

01 SITE PLAN
SCALE 1 : 200 @ A3

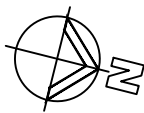
NOTES:
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| Amendments: | | |
|-------------|---------|--------------------------|
| DATE | REV. NO | REVISION |
| 18.08.21 | A | Development application. |

174 Hudson Parade,
Clareville NSW 2107



| Site Plan. | | Project number | |
|------------|----------|--------------------|----------|
| | | 1200 | |
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| | | DA00 | A |
| Drawn by | EC | Scale 1 : 200 @ A3 | |

LEGEND

NEW METAL ROOF

NEW GLAZING

NEW TIMBER AND TIMBER CLADDING

NEW TILED BALCONY

NEW WALL

EXISTING WALL

DEMOLISHED

FSR CALCULATIONS

SITE AREA

= 664.2 sq.m

EXISTING FLOOR AREA = 236.88 sq.m

PROPOSED FLOOR AREA = 256.28 sq.m

EXISTING F.S.R. = 0.36:1

PROPOSED F.S.R. = 0.39:1

BASIX COMMITMENTS

CERTIFICATE NUMBER: 426706

1. A minimum of 40% of new light fittings are to be fitted with LED lamps.

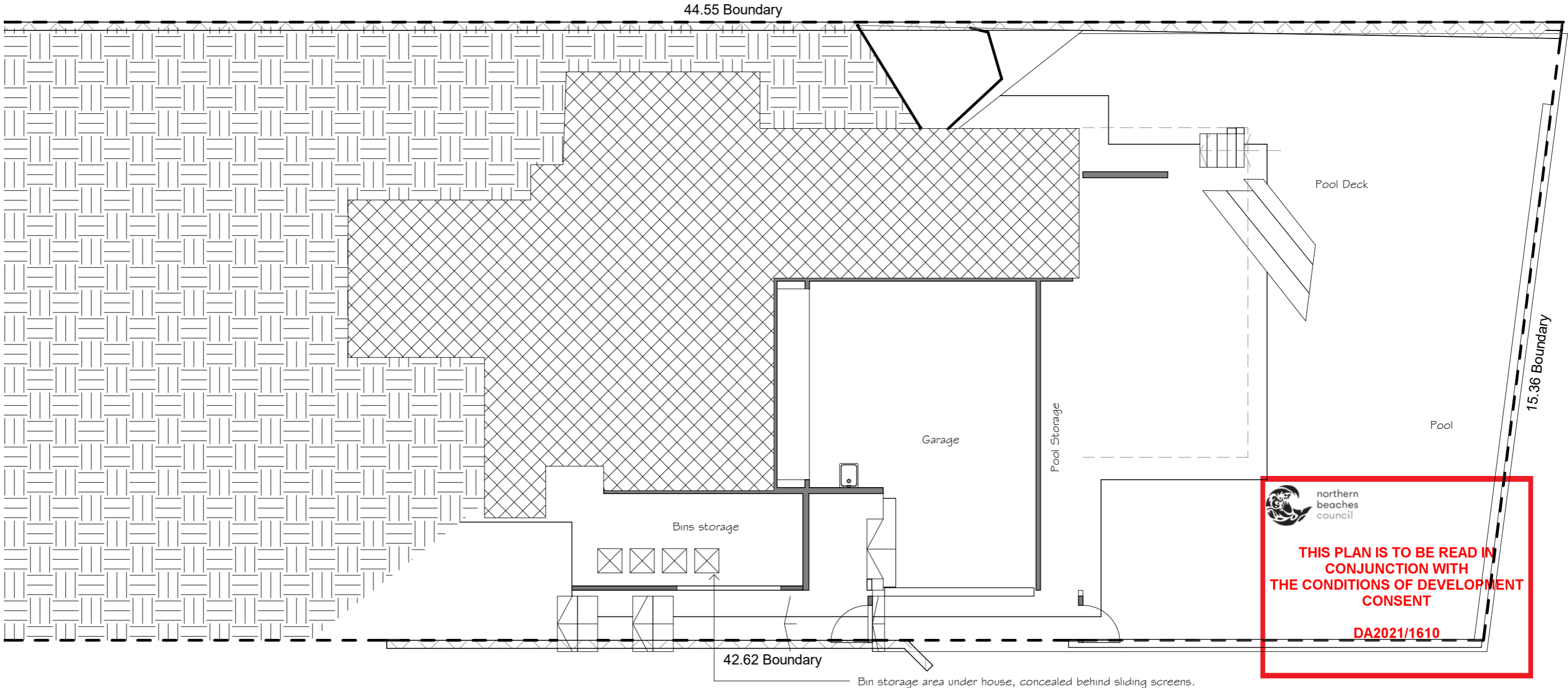
2. Construction must meet the following insulation requirements:

(a) Floor above existing dwelling - nil.

(b) External walls: framed - R1.30 (or R1.70 including construction).

(c) Raked ceiling: pitched room - R1.00 with 55mm foil backed blanket. Light solar absorptance <0.475.

3. All windows, glazed doors, skylights & shading devices to be in with specifications listed in tables on pages 4-6 of certificate.



1

Lower Ground Floor

1 : 100

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| Lower Ground Floor | | Project number 1200 | |
|--------------------|----------|------------------------|----------|
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| Drawn by EC | | DA01 | A |
| Scale 1:100 @A3 | | | |

LEGEND

| | | | | | | | |
|---|----------------|---|--------------------------------|---|---------------|--|------------|
|  | NEW METAL ROOF |  | NEW TIMBER AND TIMBER CLADDING |  | NEW WALL |  | DEMOLISHED |
|  | NEW GLAZING |  | NEW TILED BALCONY |  | EXISTING WALL | | |

FSR CALCULATIONS

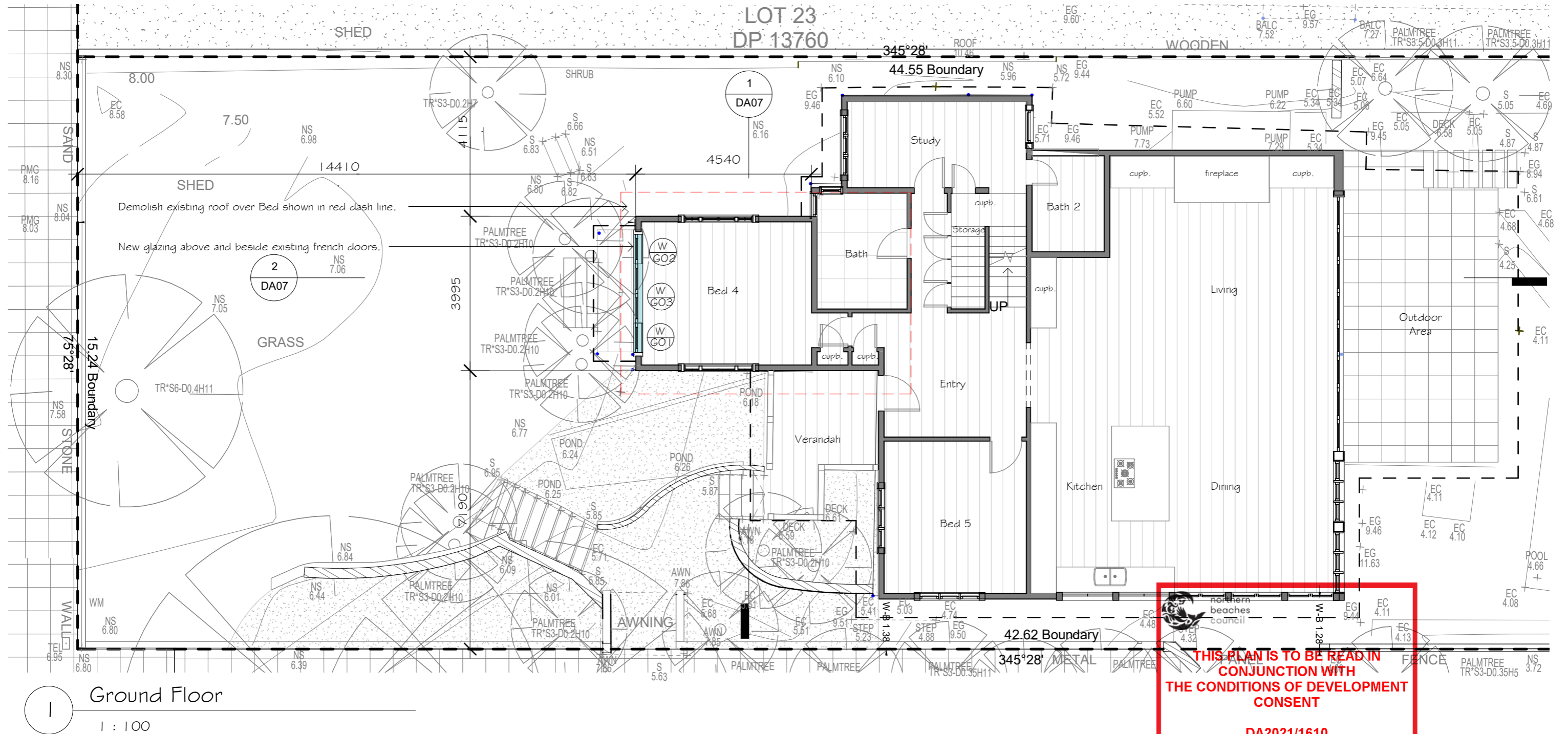
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 PROPOSED F.S.R. = 0.39:1

BASIX COMMITMENTS

CERTIFICATE NUMBER: 426706

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174 Hudson Parade,
 Clareville NSW 2107







Ground Floor Plan

Project number
1200

| | | | |
|-------|------------|--------------|----------|
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| DA02 | A | | |
| Scale | 1:100 @ A3 | | |

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2021/1610

LEGEND

| | | | | | | | |
|---|----------------|---|--------------------------------|---|---------------|---|------------|
|  | NEW METAL ROOF |  | NEW TIMBER AND TIMBER CLADDING |  | NEW WALL |  | DEMOLISHED |
|  | NEW GLAZING |  | NEW TILED BALCONY |  | EXISTING WALL | | |

FSR CALCULATIONS

SITE AREA = 664.2 sq.m

EXISTING FLOOR AREA = 236.88 sq.m

PROPOSED FLOOR AREA = 256.28 sq.m

EXISTING F.S.R. = 0.36:1

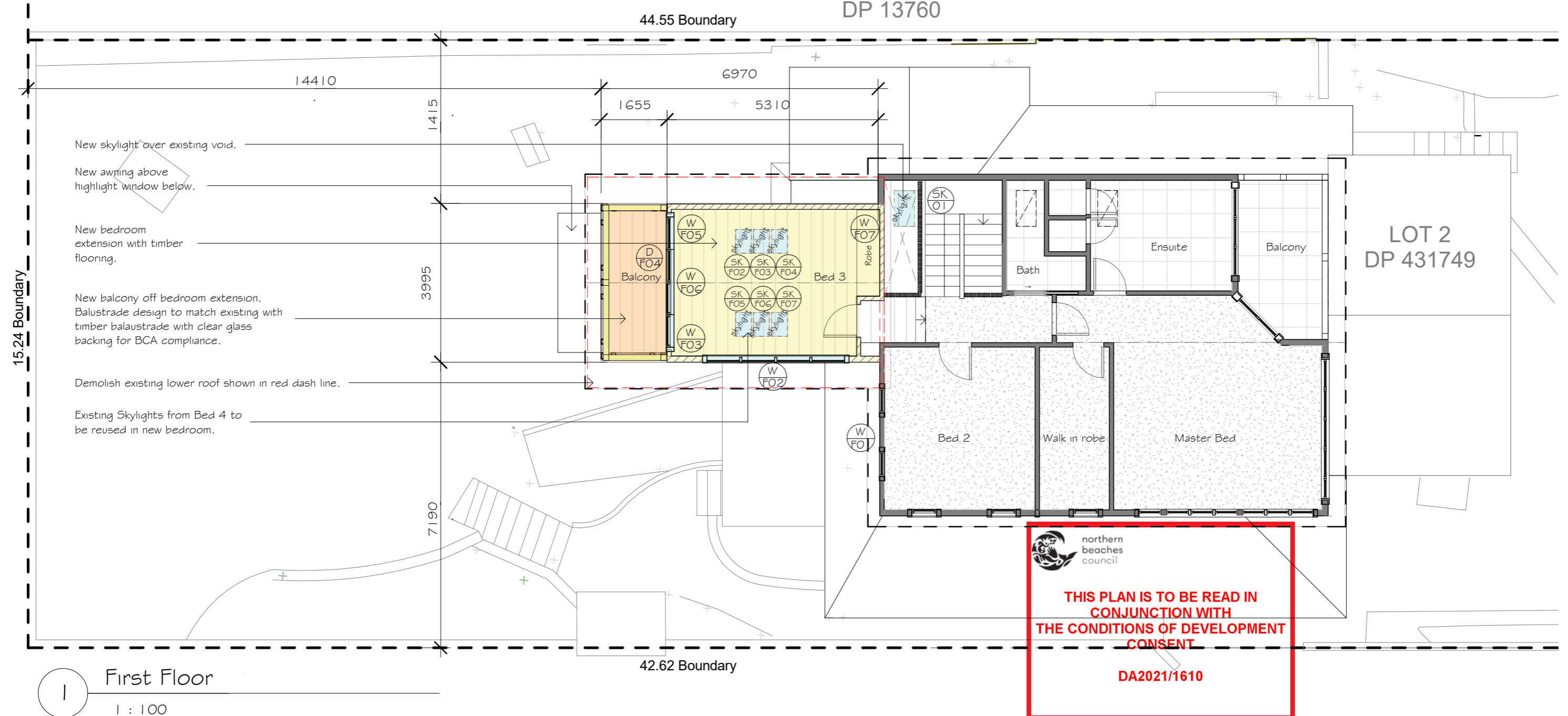
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BASIX COMMITMENTS

CERTIFICATE NUMBER: 426706

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LOT 23 DP 13760



First Floor

1 : 100

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174 Hudson Parade,
Clareville NSW 2107



First Floor

Project number

1200

Date: 18.08.21

Drawing. No.

Rev. No.

Drawn by EC

DA03

A

Scale 1:100 @ A3

LEGEND

NEW METAL ROOF

NEW GLAZING

NEW TIMBER AND TIMBER CLADDING

NEW TILED BALCONY

NEW WALL

EXISTING WALL

DEMOLISHED

FSR CALCULATIONS

SITE AREA

= 664.2 sq.m

EXISTING FLOOR AREA = 236.88 sq.m

PROPOSED FLOOR AREA = 256.28 sq.m

EXISTING F.S.R. = 0.36:1

PROPOSED F.S.R. = 0.39:1

BASIX COMMITMENTS

CERTIFICATE NUMBER: 426706

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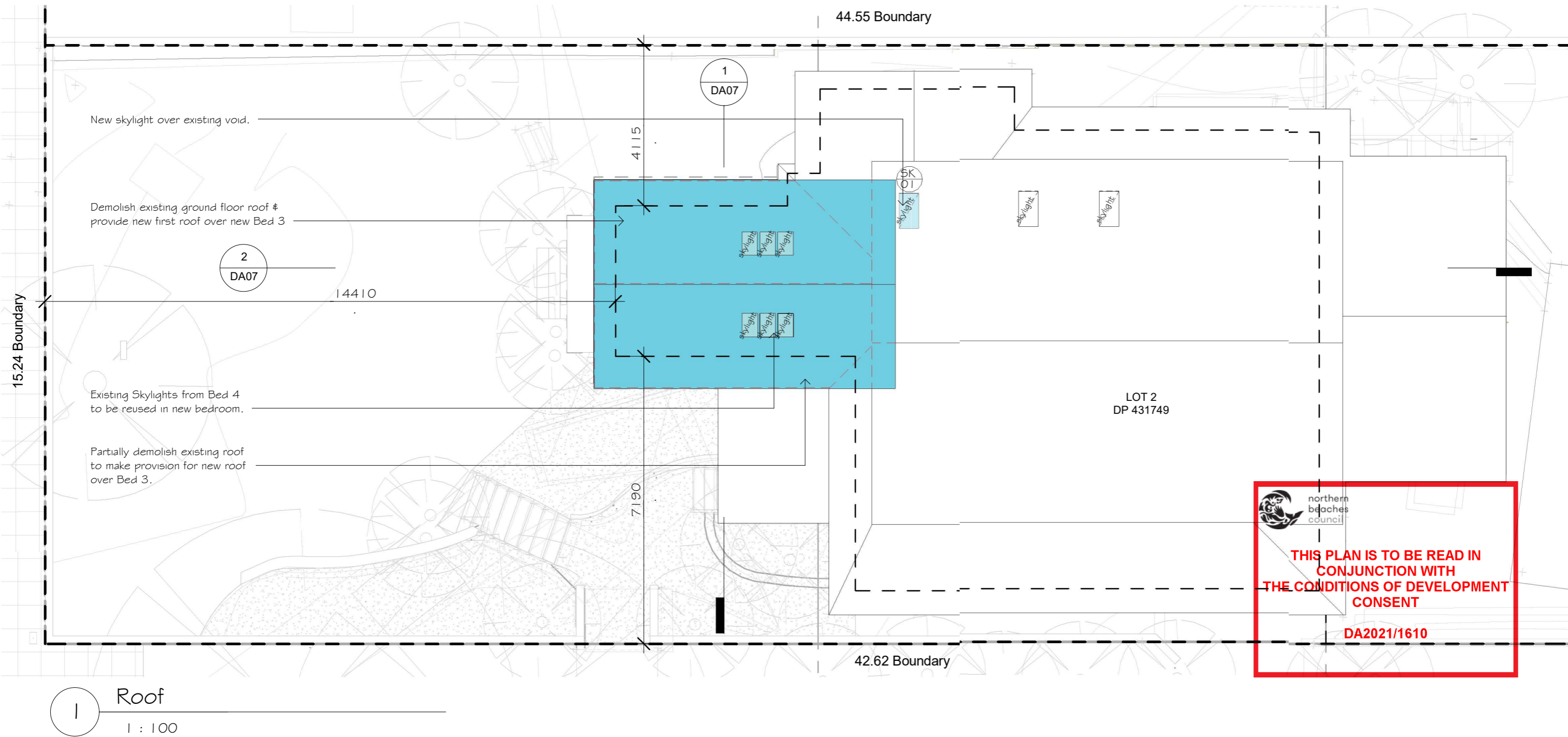
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





174 Hudson Parade,
Clareville NSW 2107

Roof Plan

Project number
1200

| | | | |
|------------------|----------|--------------|----------|
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| Drawn by | EC | DA04 | A |
| Scale 1:100 @ A3 | | | |

LEGEND

| | |
|---|--|
|  NEW METAL ROOF |  NEW TIMBER AND TIMBER CLADDING |
|  NEW GLAZING |  NEW TILED BALCONY |
|  EXISTING WALL |  NEW WALL |
|  DEMOLISHED | |



**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2021/1610

North Elevation

1 : 100

RL 6.65 GROUND FLOOR

RL 5.85 N.G.

RL 5.23 STEP

RL 4.88 STEP

RL 4.32 STEP

RL 4.13 Garage level

8.5m HEIGHT LINE

New roof beyond.
Roof material & pitch to
match existing roof.

New highlight window
above existing roof.

RL 13.81 NEW RIDGE

RL 13.25 EXIST RIDGE

RL 10.17 NEW FFL

RL 9.80 FIRST FLOOR

RL 6.65 GROUND FLOOR

RL 6.10 N.G.

RL 5.72 STEP

RL 5.34 STEP

RL 5.07 STEP

RL 4.70 Pool Deck

RL 4.11 Lower ground floor

New wall cladding & windows to bedroom
extension. Cladding & window materials to
match existing dwelling.

New roof over bedroom
extension below.
Roof material & pitch to
match existing roof.

New balcony off bedroom
extension. Balustrade
design to match existing with
timber balustrade
with clear glass backing for
BCA compliance.

New awning above new highlight
window.

RL 7.05 T.K.
RL 6.80 N.G.

RL 6.77 N.G.

RL 6.80 N.G.

RL 5.85 N.G.

RL 13.81 NEW RIDGE

RL 13.25 EXIST RIDGE

RL 10.17 NEW FFL

RL 9.80 FIRST FLOOR

RL 6.65 GROUND FLOOR

Existing Garage.

RL 4.64 POOL TERRACE

RL 4.13 GARAGE FLOOR

Bin storage area concealed behind sliding screens.

East Elevation

1 : 100

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

| DATE | REV. NO | REVISION |
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| 18.08.21 | A | Development application |

174 Hudson Parade,
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Elevation North & East Project number
1200

| | | | |
|------------------|----------|--------------|----------|
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| Drawn by | EC | DA05 | A |
| Scale 1:100 @ A3 | | | |

LEGEND

| | | | |
|--|----------------|---|--------------------------------|
|  | NEW METAL ROOF |  | NEW TIMBER AND TIMBER CLADDING |
|  | NEW GLAZING |  | NEW TILED BALCONY |
|  | EXISTING WALL |  | NEW WALL |
|  | DEMOLISHED | | |



**THIS PLAN IS TO BE READ IN
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CONSENT**

DA2021/1610

New roof over bedroom extension below.
Roof material & pitch to match existing roof.

New french doors with
highlights window above.

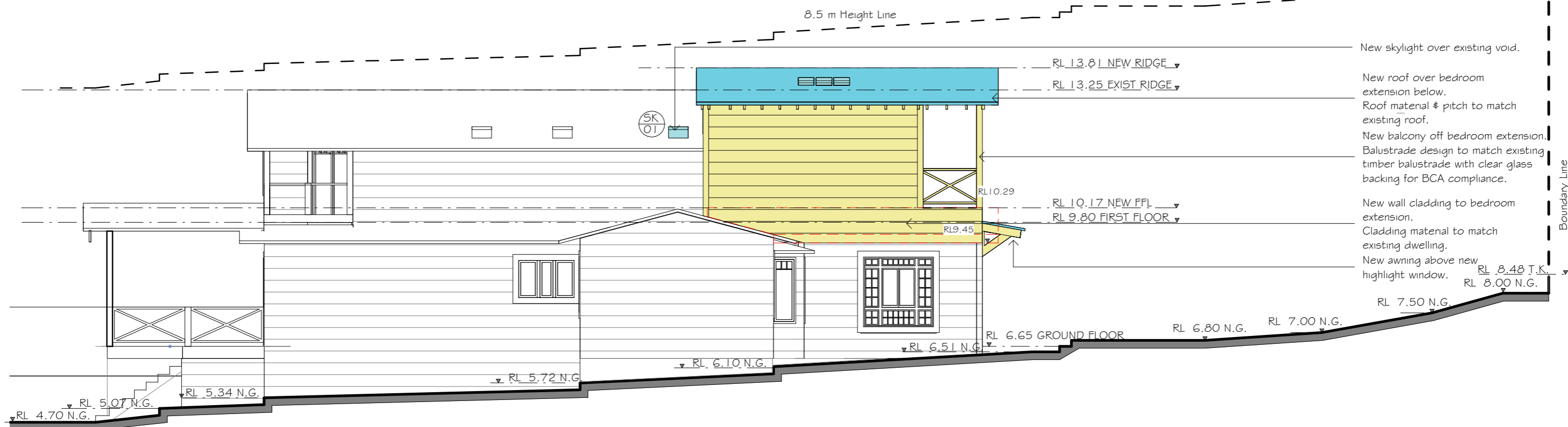
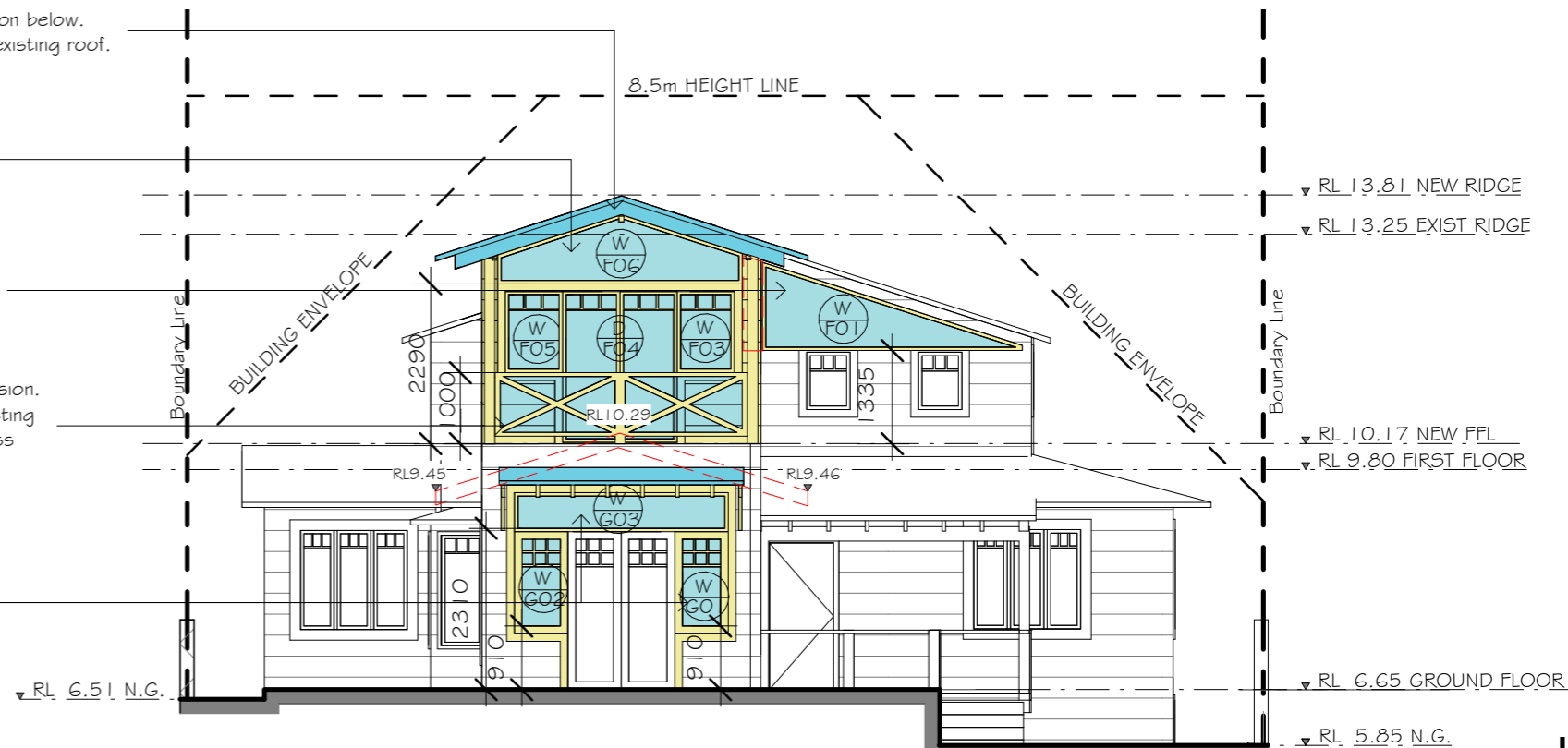
Reduce size of existing window
to accomodate new bedroom
extension.

New balcony off bedroom extension.
Balustrade design to match existing
timber balustrade with clear glass
backing for BCA compliance.

New highlight & casement
windows with new awning
above.

South Elevation

1 : 100



West Elevation

1 : 100

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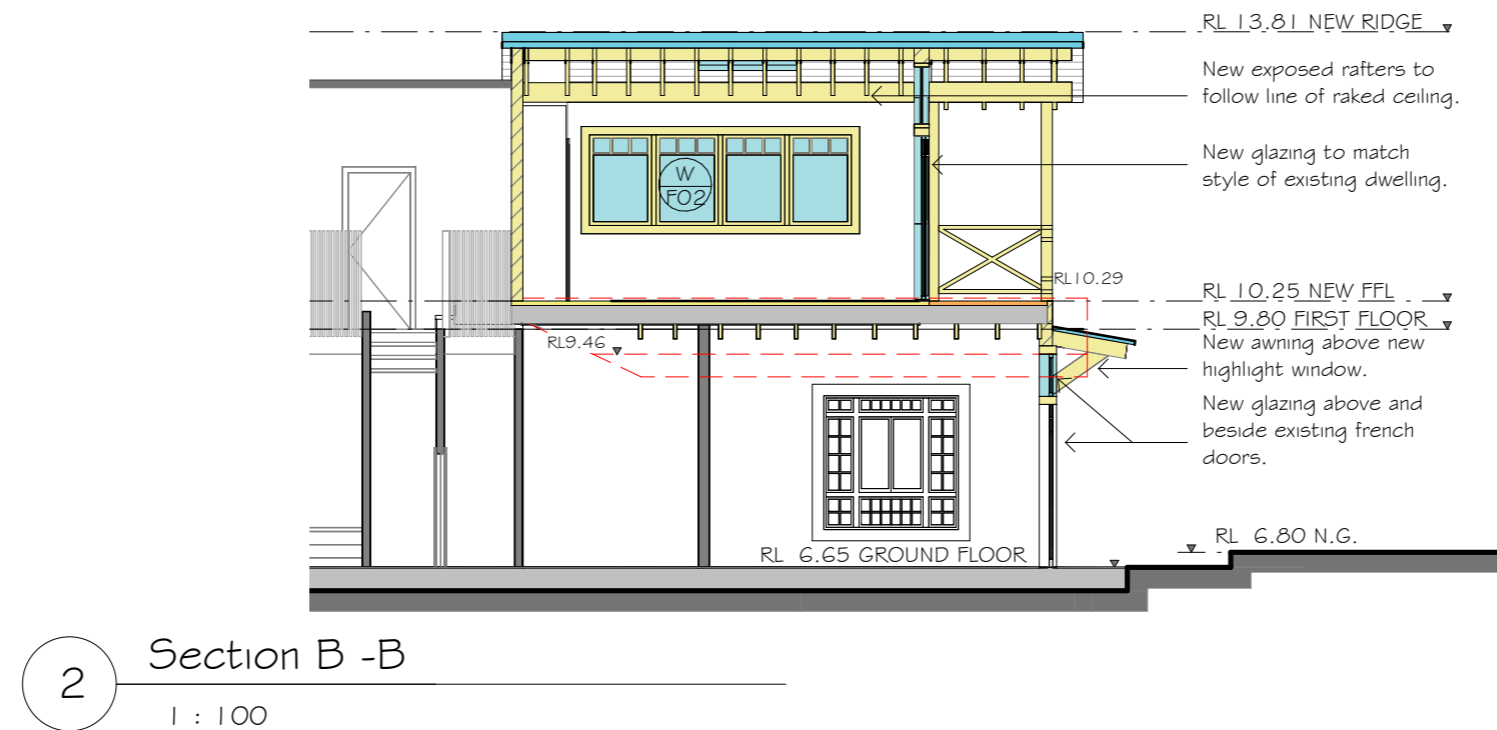
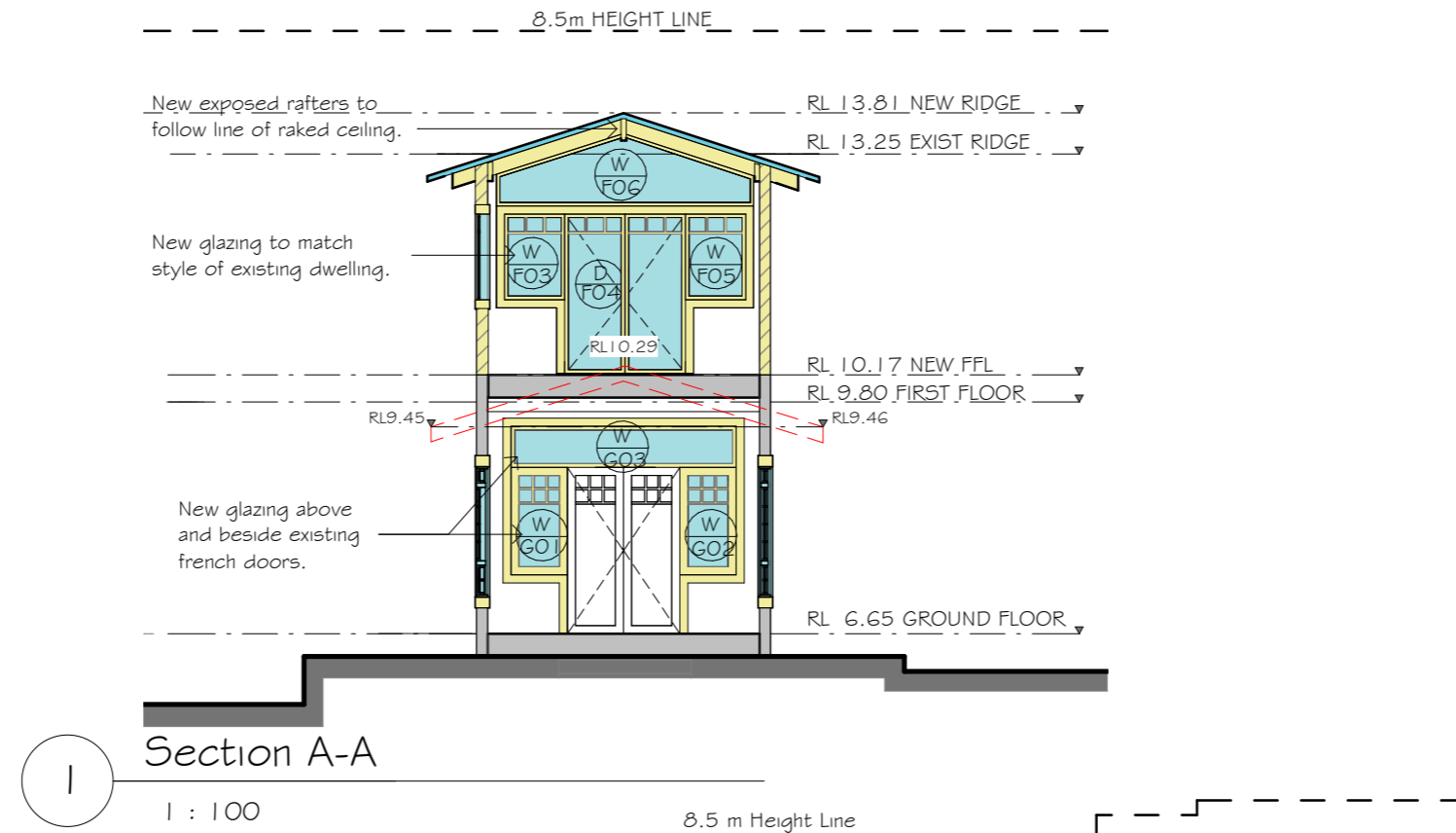
Elevation South &
West

Project number
1200

| | | | |
|------------------|----------|--------------|----------|
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| Drawn by | EC | DA06 | A |
| Scale 1:100 @ A3 | | | |

LEGEND

| | | | |
|---|----------------|---|--------------------------------|
|  | NEW METAL ROOF |  | NEW TIMBER AND TIMBER CLADDING |
|  | NEW GLAZING |  | NEW TILED BALCONY |
|  | EXISTING WALL |  | NEW WALL |
|  | DEMOLISHED | | |



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DA2021/1610

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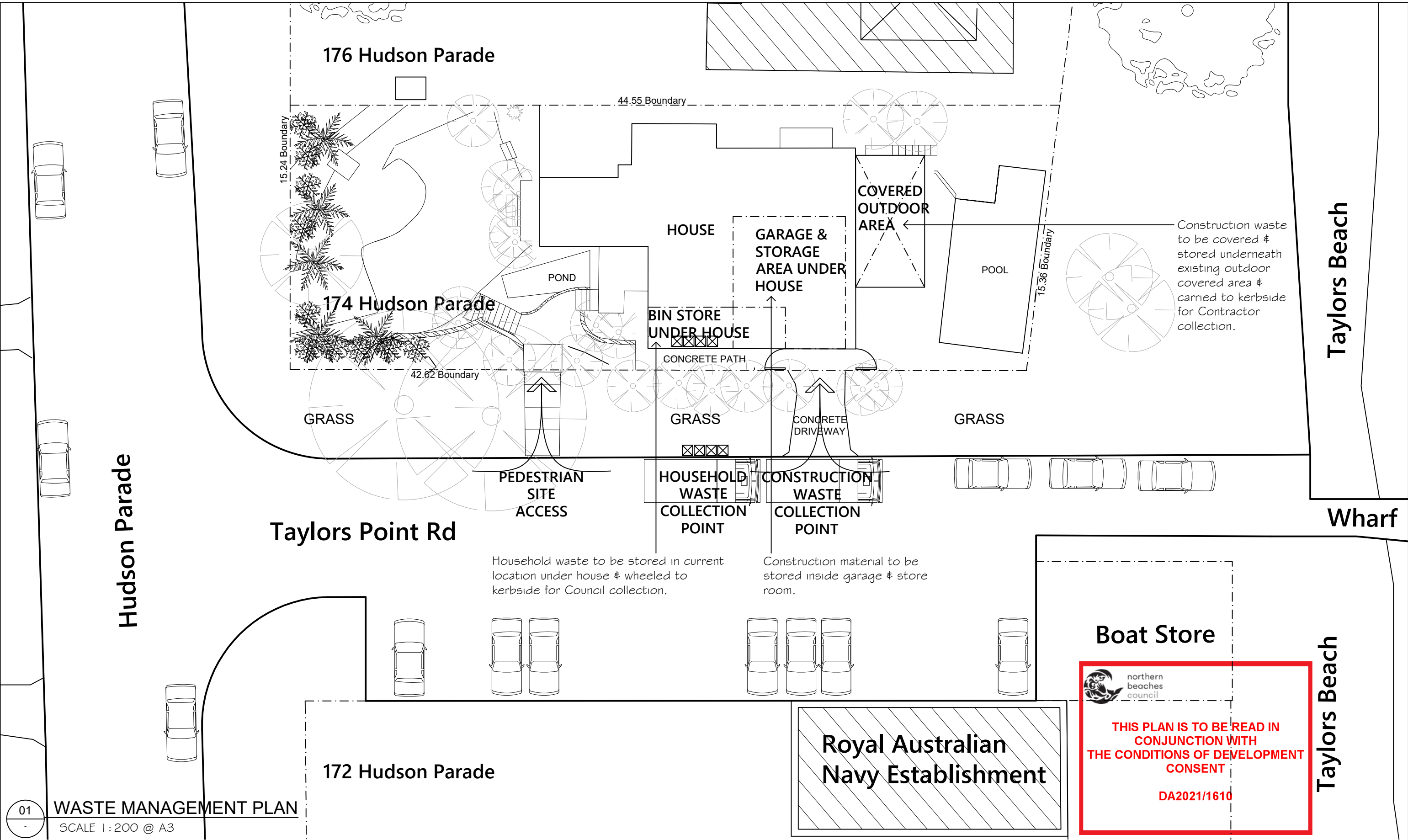
| DATE | REV. NO | REVISION |
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| 18.08.21 | A | Development application |

174 Hudson Parade,
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Section A & B

Project number
1200

| | | | |
|------------------|----------|--------------|----------|
| Date: | 18.08.21 | Drawing. No. | Rev. No. |
| Drawn by | E.C. | DA07 | A |
| Scale 1:100 @ A3 | | | |



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174 Hudson Parade,
Clareville NSW 2107

| Waste Management Plan | | Project number 1200 | |
|-----------------------|--------------------|---------------------|--|
| Date: 18.08.21 | Drawing. No. DA20 | Rev. No. A | |
| Drawn by EC | Scale 1 : 200 @ A3 | | |