

THE NOBLE CRAFT HOME DISTILLERY

Development Application - Alterations & Additions


DP. 11594 Lot 36

271 Powderworks Road, Ingleside NSW 2101

DRAWING LIST :

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DA_009	Notification Plan



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<div>Postal Address</div> PO Box 7516 Bondi Beach NSW 2026						<div>Sent:</div> 23.07.2020	Preliminaries & Schematic Design Client Review	
<div>Mobile</div>	<div>Email</div> alon@isadesigns.com.au				<div>Project No:</div> DA_200629	<div>Scale:</div>	<div>Issue:</div> 2	
					<div>Drawing No:</div> DA_000	<div>Drawn:</div> AM	<div>Revision:</div> B	

GENERAL NOTES:

- All demolition works are to be carried out in accordance with AS2601-2001 - Demolition of Structures.
- All essential services are to be disconnected in accordance with the requirements of the relevant authority.

LEGEND :

BAL	Balustrade to BCA requirements
CBD	Cupboard
CF	Concrete floor, finish to be polished
CP	Concrete pavers
CT	Ceramic tiles
FCC	Fibre cement cladding, matt paint finish
FD	Fire door
G	Gutter
HR	Handrail to BCA requirements
J	Joinery
LB	Letter Box
MSC	Metal sheet cladding
MSR	Metal sheet roof
OG	Obscure glazing
P	Parapet
RB	Rendered brickwork
RWT	Rainwater tank, to Hydraulic engineer details
SA	Smoke alarm to BCA requirements
TC	Timber cladding
TF	Timber flooring
TG	Timber gate
WA	New window/door system, finish TBA
NB	R3 Insulation to ceiling Foil Insulation to underside of roof R1 Insulation to exterior walls

<div></div>	Existing wall to be demolished
<div></div>	Existing wall to be retained
<div></div>	New wall

All proposed scope of works to be carried out in accordance & comply with Australian Standards:

AS 2118	Automatic fire sprinkler system.
AS 1428.1	Disability access.
AS 1668	Ducting.
AS 1841	Mechanical exhaust & AC systems.
AS 2293.1	Exit sign.
AS 1668.2	Exhaust ventilation to kitchen area.
AS 2293	Emergency evacuation lighting.
AS 1670.4	Emergency warning & Intercom. systems.
AS 4428.4	Emergency warning & Intercom. systems.
AS 1841	Fire extinguisher (dry powder).
AS 2444	Fire extinguisher (portable).
AS 3504	Fire blanket.
AS 1288	Glass/glazing.
AS 1170.1	Glass/glazing support.
AS 1680	Interior lighting.
AS 1428.1	Access ramp & landings.
AS 3786	Smoke alarms.
AS 3740	Water proofing to wet areas.
AS 1680	Electrical services.

All proposed scope of works to be carried out in accordance & comply with the Food Act & regulations:

AS 4674	Design, construction & fit out of food premises.
AS 1428.1	Disability discrimination Act.
AS 1428.4	Disability discrimination Act.
AS 1668 (P1)	The clean air regulations (plant & equipment).

The Food Act 2010.
The Food Regulations.

BCA Part C 1.10.
BCA Part F 4.40.
BCA Part J.

Sydney Water - Trade waste section.
Authorising Municipal Council - Food premises codes & provisions.

NOTES:

The construction of food and drink premises will be carried out in accordance with AS 4674-2004

There will be no cooking of food at the premises by barbecue or charcoal methods

The proposed location of any mechanical ventilation systems are shown on plans

All wall, floor and ceiling linings will comply with the fire hazard property requirements of BCA Specification C1.10

The installation of bollards, as to prevent Final Exit Doorways being capable of being blocked by vehicles is not required

All floor surfaces will have a slip resistance classification of P4 or R11, when tested in accordance with AS 4586-2013

All door hardware will consist of “d-type” door handles located between 900mm – 1100mm above the finished floor level

All doorways to have a minimum unobstructed width of 850mm

portable fire extinguishers are being provided within the common areas of the building and that the portable fire extinguishers will comply with Clause E1.6 and AS2444-2001

An exit sign is to be installed above any exit discharging to open space, and to be installed in accordance with Clause E4.5 and AS 2293.1-2005

All light fittings are to comply with Clause 2.6.2 of AS 4674

All floors within the food preparation area are to comply with Clause 3.1.3 of AS 4674

Coving is to be provided in the food preparation area and is to comply with Clause 3.1.5 of AS 4674

All wall finishes in the food preparation area are to comply with Table 3.2 of AS 4674

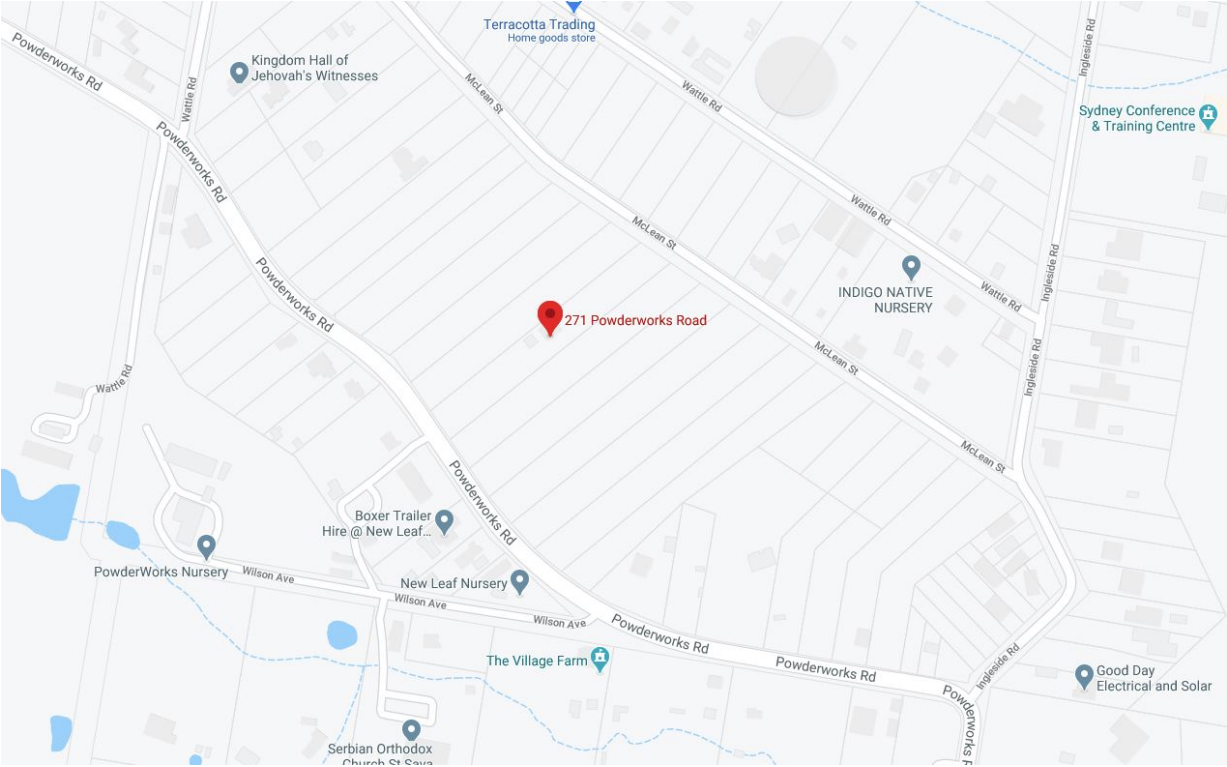
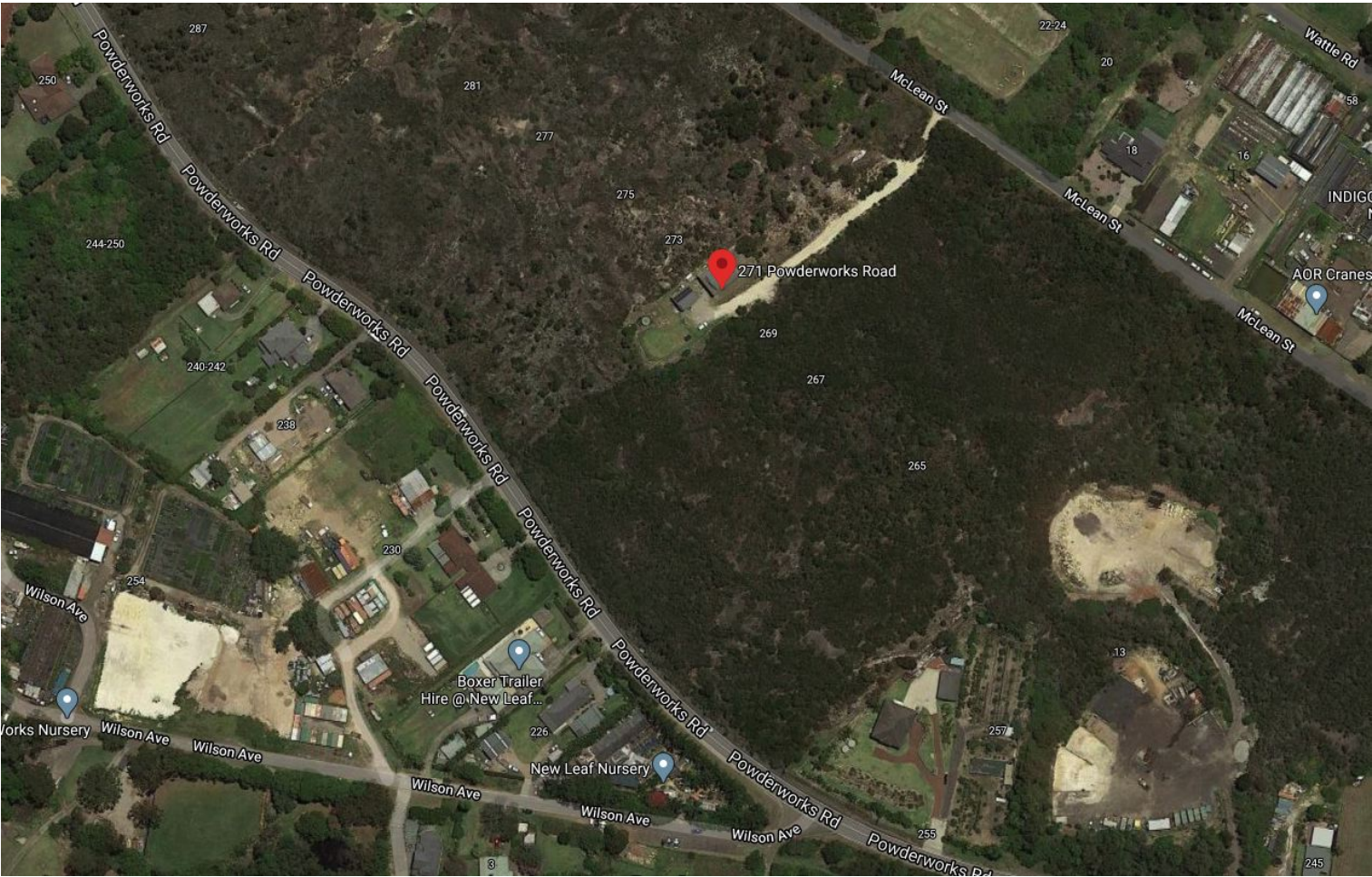
All ceilings within the food preparation area are to have an impervious finish and are to comply with Table 3.3 of AS 4674

Provisions of a floor waste or cleaners sink located outside the areas where open food is handled are to be met

Provisions of hand washing facilities within 5 metres of where open food is handled are to be met

All the proposed alterations to the food and drink premises will comply with AS 4674:2004

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<div>Mobile</div>	<div>+61 451 867 426</div>				<div>Drawing No:</div> DA_001	<div>Drawn:</div> AM	<div>Revision:</div> B	
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FOR CONSTRUCTION

PROJECT:

Alterations & Additions

DP. 11594 Lot 36

271 Powderworks Road
Ingleside NSW 2101

CLIENT:

Noble Craft Pty Ltd

Julian Noble & Amir Halpert

271 Powderworks Road
Ingleside NSW 2101

Drawing Name:

Location & Context Details

Project No: DA_200629

Scale:

Drawing No: DA_002

Drawn: AM

Date: 29.06.2020

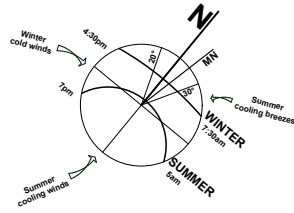
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Revision: B

Revision Description:

Preliminaries & Schematic Design
Client Review



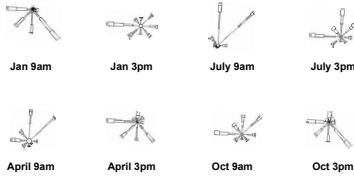
FLOOR SPACE CALCULATIONS

Existing - 271 Powderworks Road, Ingleside NSW

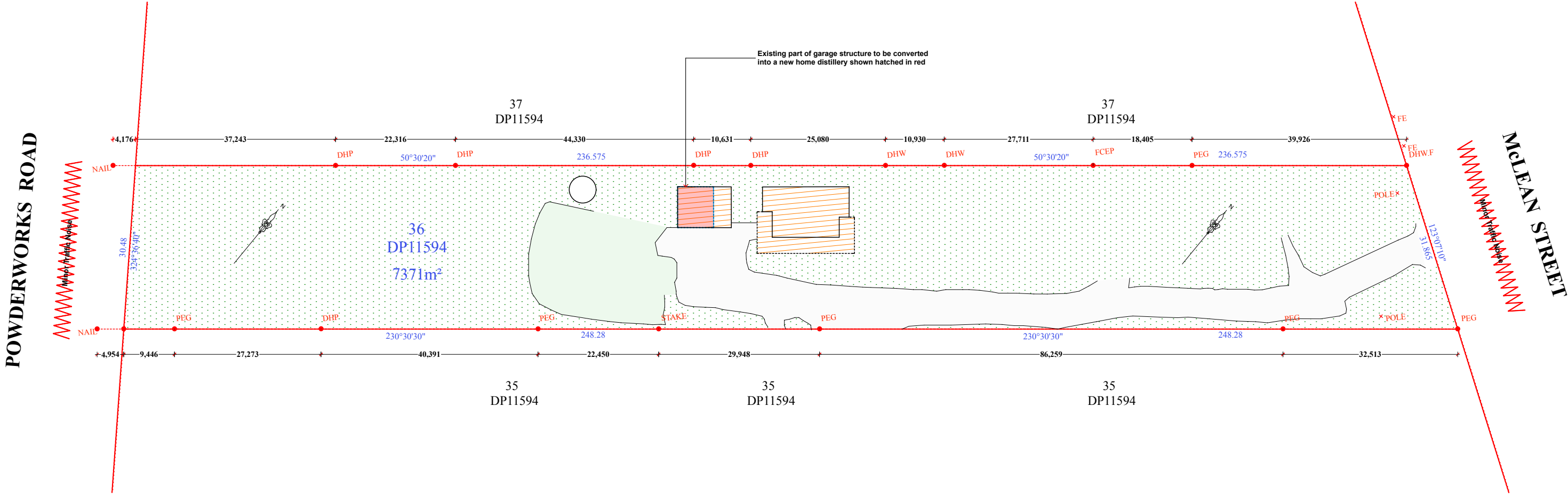
Site Area -	7371.00 Sqm.
Permissible FSR -	0.25 : 1
Existing FSR -	0.04 : 1
Existing Landscape Area -	5941.27 Sqm. - 80.6%
Existing Ground Floor Area -	122.17 Sqm.
Existing First Floor Area -	175.79 Sqm.
Total Existing Floor Area -	297.96 Sqm.

Proposed - 271 Powderworks Road, Ingleside NSW


Site Area -	7371.00 Sqm.
Permissible FSR -	0.25 : 1
Existing FSR -	0.04 : 1
Existing Landscape Area -	5941.27 Sqm. - 80.6%
Existing Ground Floor Area -	122.17 Sqm.
Existing First Floor Area -	175.79 Sqm.
Total Existing Floor Area -	297.96 Sqm.

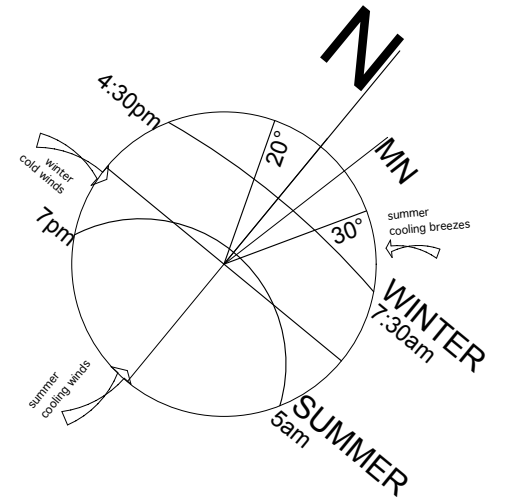



WIND ROSES
Sydney Airport AMO/
AWS: Source NSW
Bureau of Meteorology



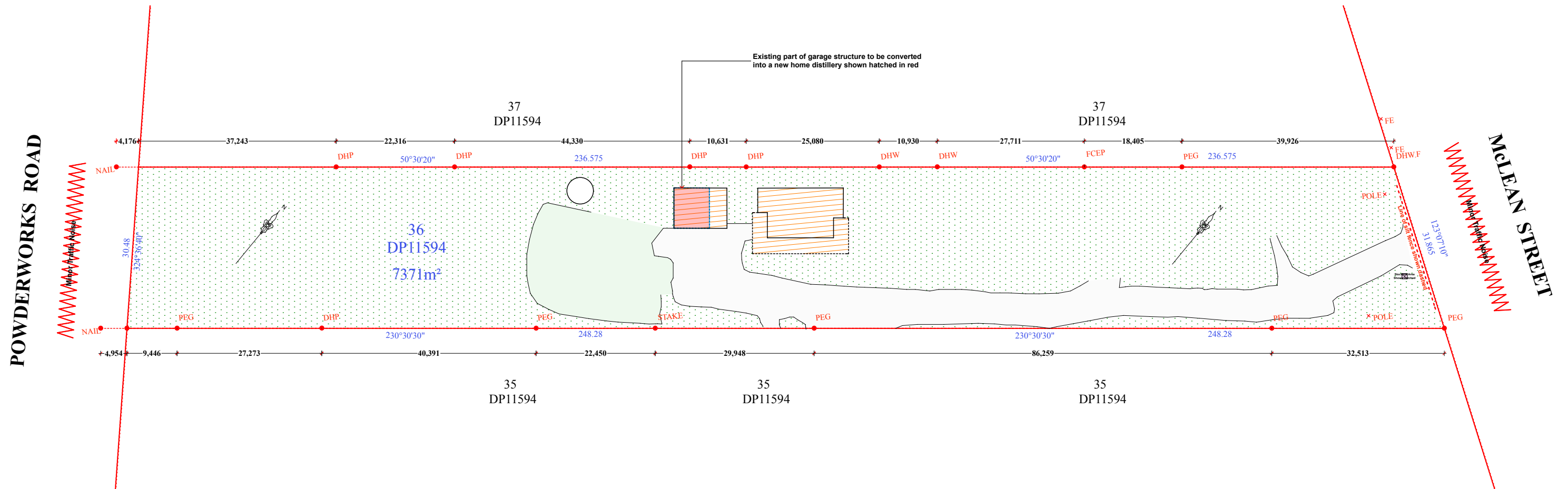
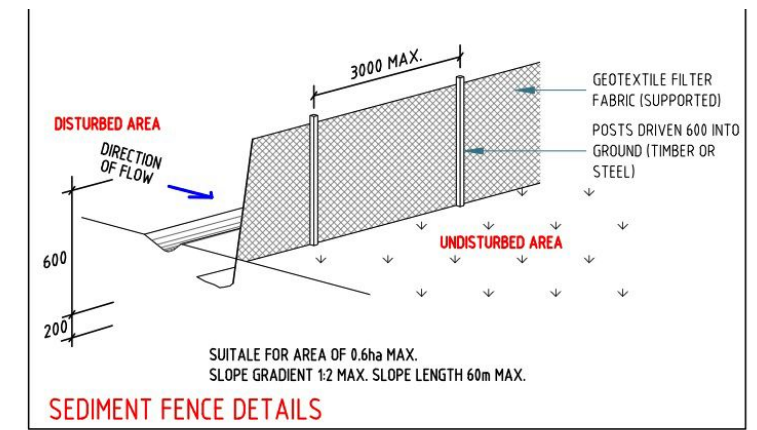
Site Analysis Plan

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<p>Postal Address</p> <p>Mobile</p> <p>Email</p>	<p>PO Box 7516 Bondi Beach NSW 2026</p> <p>+61 451 867 426</p> <p>alon@isadesigns.com.au</p>		<p>FOR CONSTRUCTION</p>			<p>Sent: 23.07.2020</p> <p>Issue: 2</p> <p>Revision: B</p>	<p>Preliminaries & Schematic Design</p> <p>Client Review</p>	
						<p>Project No: DA_200629</p> <p>Drawing No: DA_004</p>	<p>Scale: 1 : 750 @ A3</p> <p>Drawn: AM</p>	



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<div>Email</div>	alon@isadesigns.com.au		<div>Drawing No:</div> DA_005	<div>Drawn:</div> AM	<div>Revision:</div> B			

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
2. MINIMISE DISTURBED AREA
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
5. ROADS AND FOOTPATH TO BE SWEEPED DAILY
6. KERB SIDE INLET TO BE PROTECTED WITH FABRIC FILLED WITH GRAVEL

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**271 Powderworks Road
Ingleside NSW 2101**

Julian Noble & Amir Halpert

271 Powderworks Road
Ingleside NSW 2101

Project No: DA_200629

Drawing No: DA_008

Scale: 1 : 750 @ A3

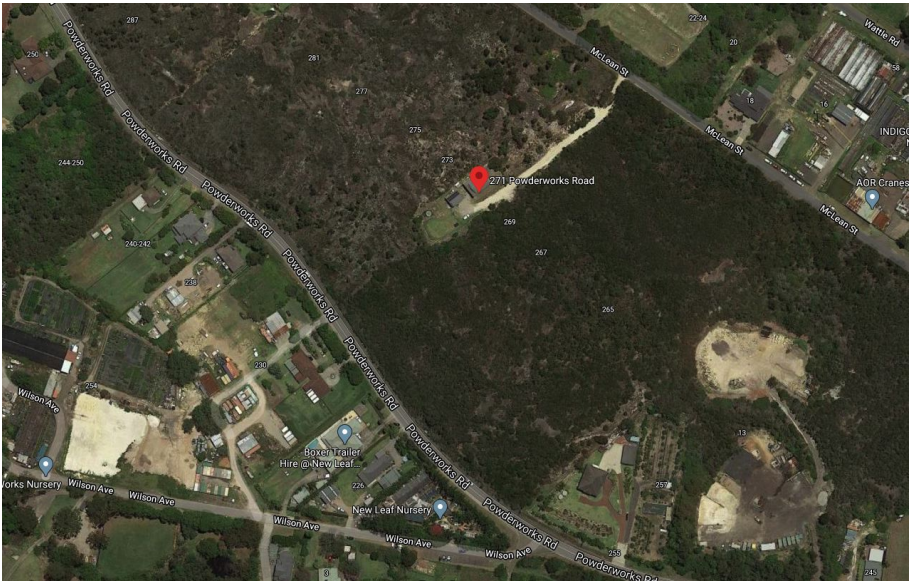
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Preliminaries & Schematic Design

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<div>Email</div>	<div>alon@isadesigns.com.au</div>		<div>Drawing No:</div> DA_009	<div>Drawn:</div> AM	<div>Revision:</div> B			