

DEVELOPMENT APPLICATION

PROPOSED NEW DWELLING AND POOL

231 Alfred Street Cromer NSW 2099
Lot DP15/-/14433
ISSUE DATE 20.02.2025

DRAWING LIST

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DA-1.1	COVER PAGE
DA-1.2	SURVEY PLAN
DA-1.3	SITE ANALYSIS PLAN
DA-1.4	SITE CALCULATIONS
DA-1.5	WASTE MANAGEMENT/SEDIMENT CONTROL PLAN
DA-2.1	EXISTING GROUND FLOOR PLAN
DA-2.2	DEMOLITION PLAN
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DA-2.4	PROPOSED GROUND FLOOR PLAN
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DA-2.7	LANDSCAPE PLAN
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DA-5.1	SHADOW DIAGRAMS
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DA- 6.1	WINDOW SCHEDULE
DA- 6.2	SCHEDULE OF EXTERNAL FINISHES
DA- 6.3	ROOF AND 8.5m HEIGHT LIMIT



SITE CONTEXT



NOTES

NCC 2022 – Class 1

Insulation Notes:

- All insulations listed are product only values.
- All insulation and vapour membranes must be installed in accordance with Part 10.8 Condensation Management and NSW H6P1 (Part 13.2) Building Fabric, NSW H6P2 (Part 13.4) Building Sealing, NSW H6P3 (Part 13.7) Services.
- Class 3 vapour permeable membrane to external walls in NCC climate zones 5.

External Floors

Concrete slab on ground, with 225mm waffle pods
Suspended timber floors, R4.0 insulation to open and/or enclosed subfloors

Internal Floors

R2.5 insulation between levels

External Walls

Metal cladding;
Internal plasterboard lining, 90mm timber stud with R2.7 bulk insulation drainage channel, external lightweight clad.

Hardwood cladding;
Internal plasterboard lining, 90mm timber stud with R2.7 bulk insulation drainage channel, external lightweight clad.

Brick veneer;
Internal plasterboard lining, 90mm timber or metal stud with R2.7 bulk insulation, drainage channel, brick

External colours;

Walls

Timber cladding and brick veneer Default - Medium (SA 0.475 - 0.7)

Metal cladding - Monument SA 0.73

Roof

Monument SA 0.73

Walls within dwellings

Plasterboard on studs, no insulation required between conditioned rooms

R2.7 insulation to internal bathroom and laundry walls

Glazing Doors/Windows

Group A – awning windows

U-value: 1.6 (equal to or lower than) SHGC: 0.31 (±5%)

Group A –hinged glazed doors

U-value: 1.5 (equal to or lower than) SHGC: 0.40 (±5%)

Group B – sliding doors/windows

U-value: 1.6 (equal to or lower than) SHGC: 0.40 (±5%)

Group B – fixed windows

U-value: 1.4 (equal to or lower than) SHGC: 0.42 (±5%)

Given values are AFRC total window system values (glass and frame)

Frame colour:

Monument SA 0.73

Roof and ceilings

Metal roof with R1.3 foil-backed blanket. Plasterboard ceiling with R6.0 insulation where roof or balcony is above, the insulation must extend to the external wall

Ceiling Penetrations

Sealed and insulated LED downlights, as per NatHERS certificate

1x 1200 ceiling fan to Living, Study, Media room and Bedrooms

Floor coverings

Tiles to bathrooms, laundry and mudroom. Timber elsewhere.

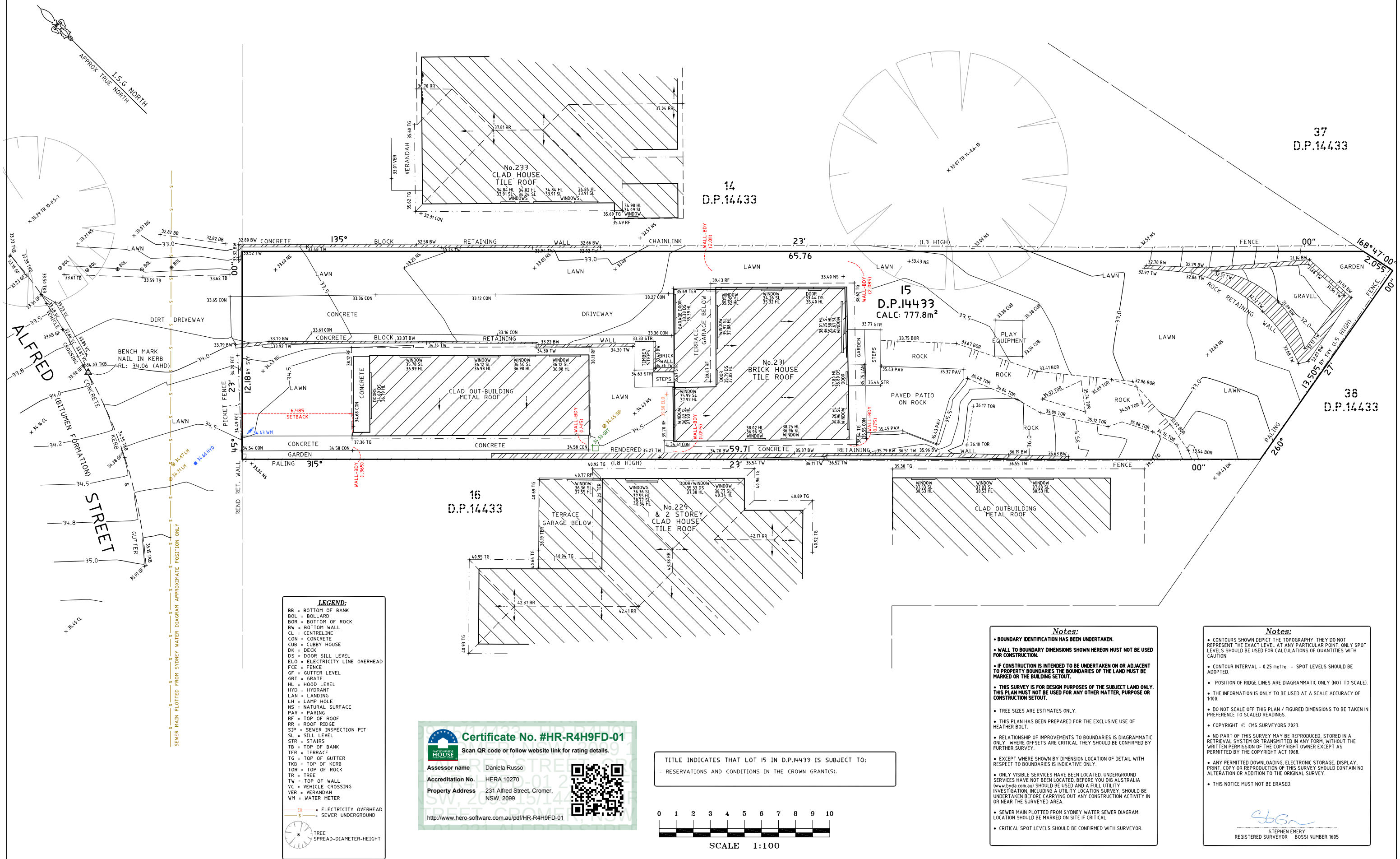
External Shading

Fixed external pergola 80% shading ratio

Ventilation

Weather seals and draft protection to all external windows and doors

Dampers to all exhaust fans and chimneys



HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED
MARKS ADOPTED: NIA

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: SSM 1732
R.L. 36.633 (CLASS LC)
SOURCE: S.C.J.M.S. (14/09/2023)



CLIENT:
HEATHER BOLT

LGA: NORTHERN BEACHES

BOUNDARY IDENTIFICATION
AND DETAIL & LEVEL SURVEY
OVER LOT 15 IN DP14433
No.231 ALFRED STREET
CROMER, NSW, 2099



CMS SURVEYORS PTY LTD
ACN 096 240 201
PO Box 463 Dee Why, NSW, 2099
2/89A South Creek Road, Dee Why, NSW, 2099
(02) 9971 4802
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SURVEYED HC	DRAWN MC	CHECKED HC	APPROVED BS
SURVEY INSTRUCTION 22805	SCALE 1:100@A1	DATE OF SURVEY 18/09/2023	
DRAWING NAME 22805detail		SHEET 1 OF 1	ISSUE 1
CAD FILE 22805detail.1.dwg			



P1



P2



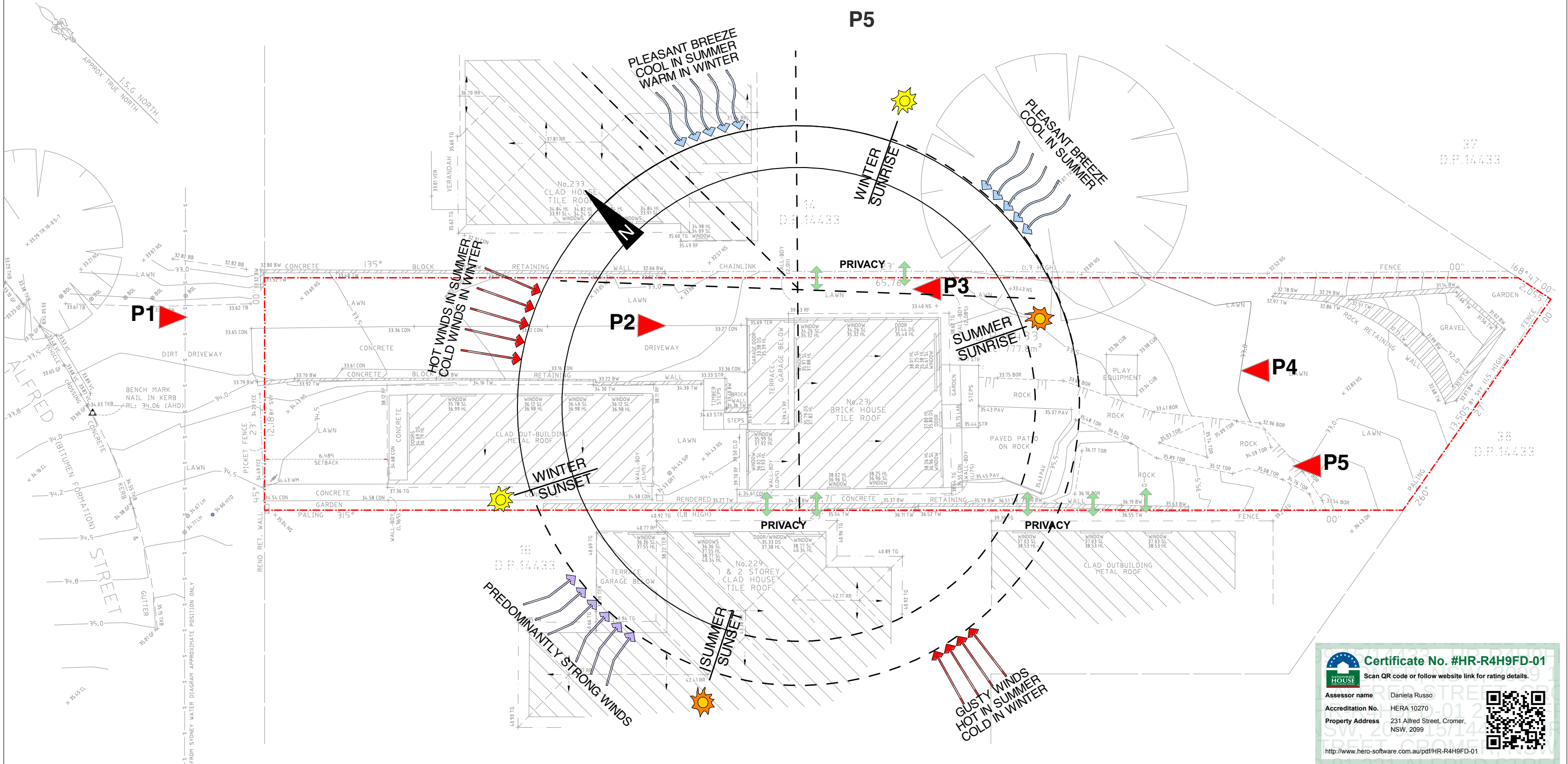
P3



P4



P5



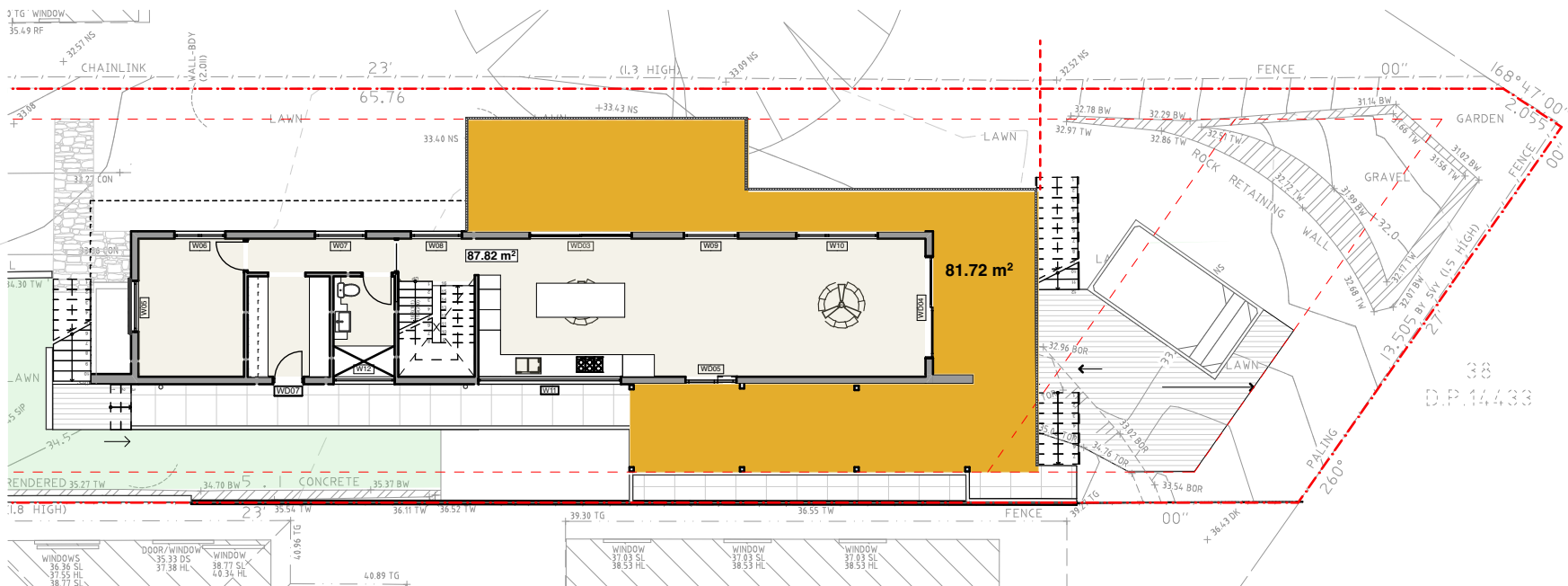
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Assessor name: Daniela Russo
Accreditation No.: HERA 10270
Property Address: 231 Alfred Street, Cromer, NSW, 2099

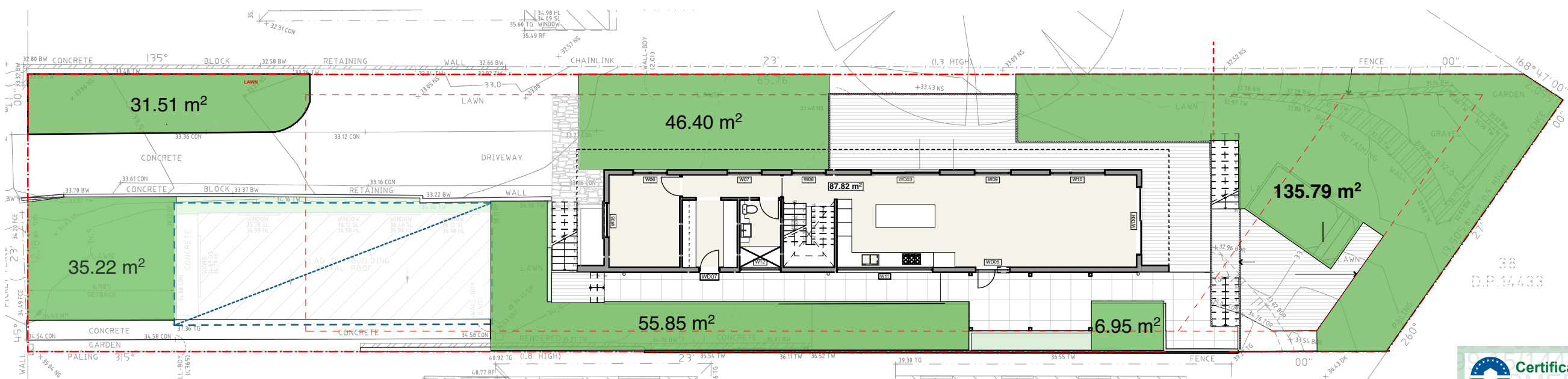
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DEVELOPMENT APPLICATION TABLE

DESCRIPTION	PROPOSED NEW DWELLING AND POOL		
SITE AREA	778.62m ²	FLOOR AREA	185.10 m ²
LANDSCAPE AREA	311.5 m2 (40% OF site coverage)	REQUIRED	PROPOSED
PRIVATE OPEN SPACE	60m2		84.86m2



PRIVATE OPEN SPACE CALCULATION
1:200

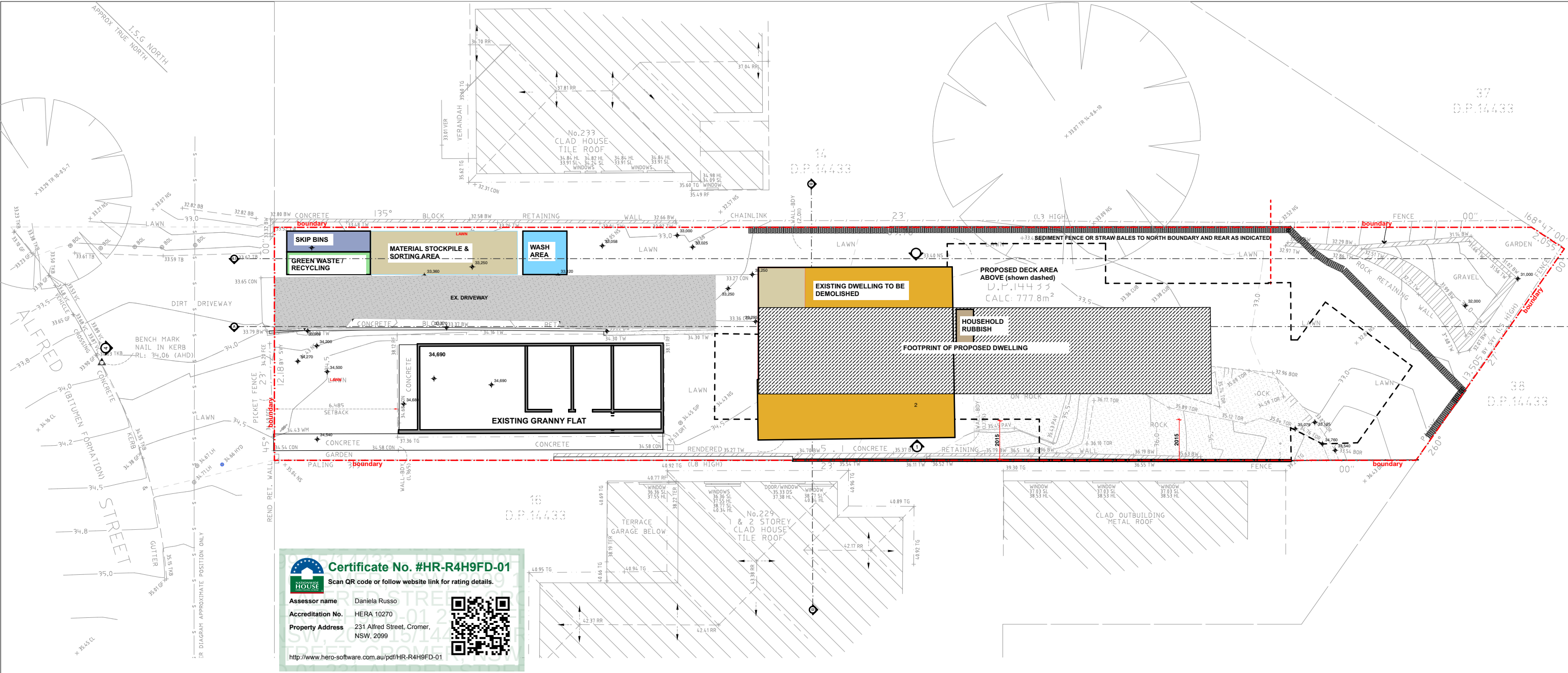


LANDSCAPE AREA CALCULATION
1:200

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A	3/3/2025	Work in progress



LEGEND

NEW BUILDING FOOTPRINT

NEIGHBOURING BUILDINGS

SITE BOUNDARY & SITE SECURITY FENCE

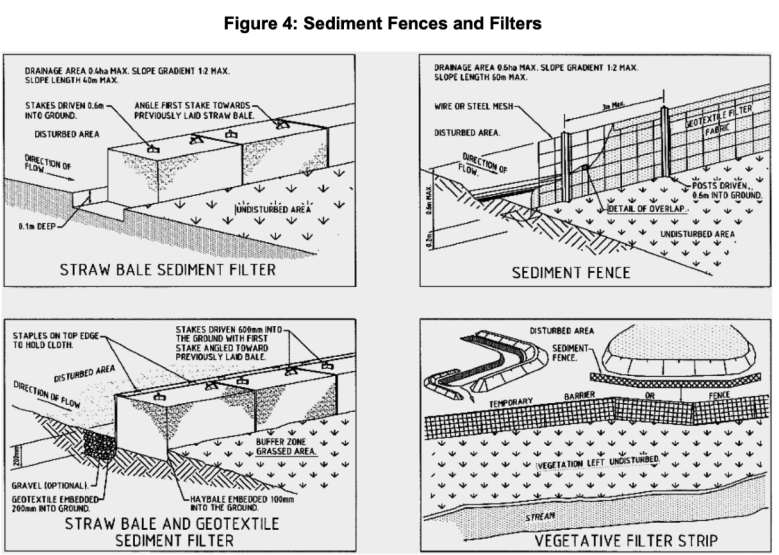
EXISTING TO BE DEMOLISHED

STRAW BALE SEDIMENT FILTER

SILT FENCE

SEDIMENT CONTROL NOTES:

- INSTALL SEDIMENT CONTROL MEASURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATION AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION
- REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION
- IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO 'MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION' PREPARED BY THE OFFICE OF ENVIRONMENT AND HERITAGE NSW
- ADEQUATE CARE MUST BE EXERCISED TO ENSURE NO DAMAGE TO ADJOINING PROPERTIES DURING THE COURSE OF THE WORKS.
- DIVIDING FENCES ACT - A SURVEY IS TO BE PREPARED TO IDENTIFY ALL BOUNDARIES PRIOR TO THE COMMENCEMENT OF THE WORKS.
- A SECURITY FENCE IS TO BE INSTALLED TO THE PERIMETER OF THE SITE PRIOR TO COMMENCEMENT.
- A SEDIMENT FENCE, IN THE FORM OF GEOTEXTILE FILTER FABRIC BURIED INTO GROUND AND SUPPORTED BY STAR PICKETS AT 3M MAXIMUM CENTRES THAT ARE DRIVEN 600MM INTO THE GROUND, AS TO BE POSITIONED AROUND THE PERIMETER OF THE SITE AS NOTED.
- ALL STOCKPILES OF BUILDING MATERIALS SUCH AS SAND AND SOIL MUST BE PROTECTED BY A WATERPROOF COVERING, AN EARTH BANK AND SEDIMENT FENCE TO PREVENT SCOUR AND EROSION
- PROTECTION OF THE PUBLIC STORMWATER SYSTEM AND TRACKING OF LOOSE MATERIAL IS REQUIRED BY THE USE OF SANDBAGS IN THE GUTTER 2M MINIMUM FROM THE STORMWATER DRAIN.
- PUBLIC FOOTWAYS AND ROADWAYS ADJACENT TO SITE ARE TO BE MAINTAINED AT ALL TIMES DURING THE COURSE OF THE WORKS.
- STORAGE OF BUILDING MATERIAL AND DELIVERY AS NOTED.
- WASTE MANAGEMENT FACILITIES AS NOTED.



GAEA ARCHITECTS
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A	3/3/2025	Work in progress

True North

Location:
231 Alfred Street
Cromer NSW 2099

Lot: 15/-/DP14433

Project:
Proposed new Dwelling and Pool
For Heather and Julian Bolt

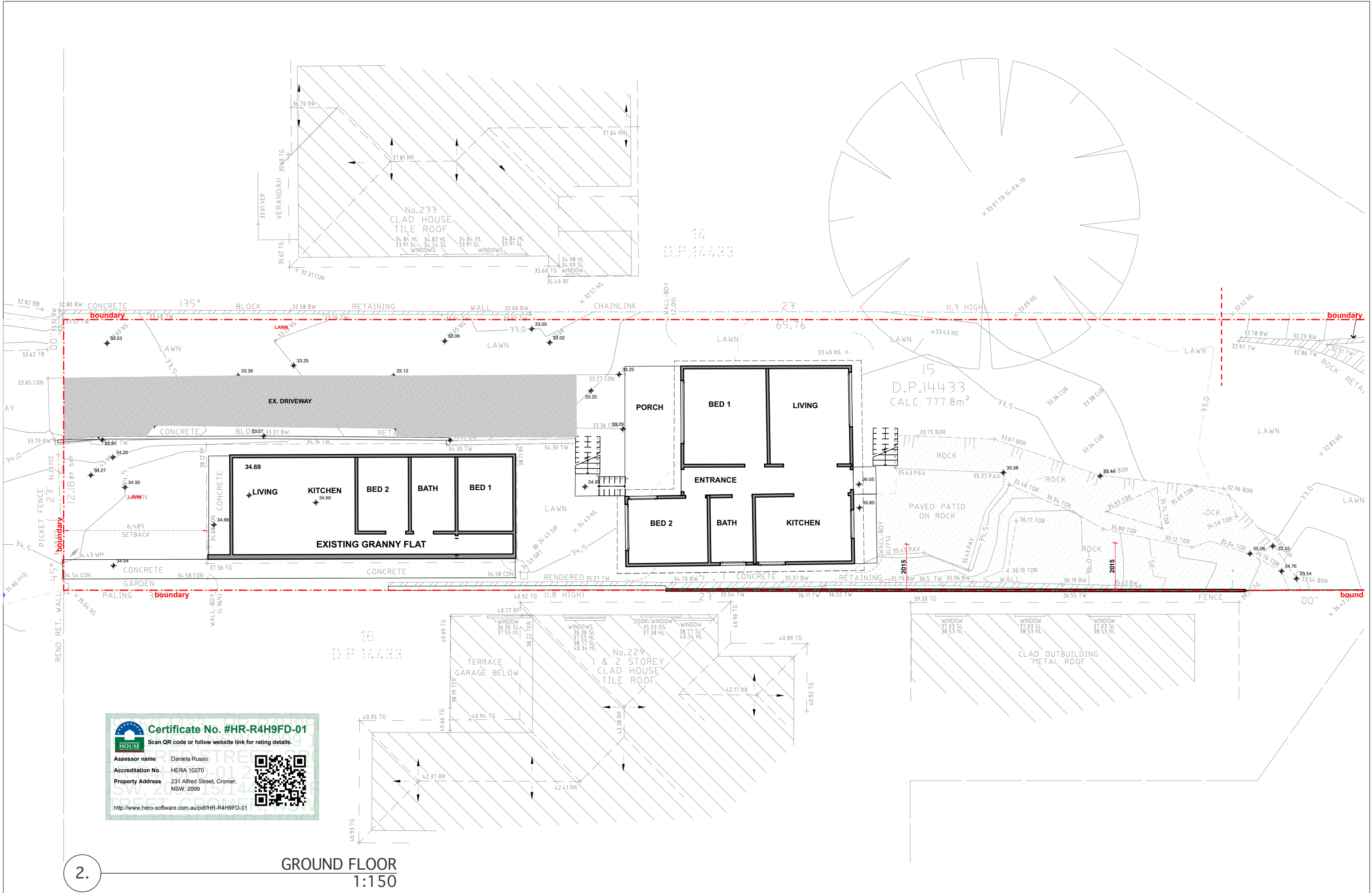
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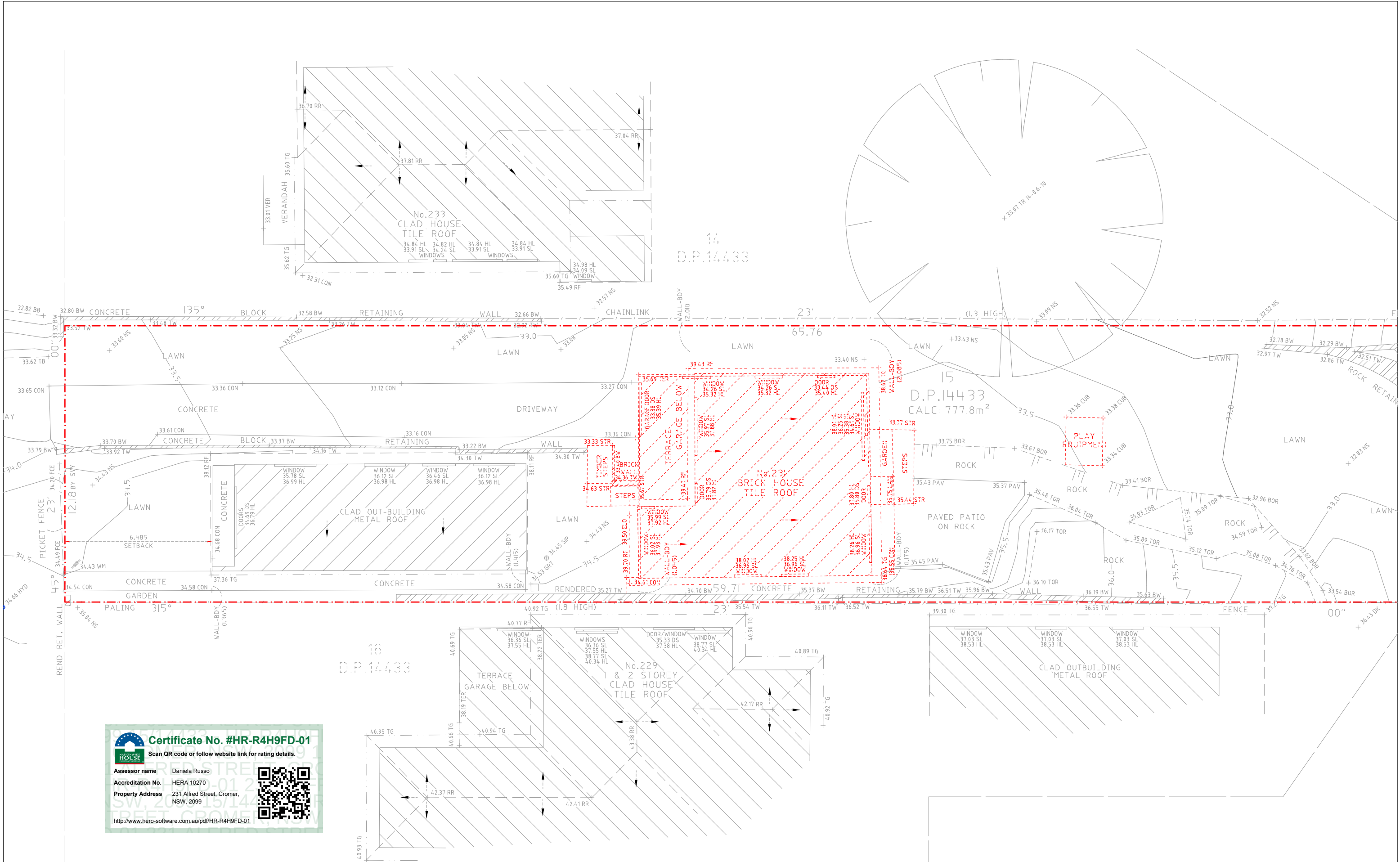
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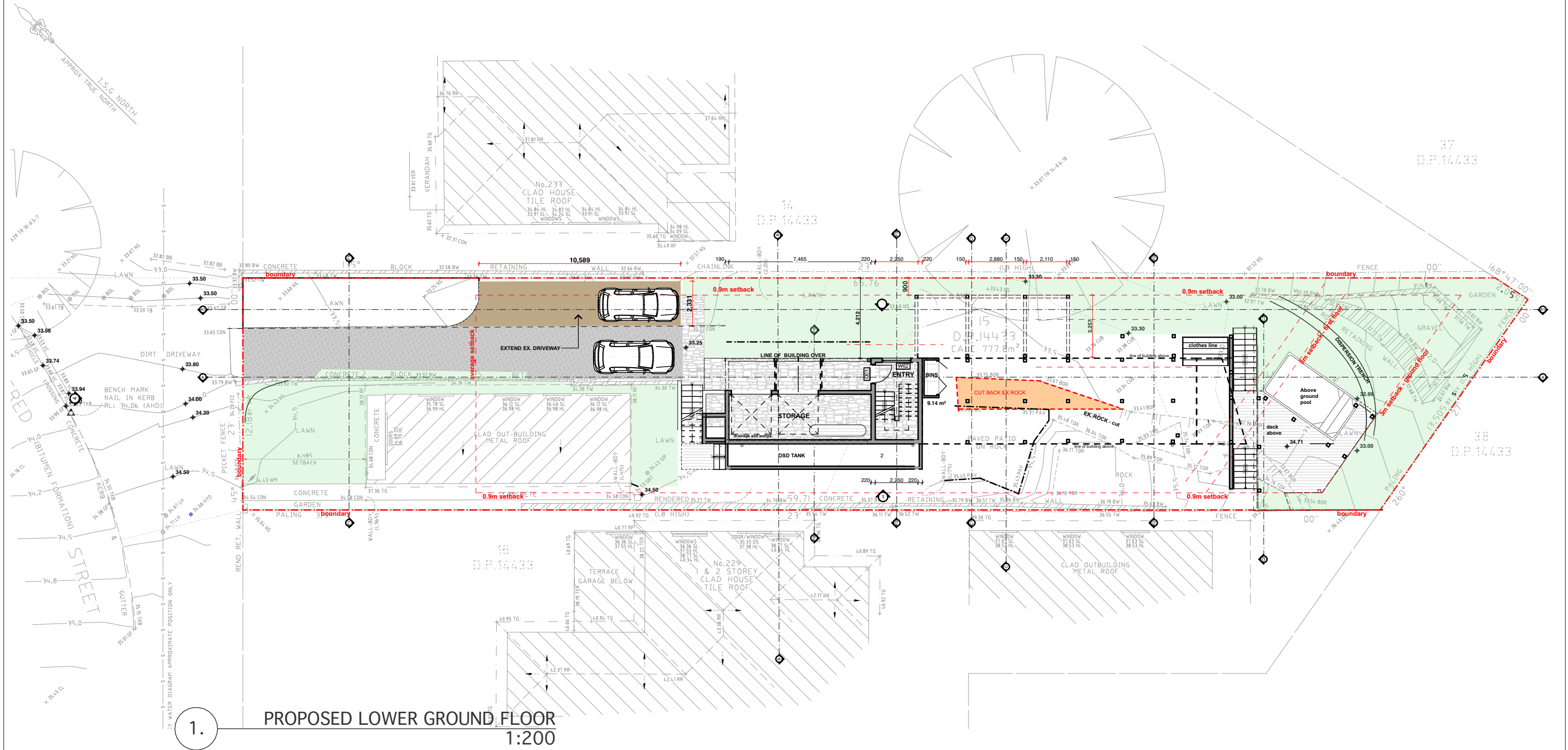
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**WASTE MANAGEMENT/
SEDIMENT CONTROL
PLAN**

Drawn: RC
Checked: SC
Plot Date: 3/3/2025
Scale: 1:200 @ A3

Project No.: xxxx
Drawing No.: DA-1.5
Revision: # A





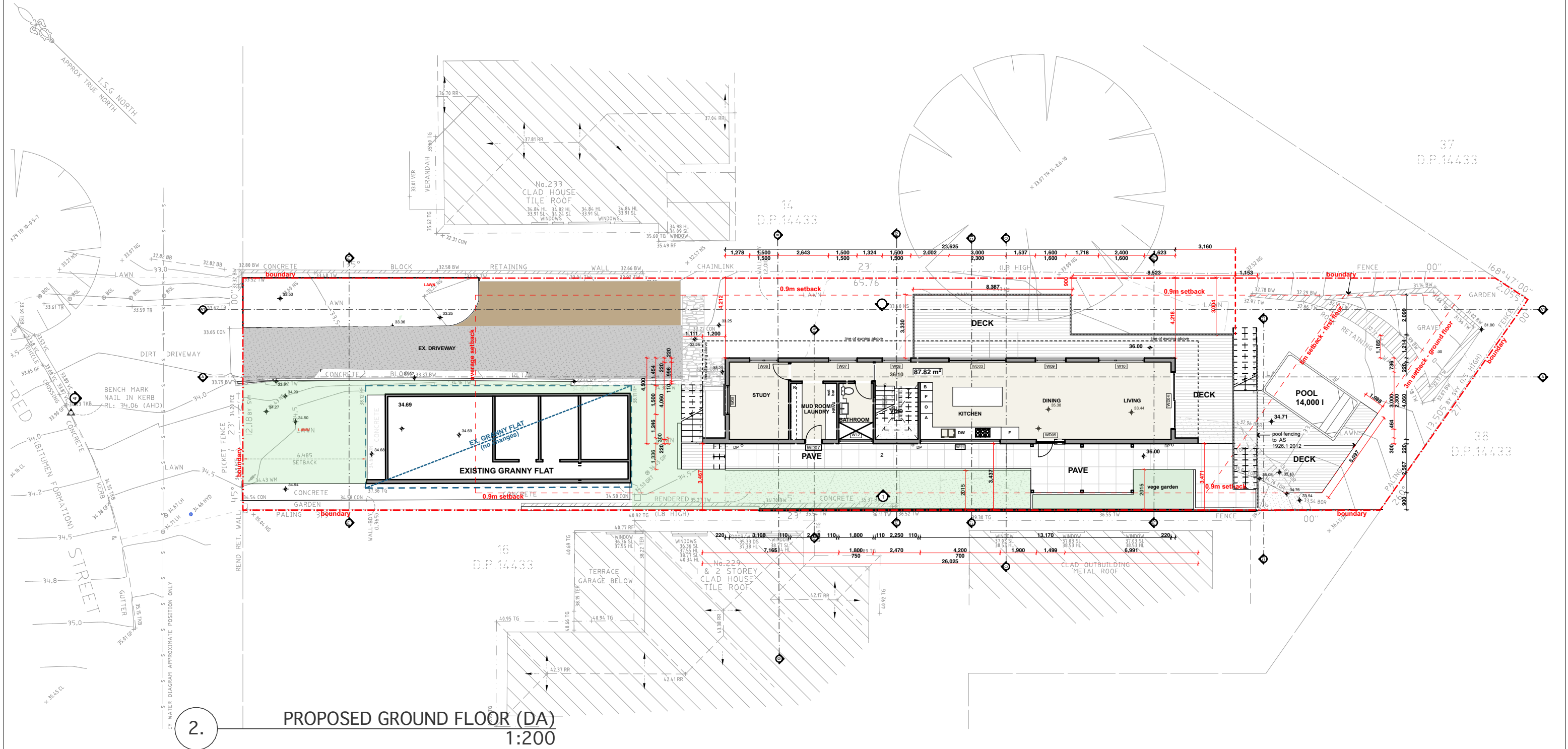


LEGEND	
PROPOSED WORKS	
SETBACKS	
LANDSCAPE	

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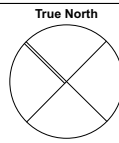
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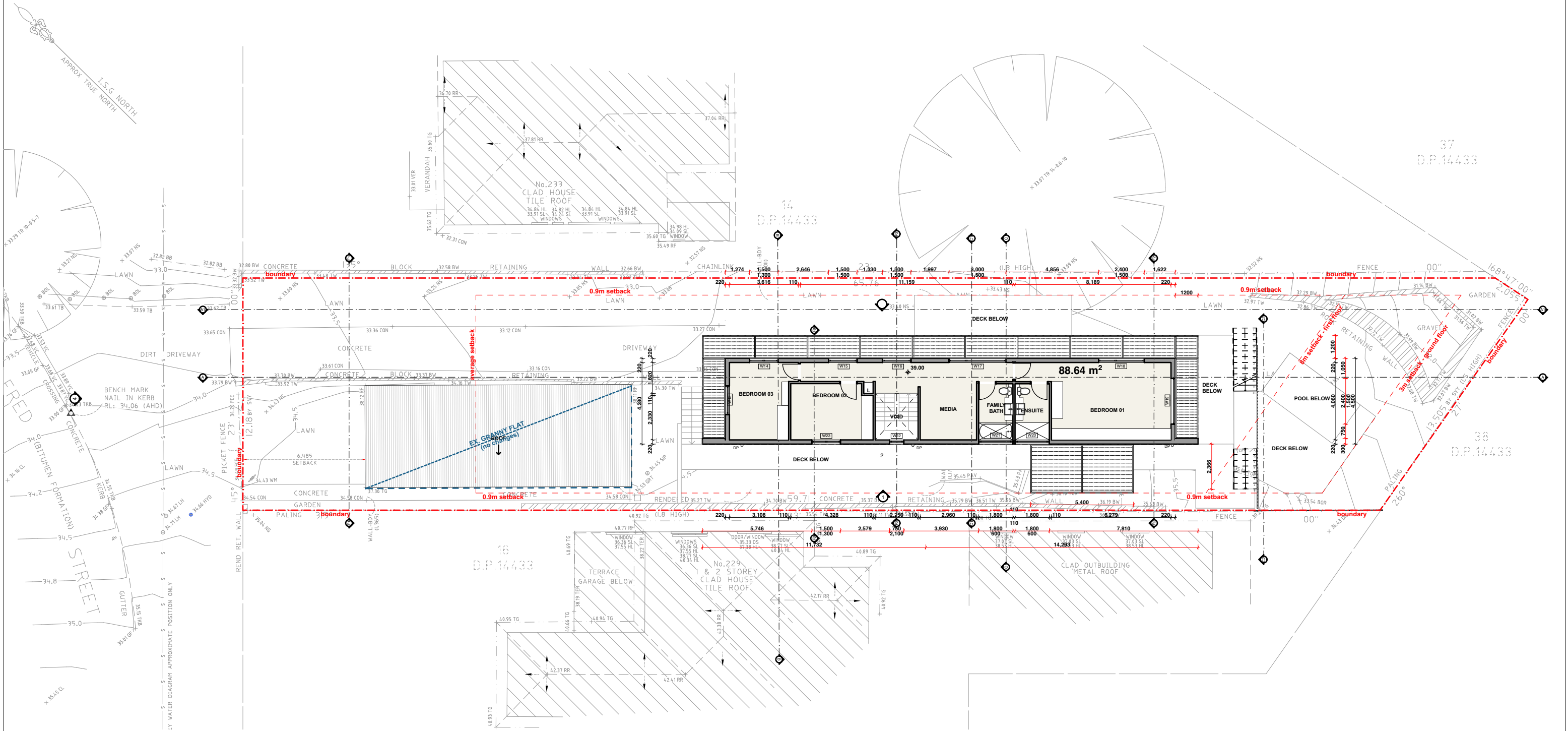
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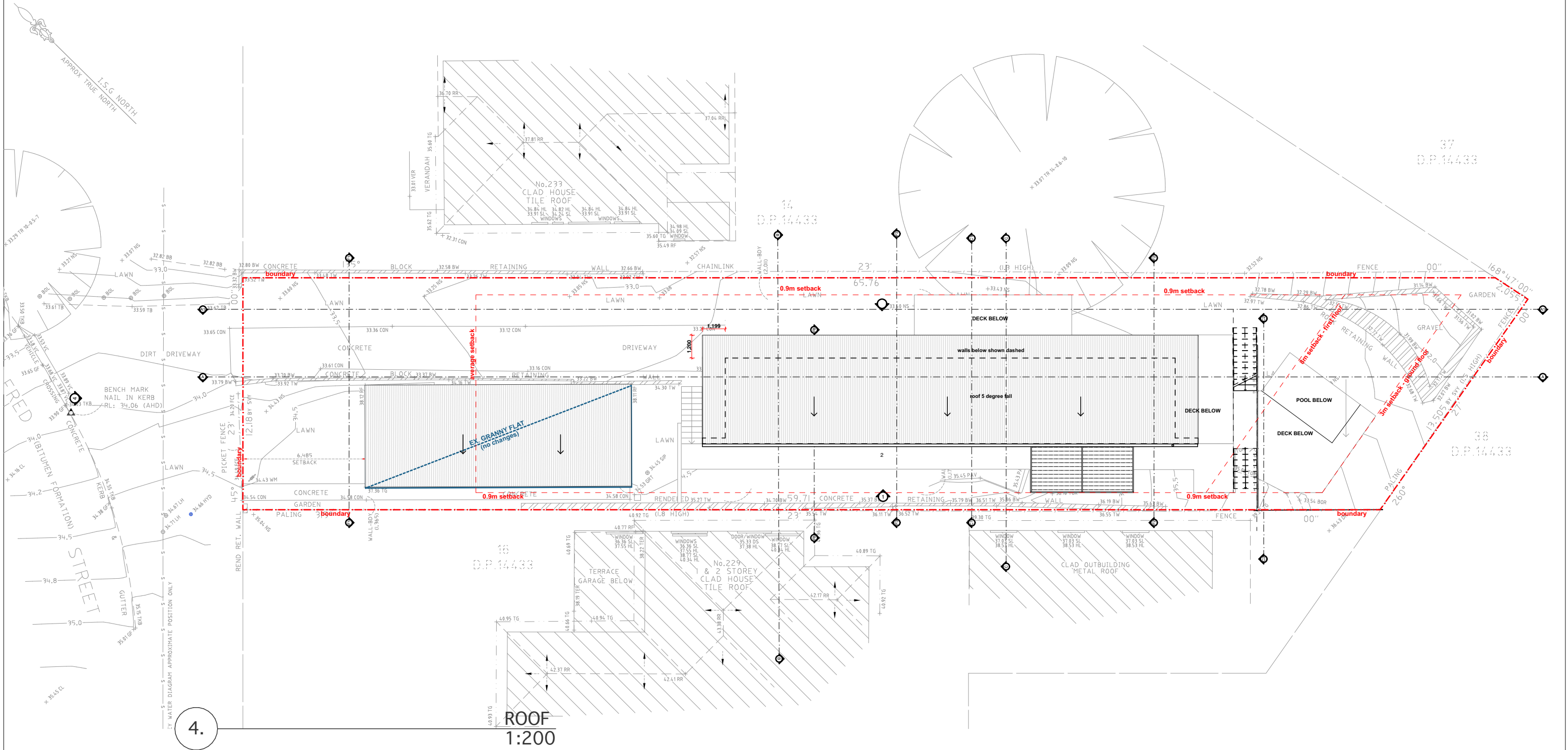
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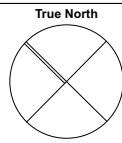
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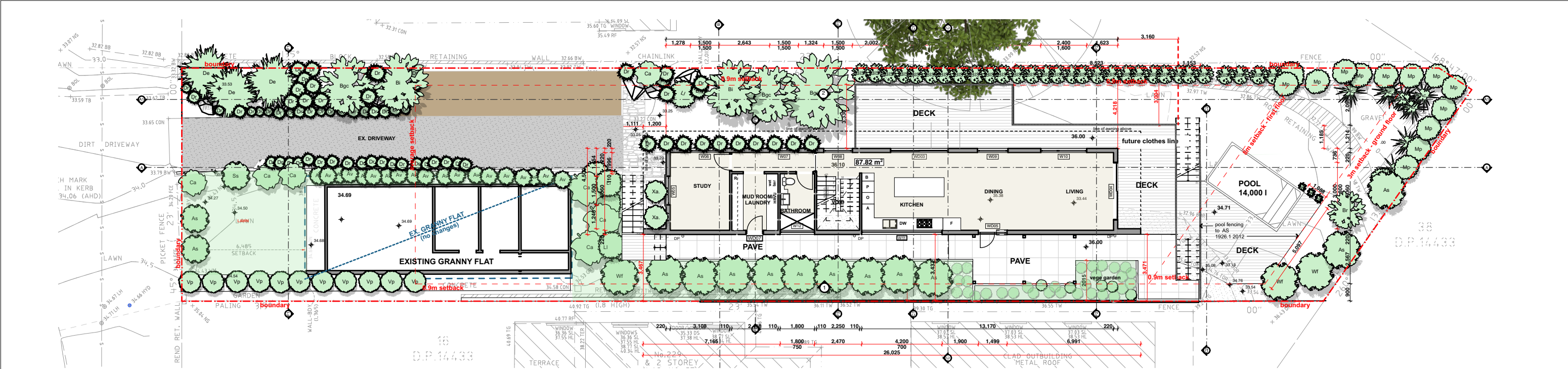




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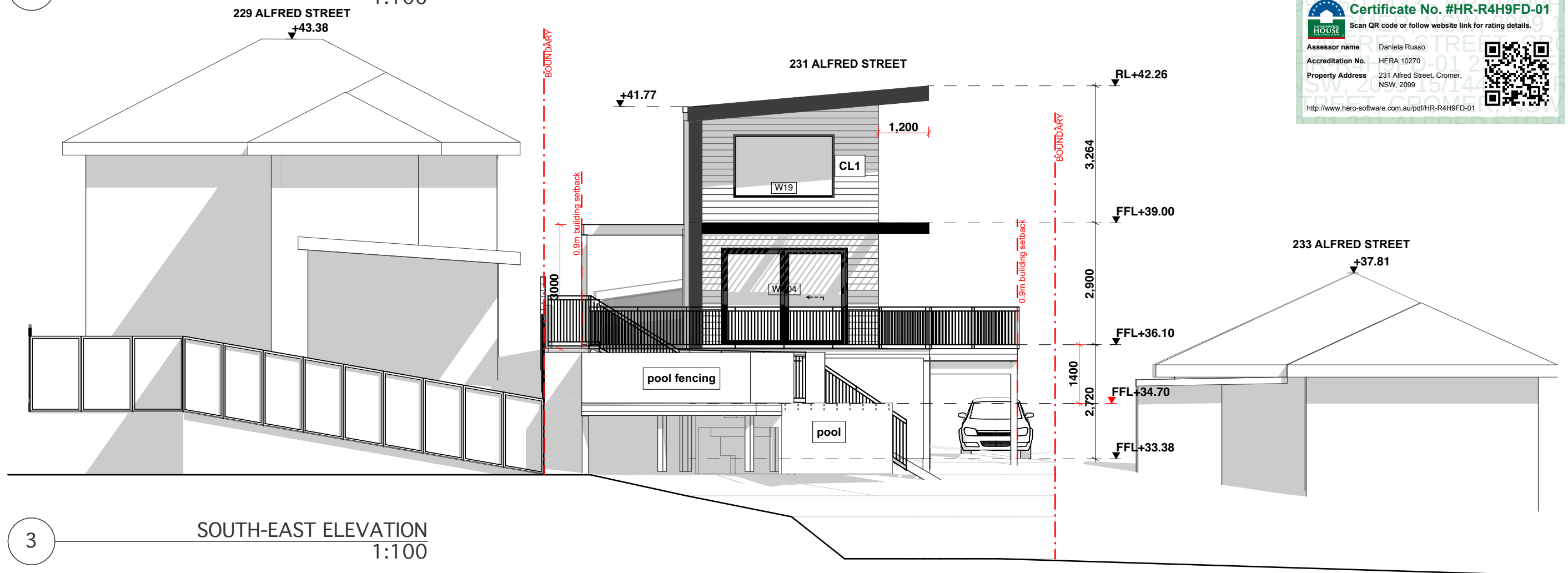
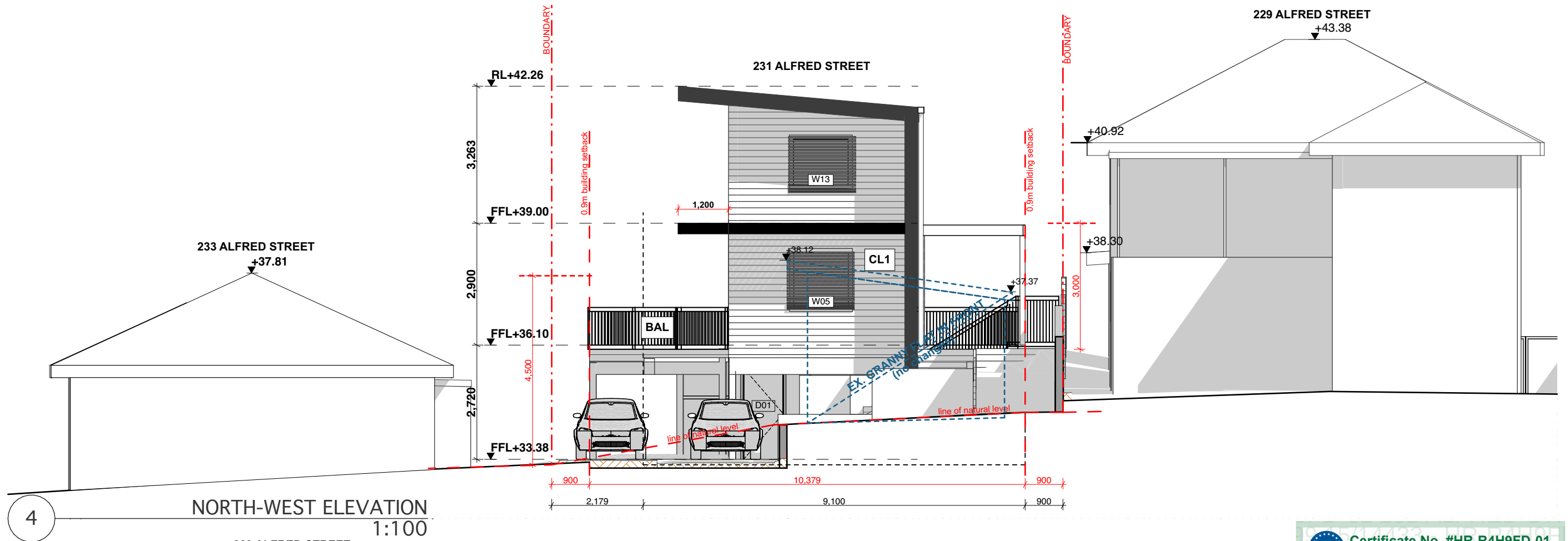
2. LANDSCAPE PLAN
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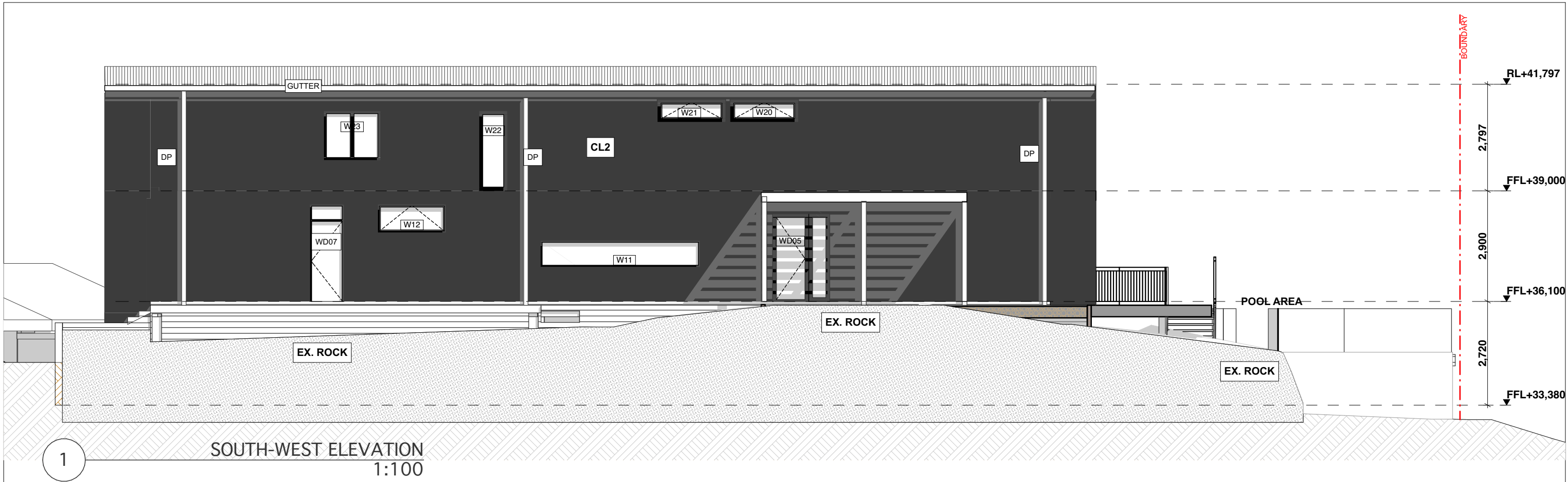
1. LANDSCAPE PLAN SCHEDULE												
Botanical Name	Acmena smithii 'Forest ...	Acmena smithii 'Forest ...	Banksia Ericifolia x Spin...	Banksia Sentinel	Bottlebrushes	Bottlebrushes	Db	Dianella Revoluta	Dianella Revoluta	Dianella Revoluta	Doryanthes Exclesa	Grass Aloe
Common name	Lilly Pilly	Lilly Pilly	Banksia Giant Candles	Banksia Sentinel	Callistemon spp	Callistemon spp	Atriplex Vesicaria	Dianella Caerula Flax lilly	Dianella Caerula Flax lilly	Dianella Caerula Flax lilly	Gyamea Lily	Aloe Cooperi
Type	Shrub Lilly Pilly #1140	Shrub Lilly Pilly #1140	Shrub Swamp Banksia ...	Shrub Swamp Banksia ...	Shrub Bottlebrush #1111	Shrub Bottlebrush #1111	Plant Flax Lily #1125	Shrub Bladder Saltbush ...	Plant Flax Lily #1126	Plant Flax Lily #1126	Shrub Spear Lily #1153	Succulent Grass Aloe #...
Code & 2D Plan Preview	Wf	As	Bgc	BIS	Ca	Ca		Av	Dr	Dr	De	Ac
Quantity	3	12	3	25	3	3	12	19	20	73	3	12
Status	Existing	New	New	New	New	Existing	New	New	Existing	New	New	New
Pot Size		25L	4.5L	9 cm tube stock	9cm tube stock		9cm tube stock	9cm tube stock		9cm tube stock	15L	9cm tube stock

1. LANDSCAPE PLAN SCHEDULE							
Botanical Name	Grass tree	Japanese snowball	Orange Jessamine	Swamp Banksia	Syzygium smithii	Waterhousea floribunda...	banksia Integrifolia - Co...
Common name	Xanthorrhoea Australis	Viburnum Plicatum 'Mari...	Murraya Paniculata	Banksia Robur	Lilly Pilly	Lilly Pilly	Coastal banksia
Type	Tree Grass #1137	Shrub Japanese Snowb...	Shrub Orange Jessamin...	Shrub Swamp Banksia ...	Shrub Lilly Pilly #1140	Shrub Lilly Pilly #1140	Shrub Swamp Banksia ...
Code & 2D Plan Preview							
Quantity	2	11	12	1	1	1	2
Status	New	Existing	New	Existing	Existing	Existing	New
Pot Size	40L		9cm tube stock				4.5L

LANDSCAPE PLAN SCHEDULE

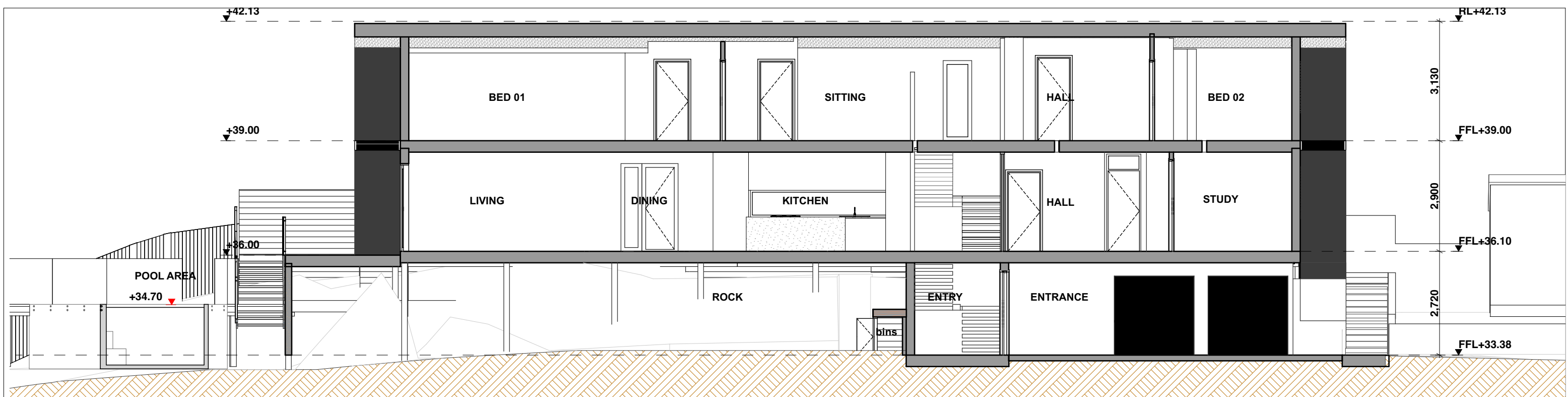




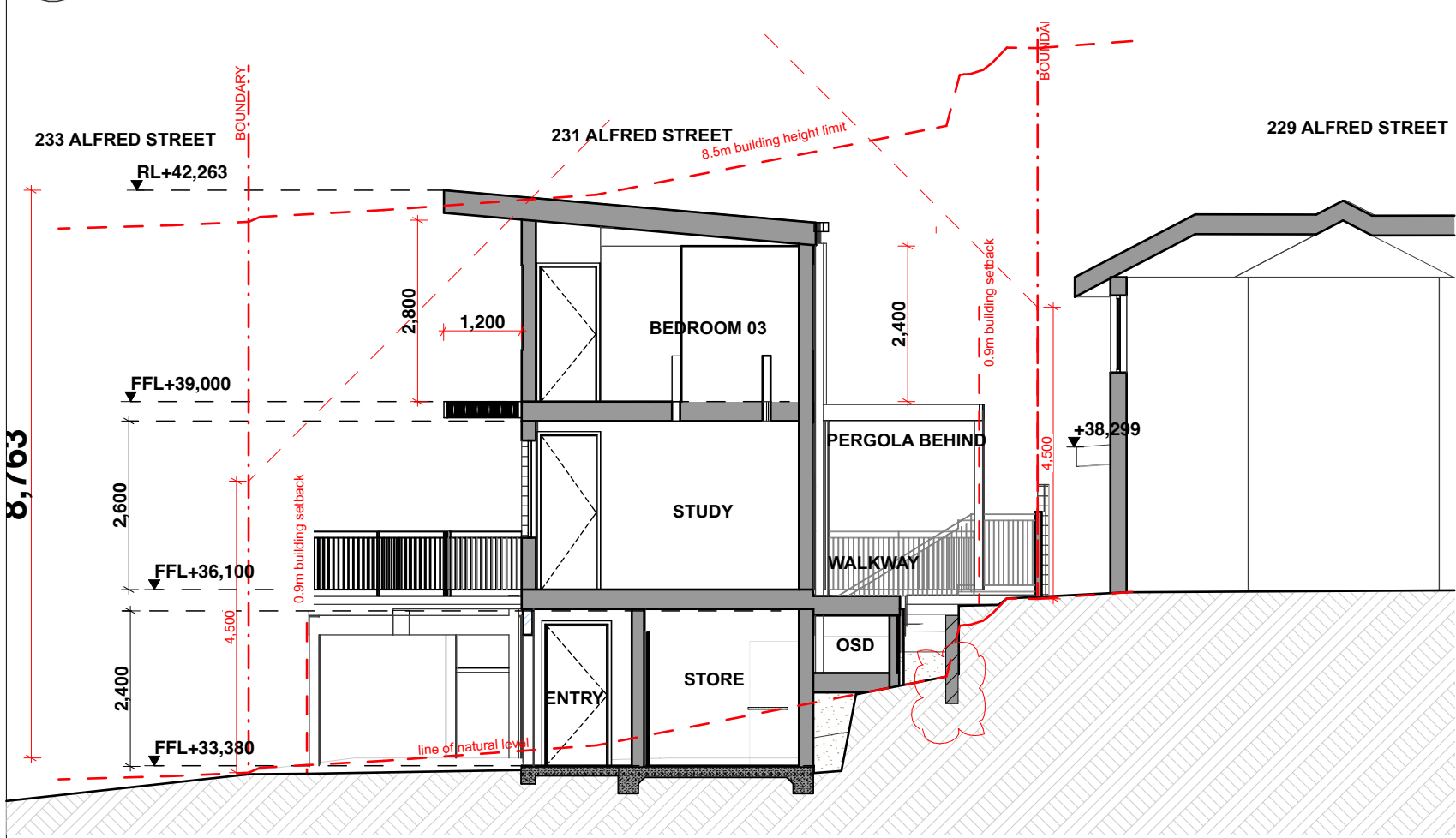


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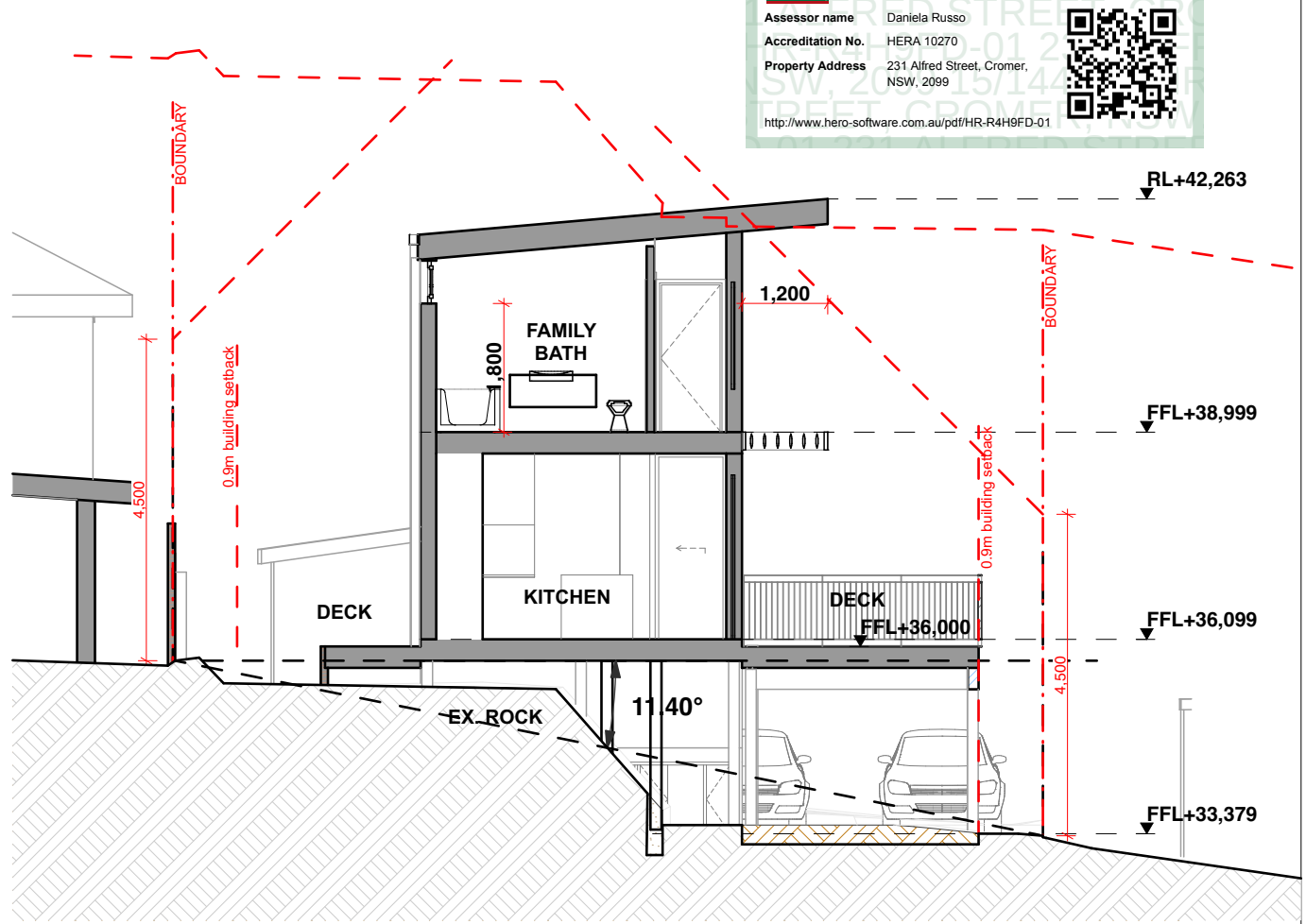
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SECTION A-A
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SECTION B-B
1:100



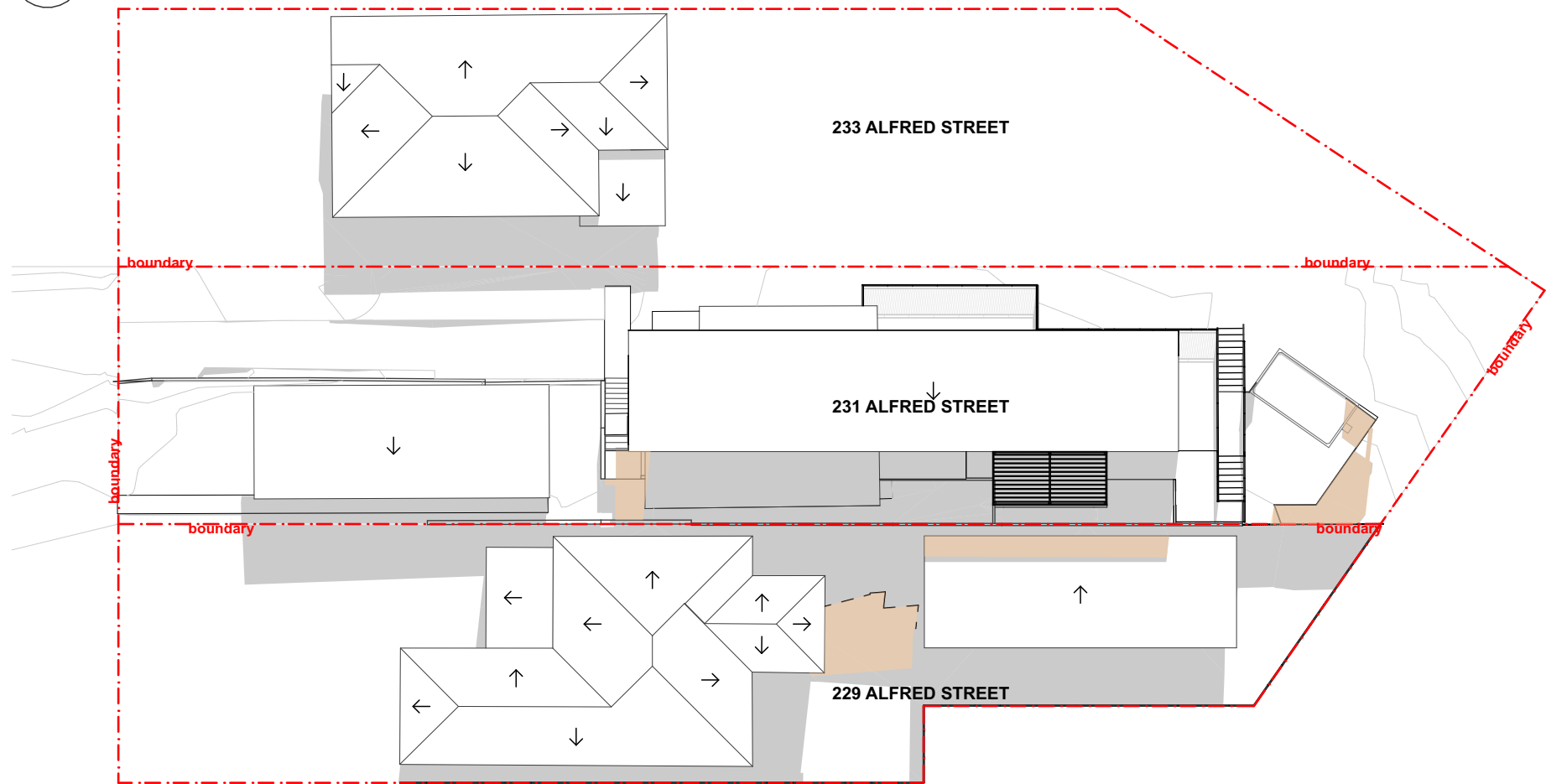
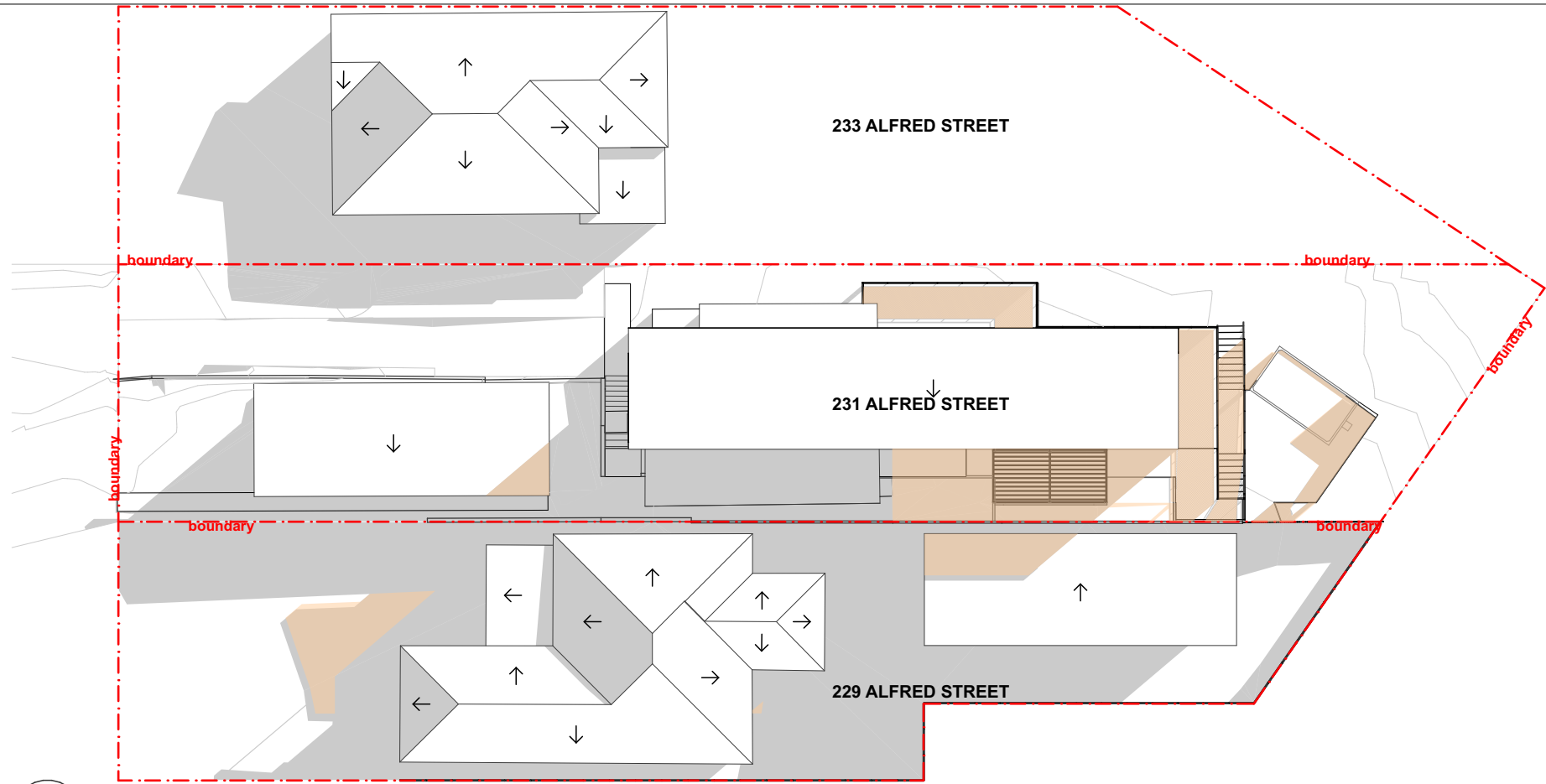
SECTION C-C
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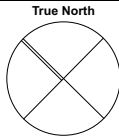


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LEGEND	
EXISTING	
PROPOSED WORKS	

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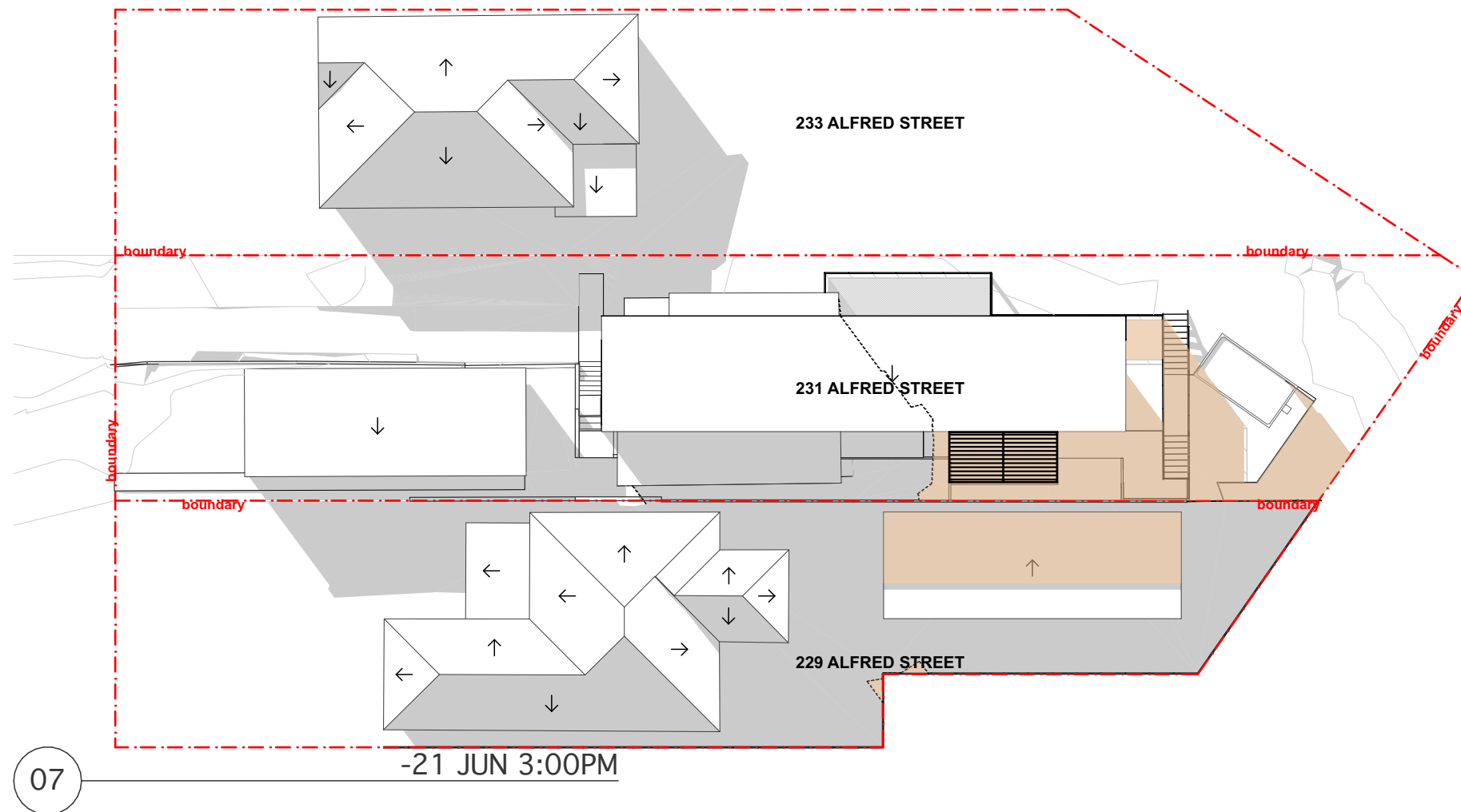
Project:
Proposed new Dwelling and Pool
For Heather and Julian Bolt
Status:
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Package:
DEVELOPMENT APPLICATION

Drawing Title:

SHADOW DIAGRAMS

Drawn:	Checked:	Plot Date:	Scale:
RC	SC	3/3/2025	@ A3
Project No.:	Drawing No.:	Revision:	
xxxx	DA-5.1	# A	



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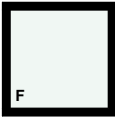
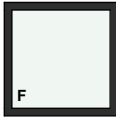
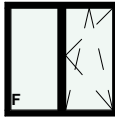
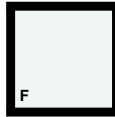
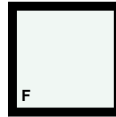
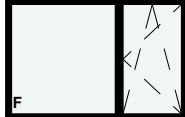
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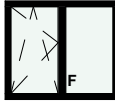
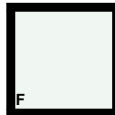
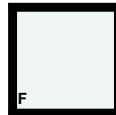
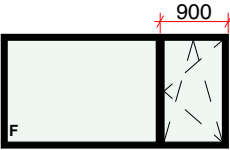


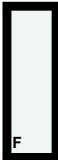
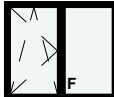
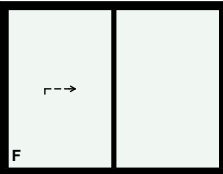
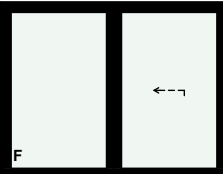
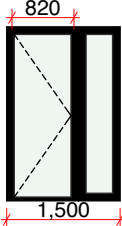
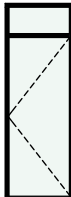
LOWER GROUND FLOOR EXTERNAL OPENINGS				
ID	WIDTH	HEIGHT	ORIE...	AREA
W02	1,500	1,500		2.25

GROUND FLOOR EXTERNAL OPENINGS				
ID	WIDTH	HEIGHT	ORIE...	AREA
W05	1,500	1,500		2.25
W06	1,500	1,500		2.25
W07	1,500	1,500		2.25
W08	1,500	1,500		2.25
W09	1,600	1,600		2.56
W10	2,400	1,600		3.84
W11	4,200	700		2.94
W12	1,800	750		1.35
WD03	3,000	2,300		6.90
WD04	3,000	2,300		6.90
WD05	1,500	2,300		3.45
WD07	900	2,550		2.30

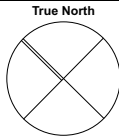
FIRST FLOOR EXTERNAL OPENINGS				
ID	WIDTH	HEIGHT	ORIE...	AREA
W13	1,500	1,300		1.95
W14	1,500	1,300		1.95
W15	1,500	1,500		2.25
W16	1,500	1,500		2.25
W17	3,000	1,500		4.50
W18	2,400	1,500		3.60
W19	2,400	1,500		3.60
W20	1,800	600		1.08
W21	1,800	600		1.08
W22	750	2,100		1.58
W23	1,500	1,300		1.95

ID	W02	W05	W06	W07	W08	W09	W10	W11
EXTERNAL VIEW								
W x H	1,500×1,500	1,500×1,500	1,500×1,500	1,500×1,500	1,500×1,500	1,600×1,600	2,400×1,600	4,200×700
SILL HEIGHT	600	800	800	800	800	700	700	900
HEAD HEIGHT	2,100	2,300	2,300	2,300	2,300	2,300	2,300	1,600

ID	W12	W13	W14	W15	W16	W17	W18	W19
EXTERNAL VIEW								
W x H	1,800×750	1,500×1,300	1,500×1,300	1,500×1,500	1,500×1,500	3,000×1,500	2,400×1,500	2,400×1,500
SILL HEIGHT	1,800	800	800	600	600	600	600	600
HEAD HEIGHT	2,550	2,100	2,100	2,100	2,100	2,100	2,100	2,100

ID	W20	W21	W22	W23	WD03	WD04	WD05	WD07
EXTERNAL VIEW								
W x H	1,800×600	1,800×600	750×2,100	1,500×1,300	3,000×2,300	3,000×2,300	1,500×2,300	900×2,550
SILL HEIGHT	1,800	1,800	0	800	0	0	0	0
HEAD HEIGHT	2,400	2,400	2,100	2,100	2,300	2,300	2,300	2,550

REV	DATE	DESCRIPTION
A	3/3/2025	Work in progress





Certificate No. #HR-R4H9FD-01

Scan QR code or follow website link for rating details.

Assessor name

Daniela Russo

Accreditation No.

HERA 10270

Property Address

231 Alfred Street, Cromer,
NSW, 2099

http://www.hero-software.com.au/pdf/HR-R4H9FD-01





NORTH WEST (STREET) VIEW



CL-01 CLADDING 01
EQUAL TO NATURAL TIMBER



CL-02 CLADDING 02
COLORBOND MONUMENT



CL-03 CLADDING 03
SYDNEY SANDSTONE CLADDING



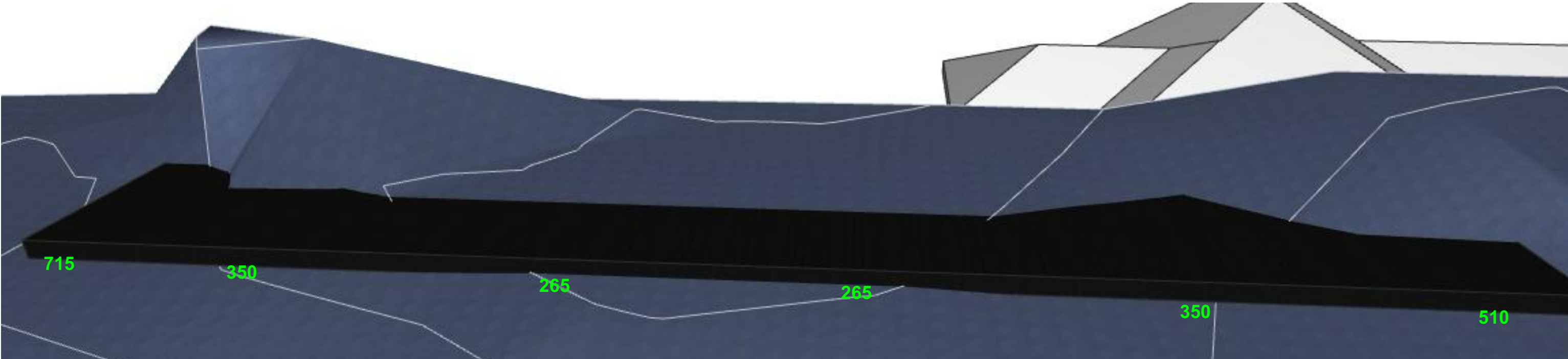
W/D- WINDOW/DOORS
COLORBONG MONUMENT



RS-01 ROOF SHEETING -
COLORBOND MONUMENT

REV	DATE	DESCRIPTION
A	3/3/2025	Work in progress





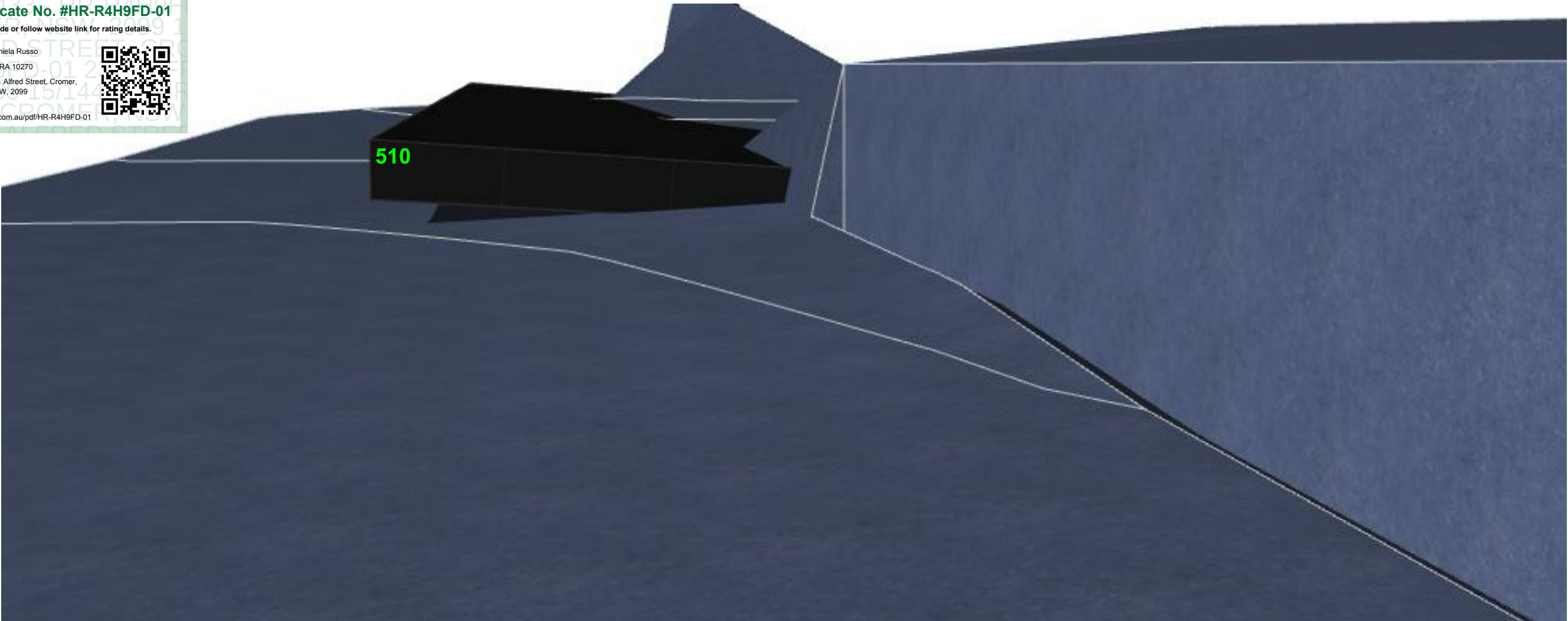
 **NORTH EAST VIEW**

**Certificate No. #HR-R4H9FD-01**
Scan QR code or follow website link for rating details.

Assessor name Daniela Russo
Accreditation No. HERA 10270
Property Address 231 Alfred Street, Cromer, NSW, 2099



<http://www.hero-software.com.au/pdf/HR-R4H9FD-01>



 **NORTH WEST (STREET) VIEW**