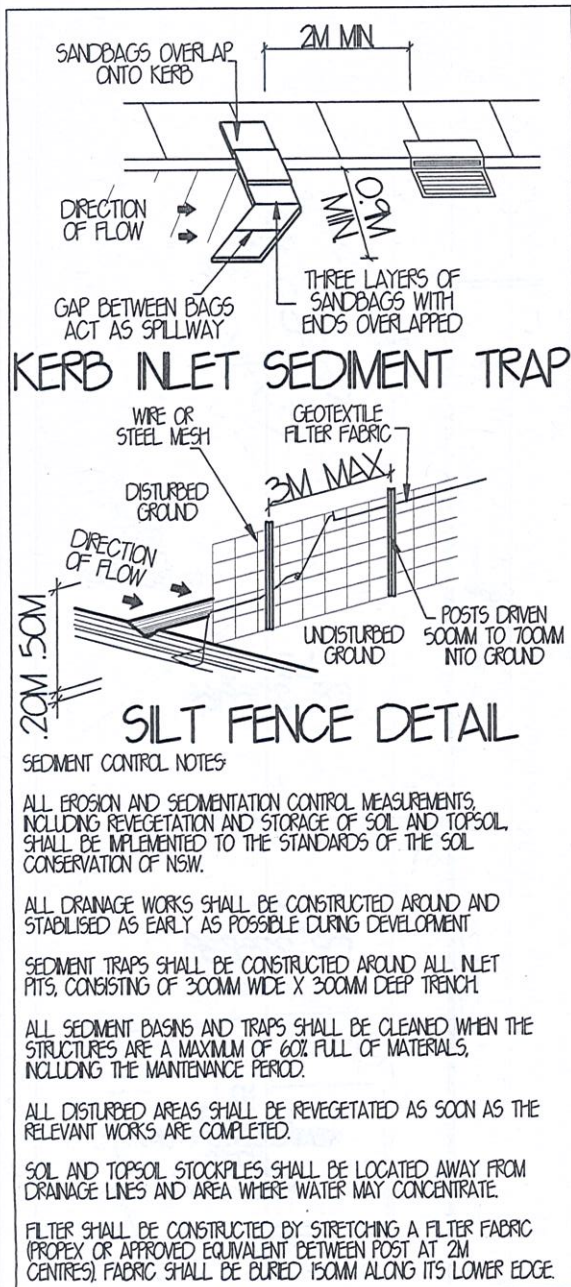




GENERAL NOTES:

- ✦ STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - ✦ SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
 - ✦ ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
 - ✦ FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
 - ✦ WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO GOLDEN RATIO DESIGN BEFORE PROCEEDING
 - ✦ THESE DRAWINGS ARE NOT FOR CONSTRUCTION PURPOSE IN ANY WAY
 - ✦ ANY ON SITE ERRORS GOLDEN RATIO DESIGNS IS NOT LIABLE
 - ✦ SITE CLASSIFICATION H1
 - ✦ CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL47-0 GARAGE TO RL47-0
 - ✦ HOUSE FLOOR LEVEL RL47-385 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL47-299 299MM ABOVE PLATFORM LEVEL
- TOTAL ROOF AREA = 233-6 M²

SITE DATA

SITE AREA = 696M²

SITE COVERAGE

PERMISSABLE = 278-2 M² OR 50%
PROVIDED = 175 M² OR 31-5%

FLOOR SPACE RATIO

PERMISSABLE = 278-2 M² OR 50%
PROVIDED = 276-2 M² OR 49-6%

LANDSCAPED AREA

REQUIRED = 185-5 M² OR 33%
PROVIDED = 274 M² OR 49-3%

PRIVATE OPEN SPACE

PERMISSABLE = 157-1 M² OR 50% (FLOOR AREA)
PROVIDED = 193-2 M²

FLOOR AREAS

GROUND FLOOR AREA = 61-7 M²
(EXCLUDING GARAGE)
PORCH FLOOR AREA = 2-4 M²

TOTAL FLOOR AREA = 171-4 M² OR 18-4 SQ5

ISSUE	DATE	REVISION	DRAWN
A	7/5/2019	DA PLANS	AG

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ARTARMON
PHONE: 0476 900 009

FOR PAUL RAVESTEYN

AT 6 WEARDON ROAD BELROSE

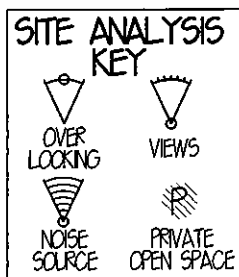
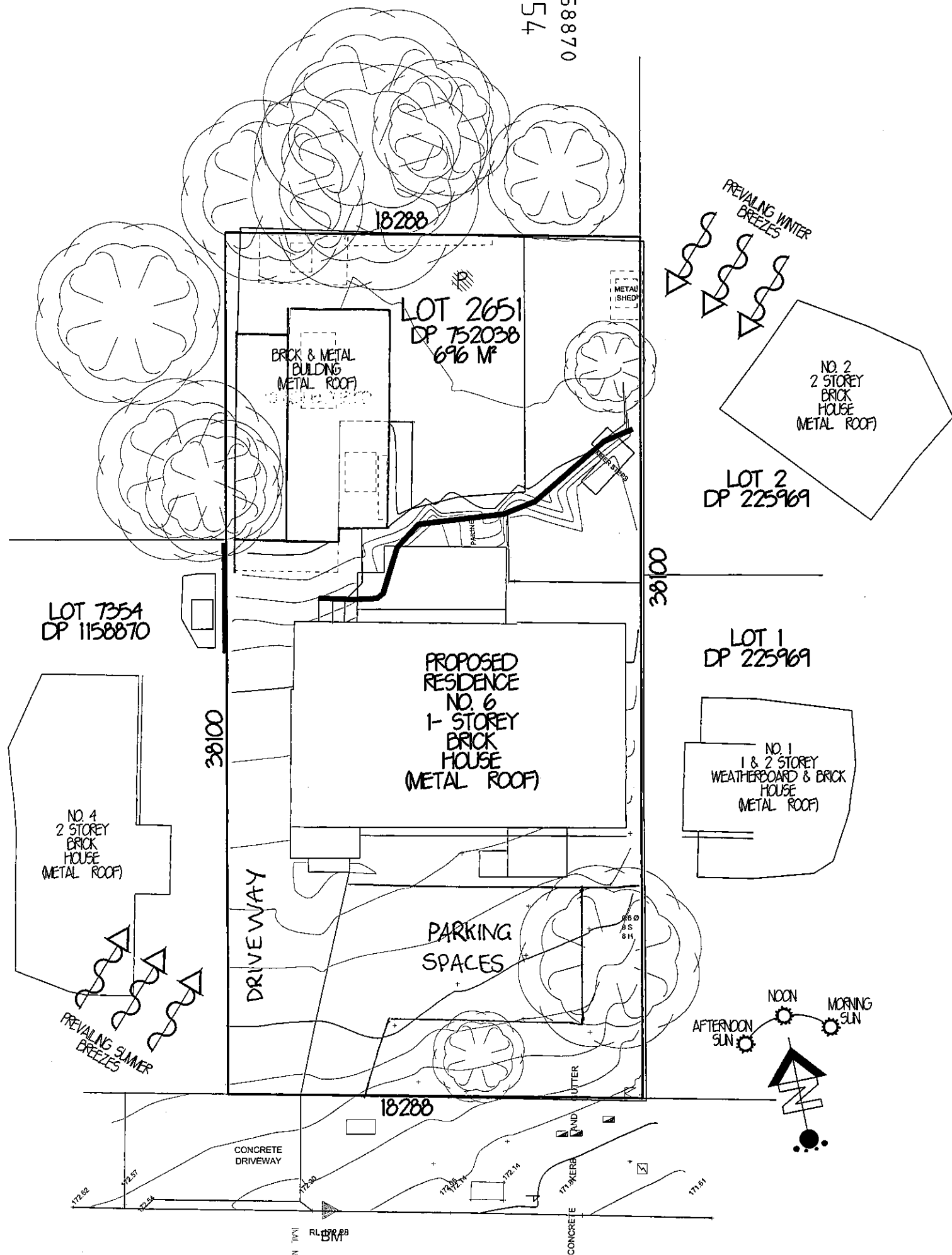
TYPE BUILDING
CERTIFICATE

DWG NO.
GRD48

CUSTOM

PAGE NO.
1 OF 10

DP 1158870
7354



WEARDON ROAD
SITE ANALYSIS & SITE PLAN 1:200

DRAINAGE PLAN

DENOTES LANDSCAPE AREA

- DENOTES EXISTING TREES TO BE REMOVED
- DENOTES RETAINING WALL BY OWNER
- DENOTES SILT FENCE BARRIER
- DENOTES DROPPED EDGE BEAM
- DENOTES LINE OF BATTER TO CUT OR FILL

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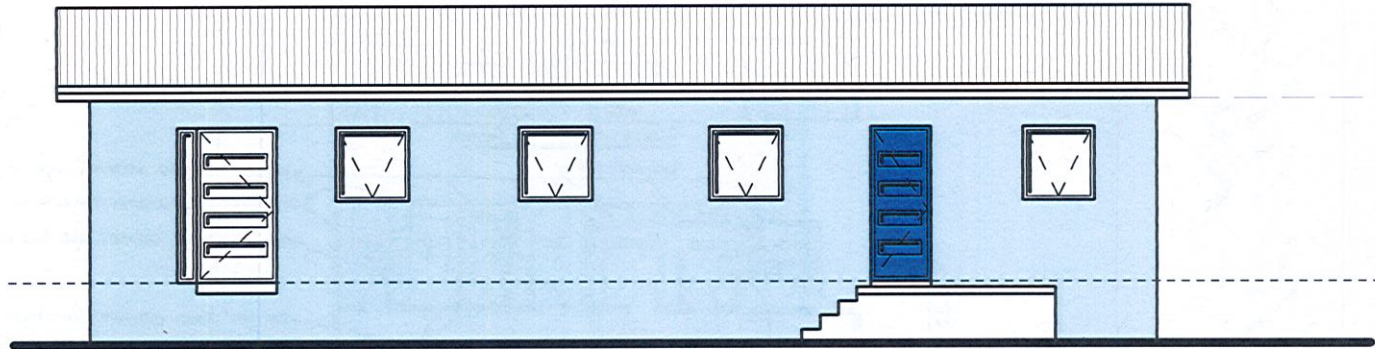
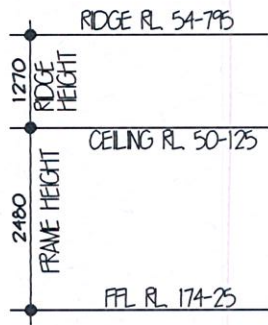
AT 6 WEARDON ROAD BELROSE

TYPE BUILDING CERTIFICATE

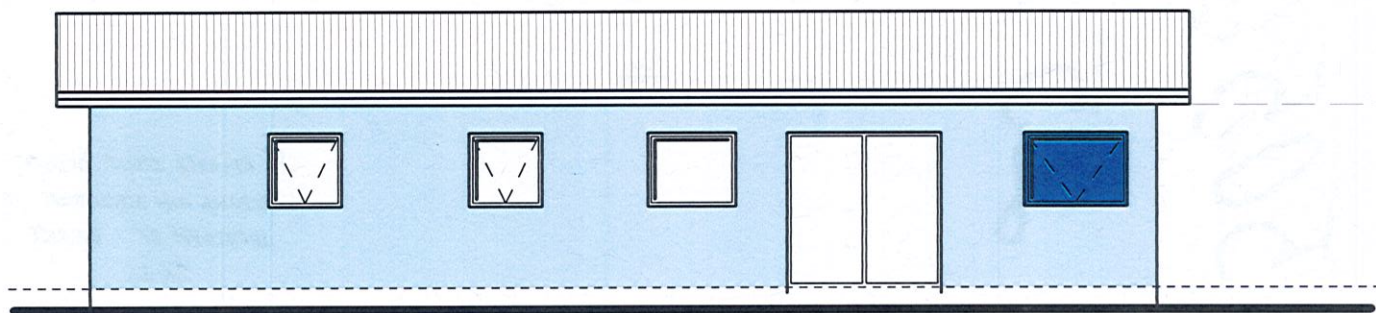
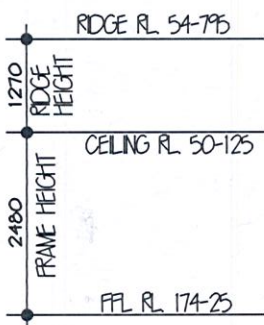
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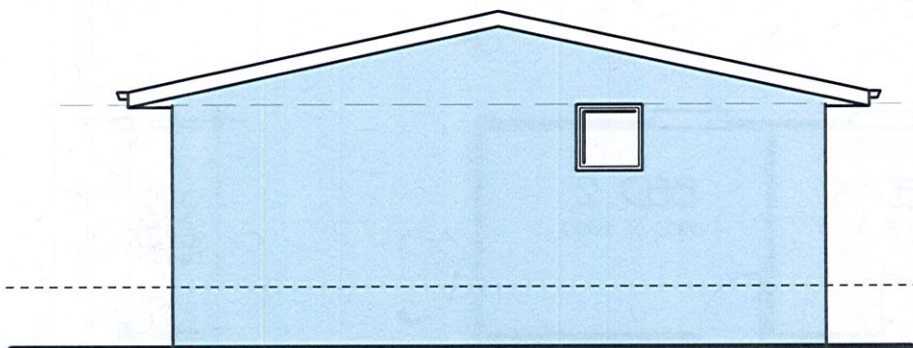
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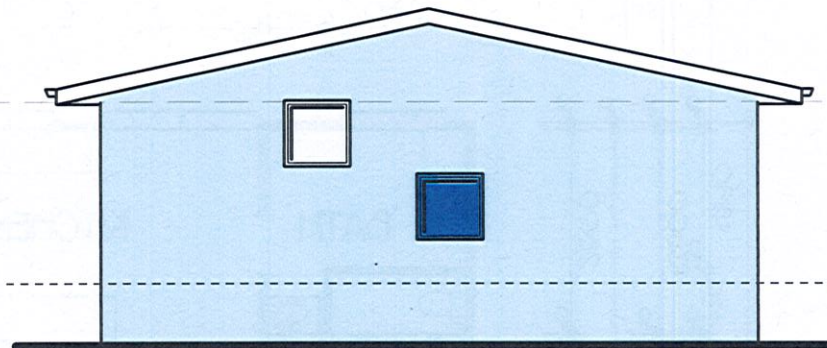
SOUTH ELEVATION 1:100



SOUTH ELEVATION 1:100



WEST ELEVATION 1:100



EAST ELEVATION 1:100

■ DENOTES PROPOSED WINDOW/DOORS
See BC 2019/0137

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AT 6 WEARDON ROAD BELROSE

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