

NOTE:

BOUNDARIES HAVE BEEN DETERMINED BY SURVEY ON 30/01/2025.

PRIOR TO ANY CONSTRUCTION WORK, SURVEY MARKS SHOULD BE PLACED TO DEFINE THE PROPERTY BOUNDARIES.

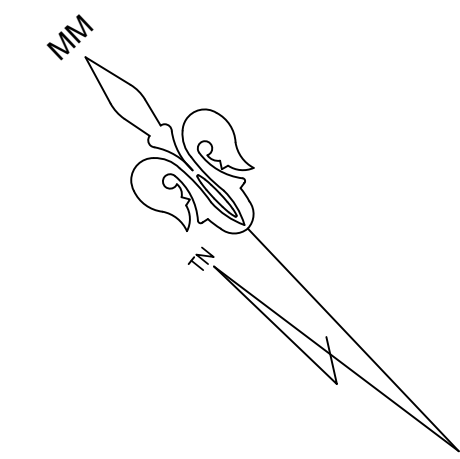
SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SURFACE INDICATOR(S) LOCATED DURING FIELD SURVEY. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING SSM 39870 WITH RL 80.33 (AHD).

RIDGE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY INDIRECT METHOD AND ARE ACCURATE TO ± 0.05m.

CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. THE SPOT LEVELS ARE TRUE FOR THEIR POSITION, AND ARE INTENDED TO BE USEFUL TO REPRESENT THE GENERAL TERRAIN. CARE SHOULD BE TAKEN IF EXTRAPOLATING.

TREE DIMENSIONS ARE APPROXIMATE ONLY.



27
SEC. 50
DP 237501

11
SEC. 50
DP 237501
793.8m²

28
SEC. 50
DP 237501

22 TOBRUK AVENUE
LOT 11 Sec. 50 in DP237501

EXISTING NATIVE
GARDENS

ONE & TWO STOREY
RENDER & BRICK RESIDENCE
METAL ROOF
NO. 22

ONE & TWO STOREY
CLAD & BRICK RESIDENCE
TILE ROOF
NO. 24

12
SEC. 50
DP 237501

10
SEC. 50
DP 237501

AVENUE

ROAD RESERVE

TOBRUK ROAD

TOBRUK

BENCHMARK
NAIL IN KERB
RL 91.64 AHD

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by SITE STUDIO Principal architect.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
All documents here within are subject to Australian Copyright Laws.

Drawn | Checked
Plot Date: #Drawn By | M.O.
25/11/2024

Project Status
Client
Site:

DRAWING TITLE :
EXISTING S

PROJECT NAME :
22 Tobruk Avenue
Allambie Heights
COVERED VERAN



Emma Hargreaves
Registered Surveyor
Nº 8489

POINT SUFFIX LEGEND			
TF - TOP OF FENCE	WS - WINDOW SILL	TEL - TELSTRA PIT	ELEC - ELECTRICAL PIT
TW - TOP OF WALL	TG - TOP OF GUTTER	INV - INVERT LEVEL	PP - POWER POLE
BW - BOTTOM OF WALL	RR - ROOF RIDGE	WM - WATER METER	BM - BENCHMARK
WT - WINDOW TOP	FL - FLOOR LEVEL	SV - STOP VALVE	0.4/10/16 - DIAMETER/SPREAD/HEIGHT
0	29/01/2025	FIRST ISSUE	AP DF
REV	DATE	DESCRIPTION	DRAWN CHECKED

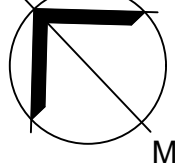
SYMBOL LEGEND			
BM BENCH MARK	SIP SEWER INSPECTION PIT	G STAY POLE	NBN PIT
EBOX ELECTRICAL BOX	FH FIRE HYDRANT	GV GAS VALVE	SMH SEWER MANHOLE
LP LIGHT POLE	TL TRAFFIC LIGHT	W WATER VALVE	SV STOP VALVE
PP POWER POLE	TS TRAFFIC SIGNAL BOX	WV SEWER VENT	HYD WATER HYDRANT
TAP WATER TAP	STATE SURVEY MARK	MH MANHOLE	WM WATER METER
FHR FIRE HOSE REEL	MAILBOX	OPUS PIT	GM GAS METER
DP DOWN PIPE	TPIL TELSTRA PILLAR	COMMS PIT	ANT ANTENNA
UNIDENTIFIED POLE	BH BORE HOLE	TELSTRA PIT	ATM ATM
PARKING METER	EOT END OF TRACE	ELECTRICITY PIT	BOL BOLLARD
SIGN POST		CAMERA	AIR CONDITIONER



TSS TOTAL SURVEYING
SOLUTIONS

CLIENT: SITE STUDIO

JOB No:	240867
ADDRESS:	22 TOBRUK AVENUE, ALLAMBIE HEIGHTS
TITLE:	PLAN SHOWING PARTIAL DETAIL & LEVELS OVER LOT 11 SECTION 50 IN DP237501

DRAWING NUMBER		LGA	
240867-1		NORTHERN BEACHES	
DATUM AHD	SOURCE SSM39870	CONTOUR INTERVAL 0.2m MINOR / 1m MAJOR	
SCALE 1:100		REV.	A1
SHEET 1/1		0	