

Rapid Plans www.rapidplans.com.au
 P.O. Box 6193 Frenchs Forest DC NSW 2086
 Fax: (02) 9905-8865 Mobile: 0414-945-024
 Email: gregg@rapidplans.com.au



DEVELOPMENT APPLICATION

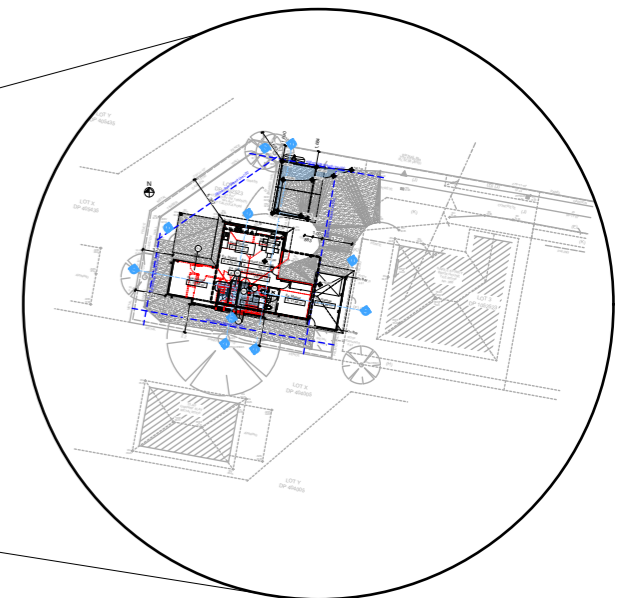
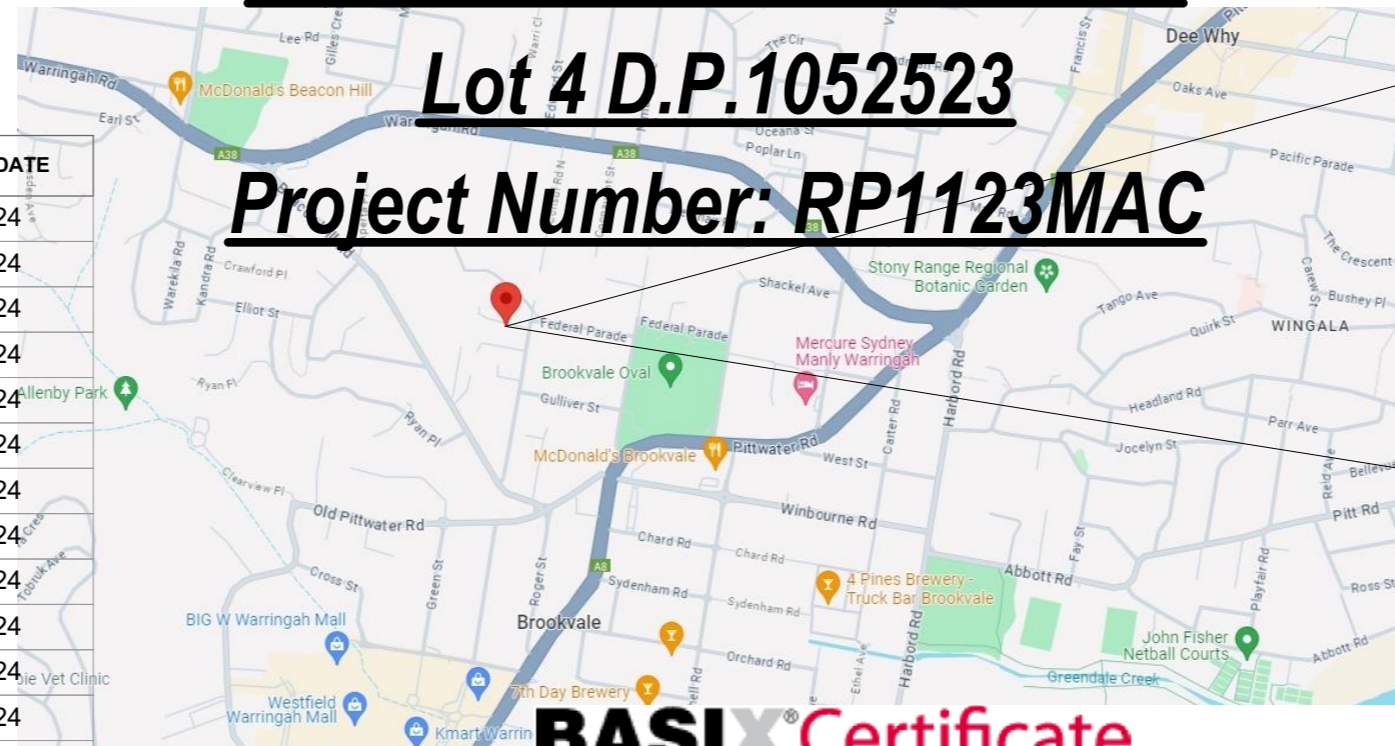
Alterations & Additions To Existing Residence

For Damien & Linda Macaulay

38C Consul Road Brookvale

Lot 4 D.P.1052523

Project Number: RP1123MAC



DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	11-10-2024
DA1001	A4 NOTIFICATION PLAN	-	11-10-2024
DA1002	SITE SURVEY 1	-	11-10-2024
DA1003	SITE SURVEY 2	-	11-10-2024
DA1004	SITE PLAN	-	11-10-2024
DA1005	Existing Ground Floor Plan	-	11-10-2024
DA1006	Existing Roof Plan	-	11-10-2024
DA1007	Demolition Ground Floor Plan	-	11-10-2024
DA1008	Demolition Roof Plan	-	11-10-2024
DA1009	Landscape Open Space Plan Existing	-	11-10-2024
DA1010	Landscape Open Space Plan Proposed	-	11-10-2024
DA1011	Landscape Plan	-	11-10-2024
DA1012	Sediment & Erosion Plan	-	11-10-2024
DA1013	Waste Management Plan	-	11-10-2024
DA1014	Stormwater Plan	-	11-10-2024
DA2001	GROUND FLOOR	-	11-10-2024
DA2002	FIRST FLOOR	-	11-10-2024
DA2003	ROOF	-	11-10-2024
DA3000	SECTION 1	-	11-10-2024
DA3001	SECTION 2	-	11-10-2024
DA4000	ELEVATIONS 1	-	11-10-2024
DA4001	ELEVATIONS 2	-	11-10-2024
DA5000	PERSPECTIVE	-	11-10-2024
DA5001	SHADOW PLAN 21st June 9am	-	11-10-2024
DA5002	SHADOW PLAN 21st June 12pm	-	11-10-2024
DA5003	SHADOW PLAN 21st June 3pm	-	11-10-2024
DA5004	WALL ELEVATION SHADOWS	-	11-10-2024

BASIX Certificate
 Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

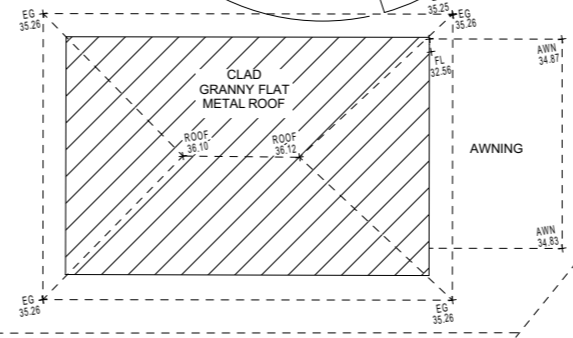
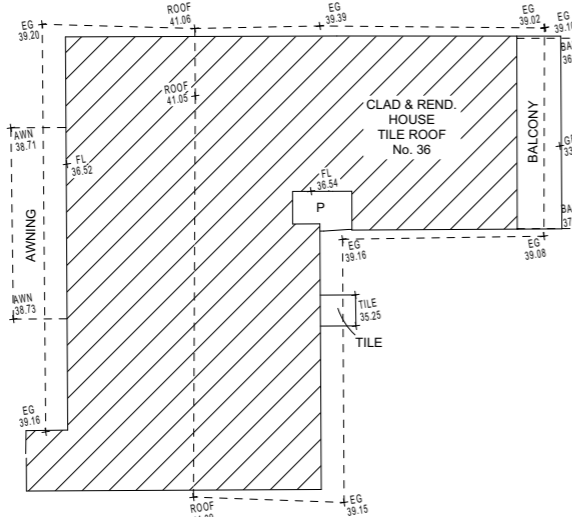
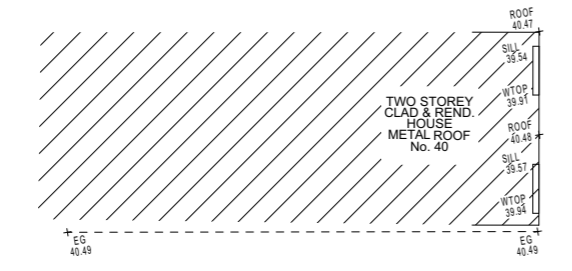
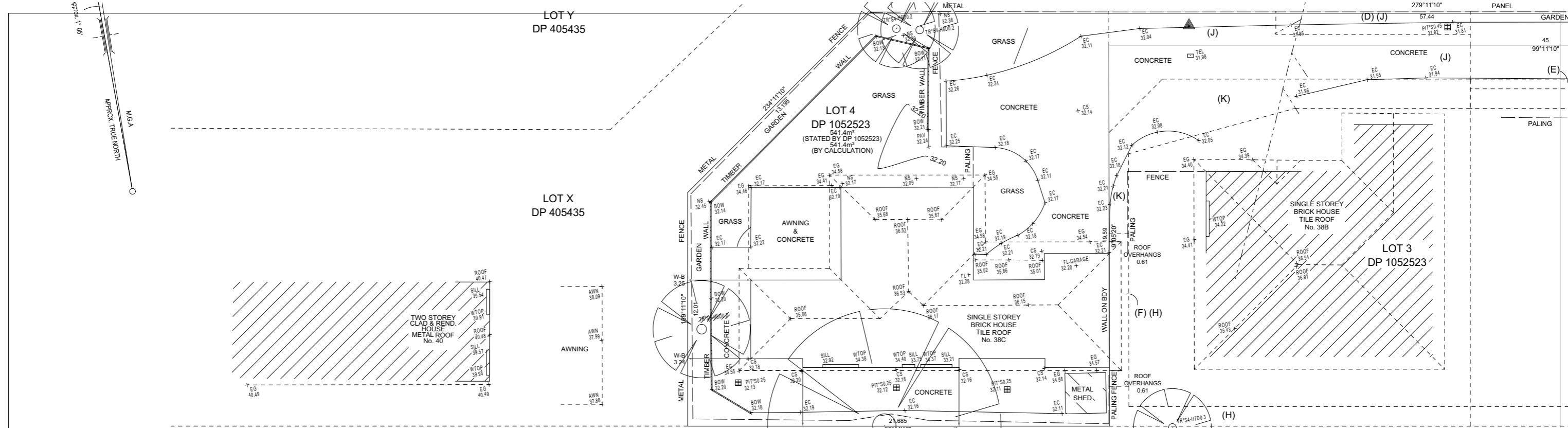
Certificate number: A1751541_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
 Date of issue: Friday, 25 October 2024
 To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	DAMO Brookvale_02
Street address	38C CONSUL ROAD - BROOKVALE 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP1052523
Lot number	4
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Mr Mike Michael Macaulay
ABN (if applicable):	



- LEGEND:**
- AHD AUSTRALIAN HEIGHT DATUM
 - AWN AWNING
 - BM BENCH MARK
 - BOW BOTTOM OF WALL
 - BRW BOTTOM OF RETAINING WALL
 - CL CENTRE LINE
 - CONC CONCRETE
 - CS CONCRETE SURFACE
 - D/H/S DIAMETER/HEIGHT/SPREAD
 - EC EDGE OF CONCRETE
 - EG EAVE & GUTTER
 - EP ELECTRICAL BOX
 - FL FLOOR LEVEL
 - GDN GARDEN
 - HYD HYDRANT
 - IC INSPECTION COVER
 - INV INVERT LEVEL
 - KO KERB OUTLET
 - LH LAMP HOLE
 - LIP LIP OF KERB
 - NS NATURAL SURFACE
 - PAV PAVERS
 - PP POWER POLE
 - PR PLANTER
 - RL REDUCED LEVEL
 - S STEPS
 - S-B SHED TO BOUNDARY
 - SL SURFACE LEVEL
 - SILL WINDOW SILL
 - SIP SEWER INSPECTION POINT
 - SMH SEWER MAN HOLE
 - SV STOP VALE
 - TEL TELSTRA PIT
 - TK TOP OF KERB
 - TOW/TW TOP OF WALL
 - TRW TOP OF RETAINING WALL
 - VC VEHICLE CROSSING
 - W-B WALL TO BOUNDARY
 - WM WATER METER
 - WTOP TOP OF WINDOW

1

SURVEY PLAN
1:200

LOT X
DP 404005

LOT Y
DP 404005

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

- (A) -RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 3.5 & 5 WIDE (VIDE DP 877565 & DP 1052523).
- (B) -EASEMENT TO DRAIN WATER 1.2 WIDE (VIDE DP 877565 & DP 1052523).
- (C) -EASEMENT TO DRAIN WATER 8.5 WIDE (VIDE DP 877565 & DP 1052523).
- (D) -EASEMENT FOR SERVICES 1.2, 3.5 & 5 WIDE (VIDE DP 877565 & DP 1052523).
- (E) -RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 0.5 WIDE (VIDE DP 877565 & DP 1052523).
- (F) -EASEMENT FOR OVERHANGING EAVES & GUTTER & FOR MAINTENANCE 1 WIDE (VIDE DP 877565 & DP 1052523).
- (H) -EASEMENT TO DRAIN WATER 1 WIDE & VARIABLE (VIDE DP 877565 & DP 1052523).
- (J) -RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 1.75 WIDE & VARIABLE (VIDE DP 877565 & DP 1052523).
- (K) -EASEMENT FOR SERVICES 1, 1.5 WIDE & VARIABLE (VIDE DP 877565 & DP 1052523).

THE SUBJECT TITLE NOTES : AS AT 9/10/2023

- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2) DP877565 POSITIVE COVENANT
- 3) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 4) DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
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- 12) DP1052523 EASEMENT FOR SERVICES 1, 1.5 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 13) AS582361 MORTGAGE TO HSBC BANK AUSTRALIA LIMITED

NOTES:

- A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
- B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
- E) USE STATED DIMENSIONS. DO NOT SCALE.
- F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
- G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

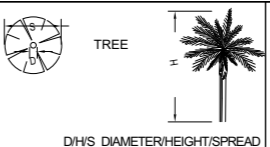
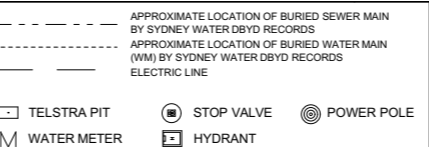
REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	12/10/2

BRANDAN BOWD
(REGISTERED SURVEYOR)
SURVEYOR ID No. 9122
TO BE READ WITH MY REPORT DATED 26.10.2023

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C&A SURVEYORS
30 Grose Street, Parramatta, NSW 2150
Ph: 96309299 email: Operations@candasurveyors.com.au
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION SURVEY OF
LOT 4 IN DP 1052523, LOCATED AT
No. 38C, CONSUL ROAD, BROOKVALE.



INSTRUCTING PARTY: CARLY TRACEY		SURVEYED BY: BW		DATUM: AF	
LGA: NORTHERN BEACHES	AREA BDY DP: 541.4m²	DRAWN BY: SU	CHECKED BY: K		
SURVEY DATE: 10/10/2023	AREA BY CALC: 541.4m²	SCALE: 1:100@A1	REF. NO: 30632-23 DET/		
DATE DRAWN: 12/10/2023	CONTOUR INTERVAL: 0.2 m	REV No: V1	SHEET: 1	OF	

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Building Design and Architectural Drafting

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ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans

Project North

Checked Plot Date: GBJ 4/11/2024
Project No: RP1123MAC
Project Status: DA

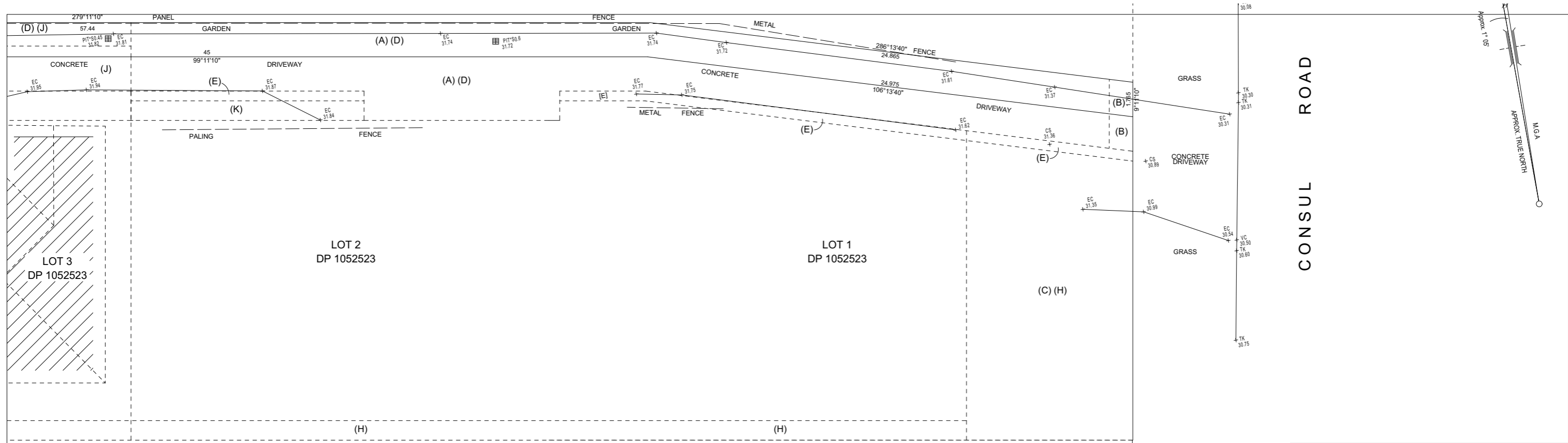
Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale

Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
SITE SURVEY 1

PROJECT NAME :
Alterations & Additions

REVISION No.
DATE:
11-10-2024
DRAWING NO.
DA1002



THE SUBJECT TITLE NOTES : AS AT 9/10/2023

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- C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
- ORIGIN OF LEVELS: PM 827, RL 32.827 (AHD), CLASS LB.
- E) USE STATED DIMENSIONS, DO NOT SCALE.
- F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
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**DA APPLICATION
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BRANDAN BOWD
(REGISTERED SURVEYOR)
SURVEYOR ID No. 9122
TO BE READ WITH MY REPORT DATED 26.10.2023

REVISION No	DESCRIPTION	DA
V1	PLAN ISSUED	12/10/2



LEGEND:

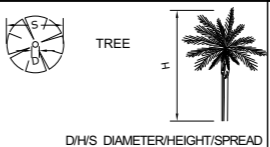
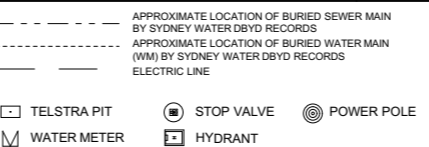
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PR	PLANTER
RL	REDUCED LEVEL
S	STEPS
S-B	SHED TO BOUNDARY
SL	SURFACE LEVEL
SILL	WINDOW SILL
SIP	SEWER INSPECTION POINT
SMH	SEWER MAN HOLE
SV	STOP VALE
TEL	TELSTRA PIT
TK	TOP OF KERB
TOWTW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
W-B	WALL TO BOUNDARY
WM	WATER METER
WTOP	TOP OF WINDOW

1 SURVEY PLAN 1:200

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30 Grose Street, Parramatta, NSW 2150
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DETAIL & BOUNDARY IDENTIFICATION SURVEY OF
LOT 4 IN DP 1052523, LOCATED AT
No. 38C, CONSUL ROAD, BROOKVALE.



INSTRUCTING PARTY: CARLY TRACEY		SURVEYED BY: BW		DATUM: Af	
LGA: NORTHERN BEACHES	AREA BDY DP: 541.4 m²	DRAWN BY: SU	CHECKED BY:		
SURVEY DATE: 10/10/2023	AREA BY CALC: 541.4 m²	SCALE: 1:100@A1	REF. NO: 30632-23	DET:	
DATE DRAWN: 12/10/2023	CONTOUR INTERVAL: 0.2 m	REV No: V1	SHEET:	2 OF	

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Building Design and Architectural Drafting
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bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
bdaa ACCREDITED BUILDING DESIGNER

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
Checked Plot Date: GBJ 4/11/2024
Project NO: RP1123MAC
Project Status: DA
Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale
Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION SITE SURVEY 2
PROJECT NAME : Alterations & Additions
REVISION NO. :
DATE: 11-10-2024
DRAWING NO. : DA1003

Denotes New DA Works Under This Application

Denotes Works Under CDC

Wall Legend

Denotes New Timber Framed Wall

Denotes Concrete

Denotes Existing Wall

Denotes Demolished Item

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

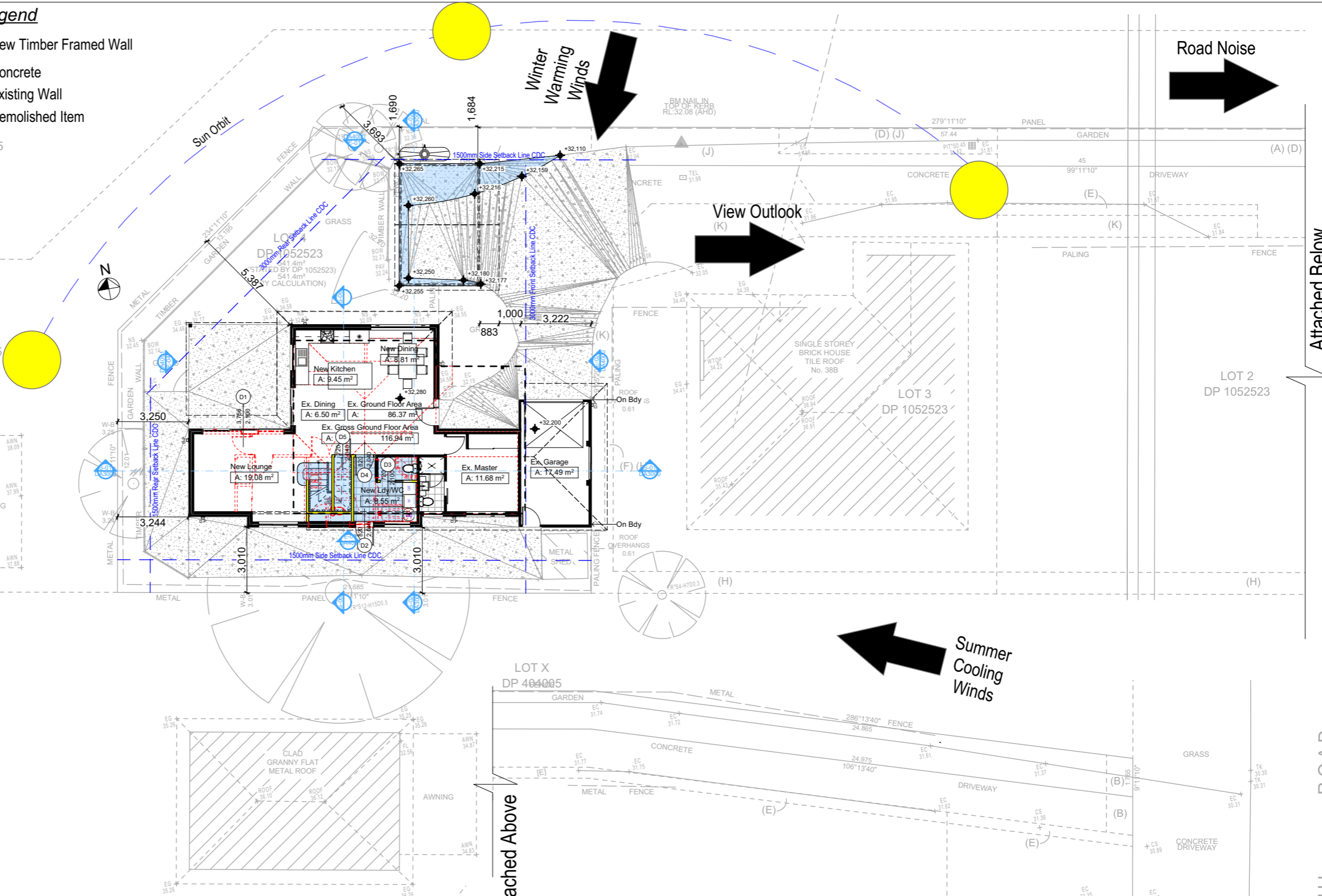
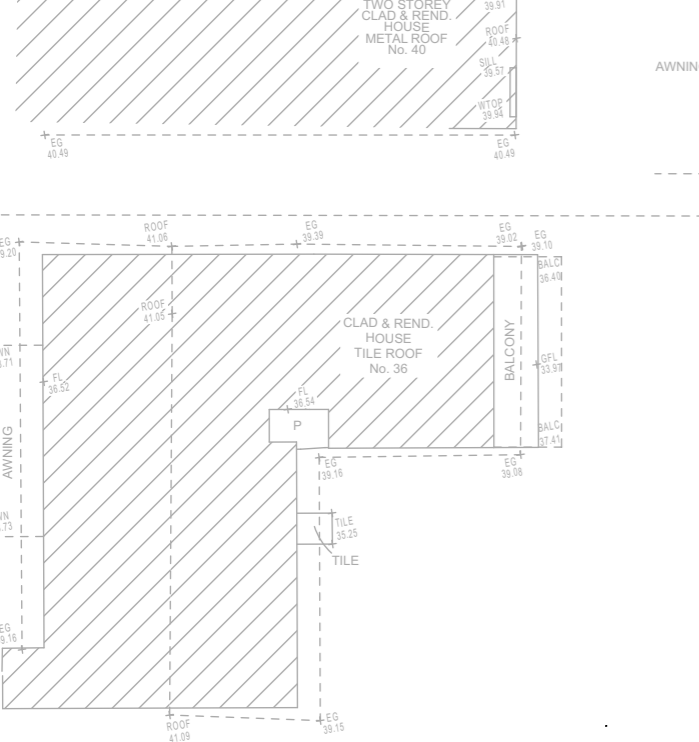
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	N/A
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)



1 SITE PLAN 1:200

1 SITE PLAN 1:200 LOT 1 DP 1052523

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
38C Consul Road Brookvale is not considered a heritage item

Construction
Timber Framed Floor, Cladded Walls
Roof Tiled to have R0.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01289-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A1751541_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m ²)	1	Yes	% of landscape open space (40% min)	23%	Exist.
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m ²)	77%	Exist.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

Rapid Plans
Building Design and Architectural Drafting

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Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Checked Plot Date: GBJ 4/11/2024 RP1123MAC DA

Project Status

Client Site: Damien & Linda Macaulay 38C Consul Road Brookvale

Sheet Size: A3

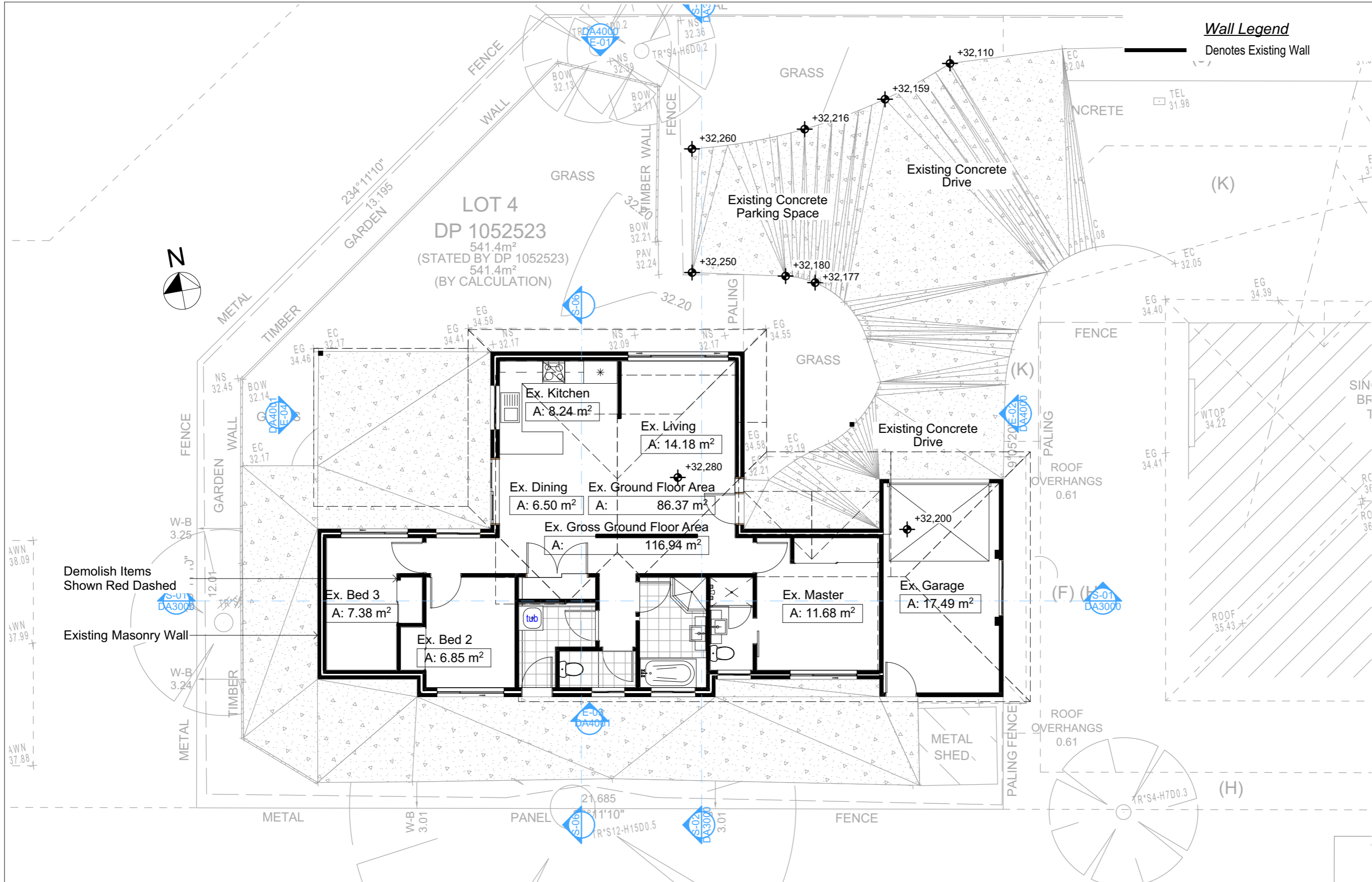
DRAWING TITLE : **SITE AND LOCATION SITE PLAN**

PROJECT NAME : **Alterations & Additions**

REVISION NO. -

DATE: **11-10-2024**

DRAWING NO. **DA1004**



Wall Legend
Denotes Existing Wall



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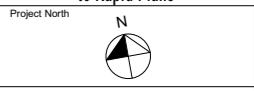


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Timber Framed Floor Cladded Walls
Roof Tiled to have R1.95 insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
Work to Engineers Specifications and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2281
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhang specifications must be satisfied for each window and glazed door.
For products described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP1233MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 11-10-2024

DRAWING NO.
DA1005

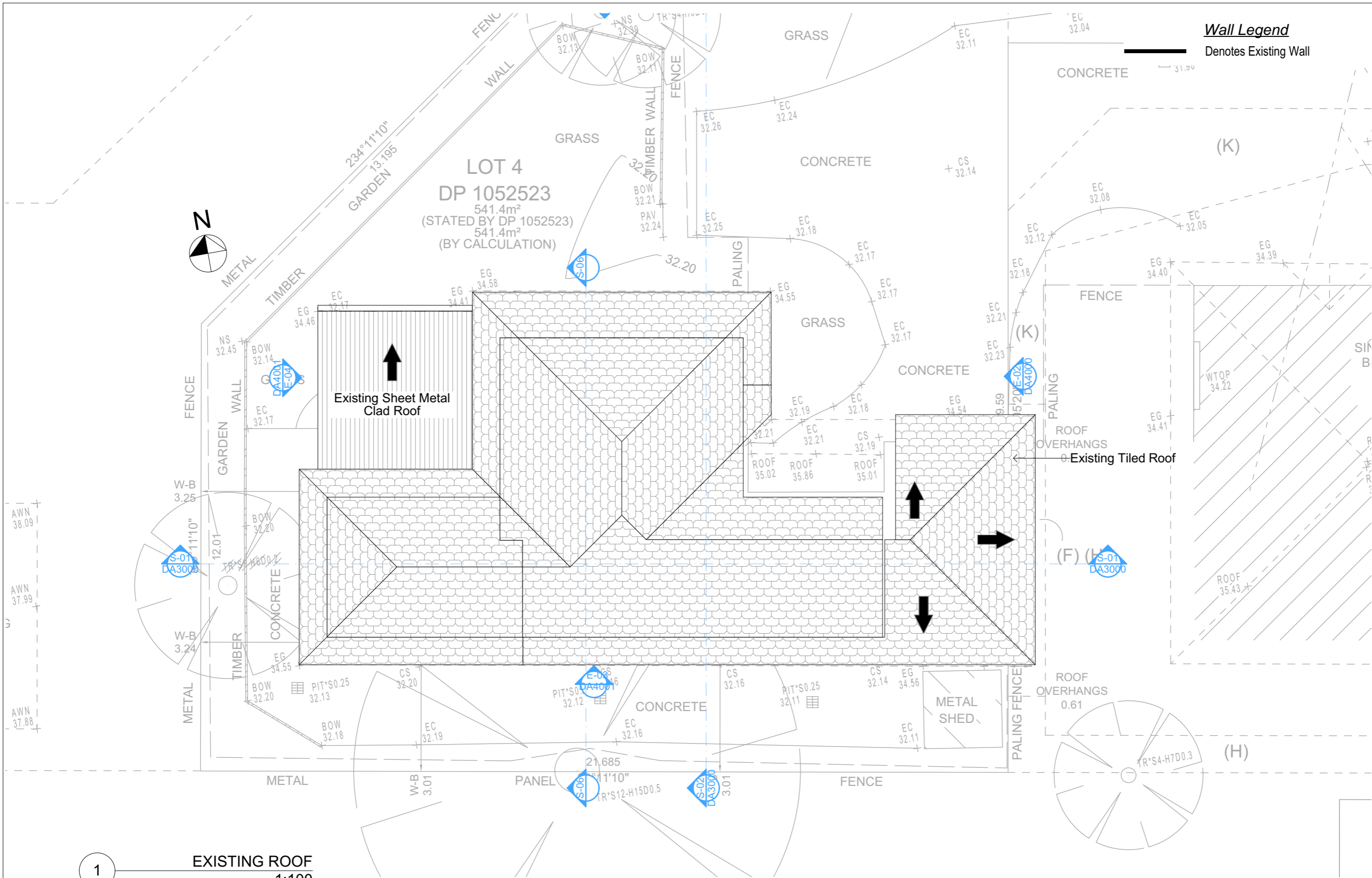
Plot Date: 4/11/2024
Sheet Size: A3

1 EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Wall Legend
Denotes Existing Wall



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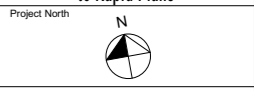
NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Timber Framed Floor Cladded Walls
Roof Tiled to have R1.95 insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208:2007
Waterproofing to BCA and AS 3747
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhang specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the curbs and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP123MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE:
SITE AND LOCATION
Existing Roof Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 11-10-2024

DRAWING NO.
DA1006

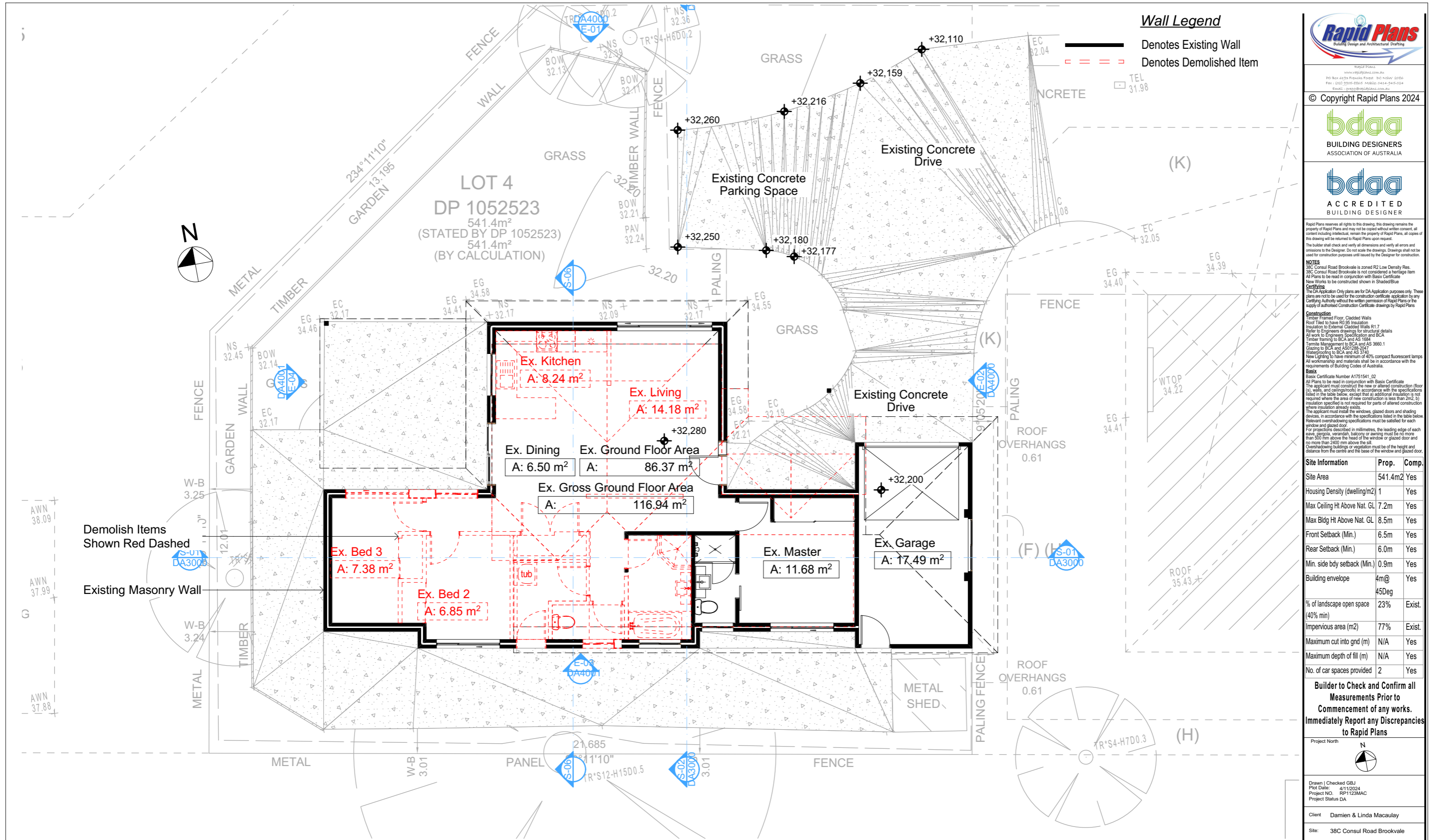
Plot Date: 4/11/2024
Sheet Size: A3

1 EXISTING ROOF 1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Wall Legend
 ————— Denotes Existing Wall
 - - - - - Denotes Demolished Item



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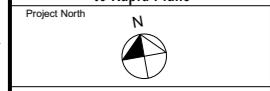
NOTES
 38C Consul Road Brookvale is zoned R2 Low Density Res.
 38C Consul Road Brookvale is not considered a heritage item.
 All Plans to be read in conjunction with Basic Certificate.
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
 Timber Framed Floor, Cladded Walls
 Roof Tiled to have R1.95 insulation
 Insulation to External Cladded Walls R1.7
 Refer to Engineers drawings for structural details
 At work to Engineers Specifications and BCA
 Timber Framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS 2208-2007
 Waterproofing to BCA and AS 3747
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
 Basic Certificate Number A1751541_02
 All Plans to be read in conjunction with Basic Certificate.
 The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side body setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
 Plot Date: 4/11/2024
 Project No.: RP1223MAC
 Project Status DA

Client: Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE SITE AND LOCATION
 Demolition Ground Floor Plan

PROJECT NAME:
 Alterations & Additions

REVISION NO. DATE
 - 11-10-2024

DRAWING NO.
 DA1007

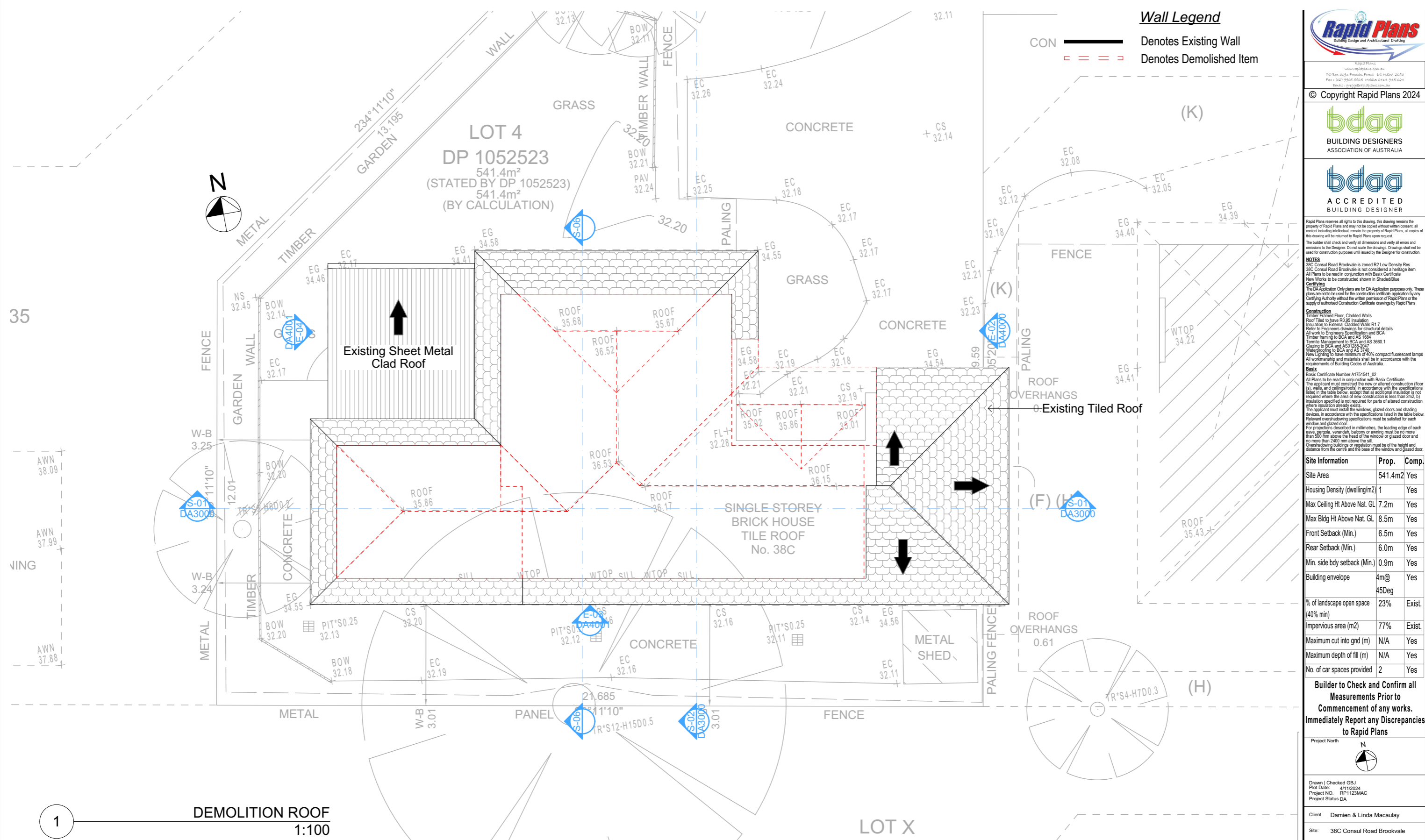
Plot Date: 4/11/2024
 Sheet Size: A3

1 DEMOLITION GROUND FLOOR
 1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

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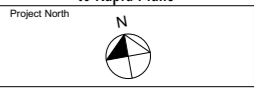


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Construction
 Timber Framed Floor Cladded Walls
 Roof Tiled to have R1.95 Insulation
 Insulation to External Cladded Walls R1.7
 Refer to Engineers drawings for structural details
 All work to Engineers Specifications and BCA
 Timber Framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS 2288.2015
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.
Basic
 Basic Certificate Number A1751541_02
 All Plans to be read in conjunction with Basic Certificate
 The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For products described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
 Plot Date: 4/11/2024
 Project NO.: RP123MAC
 Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE:
 SITE AND LOCATION
Demolition Roof Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
 - 11-10-2024

DRAWING NO.
DA1008

Plot Date: 4/11/2024
 Sheet Size: A3

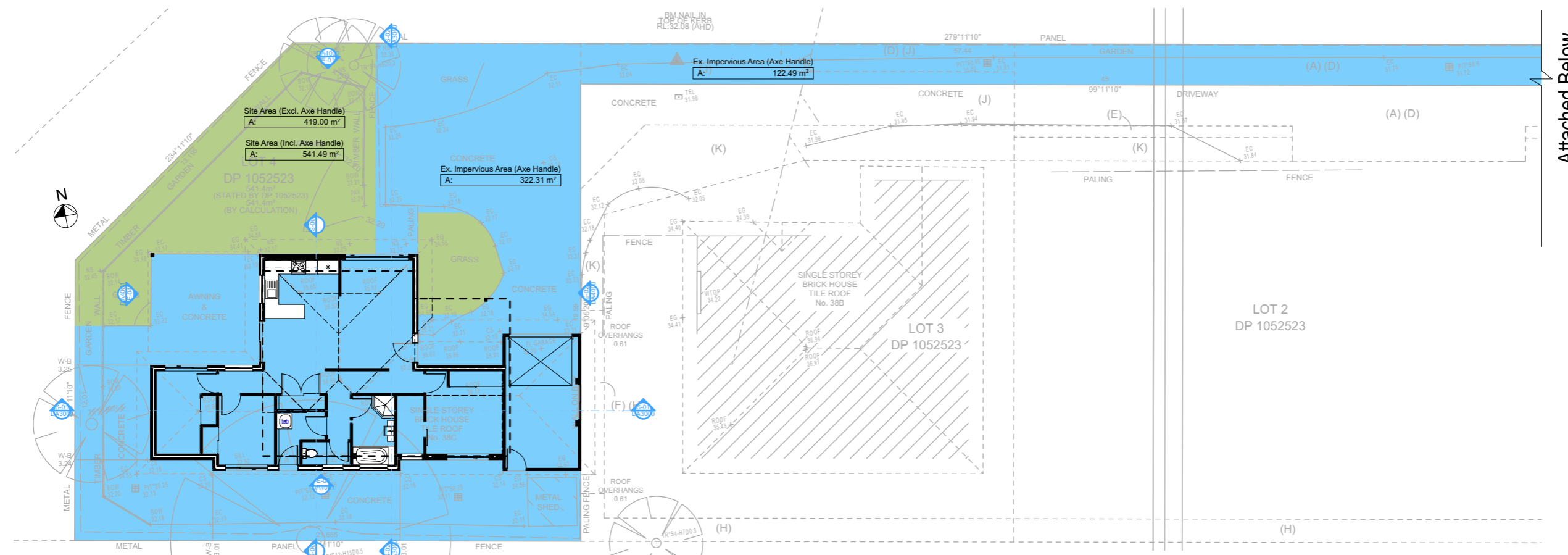
All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



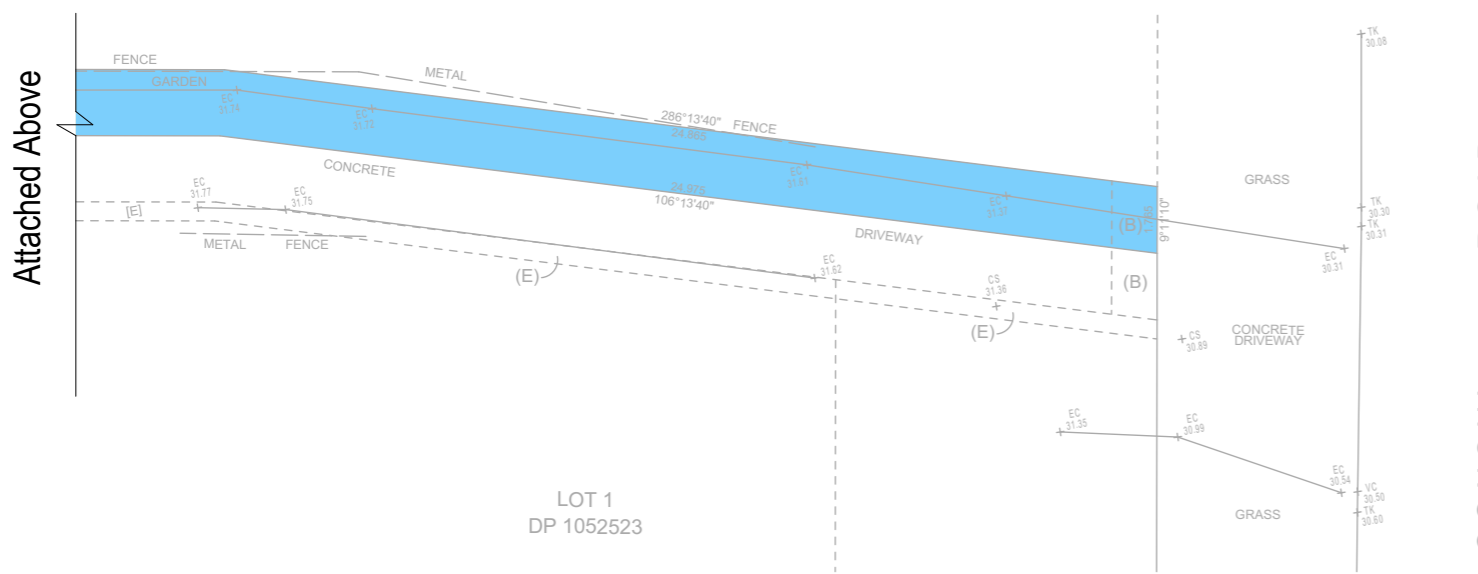
Description	Area (m ²)	Percentage
Site Area Including Axe Handle	541.4m ²	100%
Site Area Excluding Axe Handle	419.0m ²	100%
Exist. Open Landscape Area (Excl Axe Handle)	96.69m ²	23%
Exist. Impervious Area (Excl. Axe Handle)	322.31m ²	77%
Proposed Open Landscape Area (Excl. Axe Handle)	96.69m ²	23%
Proposed Impervious Area (Excl. Axe Handle)	322.31m ²	77%

Note:
CLAD GRANNY METAL R Total Open Landscape Area for the property will be maintained

1 LANDSCAPE OPEN SPACE EXISTING 1:200

Wall Legend

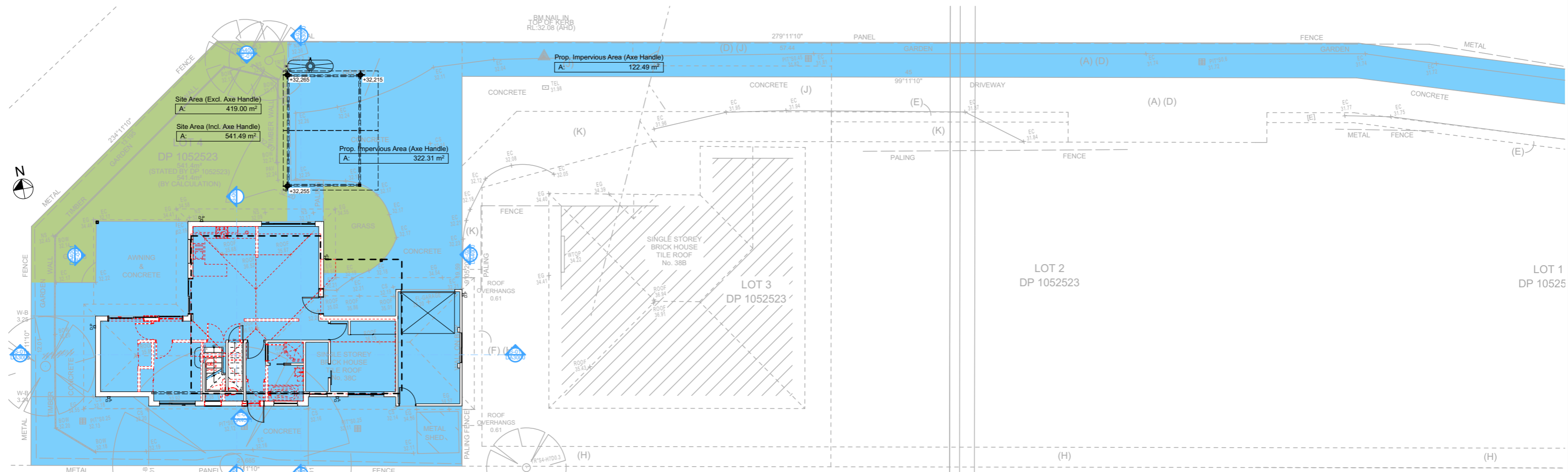
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area



1 LANDSCAPE OPEN SPACE EXISTING 1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.



THE SUBJECT TITLE NOTES : AS AT 9/10/2023

- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2) DP877565 POSITIVE COVENANT
- 3) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 4) DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 5) DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 6) DP877565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 7) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 0.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 8) DP1052523 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 4 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item
- Denotes Impervious Area
- Denotes Pervious Area

1 LANDSCAPE OPEN SPACE PROPOSED 1:200

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	541.4m2	Yes	Building envelope	4m@45Deg	Yes
Housing Density (dwelling/m2)	1	Yes	% of landscape open space (40% min)	23%	Exist.
Max Ceiling Ht Above Nat. GL	7.2m	Yes	Impervious area (m2)	77%	Exist.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into grd (m)	N/A	Yes
Front Setback (Min.)	6.5m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	6.0m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	0.9m	Yes			

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
 38C Consul Road Brookvale is zoned R2 Low Density Res.
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 38C Consul Road Brookvale is not considered a heritage item
Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
 Timber Framed Floor, Cladded Walls
 Roof Tiled to have R0.95 Insulation
 Insulation to External Cladded Walls R1.7
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01289-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A1751541_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m2
 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Rapid Plans
 www.rapidplans.com.au
 PO Box 6198 Frenchs Forest
 NSW 2086
 Fax: (02) 9905-8665
 Mobile: 0414-945-024
 Email: greg@rapidplans.com.au
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 The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North
 Checked Plot Date: GBJ 4/11/2024
 Project Status: RP1123MAC DA
 Client: Damien & Linda Macaulay
 Site: 38C Consul Road Brookvale
 Sheet Size: A3

DRAWING TITLE : SITE AND LOCATION
Landscape Open Space Plan Proposed
PROJECT NAME : Alterations & Additions

REVISION NO.
 -
 DATE: 11-10-2024
 DRAWING NO. DA1010

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
 Plot Date: 4/11/2024
 Project NO.: RP1223MAC
 Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE:
 SITE AND LOCATION
Landscape Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
 - 11-10-2024

DRAWING NO.
DA1011

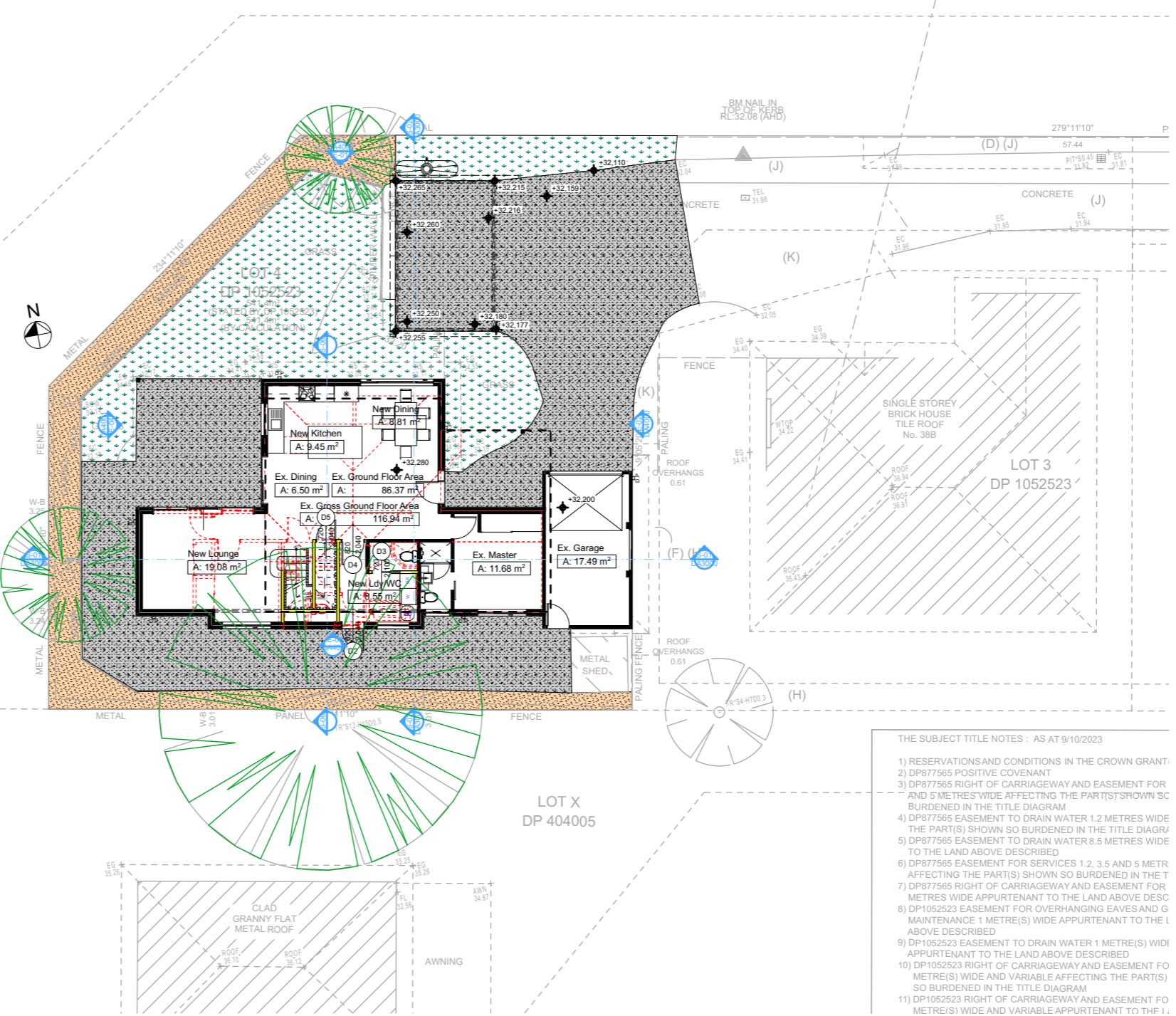
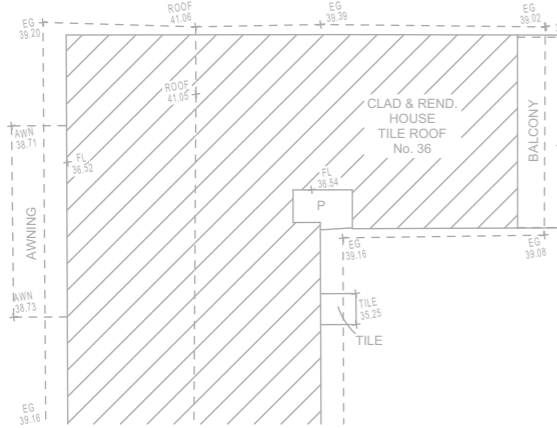
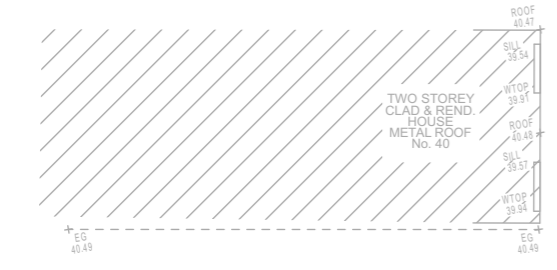
Plot Date: 4/11/2024
 Sheet Size: A3

Landscape Legend

Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Existing Tree To Remain		
		Existing Grass To Remain		

Landscape Legend

Ground Covers Schedule	Symbol	Common Name
		Garden Area
		Concrete Paved



- THE SUBJECT TITLE NOTES : AS AT 9/10/2023
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT
 - DP877565 POSITIVE COVENANT
 - DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE TO THE LAND ABOVE DESCRIBED
 - DP877565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE T
 - DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR METRES WIDE APPURTENANT TO THE LAND ABOVE DESC
 - DP1052523 EASEMENT FOR OVERHANGING EAVES AND G MAINTENANCE 1 METRE(S) WIDE APPURTENANT TO THE L ABOVE DESCRIBED
 - DP1052523 EASEMENT TO DRAIN WATER 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FO METRE(S) WIDE AND VARIABLE AFFECTING THE PART(S) SO BURDENED IN THE TITLE DIAGRAM
 - DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FO METRE(S) WIDE AND VARIABLE APPURTENANT TO THE I.

1

LANDSCAPE PLAN
 1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY
 NOT FOR CONSTRUCTION

Denotes New DA Works Under This Application

Denotes Works Under CDC

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Concrete
- Denotes Existing Wall
- Denotes Demolished Item



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Building Design and Architectural Drafting

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NOTES

38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue Colour.

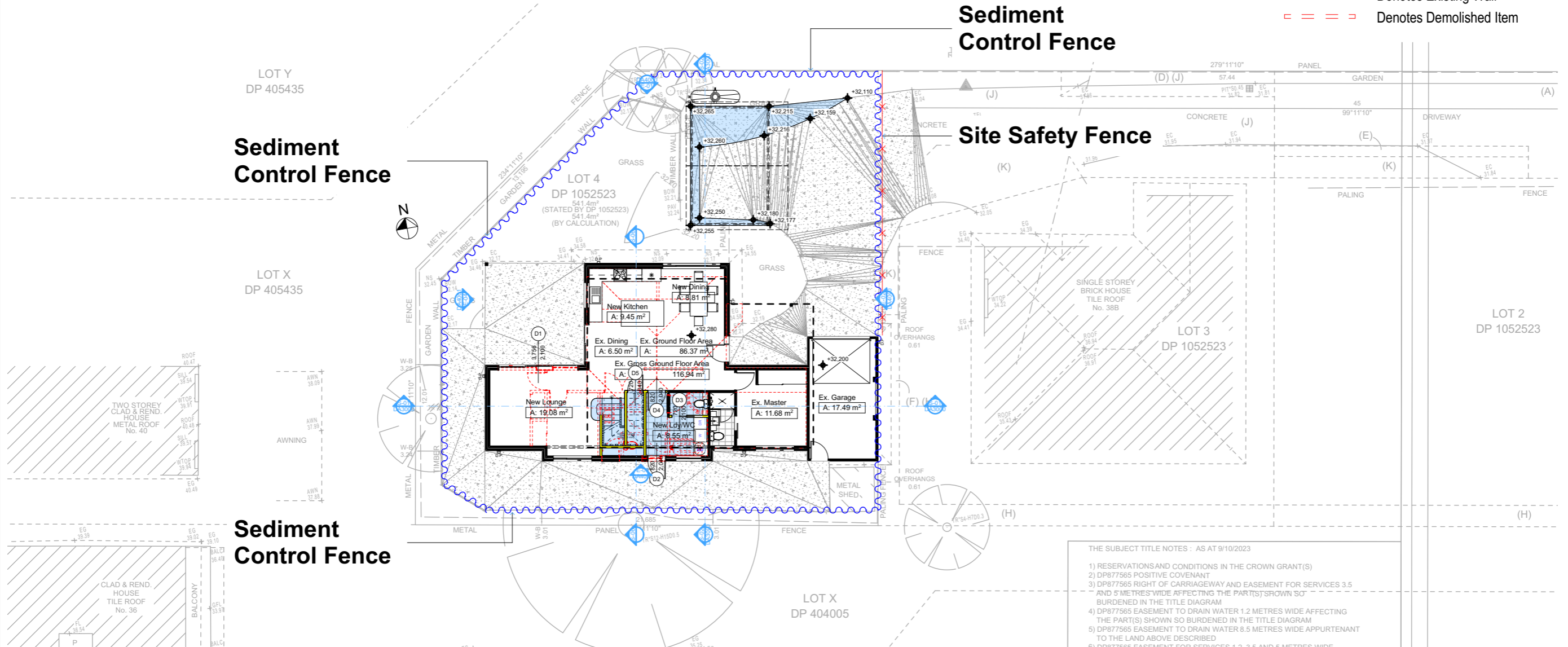
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Timber Framed Floor: Cladded Walls
Roof Tiled to have R0.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288.204
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overhanging specifications must be satisfied for each window and glazed door.
For products described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the curbs and the base of the window and glazed door.




- THE SUBJECT TITLE NOTES : AS at 9/10/2023
- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - 2) DP877565 POSITIVE COVENANT
 - 3) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 4) DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 5) DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 6) DP877565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project No.: RP123MAC
Project Status DA

Client: Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

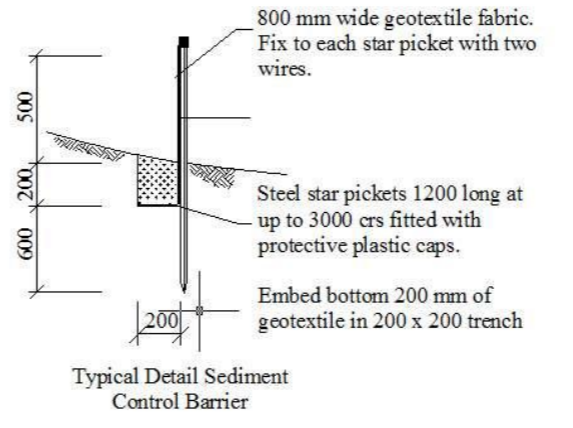
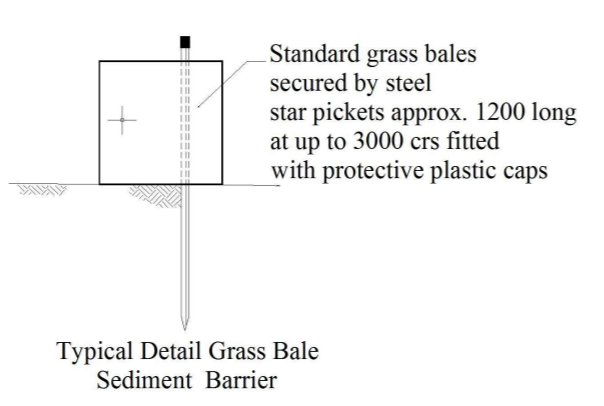
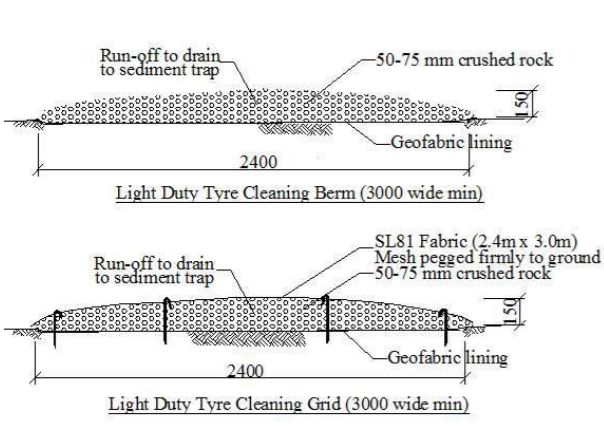
PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 11-10-2024

DRAWING NO.
DA1012

Plot Date: 4/11/2024
Sheet Size: A3

1 SEDIMENT & EROSION CONTROL PLAN 1:200



DA APPLICATION ONLY
(NOT FOR CONSTRUCTION)

Denotes New DA Works Under This Application

Denotes Works Under CDC

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Concrete
- Denotes Existing Wall
- Denotes Demolished Item



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ACCREDITED BUILDING DESIGNER

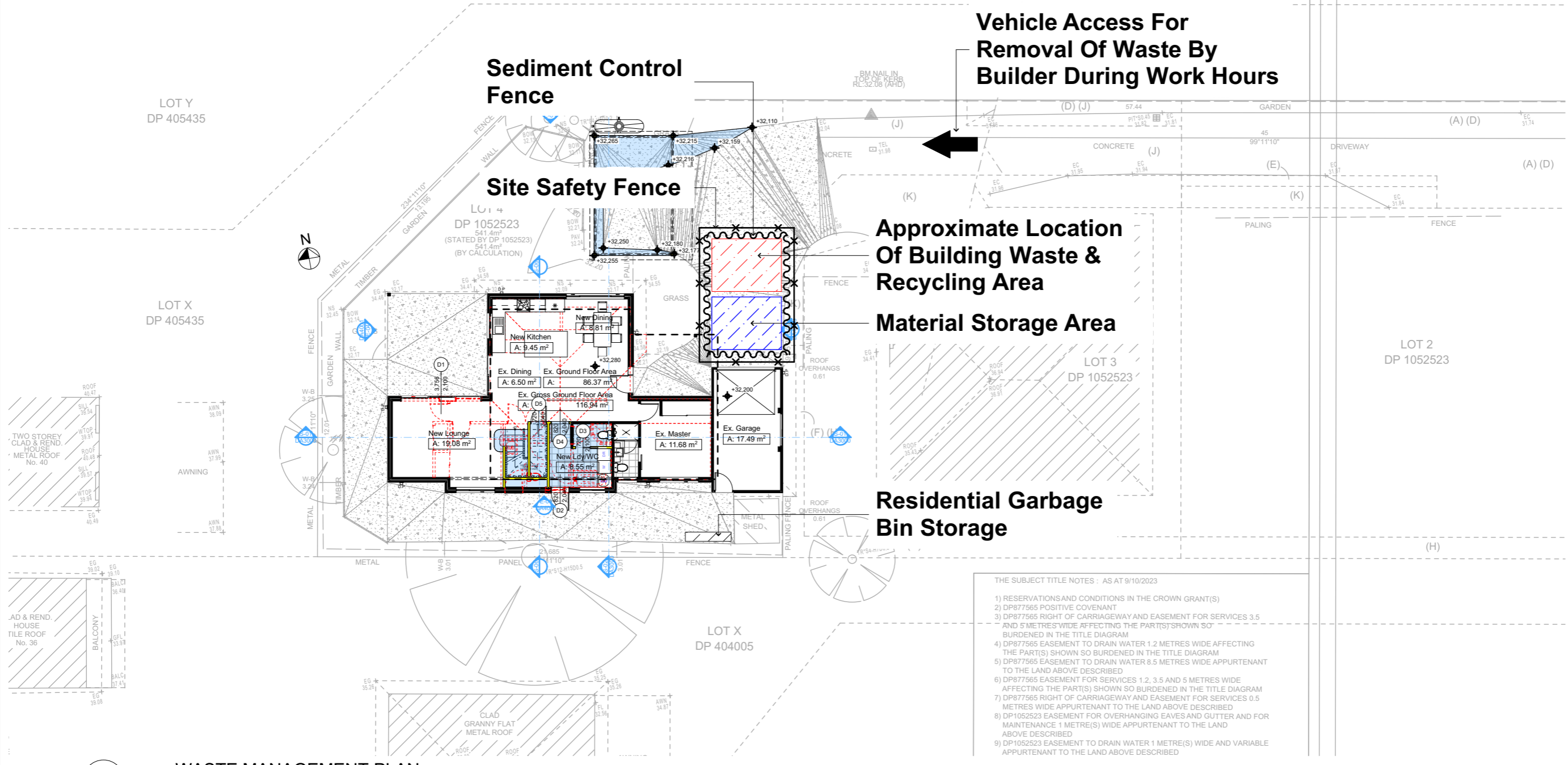
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NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Timber Framed Floor Cladded Walls
Roof Tiled to have R1.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208:2007
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 20m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhanging specifications must be satisfied for each window and glazed door.
For protrusions described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the curbs and the base of the window and glazed door.



- THE SUBJECT TITLE NOTES : AS AT 9/10/2023
- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - 2) DP877565 POSITIVE COVENANT
 - 3) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 4) DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 5) DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 6) DP877565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 7) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 0.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 8) DP1052523 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 9) DP1052523 EASEMENT TO DRAIN WATER 1 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED

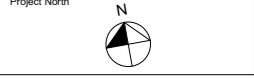
1 WASTE MANAGEMENT PLAN 1:200

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP123MAC
Project Status DA

Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale

DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE
- 11-10-2024
DRAWING NO.
DA1013

Plot Date: 4/11/2024
Sheet Size: A3

Denotes New DA Works Under This Application

Denotes Works Under CDC



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PO Box 6239 Fyshwick Vic 3048
Tel: (03) 9360-8565 Mobile: 0414-94-6024
Email: info@rapidplans.com.au

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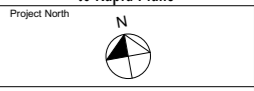
NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Timber Framed Floor, Cladded Walls
Roof Tiled to have R1.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3666.1
Glazing to BCA and AS 2208-2007
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor to walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project No.: RP1223MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE:
SITE AND LOCATION
Stormwater Plan

PROJECT NAME:
Alterations & Additions

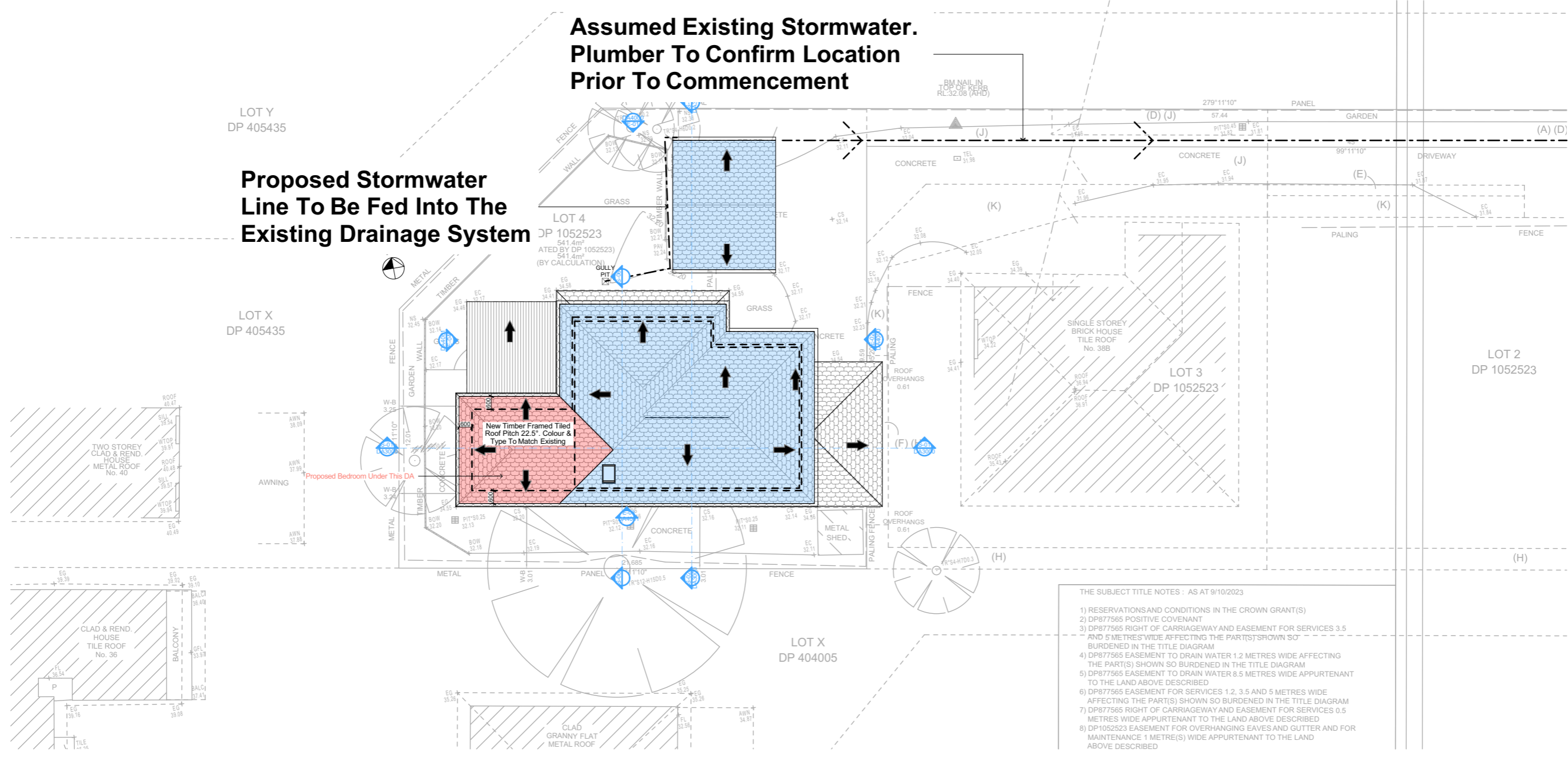
REVISION NO. DATE
- 11-10-2024

DRAWING NO.
DA1014

Plot Date: 4/11/2024
Sheet Size: A3

Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement

Proposed Stormwater Line To Be Fed Into The Existing Drainage System



- THE SUBJECT TITLE NOTES : AS AT 9/10/2023
- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - 2) DP877565 POSITIVE COVENANT
 - 3) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 4) DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 5) DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 6) DP877565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 7) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 0.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 8) DP1052523 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED

1 STORMWATER PLAN 1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

DA APPLICATION ONLY NOT FOR CONSTRUCTION

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)

Denotes New DA Works Under This Application

Denotes Works Under CDC

Wall Legend

- Denotes New Timber Framed Wall
- Denotes Concrete
- Denotes Existing Wall
- Denotes Demolished Item

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Building Design and Architectural Drafting

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NOTES

38C Consul Road Brookvale is zoned R2 Low Density Res.

38C Consul Road Brookvale is not considered a heritage item.

All Plans to be read in conjunction with Basic Certificate.

New Works to be constructed shown in Shaded/Blue.

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Construction

Timber Framed Floor: Cladded Walls

Roof Tiled to have R0.95 Insulation

Insulation to External Cladded Walls: R1.7

Refer to Engineers drawings for structural details

Timber Framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS 2208.2017

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A175151_02

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overhanging specifications must be satisfied for each window and glazed door.

For protrusions described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overhanging buildings or vegetation must be of the height and distance from the eave and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 4/11/2024
Project No.: RP123MAC
Project Status DA

Client: Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE: **PLANS GROUND FLOOR**

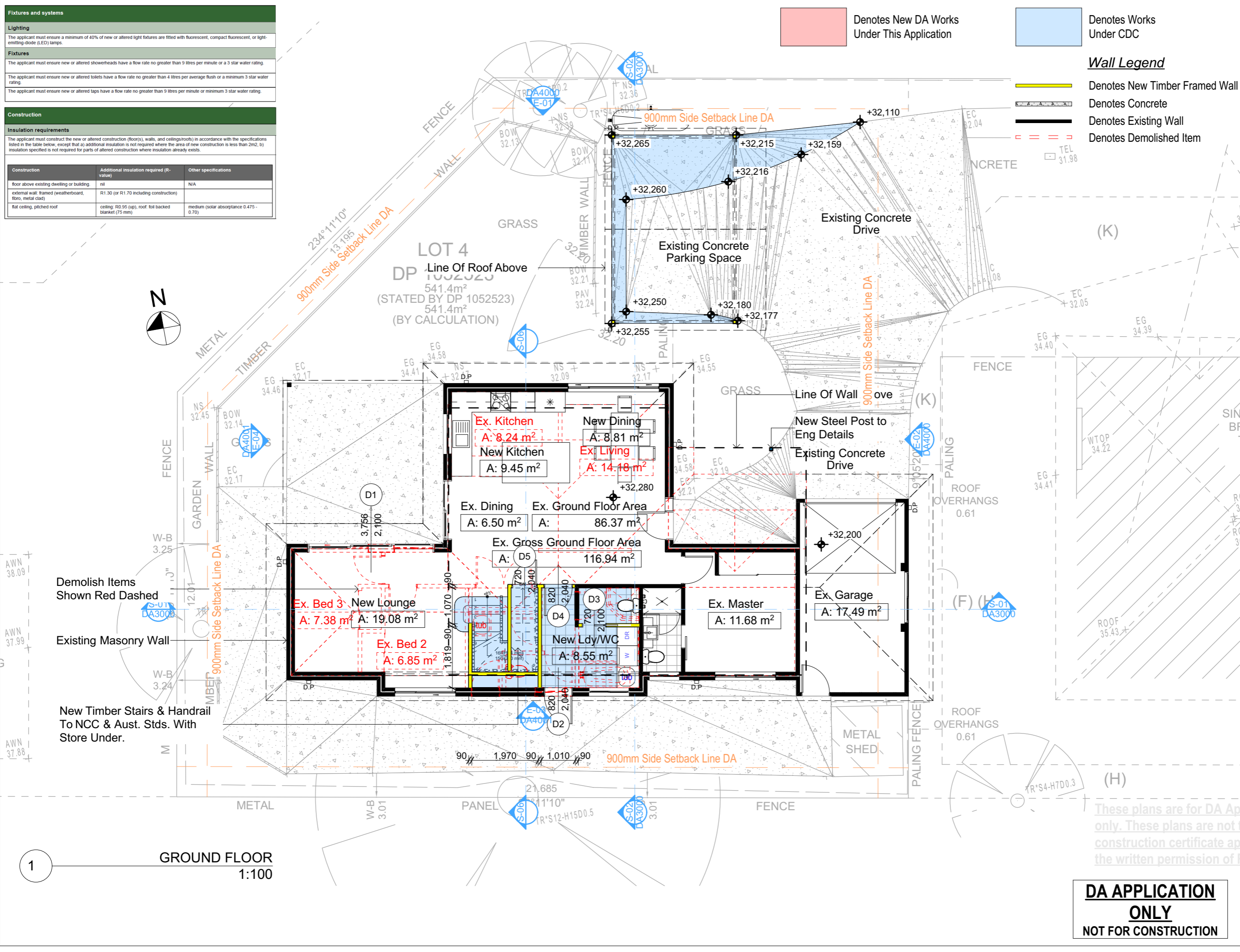
PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE

- 11-10-2024

DRAWING NO. **DA2001**

Plot Date: 4/11/2024
Sheet Size: A3



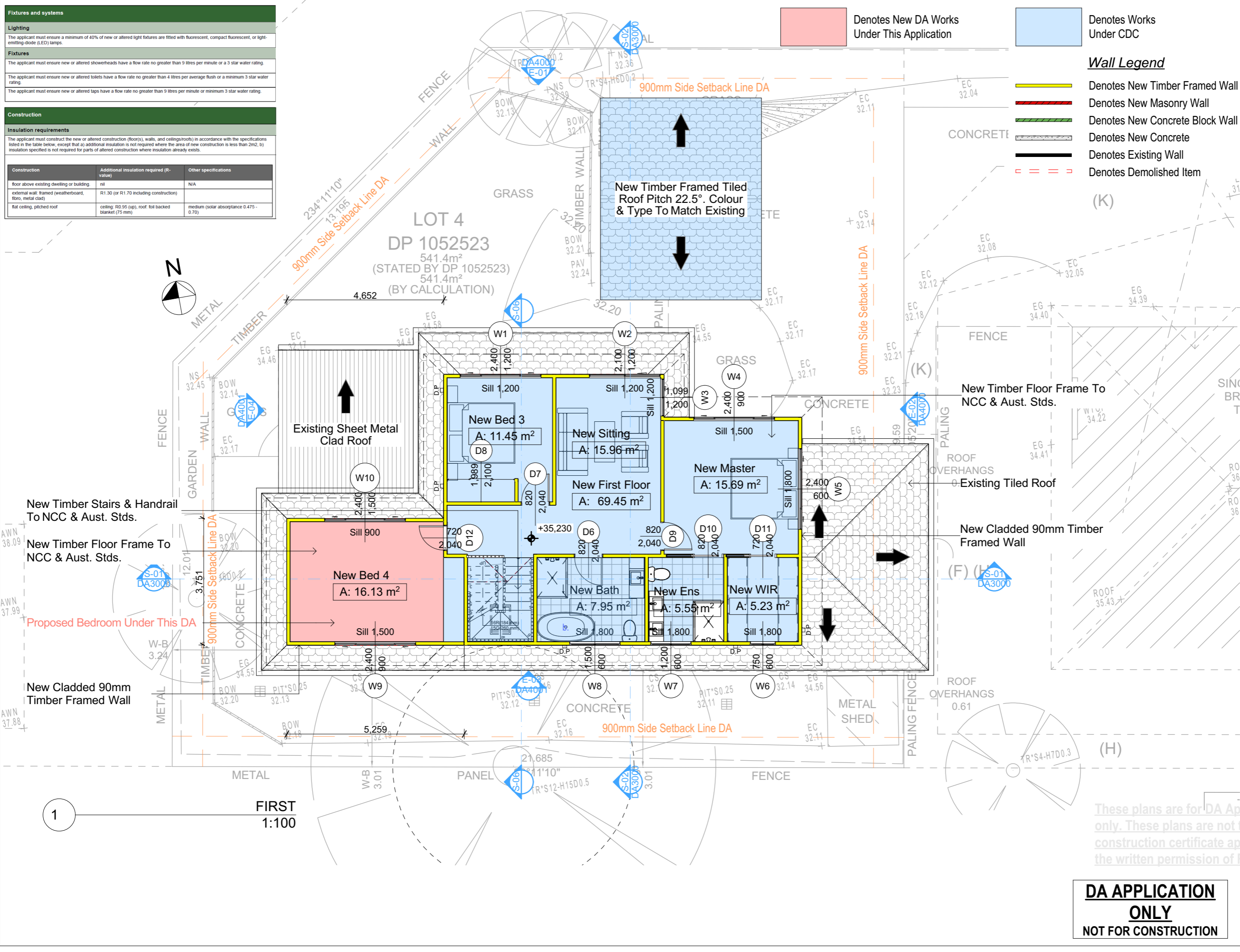
1

GROUND FLOOR
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Fixtures and systems		
Lighting		
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		
Fixtures		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		
Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building	nil	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorbance 0.475 - 0.70)



Denotes New DA Works Under This Application

Denotes Works Under CDC

- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

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Building Design and Architectural Drafting

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NOTES

38C Consul Road Brookvale is zoned R2 Low Density Res. 38C Consul Road Brookvale is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue Settings.

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction

Timber Framed Floor: Cladded Walls
Roof Tiled to have R0.95 insulation
Insulation to External Cladded Walls: R1.7
Refer to Engineers drawings for structural details
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2281
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic

Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side body setback (Min.)	0.9m	Yes
Building envelope	4m @ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Client: Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP123MAC
Project Status DA

DRAWING TITLE: PLANS
FIRST FLOOR

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 11-10-2024
DRAWING NO. **DA2002**

Plot Date: 4/11/2024
Sheet Size: A3

DA APPLICATION ONLY
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FIRST 1:100

1

Denotes New DA Works Under This Application

Denotes Works Under CDC

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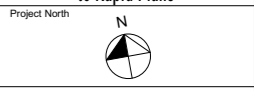
NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue.
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Timber Framed Floor, Cladded Walls
Roof Tiled to have R1.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208
Waterproofing to BCA and AS 3747
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the cornice and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP1223MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE: SECTIONS SECTION 1

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 11-10-2024

DRAWING NO. DA3000

Plot Date: 4/11/2024
Sheet Size: A3

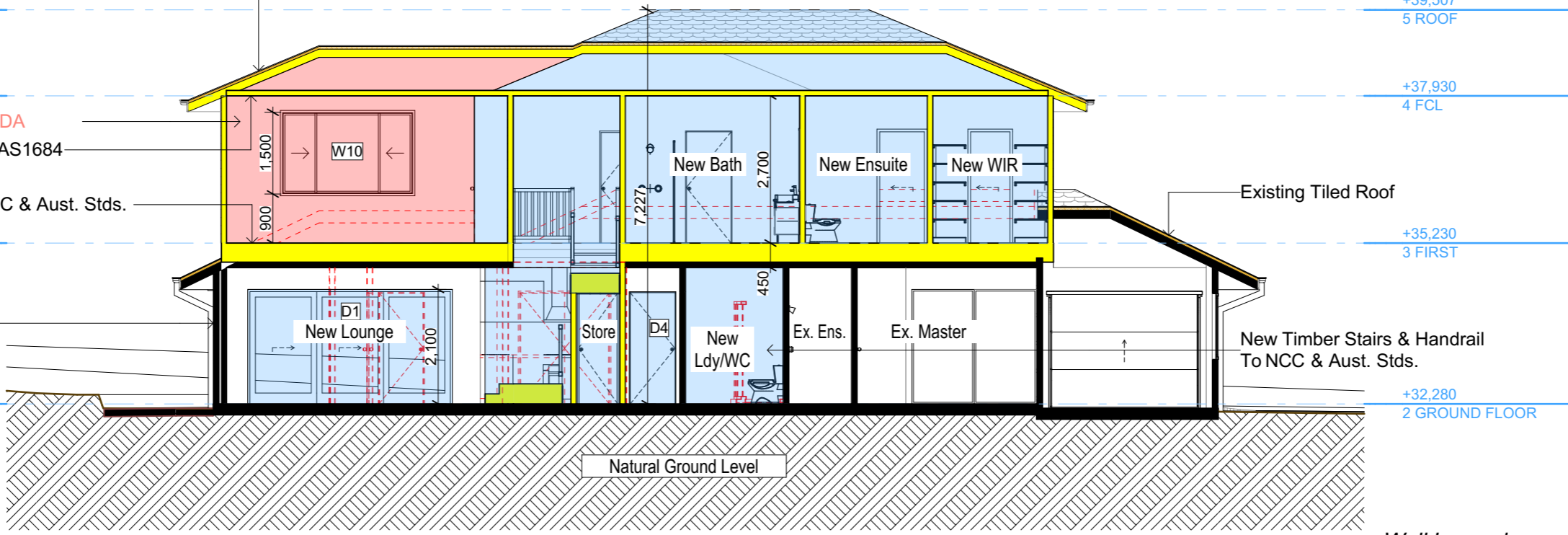
New Timber Framed Tiled Roof Pitch 22.5°. Colour & Type To Match Existing
+39,507
5 ROOF

+37,930
4 FCL
Proposed Bedroom Under This DA

New Timber Framed Ceiling To AS1684

New Timber Floor Frame To NCC & Aust. Stds.
+35,230
3 FIRST

Existing Masonry Wall
+32,280
2 GROUND FLOOR



S-01 SECTION 1 1:100

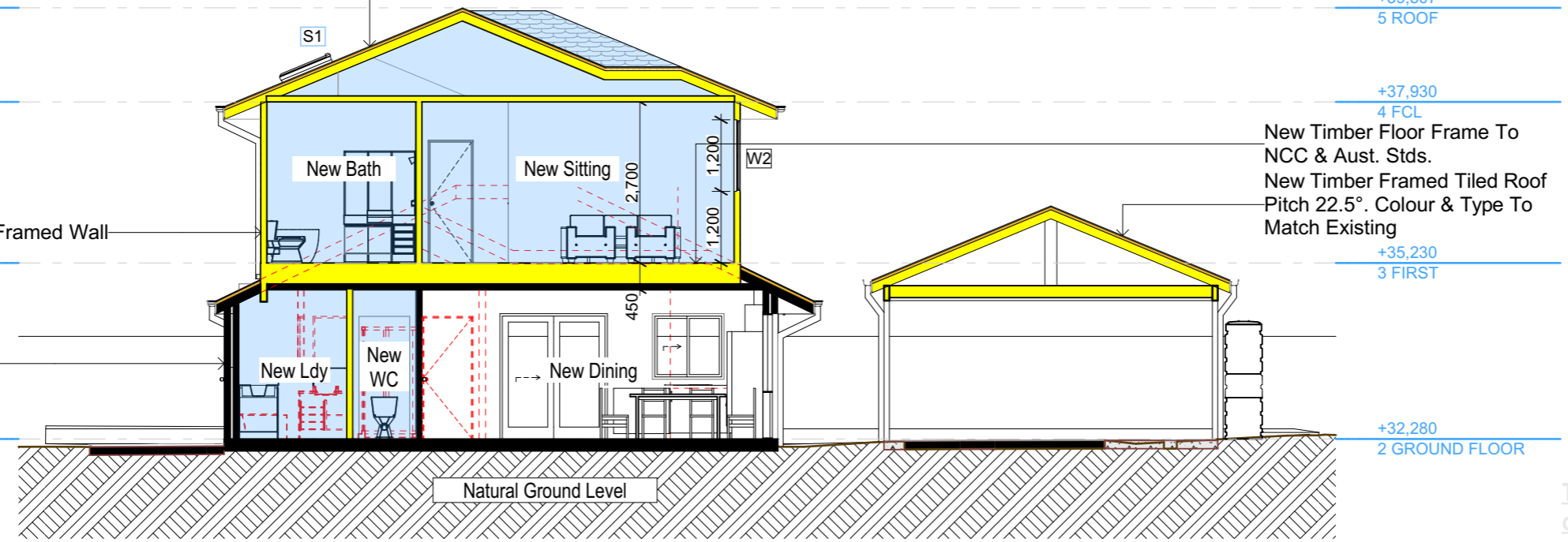
Wall Legend
 Denotes New Timber Framed Wall
 Denotes New Concrete
 Denotes Existing Wall
 Denotes Demolished Item

New Timber Framed Tiled Roof Pitch 22.5°. Colour & Type To Match Existing
+39,507
5 ROOF

+37,930
4 FCL

New Cladded 90mm Timber Framed Wall
+35,230
3 FIRST

Existing Masonry Wall
+32,280
2 GROUND FLOOR



New Timber Floor Frame To NCC & Aust. Stds.
New Timber Framed Tiled Roof Pitch 22.5°. Colour & Type To Match Existing
+35,230
3 FIRST

S-02 SECTION 2 1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Denotes New DA Works Under This Application

Denotes Works Under CDC

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes New Concrete
- Denotes Existing Wall
- Denotes Demolished Item



Rapid Plans
Building Design and Architectural Drafting

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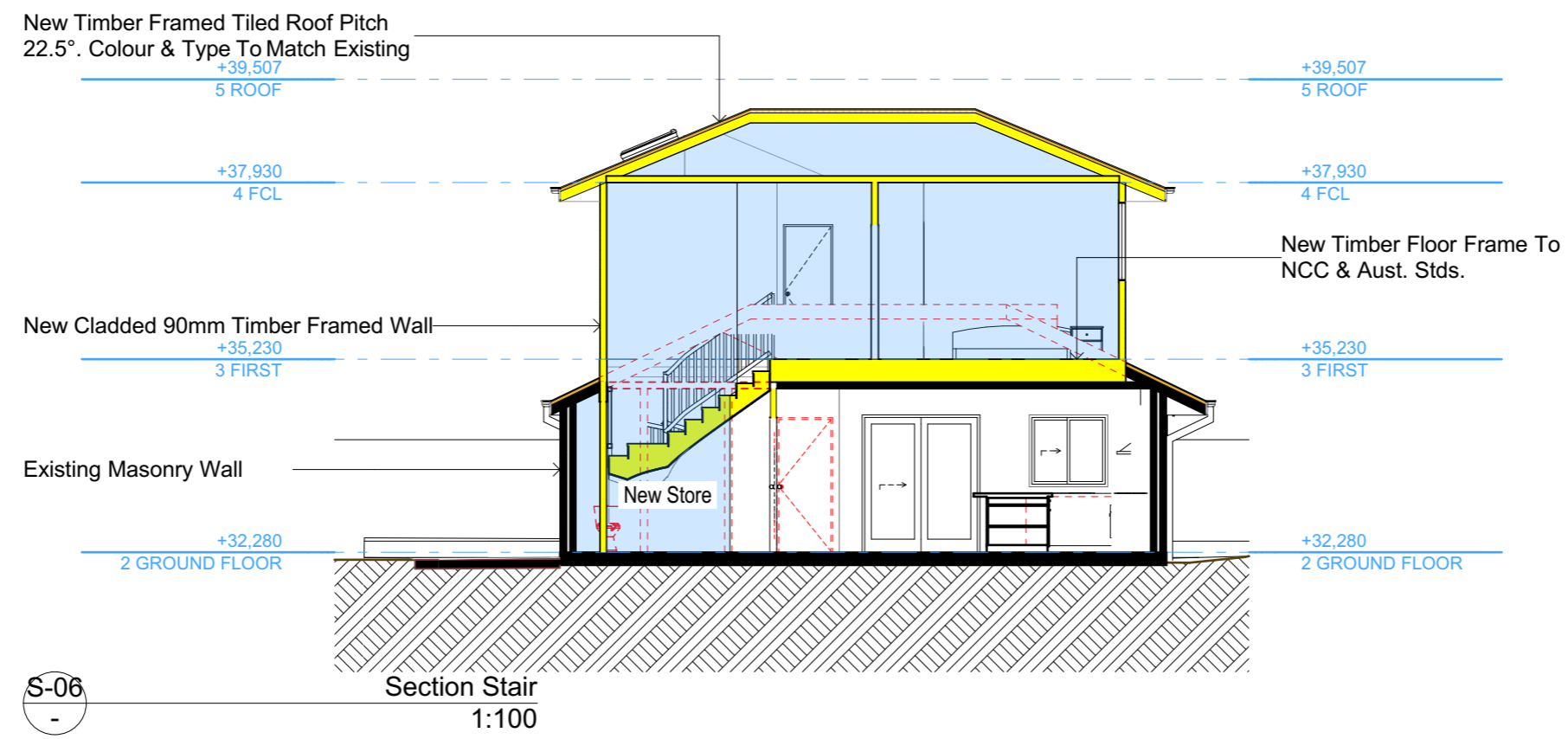
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Setlines
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor Cladded Walls
Roof Tiled to have R0.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

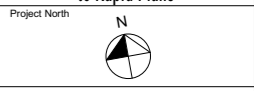
Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the cornice and the base of the window and glazed door.



S-06
Section Stair
1:100

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP123MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE: SECTIONS
SECTION 2

PROJECT NAME: **Alterations & Additions**

REVISION NO. DATE
- 11-10-2024

DRAWING NO. **DA3001**

Plot Date: 4/11/2024
Sheet Size: A3

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DA APPLICATION ONLY
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Max Building Height 8500 Above GL

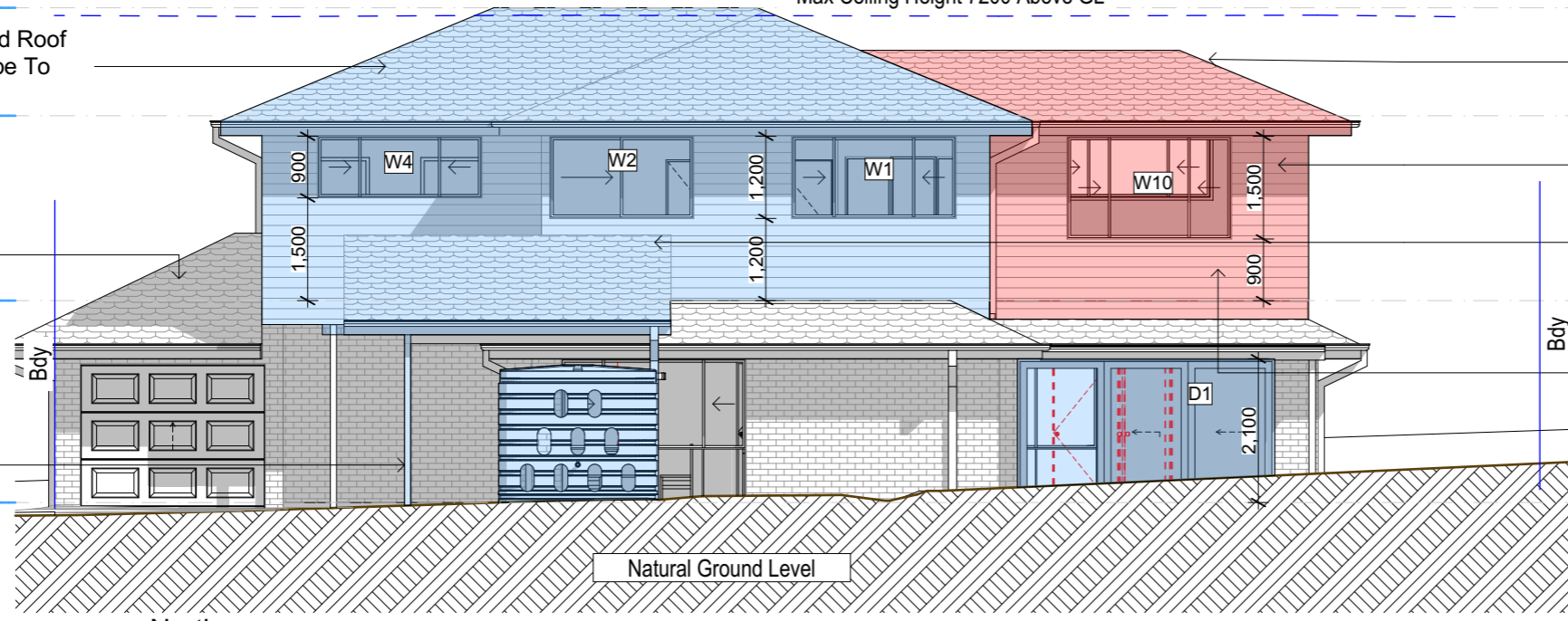
Max Ceiling Height 7200 Above GL

+39,507
5 ROOF
New Timber Framed Tiled Roof
Pitch 22.5°. Colour & Type To
Match Existing +37,930
4 FCL

+39,507
5 ROOF
New Timber Framed Tiled Roof
Pitch 22.5°. Colour & Type To
Match Existing +37,930
4 FCL
New Cladded 90mm Timber
Framed Wall
New Timber Framed Tiled Roof
Pitch 22.5°. Colour & Type To
Match Existing +35,230
3 FIRST
Proposed Bedroom Under This DA

Existing Tiled Roof
+35,230
3 FIRST
New Timber Post
+32,280
2 GROUND FLOOR

+35,230
3 FIRST
+32,280
2 GROUND FLOOR



Denotes New DA Works Under This Application

Denotes Works Under CDC

Wall Legend

Denotes Existing Wall
Denotes Demolished Item

E-01 North 1:100

Max Building Height 8500 Above GL

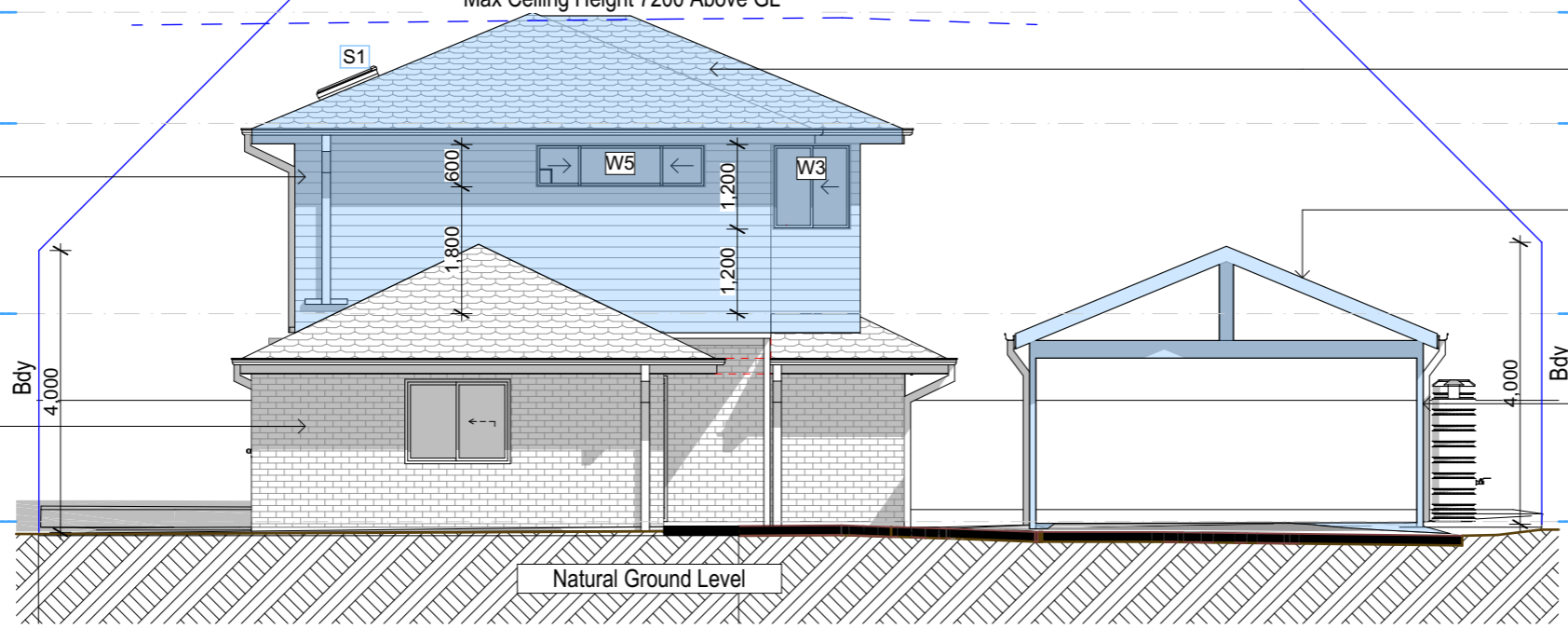
Max Ceiling Height 7200 Above GL

+39,507
5 ROOF
+37,930
4 FCL
New Cladded 90mm
Timber Framed Wall

+39,507
5 ROOF
New Timber Framed Tiled Roof Pitch
22.5°. Colour & Type To Match Existing
+37,930
4 FCL
New Timber Framed Tiled Roof Pitch
22.5°. Colour & Type To Match Existing

+35,230
3 FIRST
Existing Masonry Wall
+32,280
2 GROUND FLOOR

+35,230
3 FIRST
New Timber Post
+32,280
2 GROUND FLOOR



E-02 East 1:100

Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W1	N	6.3	1.5	1.5	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	7.14	3	3	awning (fixed) >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	2.88	25	25	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (U-value: 7.63, SHGC: 0.75)
W4	N	2.52	25	25	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	N	2.16	25	25	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W6	E	0.9	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	E	1.32	10	10	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.44	7	7	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	2.16	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	0.56	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W11	S	0.56	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	3.36	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	S	0.45	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	S	0.72	3	3	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	S	0.9	3	3	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (U-value: 7.63, SHGC: 0.75)

Window/door number	Orientation	Area of glass including frame (m ²)	Overshading height (m)	Overshading distance (m)	Shading device	Frame and glass type
W16	W	3.36	11	11	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	W	1.68	11	11	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	3.6	25	25	eave/ verandah/ pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W19	S	2.16	3	3	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (U-value: 7.63, SHGC: 0.75)

Glazing requirements
Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Federation Rating Council (NFRC) conditions.
Each window or glazed door with improved frames, or polyfolic low-e glass, or clear or tinted glass, or low-e or gap-clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Federation Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
Pergolas with fixed balustrade must have balustrade parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between balustrade must not be more than 50 mm.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

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NOT FOR CONSTRUCTION

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Building Design and Architectural Drafting

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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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ACCREDITED BUILDING DESIGNER

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NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in Shaded/Blue Colouring.
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Construction
Timber Framed Floor: Cladded Walls
Roof Tiled to have R0.95 insulation
Insulation to External Cladded Walls: R1.7
Refer to Engineers drawings for structural details
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208:2017
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1751541_02

All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side body setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 4/11/2024
Project No.: RP123MAC
Project Status DA

Client: Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE: ELEVATIONS 1

PROJECT NAME: Alterations & Additions

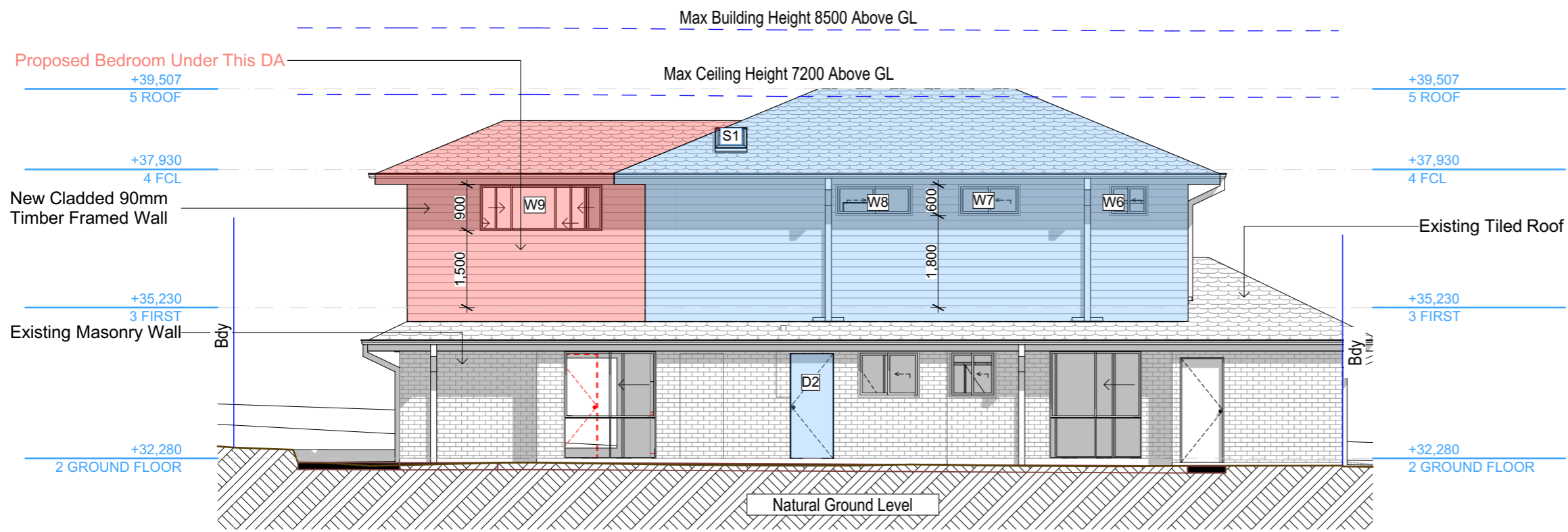
REVISION NO. DATE
- 11-10-2024

DRAWING NO. DA4000

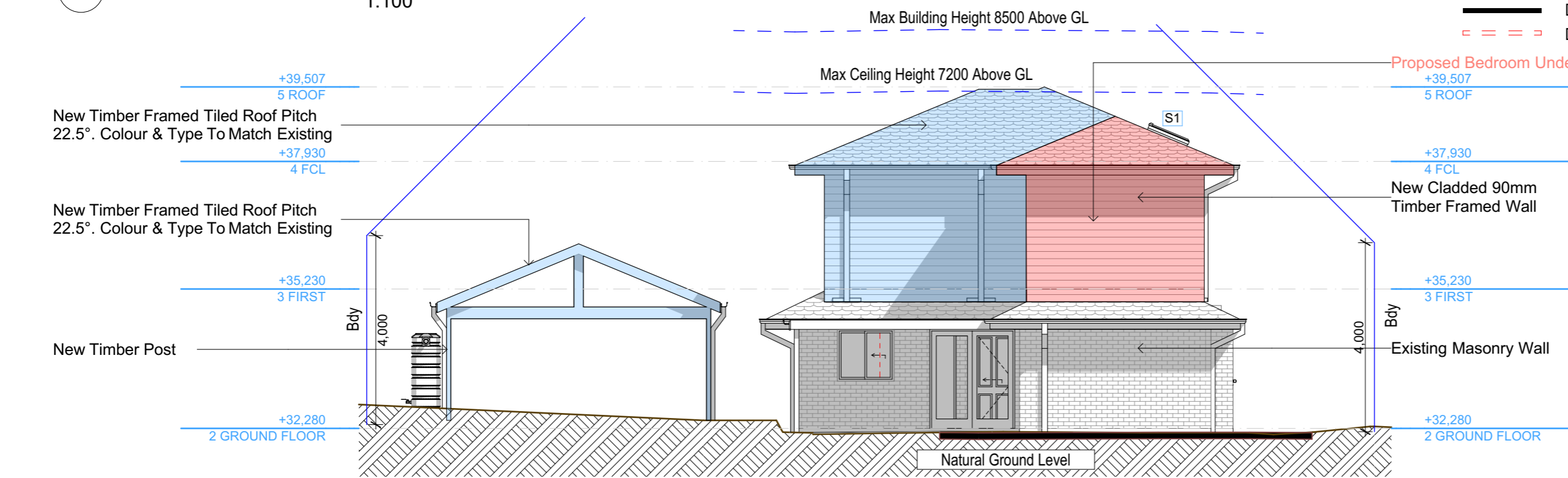
Plot Date: 4/11/2024
Sheet Size: A3

Wall Legend

- Denotes New DA Works Under This Application
- Denotes Works Under CDC
- Denotes Existing Wall
- Denotes Demolished Item



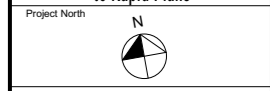
E-03 South 1:100



E-04 West 1:100

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project No.: RP123MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE: ELEVATIONS 2

PROJECT NAME: Alterations & Additions

REVISION NO. DATE

11-10-2024

DRAWING NO. DA4001

Sheet Size: A3

Glazing requirements

Windows and glazed doors glazing requirements

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

- Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Federation Rating Council (NFRC) conditions.
- Each window or glazed door with improved frames, or polyimide low-e glass, or clear or tinted glass, or low-e glass with clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Federation Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
- For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
- Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
- Pergolas with fixed balustrade must have balustrade parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between balustrade must not be more than 50 mm.
- Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	N	6.3	1.5	1.5	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	N	7.14	3	3	awning (fixed) >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	2.88	25	25	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (U-value: 7.63, SHGC: 0.75)
W4	N	2.52	25	25	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W5	N	2.16	25	25	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

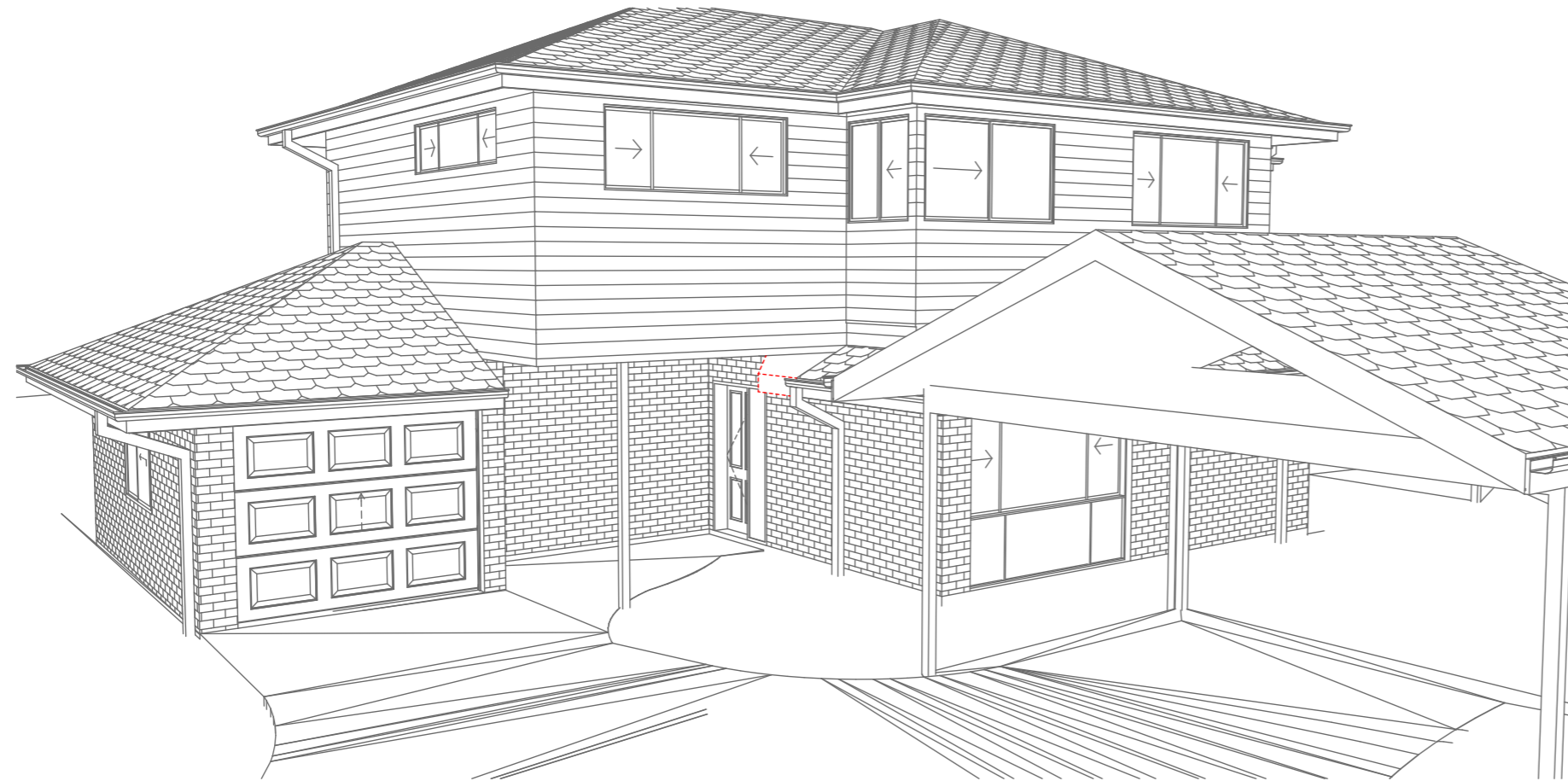
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W6	E	0.9	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W7	E	1.32	10	10	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W8	E	1.44	7	7	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W9	S	2.16	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	S	0.56	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W11	S	0.56	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W12	S	3.36	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W13	S	0.45	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W14	S	0.72	3	3	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W15	S	0.9	3	3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (U-value: 7.63, SHGC: 0.75)

Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W16	W	3.36	11	11	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	W	1.68	11	11	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	N	3.6	25	25	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W19	S	2.16	3	3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (U-value: 7.63, SHGC: 0.75)

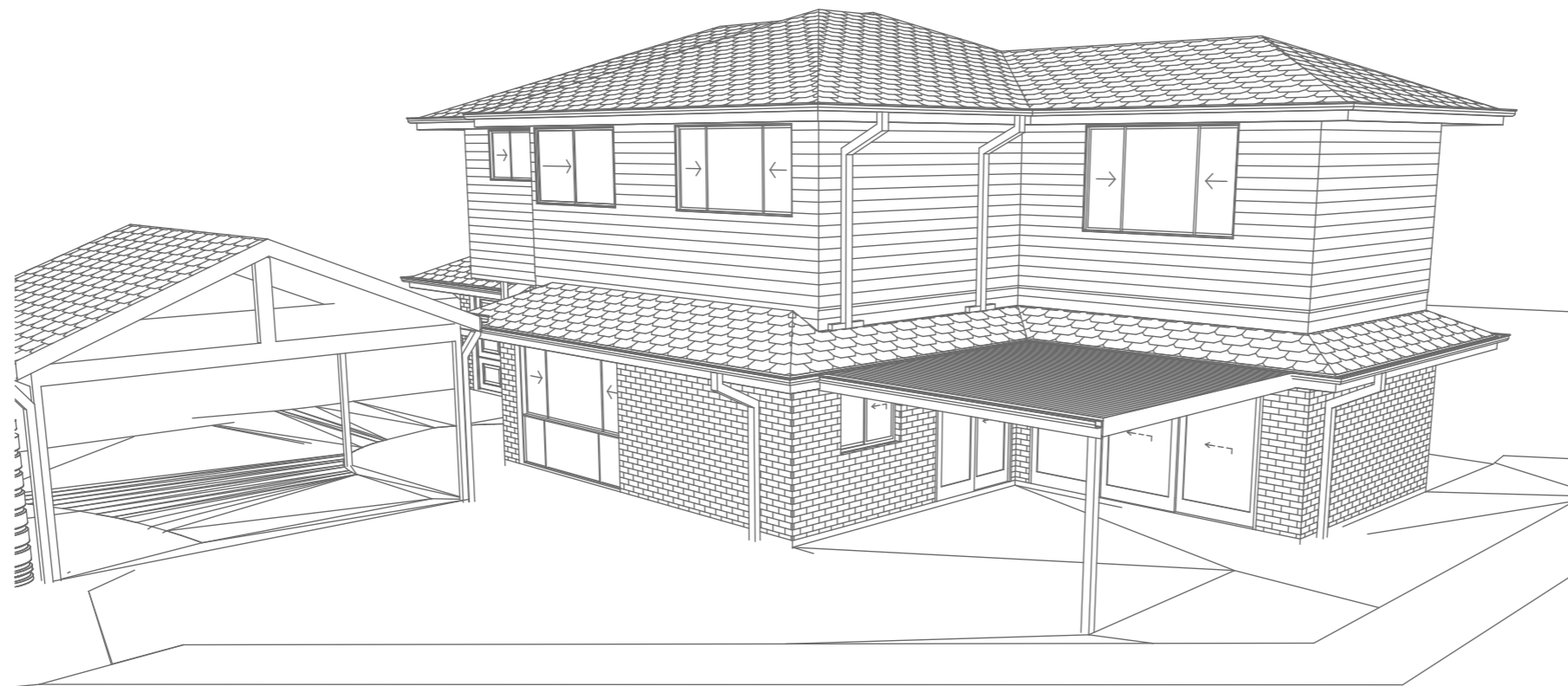
These plans are for DA Application purposes only. These plans are not to be used for the construction certificate application without the written permission of Rapid Plans.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION



01
-

Perspective Front
1:200



01
-

Perspective Side
1:200

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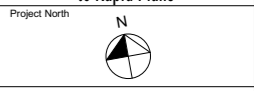
NOTES
38C Consul Road Brookvale is zoned R2 Low Density Res.
38C Consul Road Brookvale is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
Setlines
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber Framed Floor Cladded Walls
Roof Tiled to have R1.95 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specifications and BCA
Timber Framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS1742-2017
Waterproofing to BCA and AS 3745
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Basic
Basic Certificate Number A1751541_02
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For protrusions described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Ht Above Nat. GL	7.2m	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side bdy setback (Min.)	0.9m	Yes
Building envelope	4m@ 45Deg	Yes
% of landscape open space (40% min)	23%	Exist.
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 4/11/2024
Project NO.: RP123MAC
Project Status DA

Client Damien & Linda Macaulay

Site: 38C Consul Road Brookvale

DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE


PROJECT NAME :
Alterations & Additions


REVISION NO. DATE
- 11-10-2024

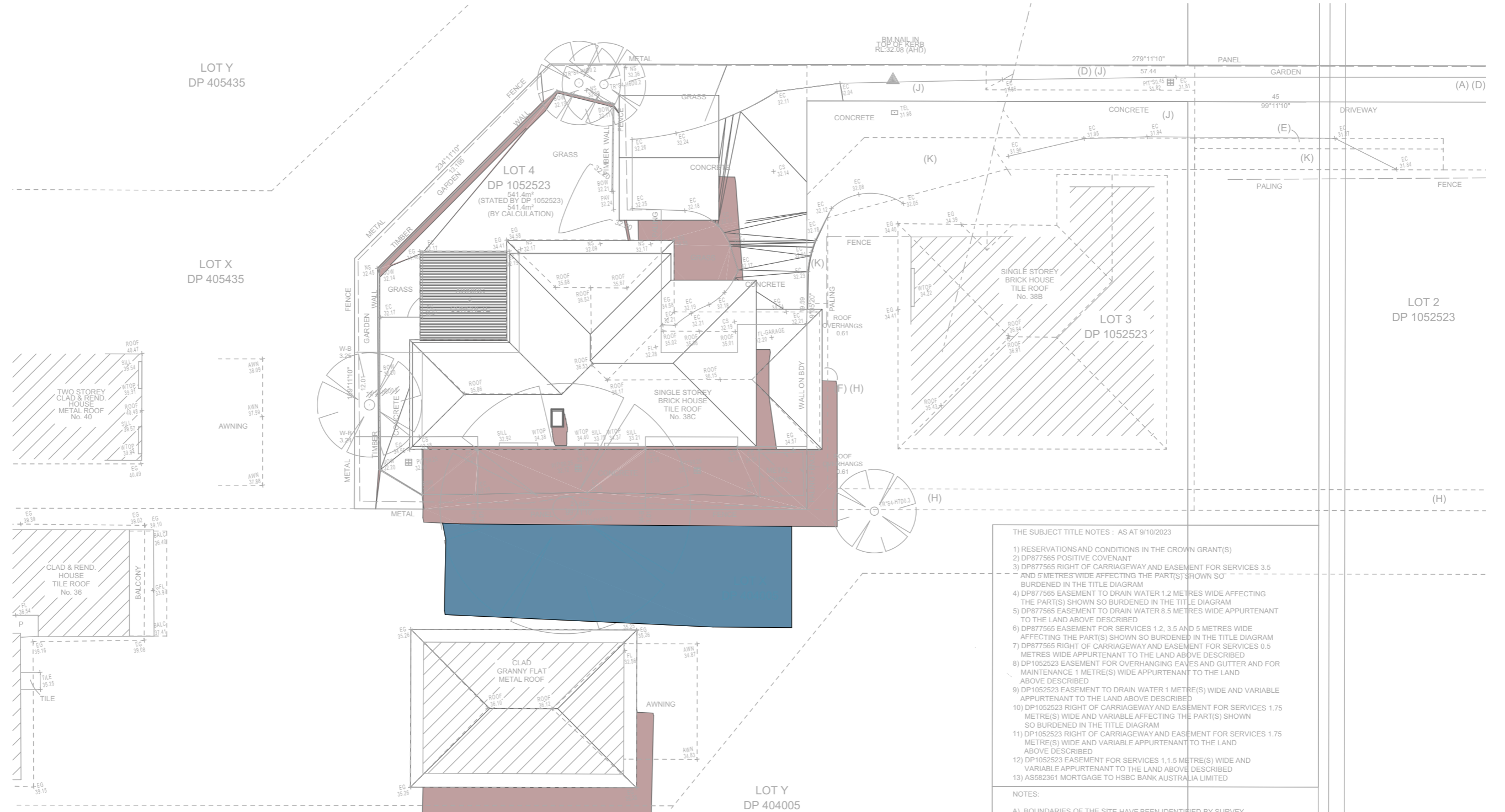
DRAWING NO.
DA5000

Plot Date: 4/11/2024
Sheet Size: A3

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 Denotes Proposed Shadow

 Denotes Existing Shadow



THE SUBJECT TITLE NOTES : AS AT 9/10/2023

- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2) DP877565 POSITIVE COVENANT
- 3) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 4) DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 5) DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 6) DP877565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 7) DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 0.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 8) DP1052523 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 9) DP1052523 EASEMENT TO DRAIN WATER 1 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 10) DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRE(S) WIDE AND VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 11) DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 12) DP1052523 EASEMENT FOR SERVICES 1.1, 1.5 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 13) AS582361 MORTGAGE TO HSBC BANK AUSTRALIA LIMITED

NOTES:
A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY

01
-
Shadow 21st June 12pm
1:200



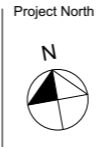
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Tel: (02) 9905-8605
Mobile: 0414-945-024
Email: greg@rapidplans.com.au

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Checked: GBJ
Plot Date: 4/11/2024
Project NO: RP1123MAC
Project Status: DA



Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale

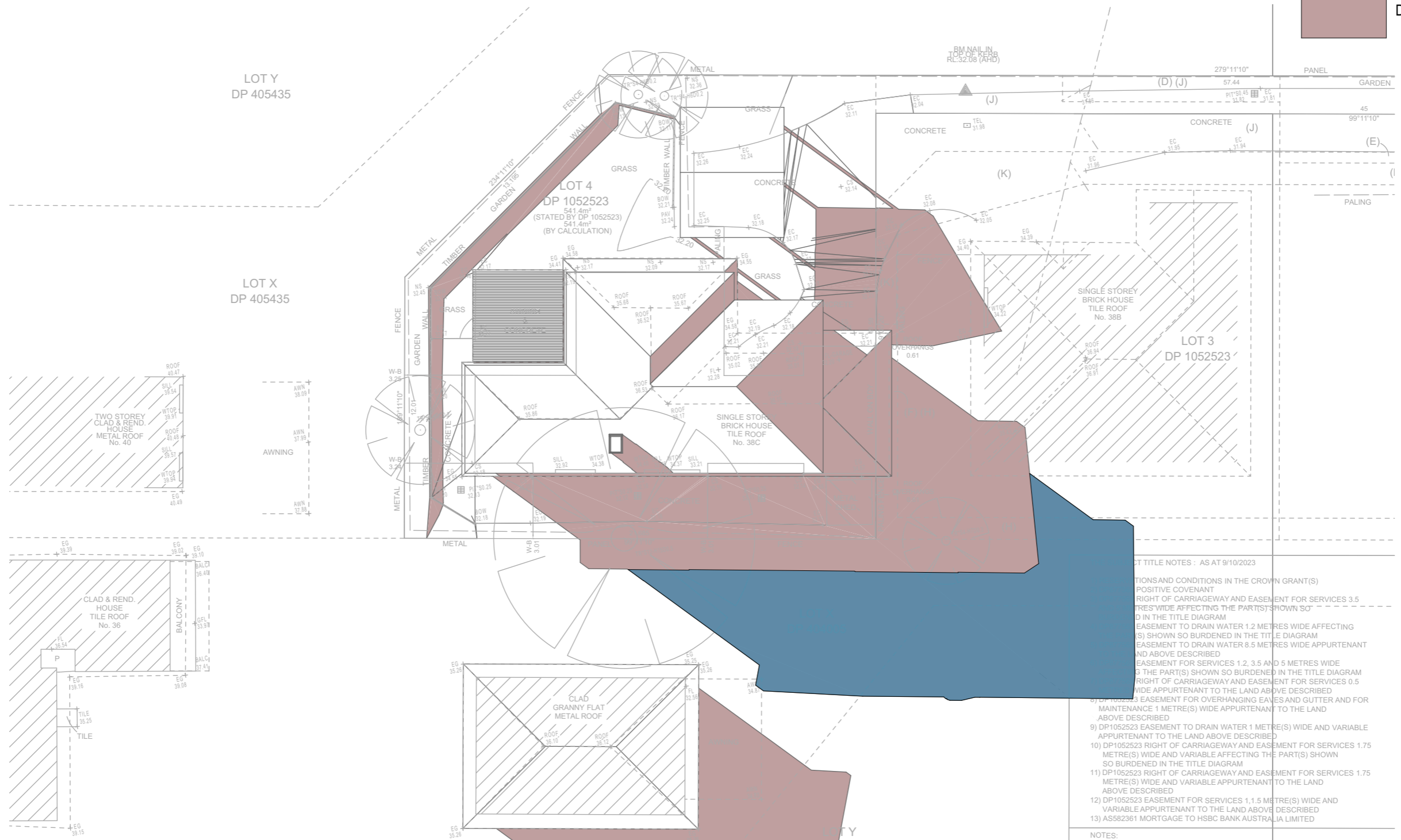
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DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 12pm

PROJECT NAME : **Alterations & Additions**

REVISION NO. -
DATE: **11-10-2024**
DRAWING NO. **DA5002**

 Denotes Proposed Shadow
 Denotes Existing Shadow



01
-

Shadow 21st June 3pm
1:200

DEED TITLE NOTES : AS AT 9/10/2023

CONDITIONS AND CONDITIONS IN THE CROWN GRANT(S)
 POSITIVE COVENANT
 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 0.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 9) DP1052523 EASEMENT TO DRAIN WATER 1 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
 10) DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRE(S) WIDE AND VARIABLE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 11) DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
 12) DP1052523 EASEMENT FOR SERVICES 1, 1.5 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
 13) AS582361 MORTGAGE TO HSBC BANK AUSTRALIA LIMITED

NOTES:



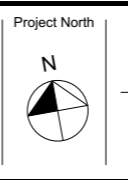
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
NSW 2086
Fax: (02) 9905-8665
Mobile: 0414-945-024
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Checked Plot Date: 4/11/2024
Project NO: RP1123MAC
Project Status: DA

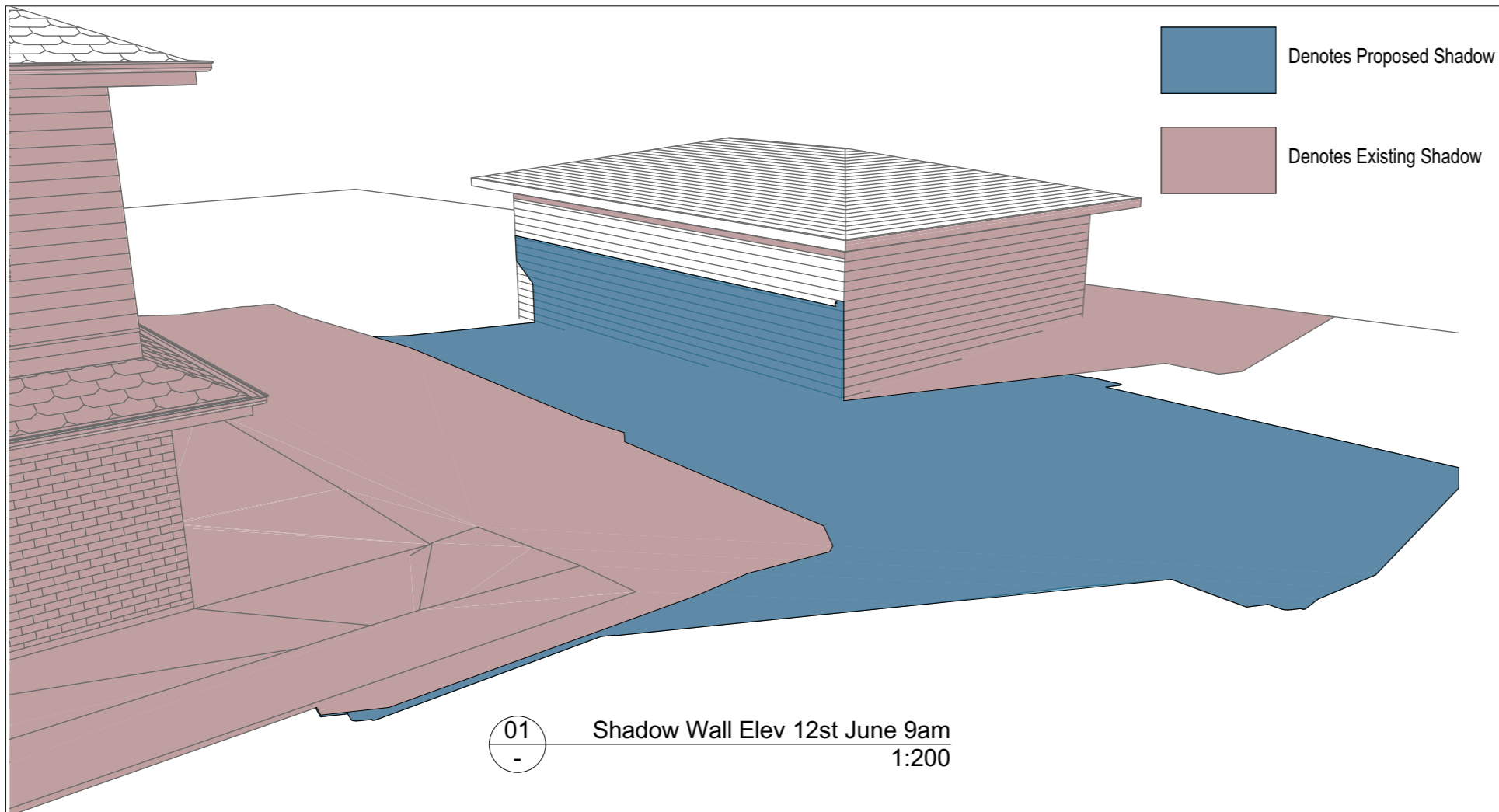
Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale

Sheet Size: A3

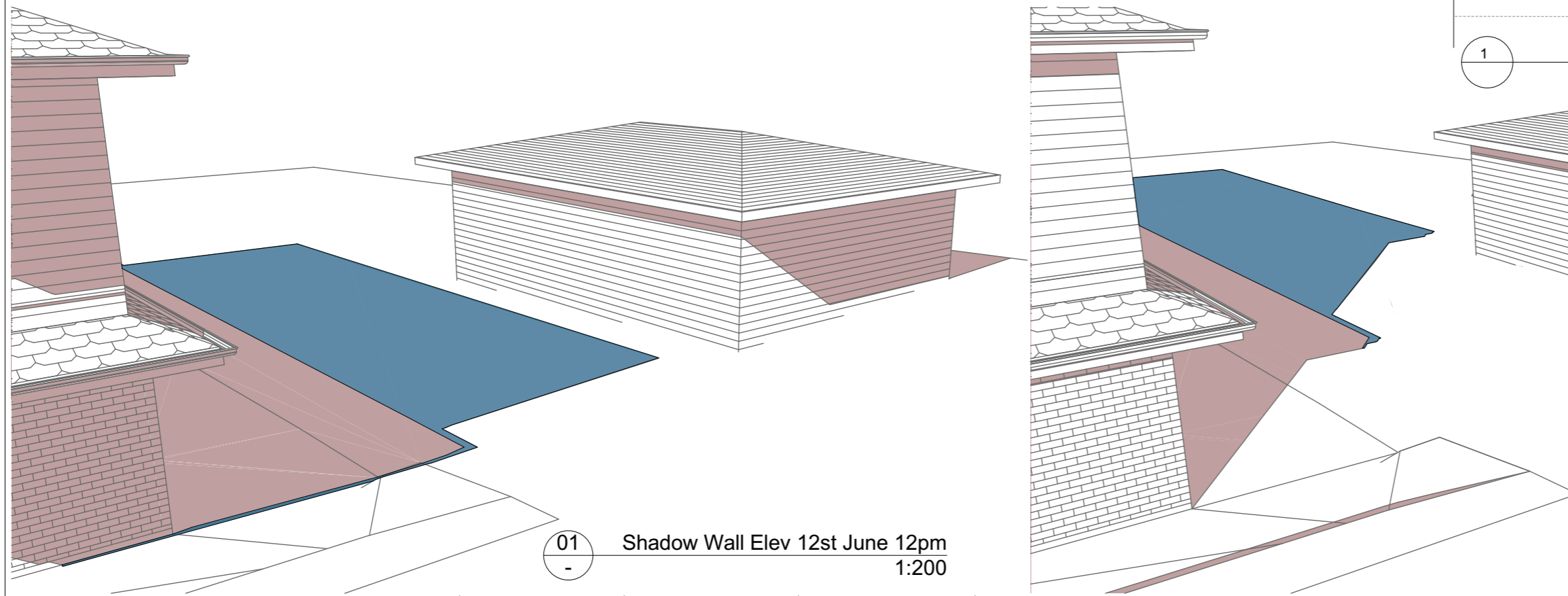
DRAWING TITLE : SHADOW PLANS
SHADOW PLAN 21st June 3pm

PROJECT NAME : **Alterations & Additions**

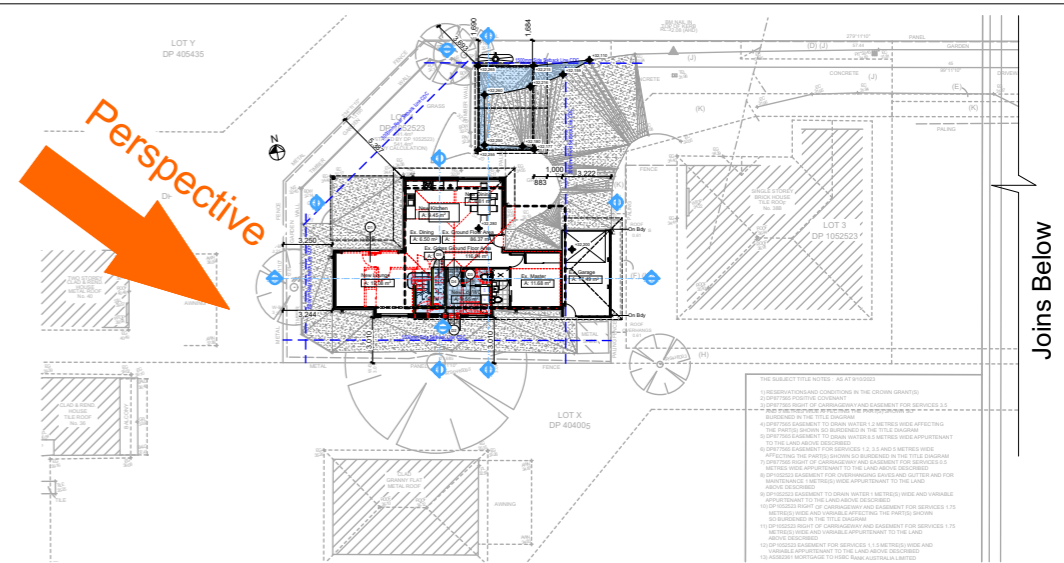
REVISION NO. -
DATE: **11-10-2024**
DRAWING NO. **DA5003**



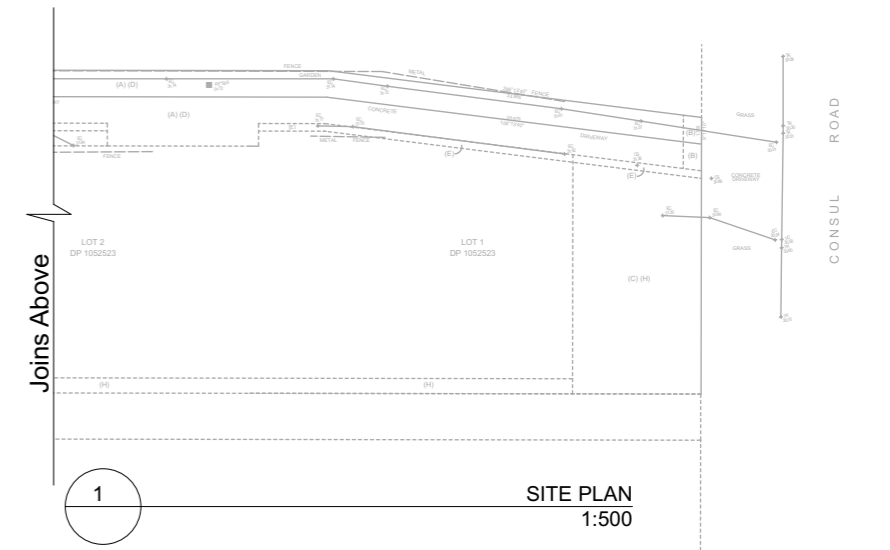
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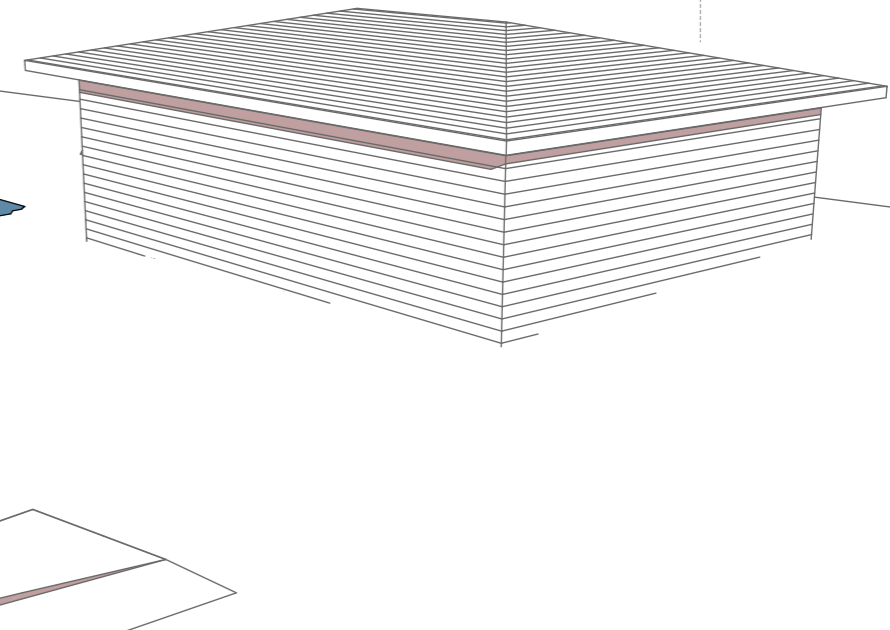
01 - Shadow Wall Elev 12st June 12pm
1:200



1 - SITE PLAN
1:500



1 - SITE PLAN
1:500



01 - Shadow Wall Elev 12st June 3pm
1:200

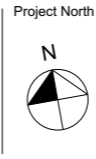


Rapid Plans
www.rapidplans.com.au
PO Box 6198 Frenchs Forest
NSW 2086
Fax: (02) 9905-8665
Mobile: 0414-945-024
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Checked Plot Date: GBJ 4/11/2024
Project NO: RP1123MAC
Project Status: DA
Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale
Sheet Size: A3

DRAWING TITLE : SHADOW PLANS
WALL ELEVATION SHADOWS
PROJECT NAME : **Alterations & Additions**

REVISION NO. -
DATE: **11-10-2024**
DRAWING NO. **DA5004**