

DA

for alterations and additions to existing building at:
14 SHERWOOD CRESCENT, NARRAWEENA, NSW, 2099

PROJECT INFORMATION:

Client: Hannah
Address: 14 SHERWOOD CRESCENT, NARRAWEENA, NSW, 2099

DP No. LOT 18 / - / DP 30588
 SITE AREA: 650.3m²
 GFA:
 LAND ZONING: R2 - Low Density Residential
 MIN. LOT SIZE: 600m²
 ACID SULFATE SOILS: N/A
 HEIGHT OF BUILDING: 8.5m
 LANDSLIP RISK: Area B - Flanking Slopes from 5 to 25 degrees
 SETBACKS: Side-0.9m, Rear- 3.0m
 BUSHFIRE PRONE LAND: Bush Fire Prone Land: Buffer-100m & 30m
 FLOOD HAZARD: No
 LANDSCAPED OPEN SPACE: Min 40%

PROJECT DESCRIPTION:

Proposed alterations and additions to an existing Residential building located
14 Sherwood Crescent, Narraweena, NSW, 2099
 The subject site is identified as being located within the Northern Beaches Council Area.

The extent of the proposed works includes:

- ground modifications.
- rear entertaining deck.
- rear landscaping

The extent of the proposed works are illustrated on the Architectural Plans prepared by **Hot House Architects**

00. SHEET LIST

COVER SHEET	DA 001
EXTERNAL FINISHES	DA 002
SITE PLAN	DA 010
CONSTRUCTION, SEDIMENT CONTROL AND WASTE MANAGEMENT PLAN	DA 011
EXISTING GROUND FLOOR	DA 099
GROUND FLOOR	DA 100
ROOF PLAN	DA 110
ELEVATIONS	DA 200
ELEVATIONS	DA 201
SECTIONS	DA 300
SHADOW DIAGRAMS - JUNE 21ST	DA 500
AREA CALCULATION, LANDSCAPE & COMPLIANCE	DA 600

CONSULTANTS: Architect:
HOT HOUSE STUDIO ARCHITECTS
 PO Box 26, Newport NSW 2106
 0433 775 490 - (02) 9999 0668
 info@hthousestudio.com
 www.hthousestudio.com



location plan
14 SHERWOOD CRESCENT, NARRAWEENA, NSW, 2099

source: Google Maps

01. Window Schedule

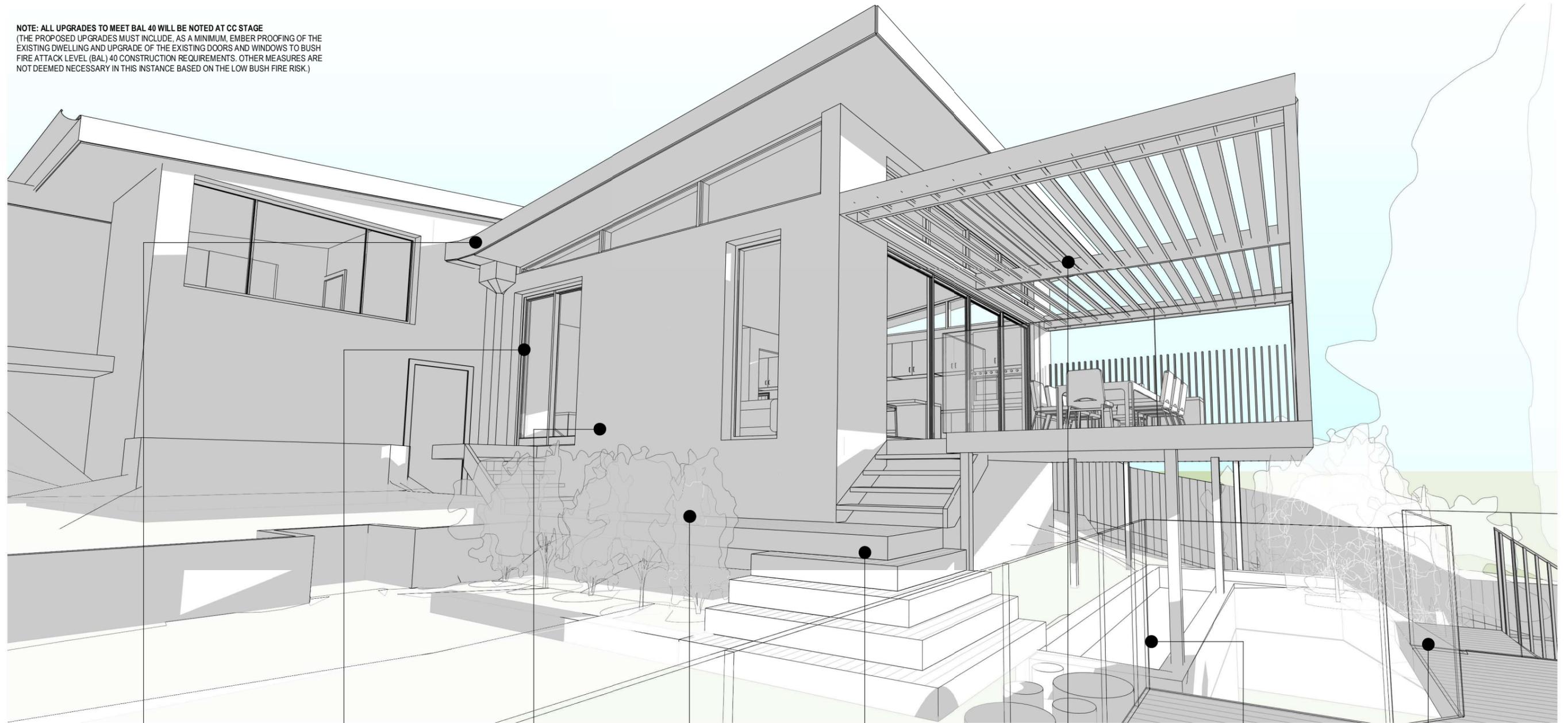
Mark	Location	Height	Width	Area	Sill Height	Material	Glazing	Comments
W001	Bathroom	1464	950	1.4 m ²	905			
W002	Pantry	700	1500	1.1 m ²	980			
W003	Kitchen	700	6460	4.5 m ²				
W004	Kitchen/Lounge	800	5400	4.3 m ²	2800			
W005	Lounge	700	6460	4.5 m ²				
W006	Lounge	2500	900	2.3 m ²	0			

02. Door Schedule

Mark	Location	Height	Width	Area	Sill Height	Frame Material	Finish	Comments
D001	Kitchen/Lounge	2500	5350	13.4 m ²	0			
D002	Lounge	2500	1800	4.5 m ²	0			

PRINT DATE: 12/12/2024 4:23:51 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	COVER SHEET		
<small>NOTES:</small> Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards. This drawing is copyright and remains the property of Hot House Architects <small>HOT HOUSE PROJECTS PTY LTD TRADING AS HOT HOUSE ARCHITECTS</small>					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 001	
					ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	DATE 12 December 2024		
LOT: 18	DRAWN BY: JG	SCALE: 1 : 25						
DP: 30588	CHECKED BY: WC							

NOTE: ALL UPGRADES TO MEET BAL 40 WILL BE NOTED AT CC STAGE
 (THE PROPOSED UPGRADES MUST INCLUDE, AS A MINIMUM, EMBER PROOFING OF THE EXISTING DWELLING AND UPGRADE OF THE EXISTING DOORS AND WINDOWS TO BUSH FIRE ATTACK LEVEL (BAL) 40 CONSTRUCTION REQUIREMENTS. OTHER MEASURES ARE NOT DEEMED NECESSARY IN THIS INSTANCE BASED ON THE LOW BUSH FIRE RISK.)



COLORBOND CUSTOMORB ROOF - DEEP OCEAN TO MATCH EXISTING

WHITE ALUMINIUM WINDOWS AND DOORS TO MATCH EXISTING

BRICK WALL WITH RENDERED CONCRETE TO MATCH EXISTING

HARDWOOD DECK

HARDWOOD STAIRS

OPERALE LOUVRE PERGOLA

CAST CONCRETE STAIRS

SS SPIGOT GLASS BALUSTRADE



ENSURE ALL NEW ROOFING MATERIALS, SYSTEMS OR ACCESSORIES SHALL BE NON-COMBUSTIBLE, AND SEALED IN ACCORDANCE WITH AS3959:2018 CLAUSE 3.6



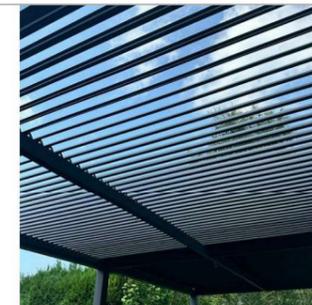
ENSURE WINDOWS AND DOOR SYSTEM TESTED TO CONFORM WITH AS1530.8.1



ENSURE ALL NEW WALLS SHALL BE NON-COMBUSTIBLE (INCLUDING BRICK, CONCRETE, RAMMED EARTH AND MUD BRICK, ETC. AT MIN. THICKNESS OF 90MM), OR CLADDING ON SARKED WALLS THAT IS NON-COMBUSTIBLE, OR MIN 9MM THICK CEMENT SHEET, OR STEEL, OR A SYSTEM CONFORMING WITH AS1530.8.1.



ENSURE ALL NEW DECKING BOARDS, STAIR TREADS, LANDINGS AND RAMPS SHALL BE NON-COMBUSTIBLE, OR CEMENT SHEET, OR A SYSTEM CONFORMING TO AS1530.8.1.
 ENSURE ALL DECK SUPPORTS AND FRAMING SHALL BE (A) NON-COMBUSTIBLE, OR (B) A SYSTEM CONFORMING TO AS1530.8.1.



ENSURE ALL NEW ROOFING MATERIALS, SYSTEMS OR ACCESSORIES SHALL BE NON-COMBUSTIBLE, AND SEALED IN ACCORDANCE WITH AS3959:2018 CLAUSE 3.6



ENSURE ALL NEW DECK SUPPORTS AND FRAMING SHALL BE NON-COMBUSTIBLE, OR A SYSTEM CONFORMING TO AS1530.8.1.

PRINT DATE: 12/12/2024 4:23:52 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	EXTERNAL FINISHES		
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 002	
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HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS						LOT: 18	DRAWN BY: JG	
						DP: 30588	CHECKED BY: WC	SCALE:



1. VIEW FROM STREET



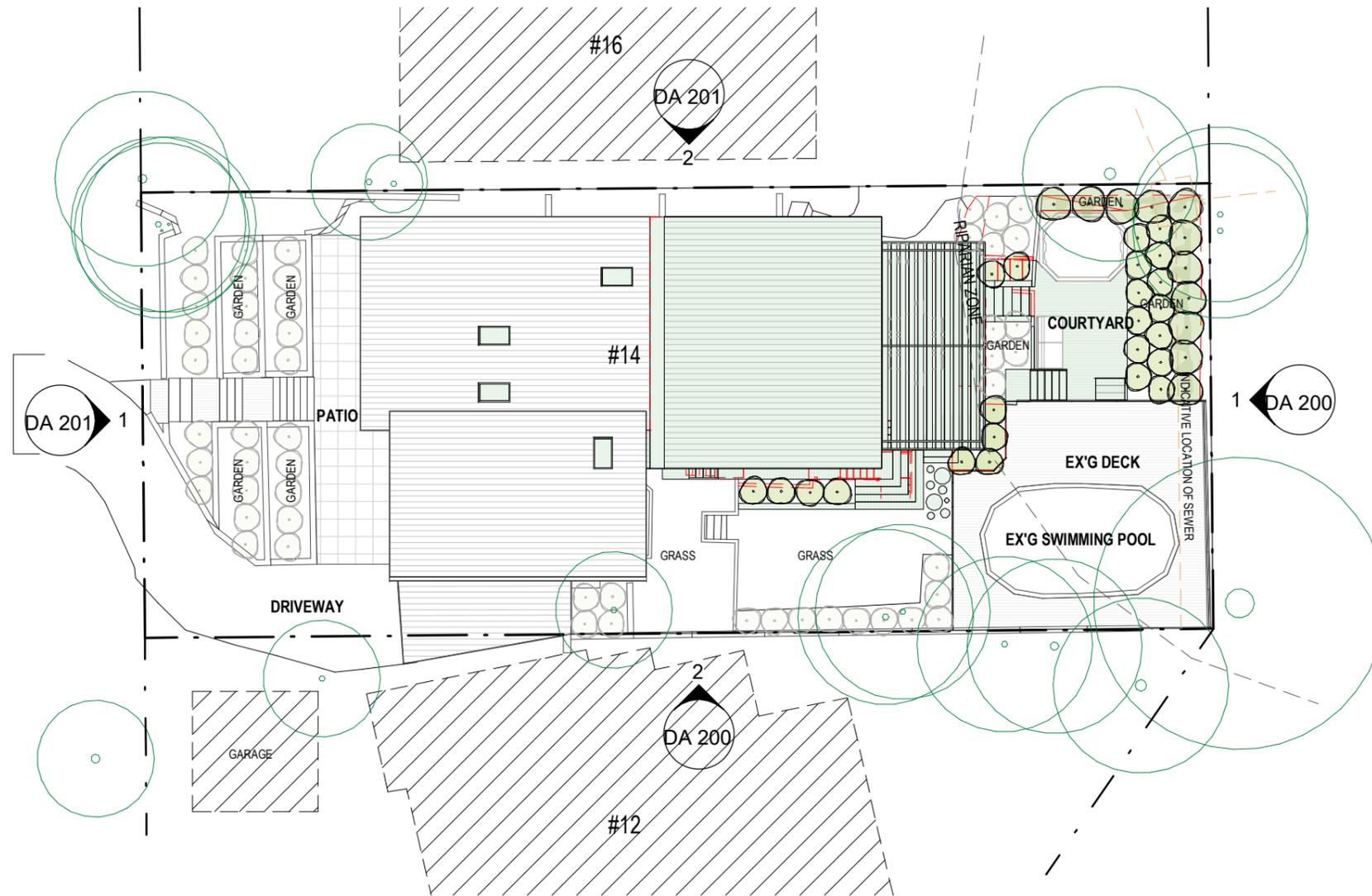
2. FRONT OF EXISTING DWELLING



3. VIEW FROM REAR YARD

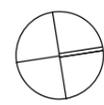


3. VIEW OF PROPOSED AREA



1 Site Plan
1 : 200

FOR DEVELOPMENT APPLICATION ONLY



LEGEND:

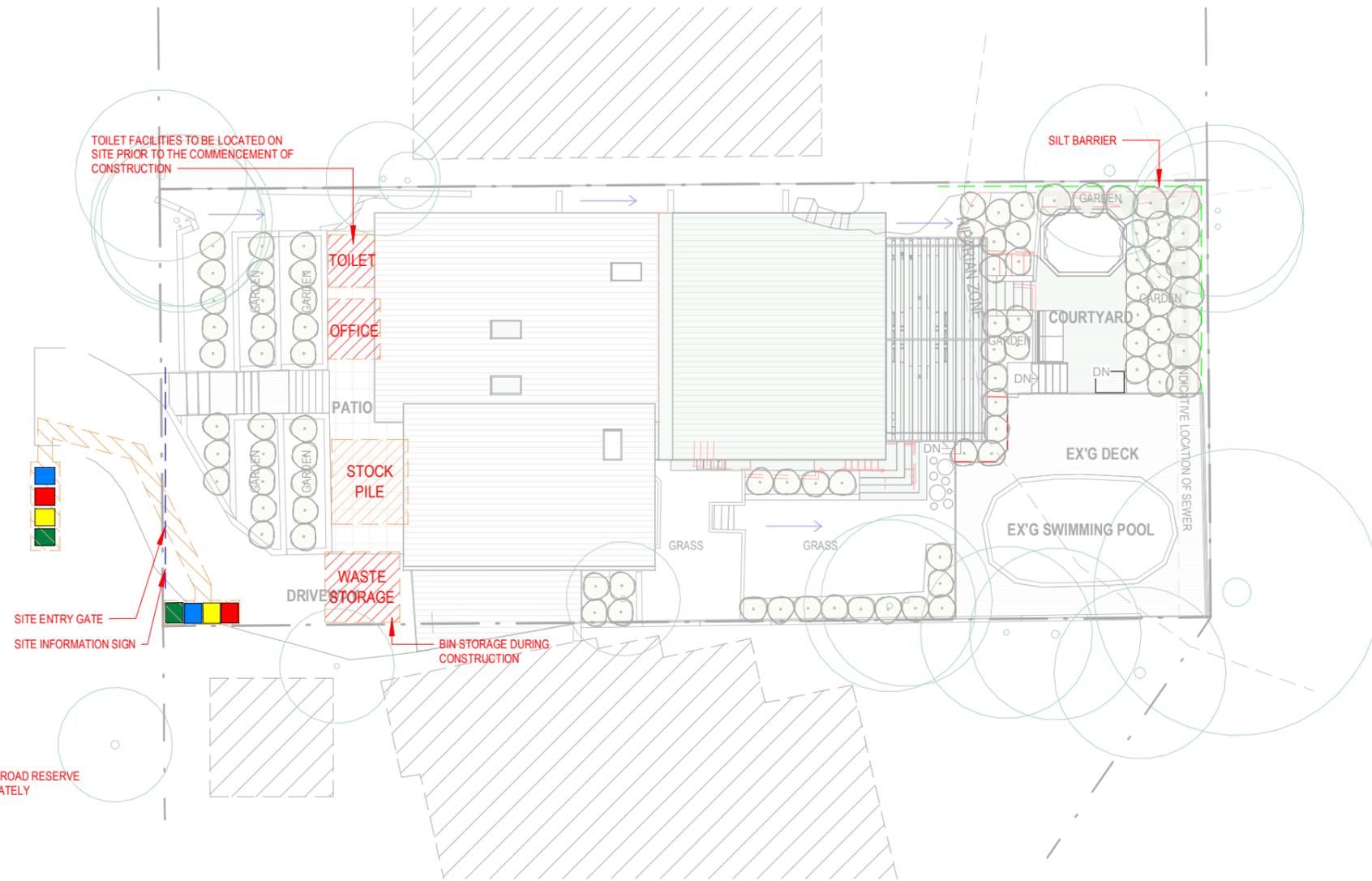
DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---
OVERLAND FLOW	---

BASIX COMMITMENTS:
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

HOT HOUSE ARCHITECTS
Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106
NSW ARB Registration #: 10971 info@nothousestudio.com abn: 355 0579 1074

PRINT DATE: 12/12/2024 4:23:56 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	SITE PLAN	
<p>NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.</p> <p>This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS</p>					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 010
					ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	DATE 12 December 2024	
	LOT: 18	CHECKED BY: WC	SCALE: As indicated				
	DP: 30588						



SOIL & WATER MANAGEMENT:

1. INSTALL A SILT FENCE AS SHOWN ON PLAN PRIOR TO THE COMMENMENT OF ANY ON SITE EARTHWORKS.
2. INSTALL A TEMPORARY SEDIMENT BARRIER TO ALL INLET PITS LIKELY TO COLLECT SILT-LADEN WATER UNTIL REGRESSED.
3. ALL SILT FENCES AND BARRIERS ARE TO BE MAINTAINED IN GGOOD CONDITION AND TO BE DESILTED DURING CONSTRUCTION.

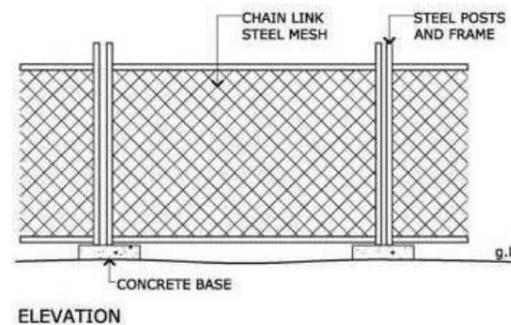
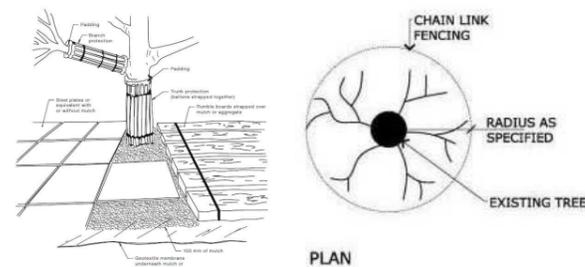
WASTE MANAGEMENT:

1. WASTE MATERIALS ARE TO BE STOCKPILED AND LOADED INTO BINS

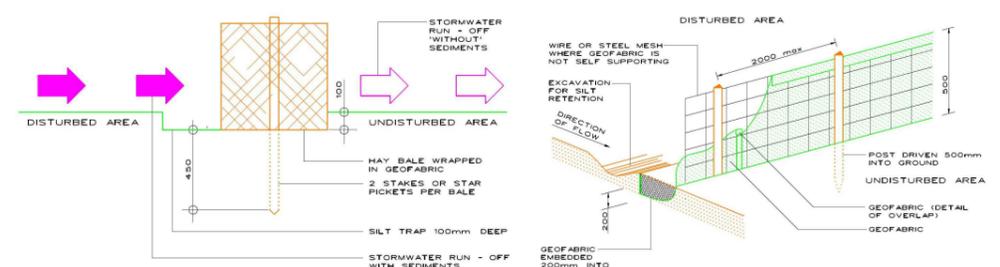
ALL PROTECTION WORKS TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL SITE MANAGEMENT DCP

1 Site Plan
1 : 200

TREE PROTECTION ZONE FENCING:

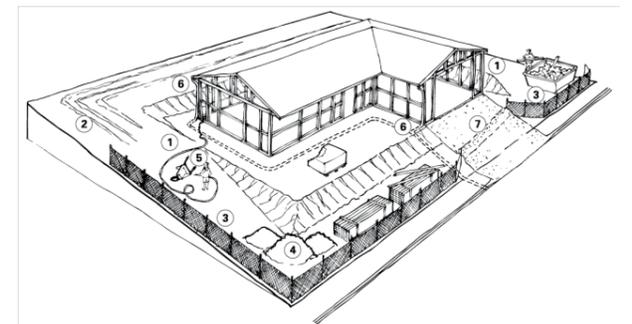


SEDIMENT BARRIER FENCING:

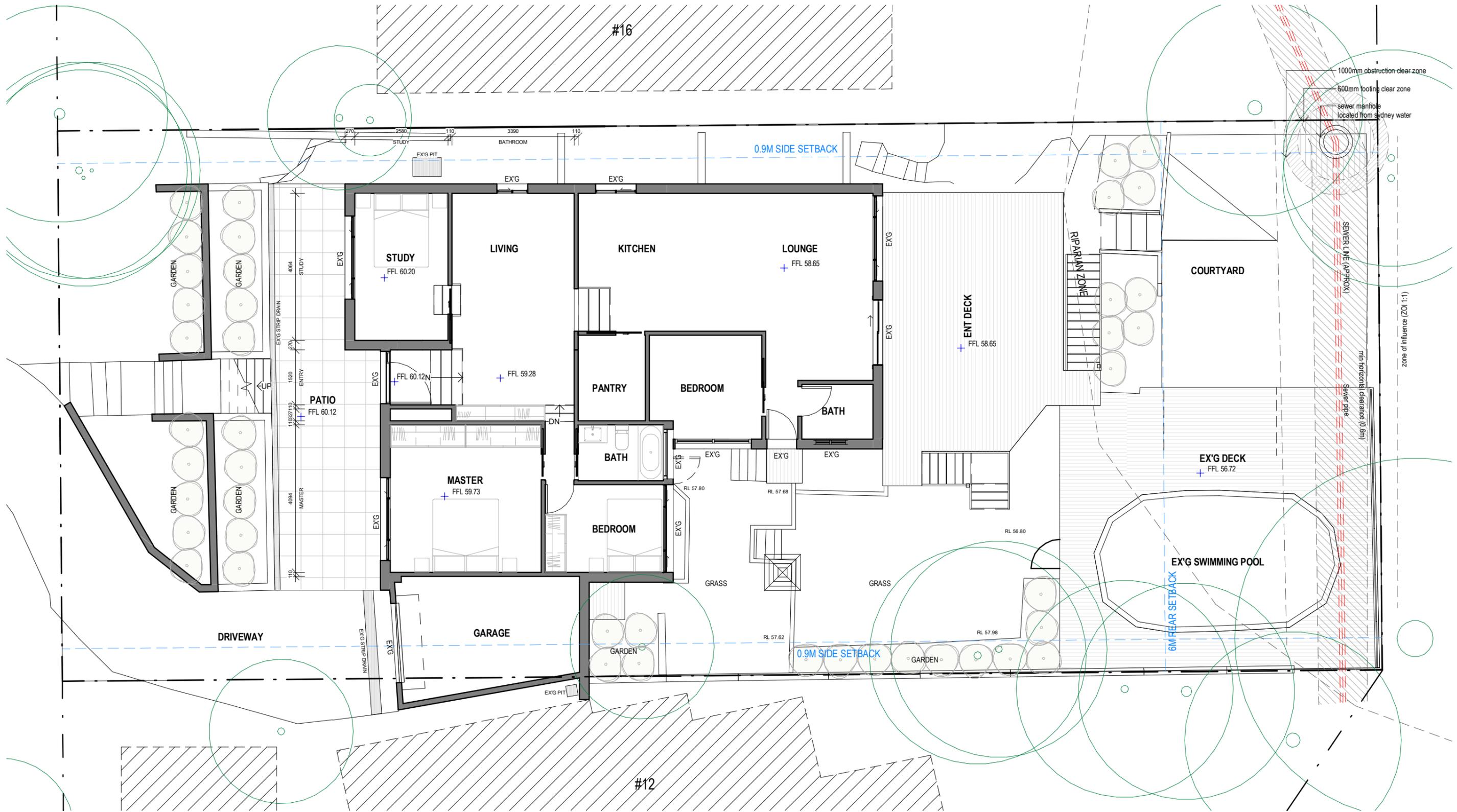


EROSION AND SEDIMENT CONTROL MEASURES:

1. MINIMISE DISTURBANCE,
2. DIVERSION DEVICES,
3. SEDIMENT BARRIERS,
4. SECURE STOCKPILES,
5. OTHER CONTAINMENTS,
6. EARLY STORMWATER CONNECTION,
7. CONTROLLED ACCESS POINT



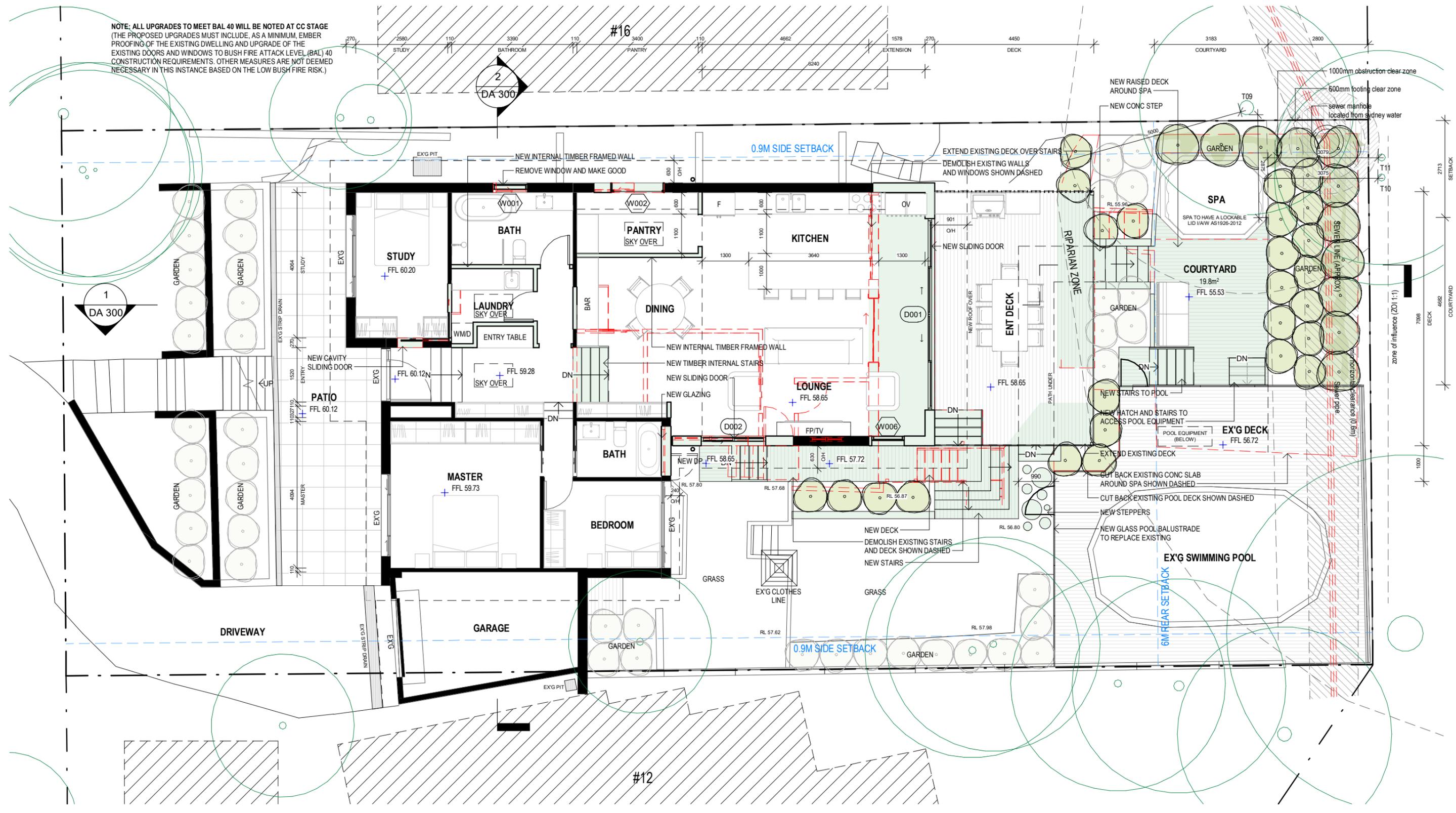
PRINT DATE: 12/12/2024 4:23:59 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	CONSTRUCTION, SEDIMENT CONTROL AND WASTE MANAGEMENT PLAN		
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 011	
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						DP: 30588	CHECKED BY: WC	SCALE: As indicated



1 Ground Floor
1 : 100

PRINT DATE: 12/12/2024 4:24:01 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	EXISTING GROUND FLOOR	
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards. This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 099
					ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	DATE 12 December 2024	
	LOT: 18	DRAWN BY: JG					
	DP: 30588	CHECKED BY: WC	SCALE: 1 : 100				

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1 Ground Floor
1 : 100

FOR DEVELOPMENT APPLICATION ONLY



LEGEND:

DEMOLISH	(Red dashed line)
NEW WORK	(Green solid line)
BOUNDARY	(Blue dashed line)
OVERHEAD	(Red dashed line with dots)
HIDDEN	(Blue dashed line with dots)
OVERLAND FLOW	(Blue arrow)

BASIX COMMITMENTS:
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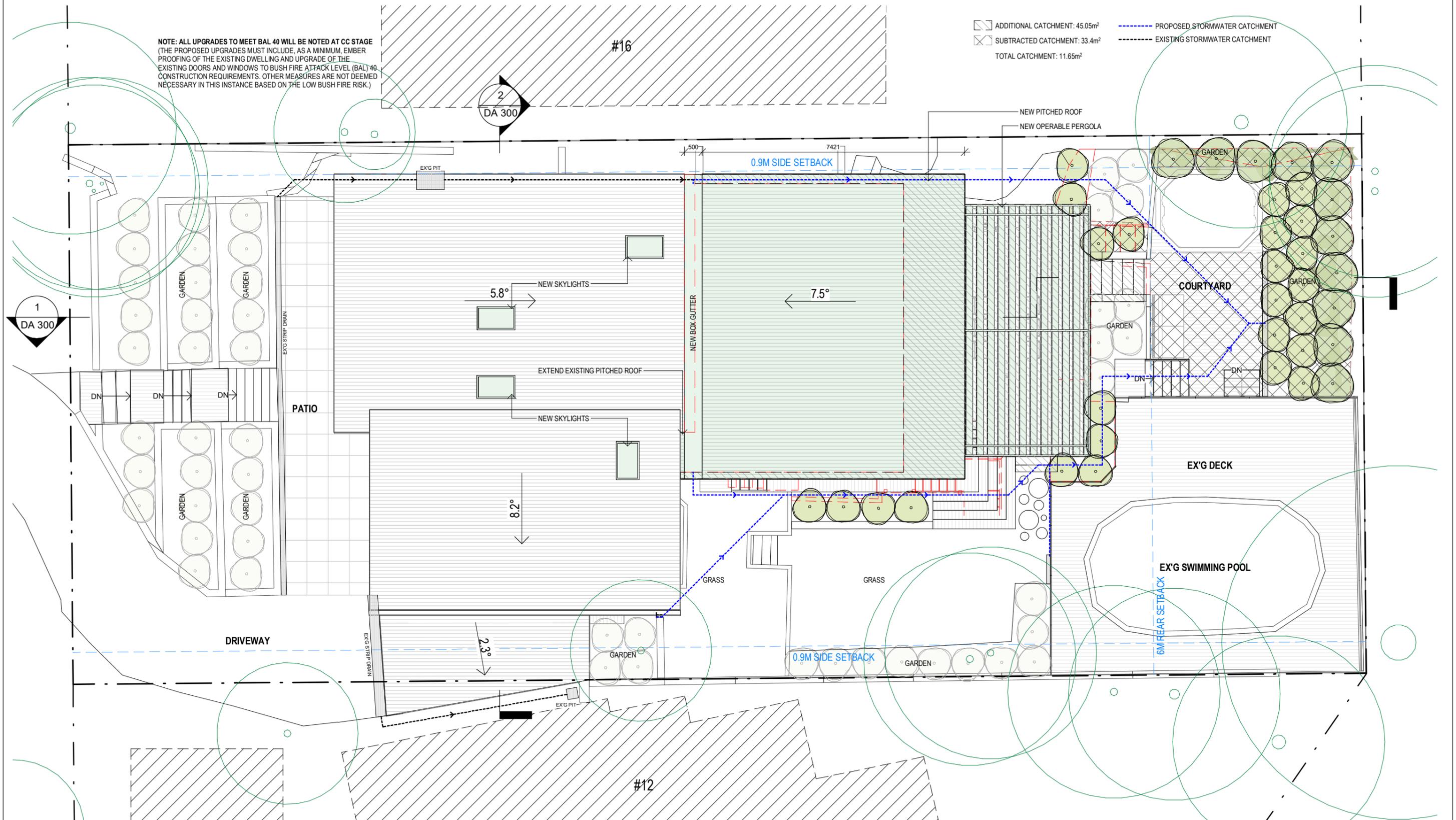
NOTES:
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HOT HOUSE ARCHITECTS
 Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106
 NSW ARB Registration #: 10971 info@nothousestudio.com abn: 355 0579 1074

PRINT DATE: 12/12/2024 4:24:05 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	GROUND FLOOR	
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					ADDRESS: 14 SHERWOOD CRES, NARRAWEENA	DATE: 12 December 2024	
					DP: 30588	CHECKED BY: WC	SCALE: As indicated

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[Hatched Box] ADDITIONAL CATCHMENT: 45.05m²
 [Cross-hatched Box] SUBTRACTED CATCHMENT: 33.4m²
 TOTAL CATCHMENT: 11.65m²
 [Blue Dashed Line] PROPOSED STORMWATER CATCHMENT
 [Black Dashed Line] EXISTING STORMWATER CATCHMENT



1
DA 300

2
DA 300

1
First Floor
1 : 100

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LEGEND:
 [Red Dashed Line] DEMOLISH
 [Green Dashed Line] NEW WORK
 [Black Dashed Line] BOUNDARY
 [Blue Dashed Line] OVERHEAD
 [Black Dotted Line] HIDDEN
 [Blue Arrow] OVERLAND FLOW

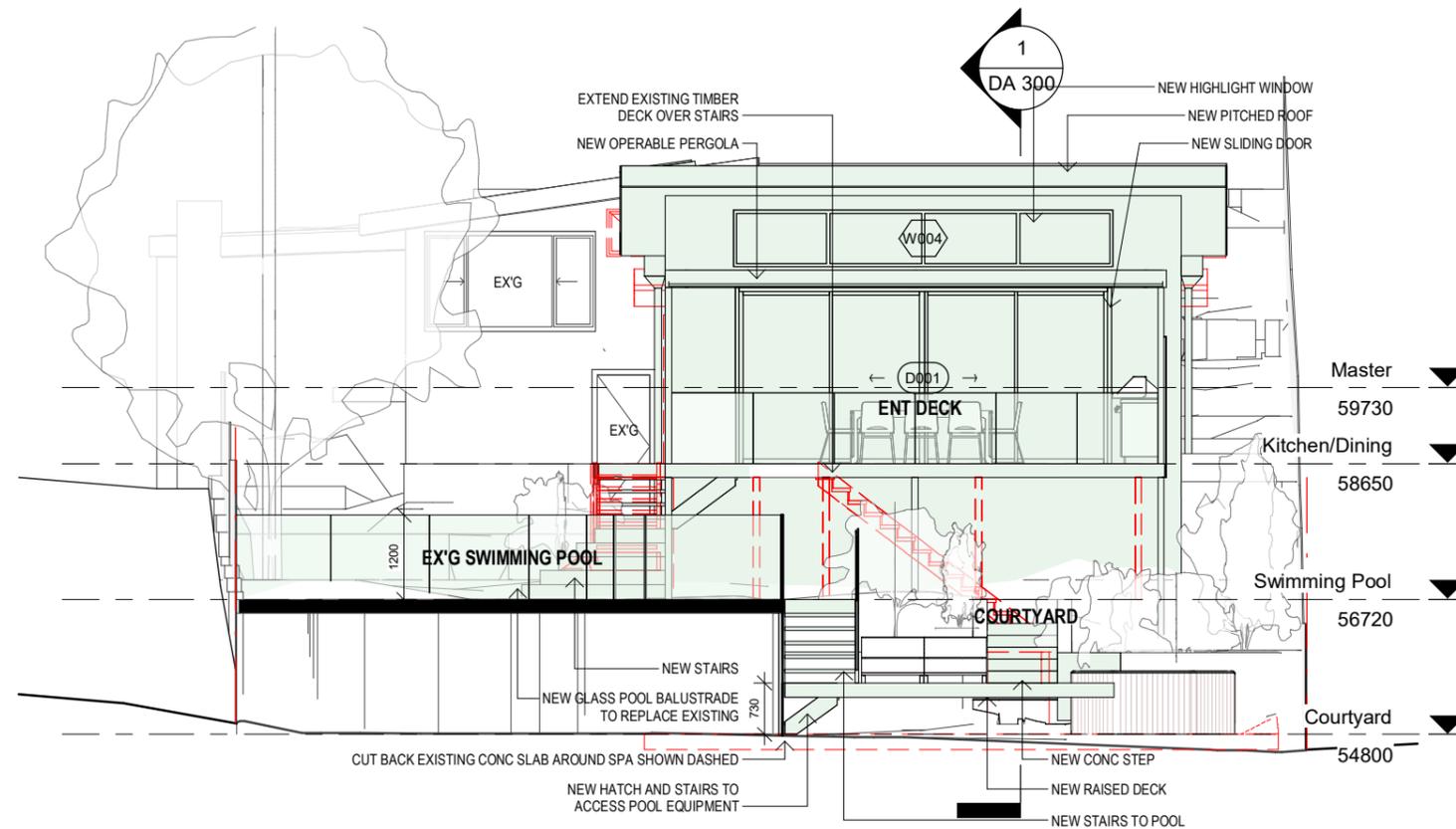
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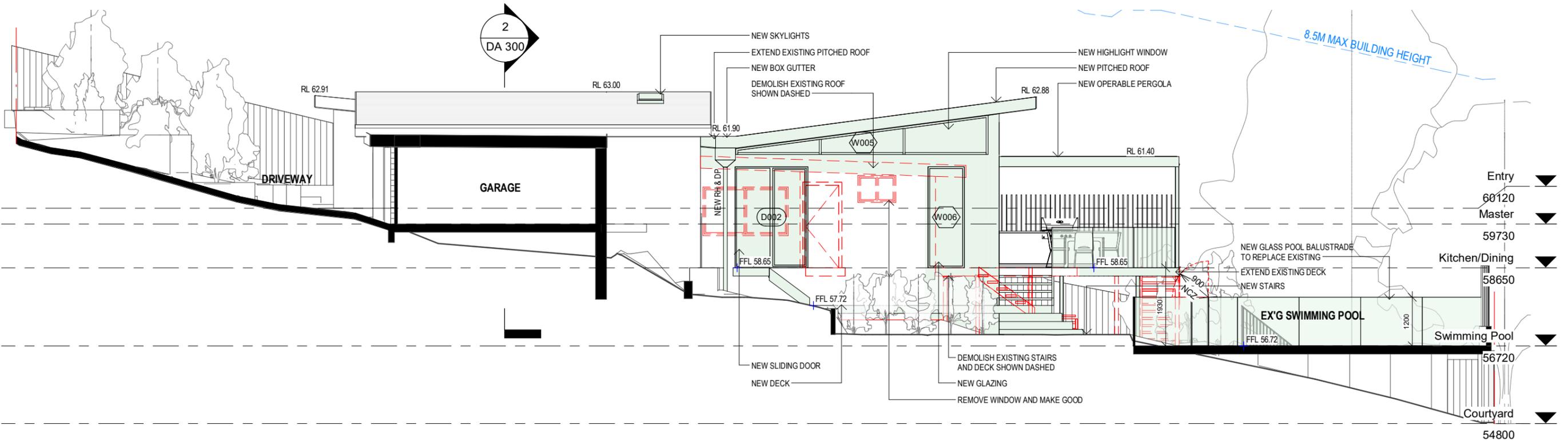
PRINT DATE: 12/12/2024 4:24:09 PM PRINT SIZE: A3 ISSUE 01 DESCRIPTION DA Issue DATE 12/12/24 CLIENT: Hannah Hale PROJECT: Alterations and Additions ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	ROOF PLAN PROJECT NO. 1099HHA DATE 12 December 2024 LOT: 18 DRAWN BY: JG DP: 30588 CHECKED BY: WC SCALE: As indicated	DA 110 SCALE: As indicated
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1 North
1 : 100



2 East
1 : 100

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LEGEND:
 - - - - - DEMOLISH
 - - - - - NEW WORK
 - - - - - BOUNDARY
 - - - - - OVERHEAD
 - - - - - HIDDEN

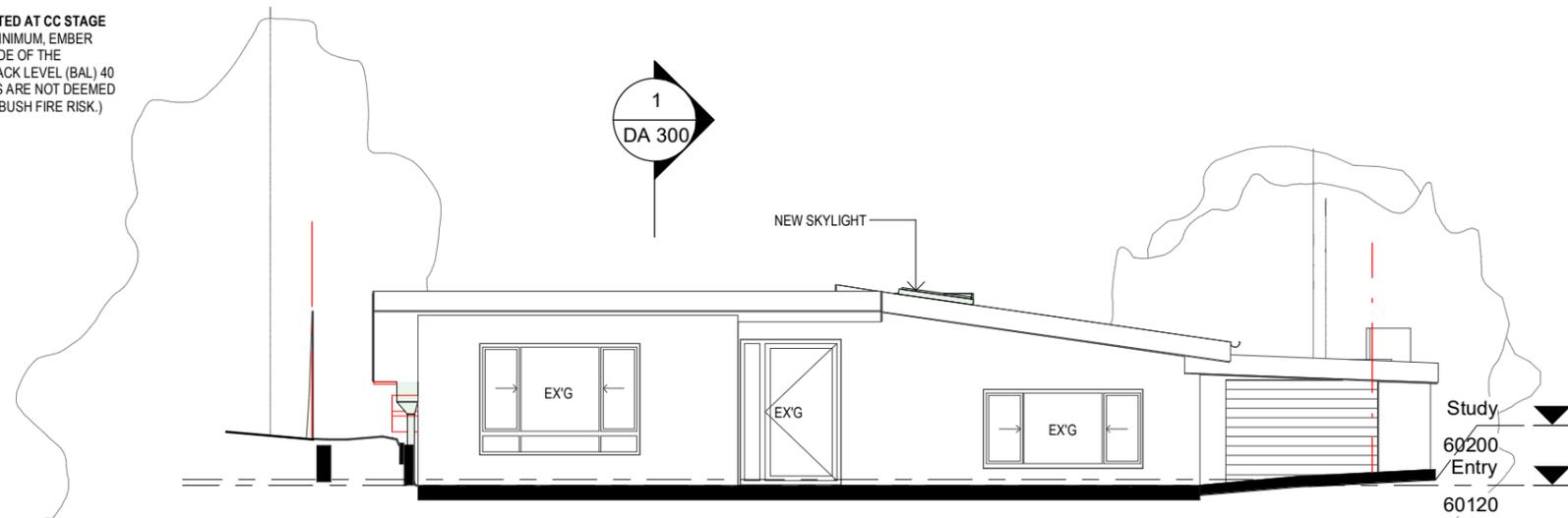
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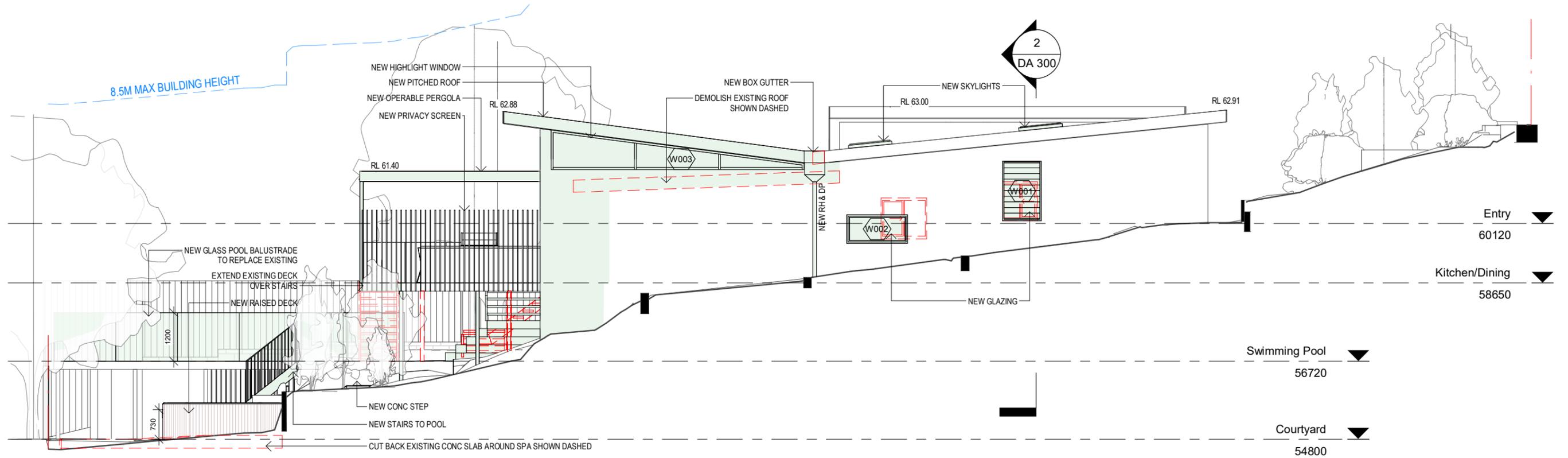
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 NSW ARB Registration #: 10971 info@nothousestudio.com abn: 355 0579 1074

PRINT DATE: 12/12/2024 4:24:15 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	ELEVATIONS		DA 200
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DATE 12 December 2024	
This drawing is copyright and remains the property of Hot House Architects					ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	LOT: 18		
HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS						DP: 30588	CHECKED BY: WC	

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1 South
1 : 100



2 West
1 : 100

FOR DEVELOPMENT APPLICATION ONLY

LEGEND:

- DEMOLISH
- NEW WORK
- BOUNDARY
- OVERHEAD
- HIDDEN

BASIX COMMITMENTS:

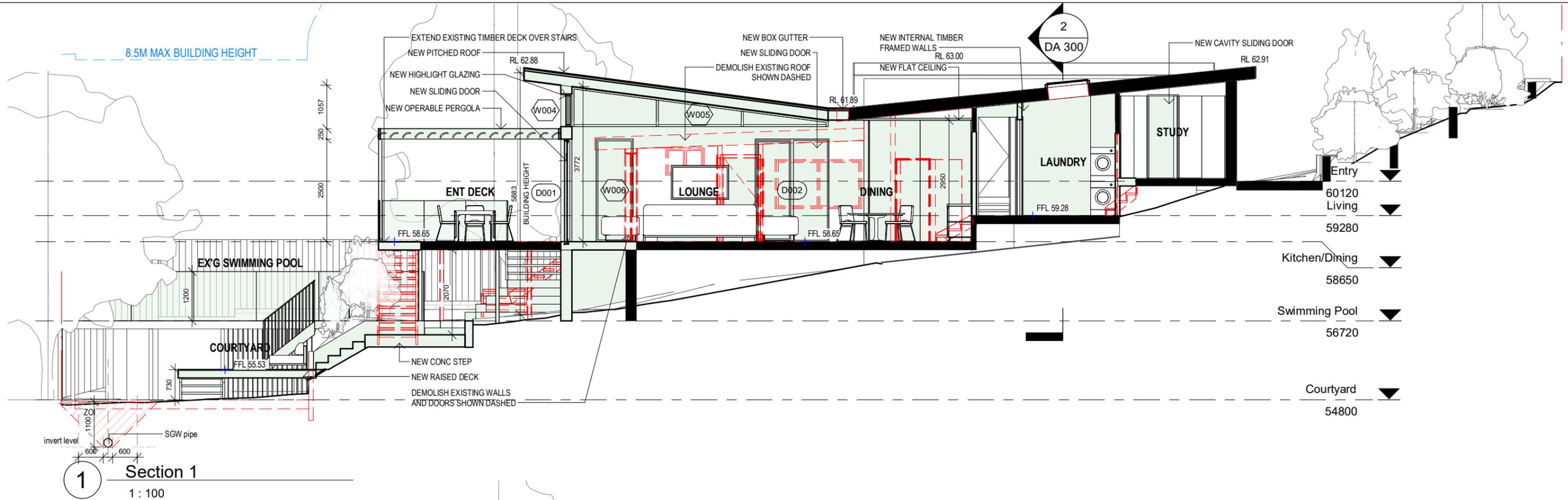
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
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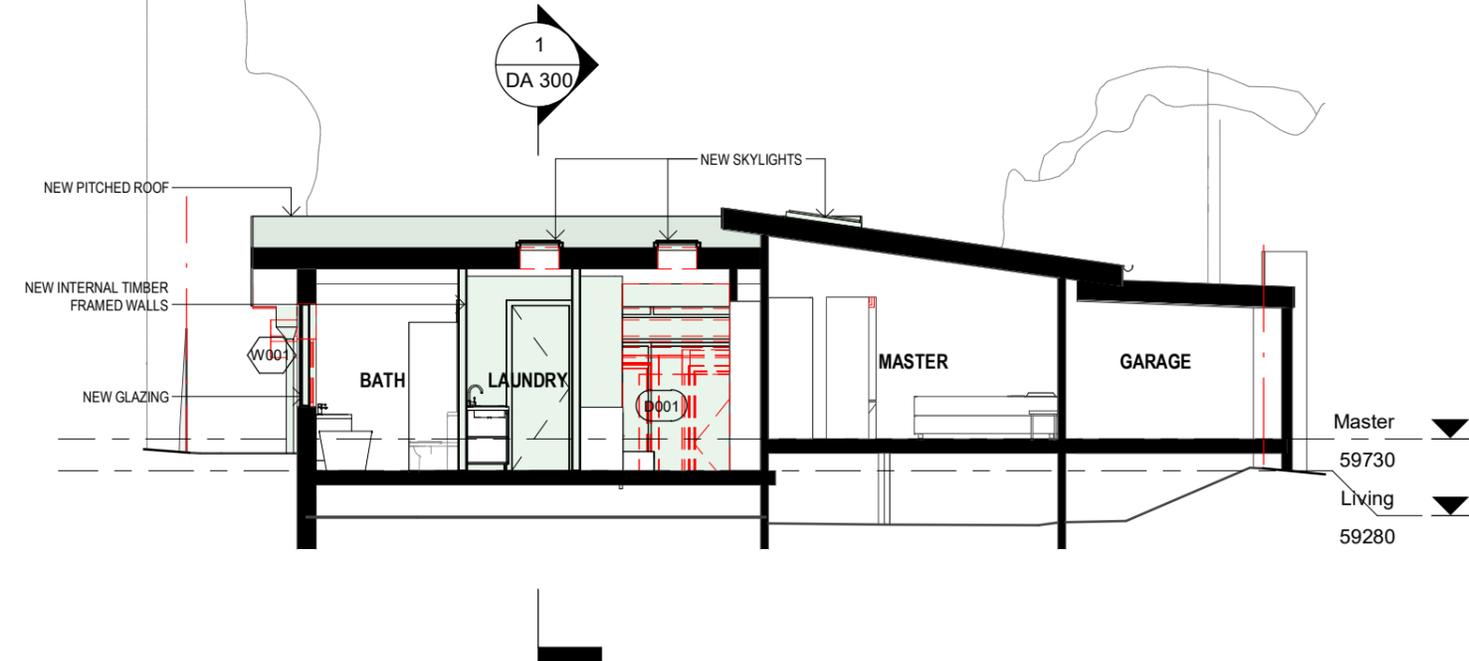
HOT HOUSE ARCHITECTS

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 NSW ARB Registration #: 10971 info@nothousestudio.com abn: 355 0579 1074

PRINT DATE: 12/12/2024 4:24:19 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	ELEVATIONS		DA 201
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DRAWN BY: JG	
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HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS						LOT: 18	SCALE: As indicated	
						DP: 30588		



1 Section 1
1 : 100



2 Section 2
1 : 100

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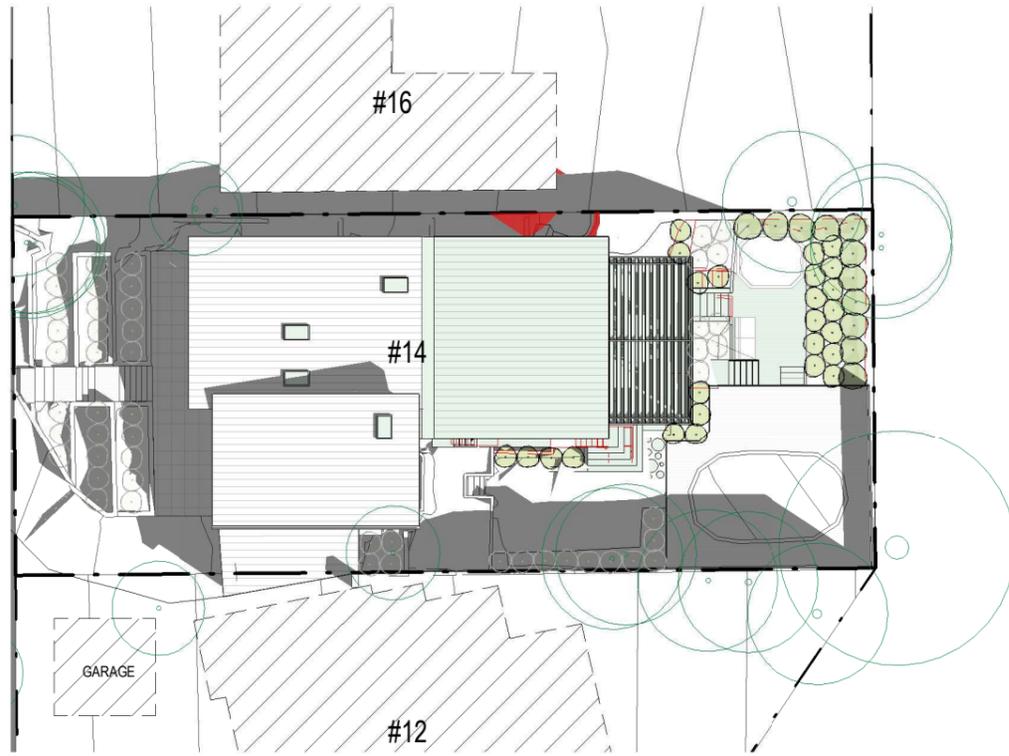
LEGEND:
 DEMOLISH (dashed red line)
 NEW WORK (solid green line)
 BOUNDARY (dashed black line)
 OVERHEAD (dotted black line)
 HIDDEN (dash-dot black line)

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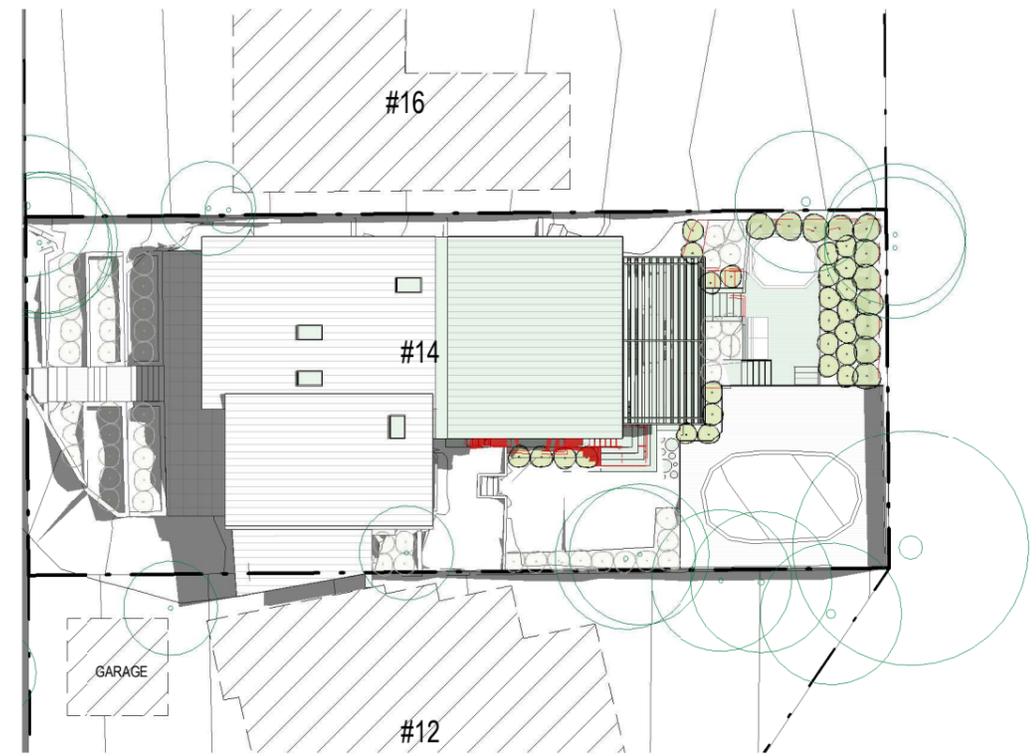
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 Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106
 NSW ARB Registration #: 10971 info@nothousestudio.com abn: 355 0579 1074

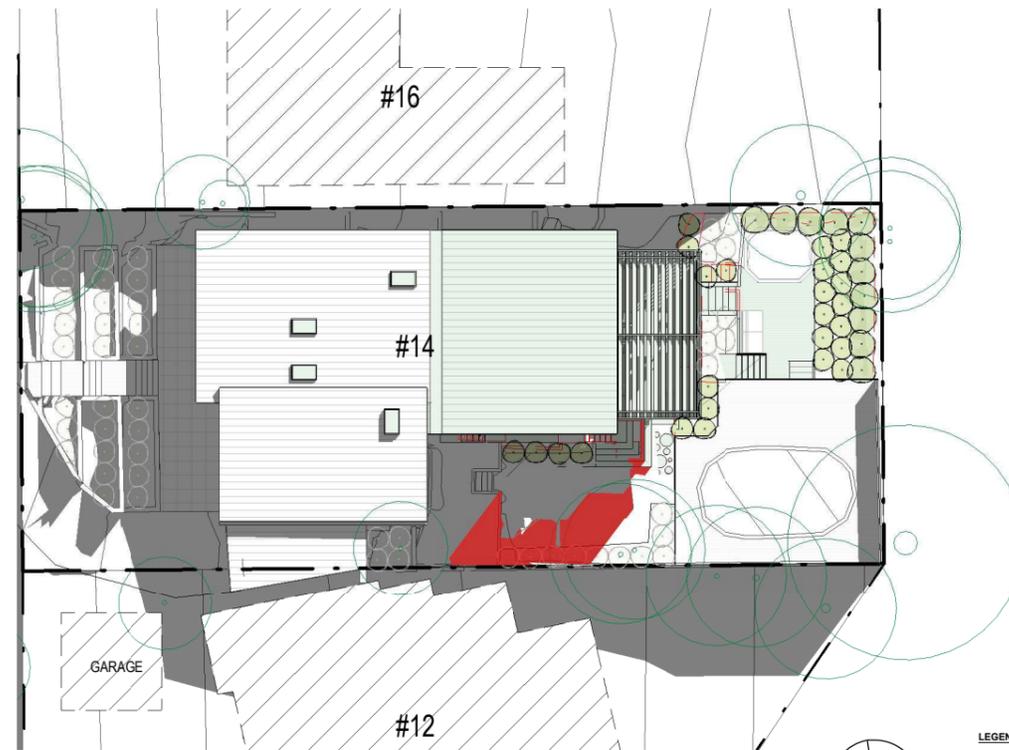
PRINT DATE: 12/12/2024 4:24:23 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	SECTIONS	
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards. This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 300
					ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	DATE 12 December 2024	
						LOT: 18 DRAWN BY: JG	
						DP: 30588 CHECKED BY: WC SCALE: As indicated	



1 Site Plan - Shadow 9am
1 : 300



2 Site Plan - Shadow 12pm
1 : 300



3 Site Plan - Shadow 3pm
1 : 300

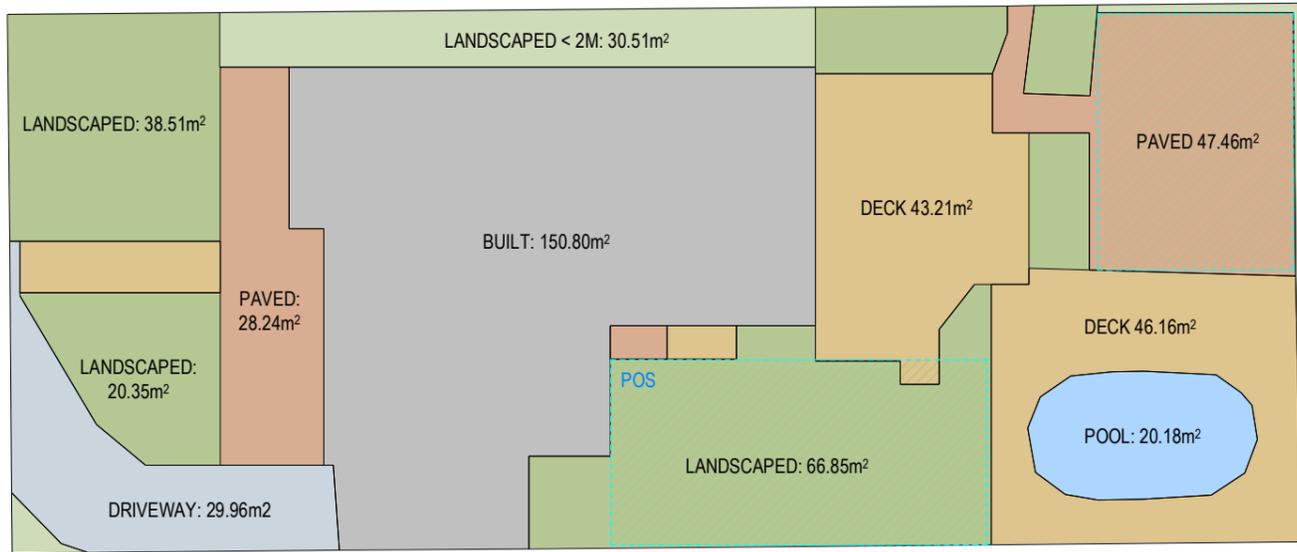
**FOR DEVELOPMENT
APPLICATION ONLY**

- Shadows cast by existing dwelling
- Additional shadows cast
- Subtracted shadows cast

- LEGEND:**
- DEMOLISH
 - NEW WORK
 - BOUNDARY
 - OVERHEAD
 - HIDDEN
 - OVERLAND FLOW

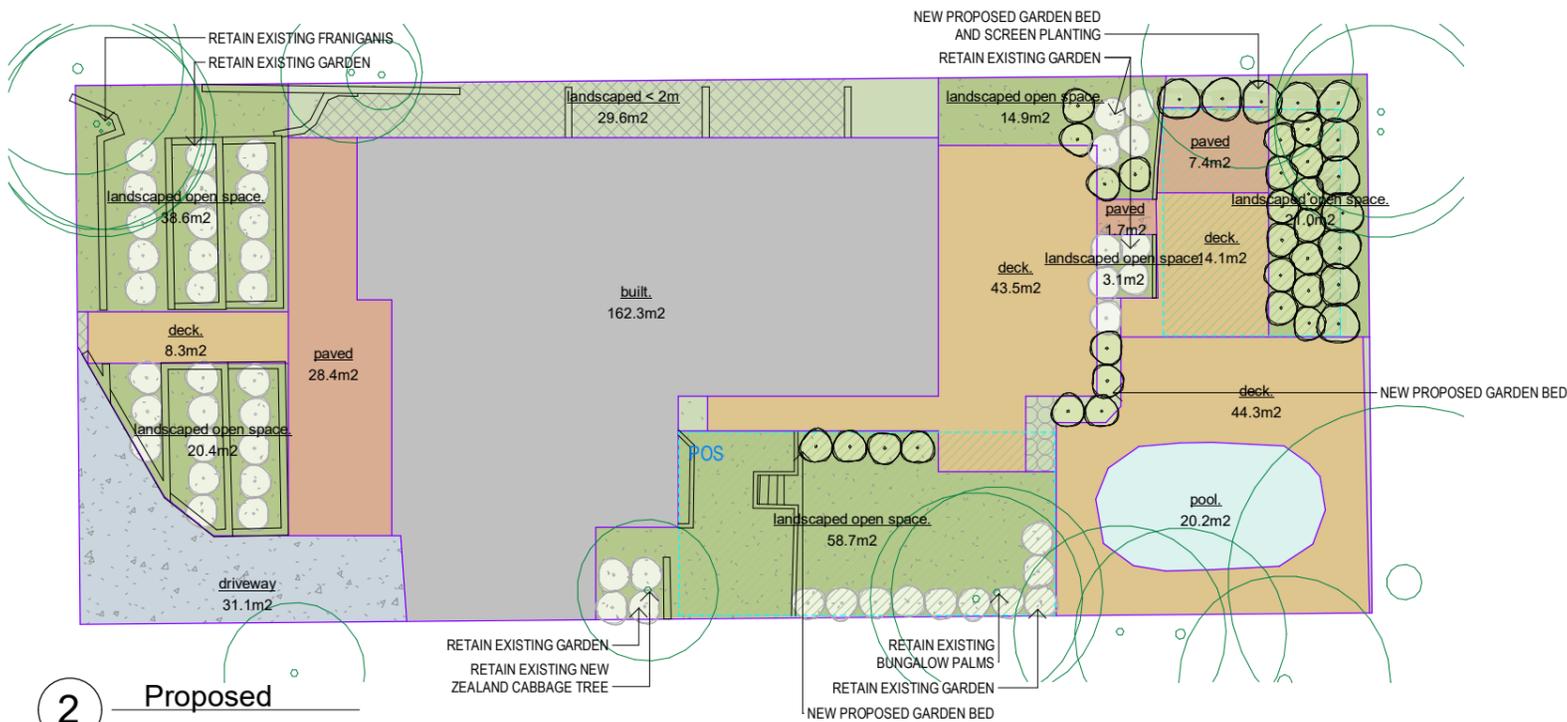
- BASIX COMMITMENTS:**
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
 2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS
- NOTES:**
- ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY

PRINT DATE: 12/12/2024 4:24:25 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	SHADOW DIAGRAMS - JUNE 21ST		
<p>NOTES:</p> <p>Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.</p> <p>This drawing is copyright and remains the property of Hot House Architects HOT HOUSE PROJECTS PTY LTD T/A HOT HOUSE ARCHITECTS</p>					PROJECT: Alterations and Additions	PROJECT NO. 1099HHA	DA 500	
					ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA	DATE 12 December 2024		
LOT: 18	DRAWN BY: JG	DP: 30588	CHECKED BY: WC	SCALE: As indicated				



1 Existing
1 : 200

built.	162.3 m ²	29.2%
deck.	110.1 m ²	19.8%
driveway	31.1 m ²	5.6%
landscaped < 2m	37.2 m ²	6.7%
landscaped open space.	156.8 m ²	28.2%
paved	37.5 m ²	6.8%
pool.	20.2 m ²	3.6%



2 Proposed
1 : 200

COMPLIANCE & CALCULATION TABLE

Land Zoning (Pittwater LEP2014)	R2 - Low Density Residential			
Height of Building	8.5 m			
Floor Space Ratio	N/A			
Heritage Item or Heritage Conservation Area	No			
Foreshore Building Line	No			
Land Reservation Acquisition	No			
Acid Sulfate Soils	N/A			
Minimum Lot Size	600 m ²			
Terrestrial Biodiversity	Biodiversity			
Site Area	556.4m ² (By DP)			
	Existing	Proposed	Required	Compliance
FSR	150.8m ²	162.3m ²	N/A	Yes
Landscaped Area (DCP)	147.11m ² (26.4%) + 20.2m ² (3.6%) = 167.31m ² (30%)	156.8m ² (28.2%) + 20.2m ² (3.6%) = 177m ² (31.8%)	222.56m ² (40% total Site)	No / Merit based
Private Open Space (DCP - min 60m² of private open space)	95.8m ²	87.2m ²	60m ² with minimum dimensions of 5 metres	Yes
Building Height	5.0 m	5.88 m	Max of 8.5m	Yes
Building Envelope:	complies	complies	45 deg. from 4m height	Yes
Front Building Line (DCP)	7.91 m	7.91 m (ex'g house)	min. 6.5m front setback	Yes
Side Setbacks (DCP)	0m (ex'g garage)	0m (ex'g garage)	min. 0.9m	Ex'g non-compliance
	1.5m (ex'g house)	1.5m (ex'g house)		Yes
Rear Setback (DCP)	9.54m (ex'g house)	9.54m (ex'g house)	min. 6m rear setback	Yes
	7.74m (ex'g deck)	7.74m (deck)		Yes

LANDSCAPE LEGEND:

	TREE TO BE REMOVED		TURF
	TREE TO REMAIN		CONCRETE
	TREE PROPOSED		STEPPING STONES
	SHRUB PROPOSED		DECORATIVE PEBBLE
	HEDGE PROPOSED		ROCK GARDEN
			MILD STEEL EDGE (M.S.E.)

PRINT DATE: 12/12/2024 4:24:29 PM	PRINT SIZE: A3	ISSUE 01	DESCRIPTION DA Issue	DATE 12/12/24	CLIENT: Hannah Hale	AREA CALCULATION, LANDSCAPE & COMPLIANCE		
NOTES: Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.						PROJECT NO. 1099HHA	DA 600	
PROJECT: Alterations and Additions						DATE 12 December 2024		
ADDRESS: 14 SHERWOOD CRESC, NARRAWEENA						LOT: 18 DRAWN BY: JG		
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