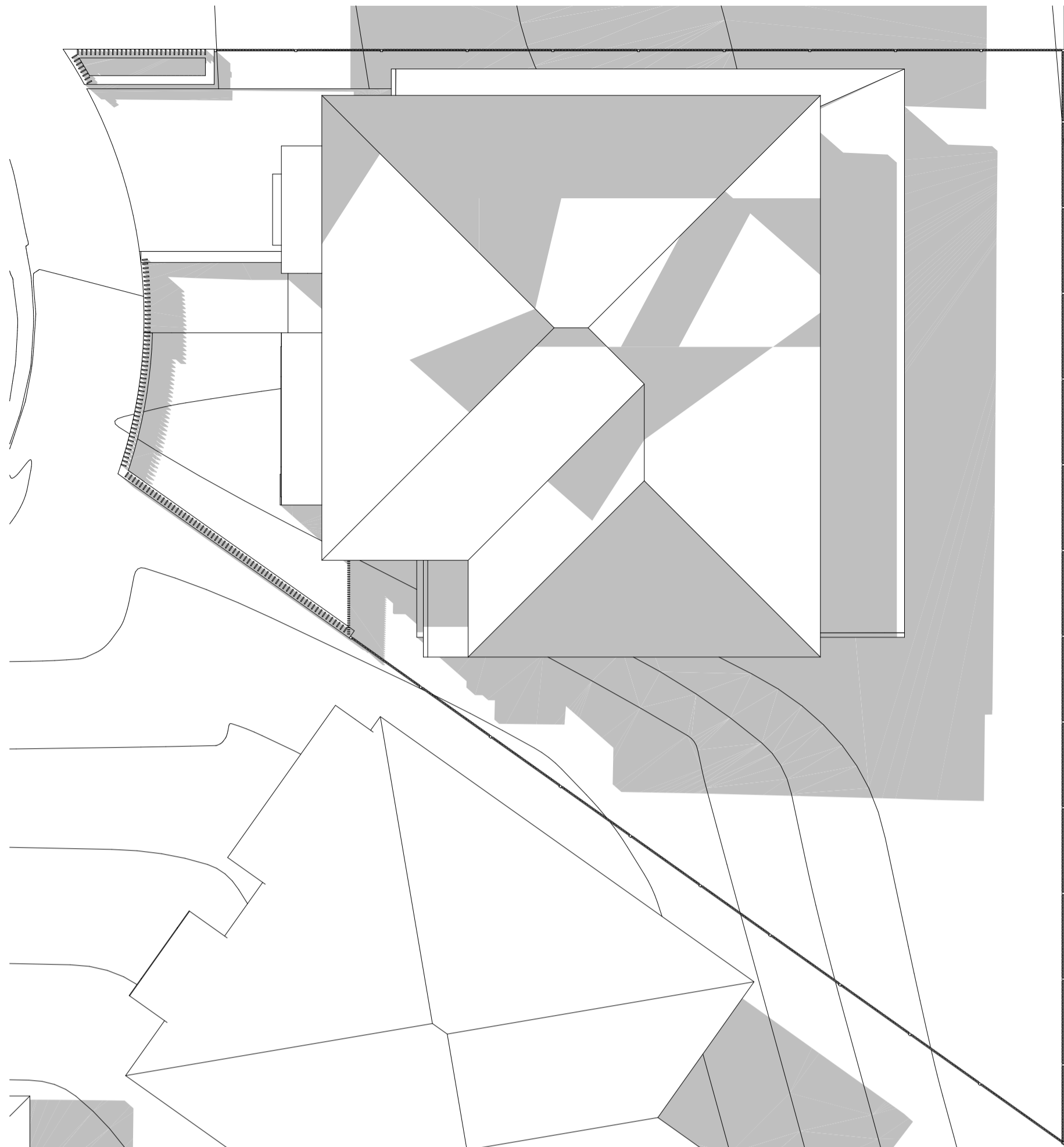
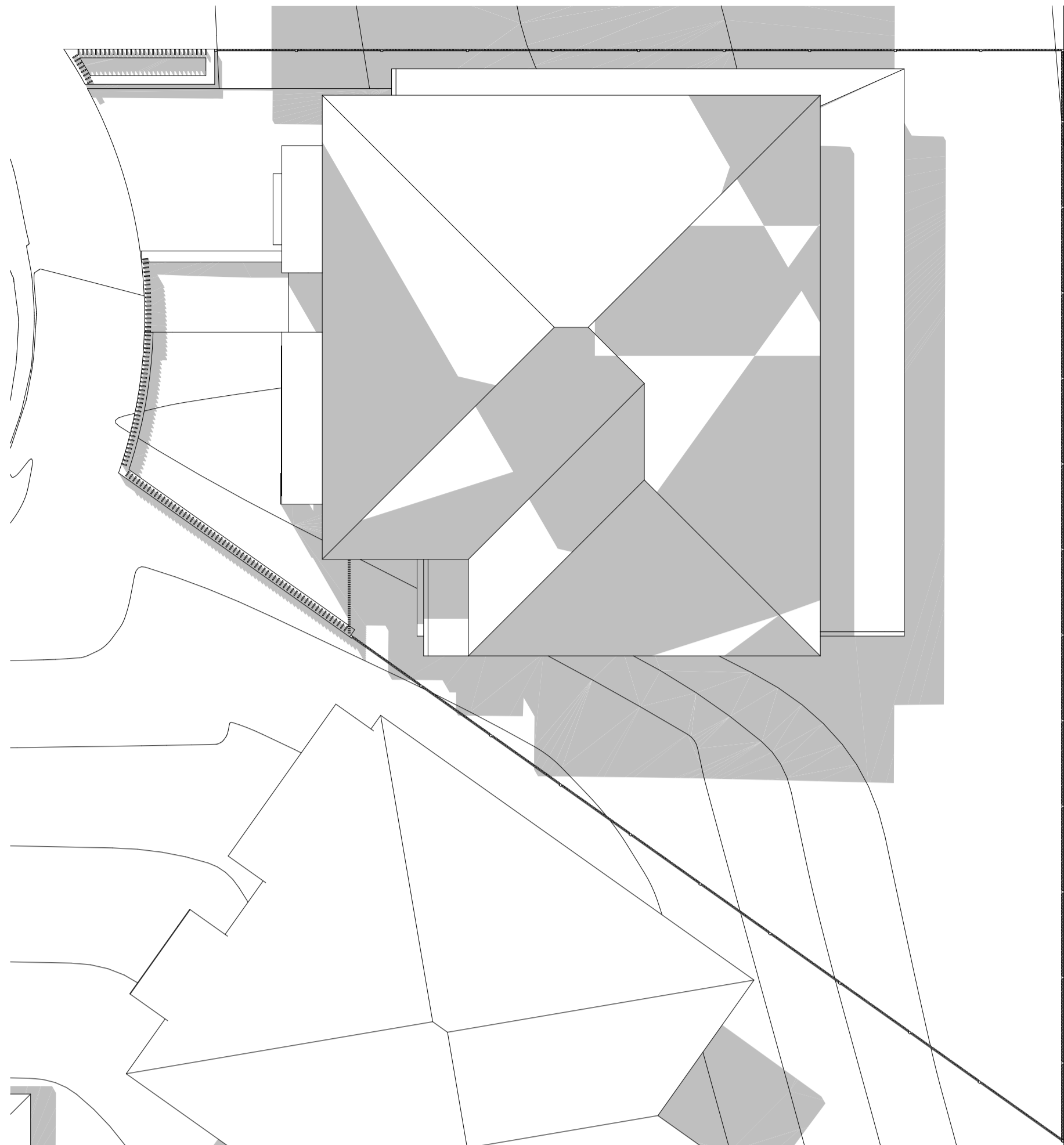
A	DEVELOPMENT APPLICATION	DL	KC/PI	15.10.21
B	SURVEY ISSUE	DL	GF/PI	11.11.21
REV	DESCRIPTION	BY	CHK	DATE

CLIENT  
**SKYCORP AUSTRALIA**

PROJECT  
**LOT 18,10 FERN CREEK ROAD,  
WARRIEWOOD**  
DRAWING  
**SHADOW DIAGRAM**



DRAWN DL, KC	CHECKED PI / KC
PROJECT No <b>P563</b>	SCALE 1:100@A1,
<b>B</b> disc	<b>DA</b> stage
<b>500</b> dwg no.	<b>B</b> revision



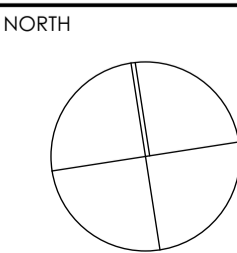
REV	DESCRIPTION			BY	CHK	DATE	REV	DESCRIPTION			BY	CHK	DATE

A	DEVELOPMENT APPLICATION
B	SURVEY ISSUE

DL	KC/PI	15.10.21
DL	GF/PI	11.11.21

CLIENT  
**SKYCORP AUSTRALIA**

PROJECT  
**LOT 18,10 FERN CREEK ROAD,  
WARRIEWOOD**  
DRAWING  
**SHADOW DIAGRAM**



DRAWN	DL, KC	CHECKED	PI / KC
PROJECT No	P563	SCALE	1:100@A1,
<b>B</b>	<b>DA</b>	<b>510</b>	<b>B</b>
dsc	stage	dwg no.	revision

PROJECT INFORMATION - DEVELOPMENT APPLICATION		
SITE AREA (LOT 18) 371m <sup>2</sup>	m/m <sup>2</sup>	COMPLIANCE
PERMISSABLE GFA	N/A	Y
PROPOSED GFA	212m <sup>2</sup>	
LOT WIDTH AT FRONT BUILDING LINE	13.3m	Y
LANDSCAPE		
REQUIRED LANDSCAPING AREA (35% OF SITE AREA)	129.85m <sup>2</sup>	Y
PROPOSED LANDSCAPING TOTAL AREA	169m <sup>2</sup>	
PROPOSED COMPLIANT LANDSCAPE AREA	133m <sup>2</sup>	
PROPOSED NON COMPLIANT LANDSCAPE AREA	36m <sup>2</sup>	
PRIVATE OPEN SPACE		
REQUIRED PRIVATE OPEN SPACE	24m <sup>2</sup>	Y
PROPOSED PRIVATE OPEN SPACE	24m <sup>2</sup>	



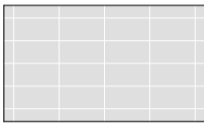
PROPOSED SITE AREA



PROPOSED GROSS FLOOR AREA



PROPOSED ARTICULATON ZONE



PROPOSED PRIVATE OPEN SPACE



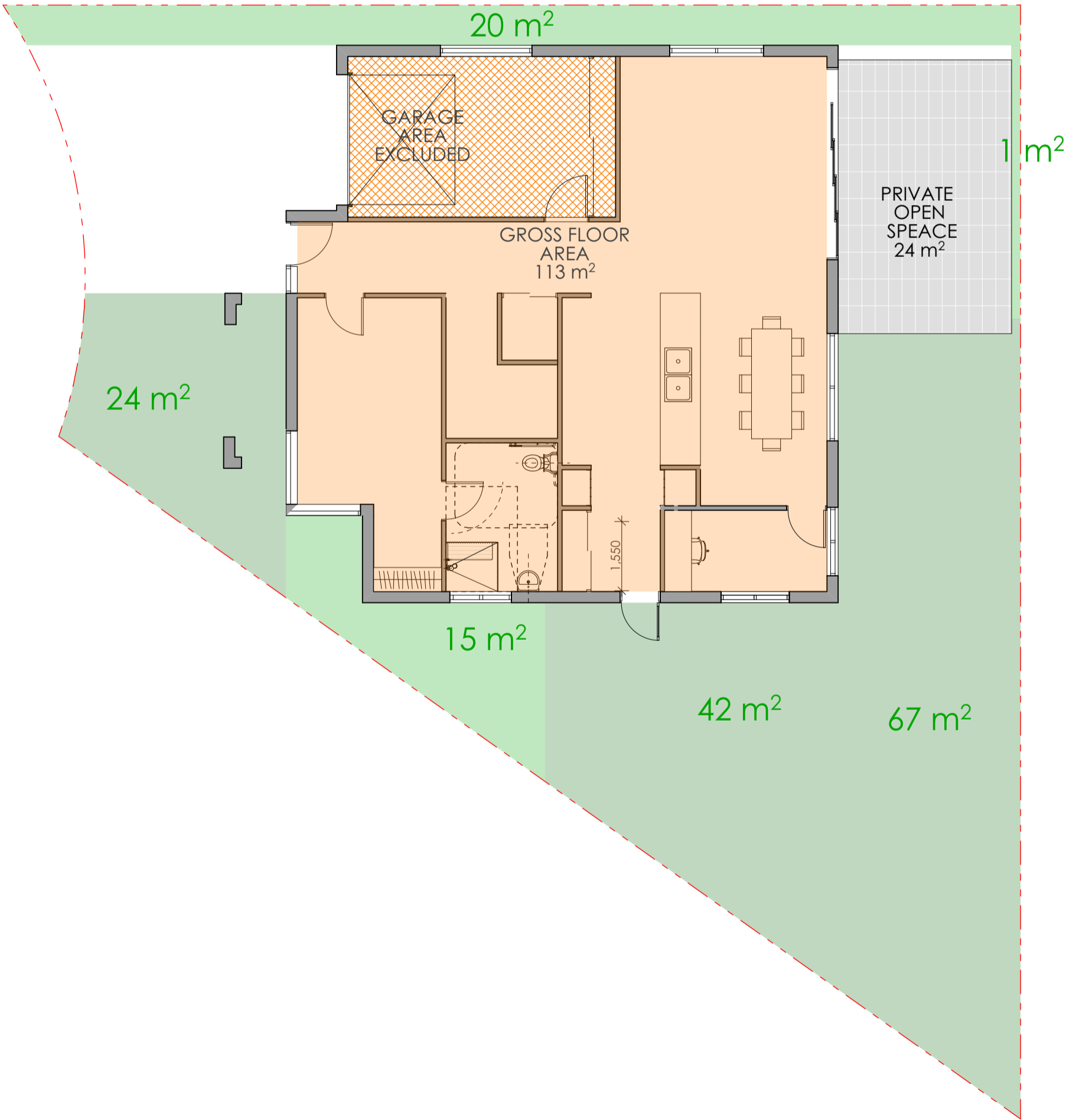
PROPOSED LANDSCAPE AREA



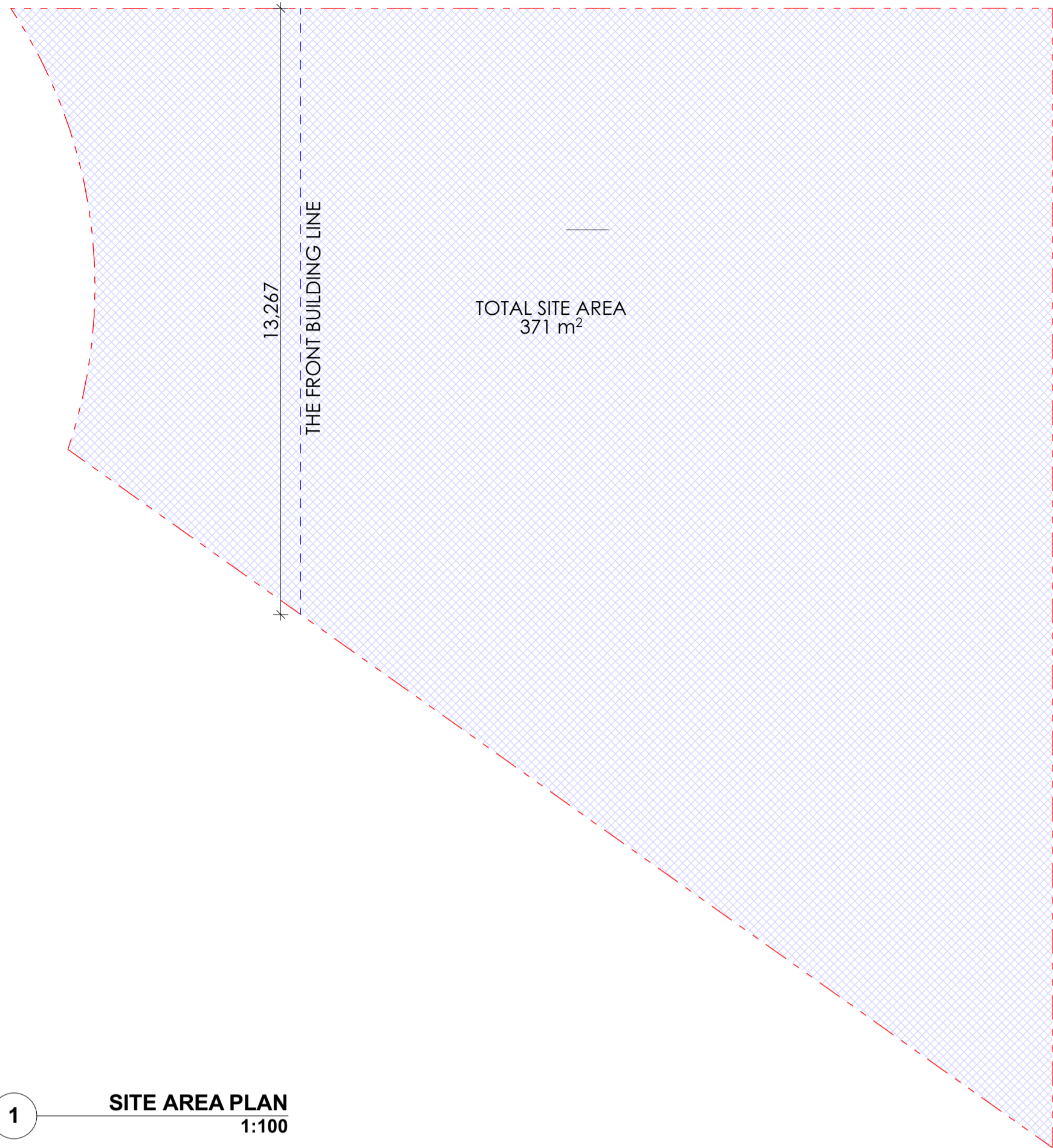
PROPOSED NON COMPLIANT LANDSCAPE AREA



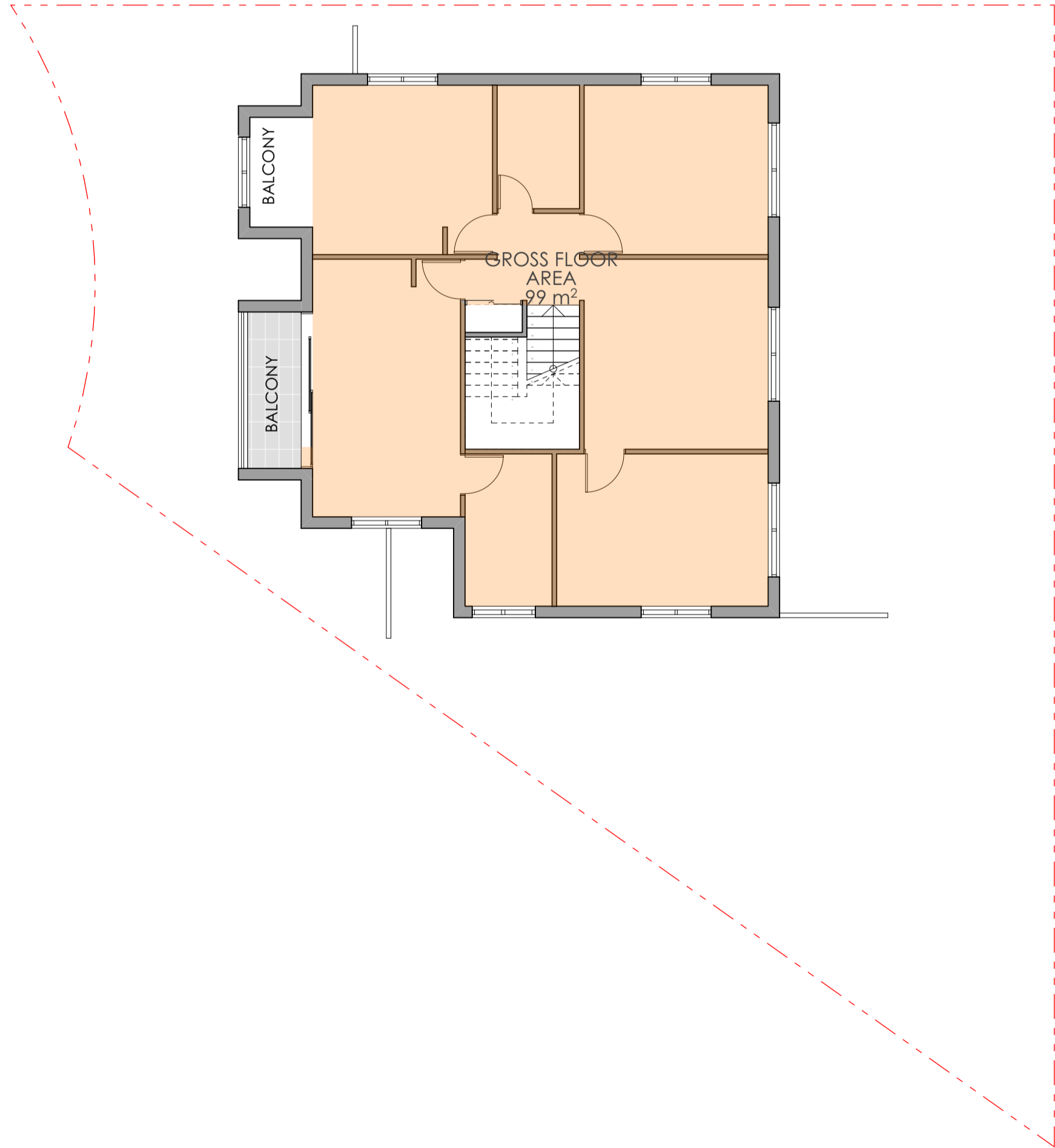
PROPOSED AREA EXCLUDED



2 GROUND FLOOR AREA PLAN 1:100

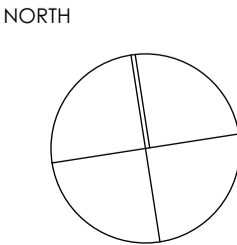


1 SITE AREA PLAN 1:100



3 LEVEL 1 AREA PLAN 1:100

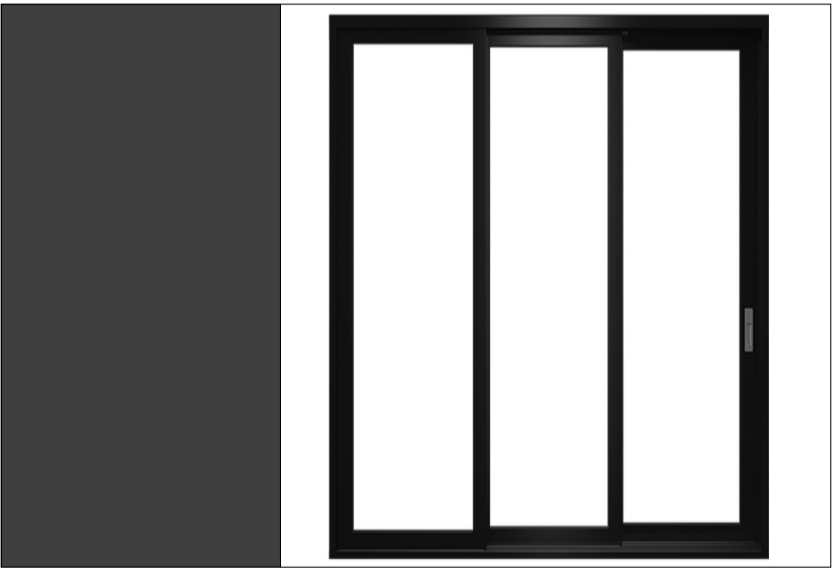
A	DEVELOPMENT APPLICATION	DL	KC/PI	15.10.21	CLIENT	SKYCORP AUSTRALIA
B	SURVEY ISSUE	DL	GF/PI	11.11.21		
REV	DESCRIPTION	BY	CHK	DATE	REV	DESCRIPTION



DRAWN DL, KC	CHECKED PI / KC
PROJECT No P563	SCALE 1:100@A1,
<b>B</b>	<b>DA 600 B</b>
disc	stage
dwg no.	revision



1. STAINLESS STEEL AND GLAZED BALUSTRADE



2. POWDER COATED ALUMINIUM FRAMED GLAZING



3. COLORBOND MONUMENT METAL ROOF



4. AUSTRAL BRICKS MAJESTIC GREY



5. 3mm ALUMINIUM CLADDING - TIMBER LOOK



6. JAMES HARDIE - STRIA 75mm



7. RENDER &PAINT - DULUX WAYWARD GREY

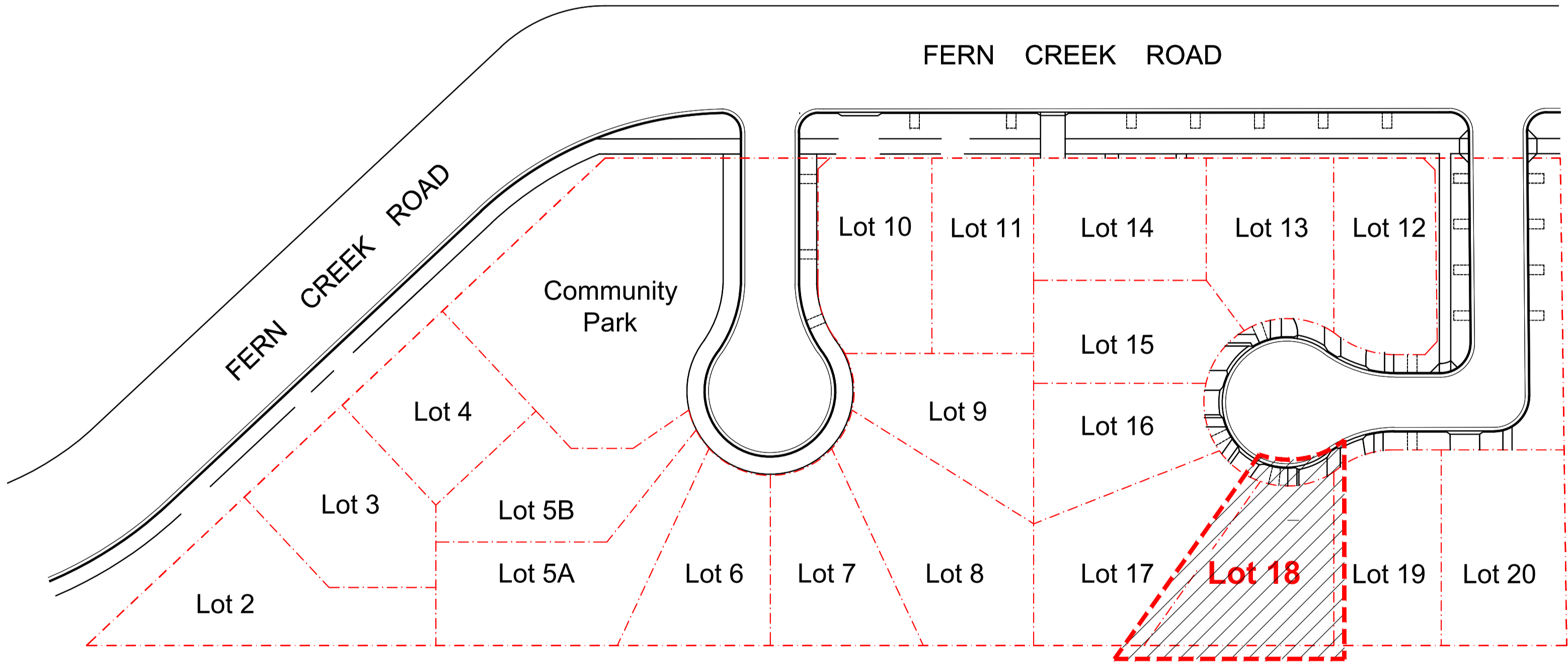
# Proposed Dwellings

## Lot 18, 10 Fern Creek Road Warriewood

### Landscape Development Application

DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
018	COVER SHEET	N/A
118	LANDSCAPE PLAN - Lot 18	1:50
318	LANDSCAPE HARDSCAPE PLAN - Lot 18	1:50
418	LANDSCAPE PLANTING PLAN - Lot 18	1:50
518	LANDSCAPE SPECIFICATION & DETAILS - Lot 18	AS SHOWN



Key Plan | 1:500

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Legend

Key Plan



Client  
**SKYCORP AUSTRALIA**

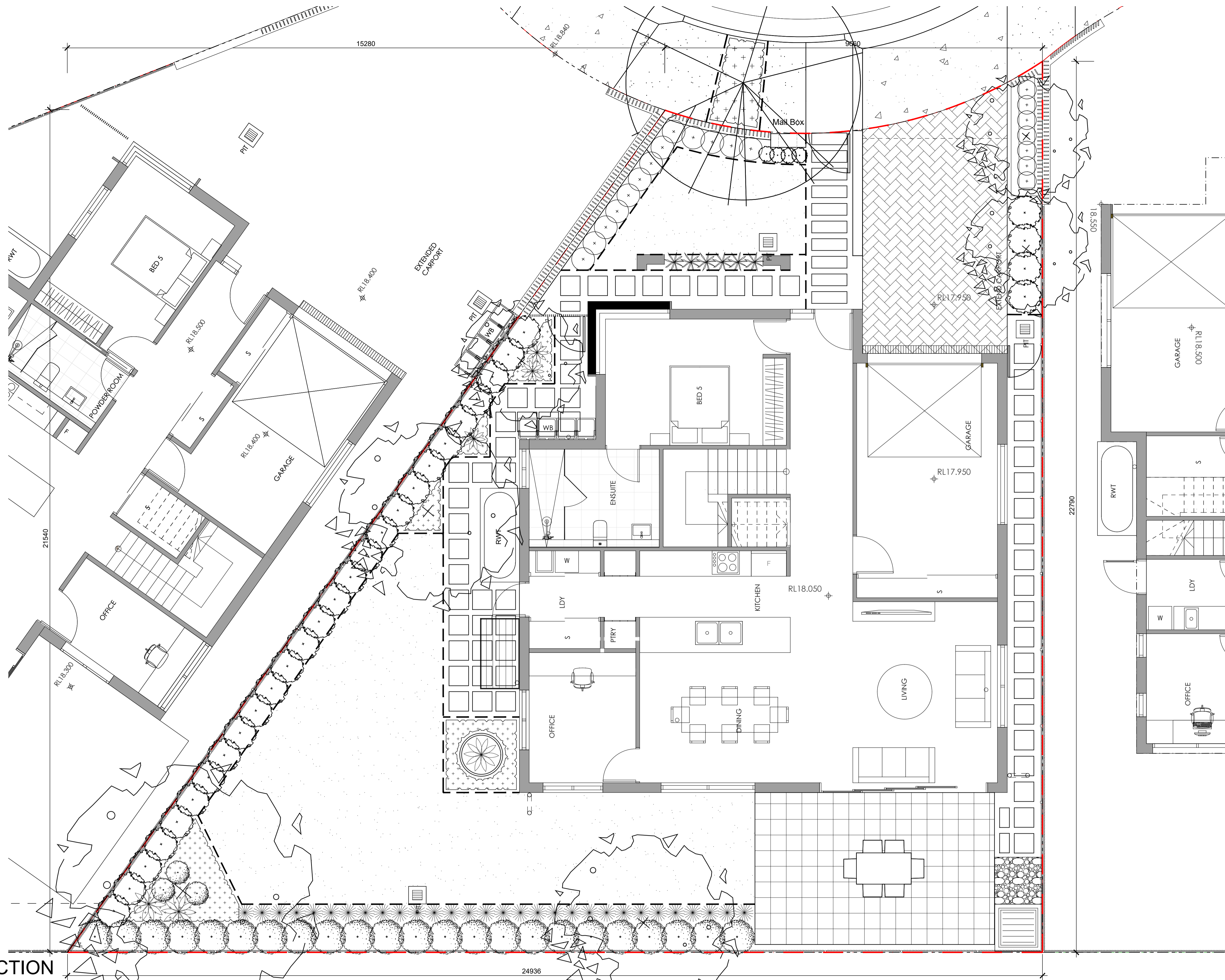
Project  
**Proposed Dwellings**  
**10 Fern Creek Road**  
**Warriewood**

Drawing Name  
**Landscape Coversheet**  
**- Lot 18**

DEVELOPMENT APPLICATION

Scale  
Job Number  
**SS21-4780**

Drawing Number  
Issue  
**018 A**



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**Legend**

Existing tree to be removed  
- Refer Arborist report

Proposed street trees

Proposed trees

Shrub and accent planting

Groundcovers

Lawn

Timber edge

Exposed concrete

Paved driveway

Timber decking

Stepping pavers in gravel - Type 1

Stepping pavers in gravel - Type 2

Mail box

Clothing lines

Property boundary

Key Plan

**SITE IMAGE**

Landscape Architects  
Level 1, 3-5 Baptist Street  
Redfern NSW 2016  
Australia  
Tel: (61 2) 8332 5600  
Fax: (61 2) 9698 2877  
www.siteimage.com.au

Client  
**SKYCORP AUSTRALIA**

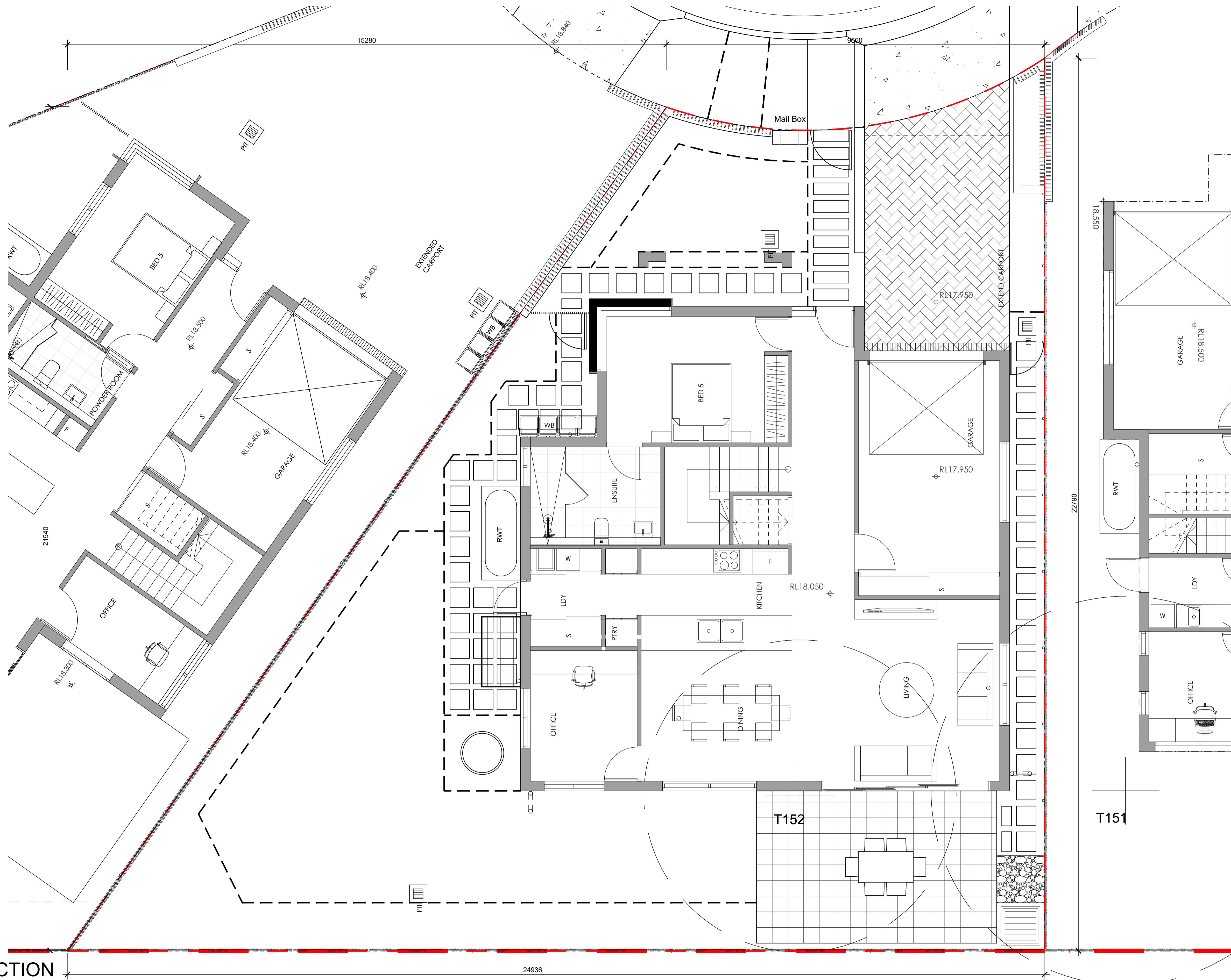
Project  
**Proposed Dwellings**  
**10 Fern Creek Road**  
**Warriewood**

Drawing Name  
**Landscape Colour Plan**  
**- Lot 18**

**DEVELOPMENT APPLICATION**

Scale 1:50 @ A1  
Job Number  
**SS21-4780**

0 0.5 1 1.5 2 2.5m  
Drawing Number  
**118** Issue  
**A**



NOT FOR CONSTRUCTION

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Legend

- Timber edge
- Exposed concrete
- Paved driveway
- Timber decking
- Stepping pavers in gravel - Type 1
- Stepping pavers in gravel - Type 2

- Mail box
- Clothing lines
- Property boundary

Key Plan

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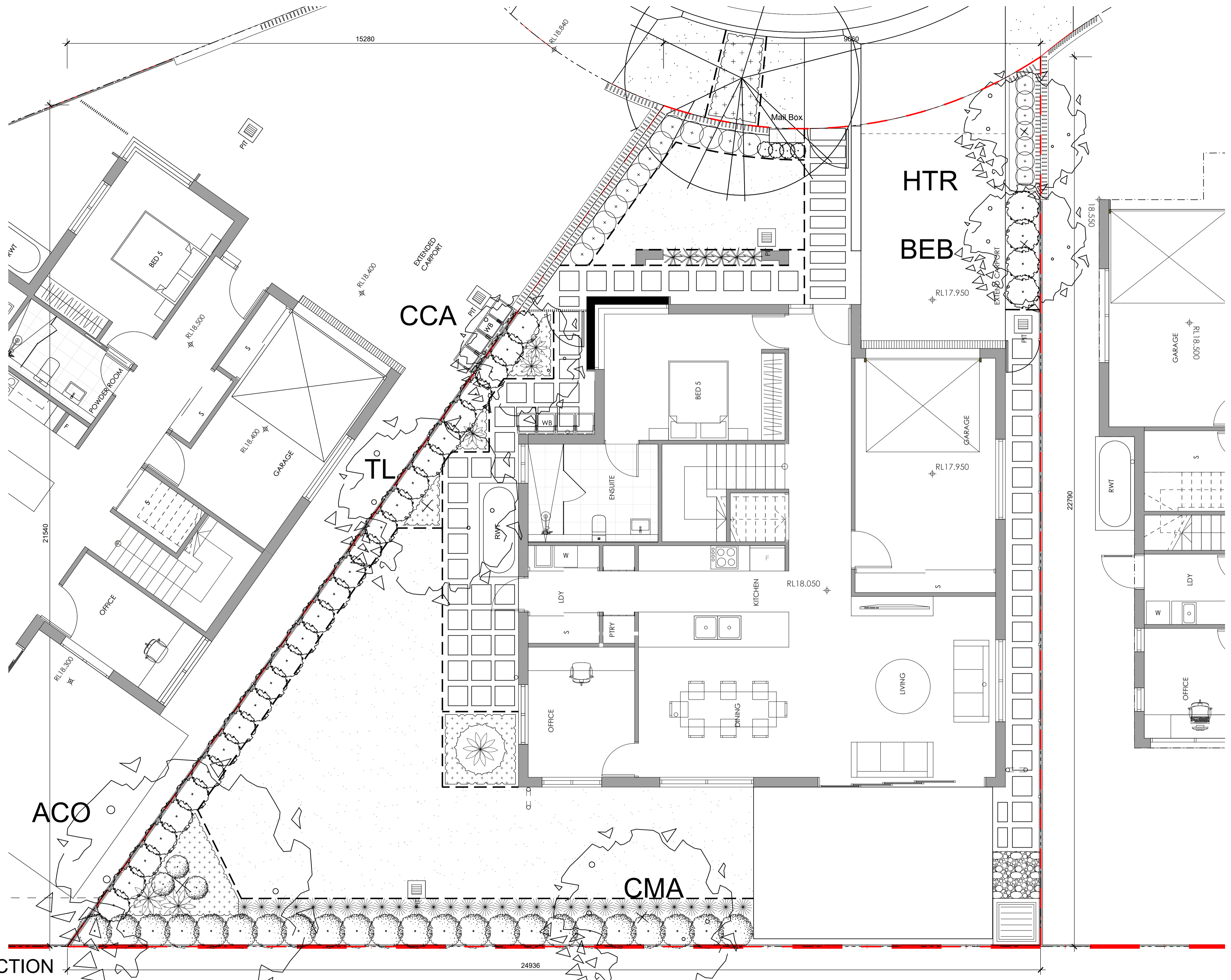
Project  
**Proposed Dwellings**  
**10 Fern Creek Road**  
**Warriewood**

Drawing Name  
**Landscape Hardscape Plan**  
**- Lot 18**

DEVELOPMENT APPLICATION

Scale 1:50 @ A1  
Job Number  
**SS21-4780**

0 0.5 1 1.5 2 2.5m  
Drawing Number  
**318** Issue  
**A**



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Legend

- Existing tree to be removed  
- Refer Arborist report
- Proposed street trees  
- By others
- Proposed trees
- Shrub and accent planting
- Groundcovers

Indicative plant schedule refer to drawing sheet 518

Key Plan

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Client  
**SKYCORP AUSTRALIA**  
  
Project  
**Proposed Dwellings**  
**10 Fern Creek Road**  
**Warriewood**

Drawing Name  
**Landscape Planting Plan**  
**- Lot 18**

DEVELOPMENT APPLICATION

Scale 1:50 @ A1  
Job Number  
**SS21-4780**

0 0.5 1 1.5 2 2.5m  
Drawing Number  
Issue

418 A

