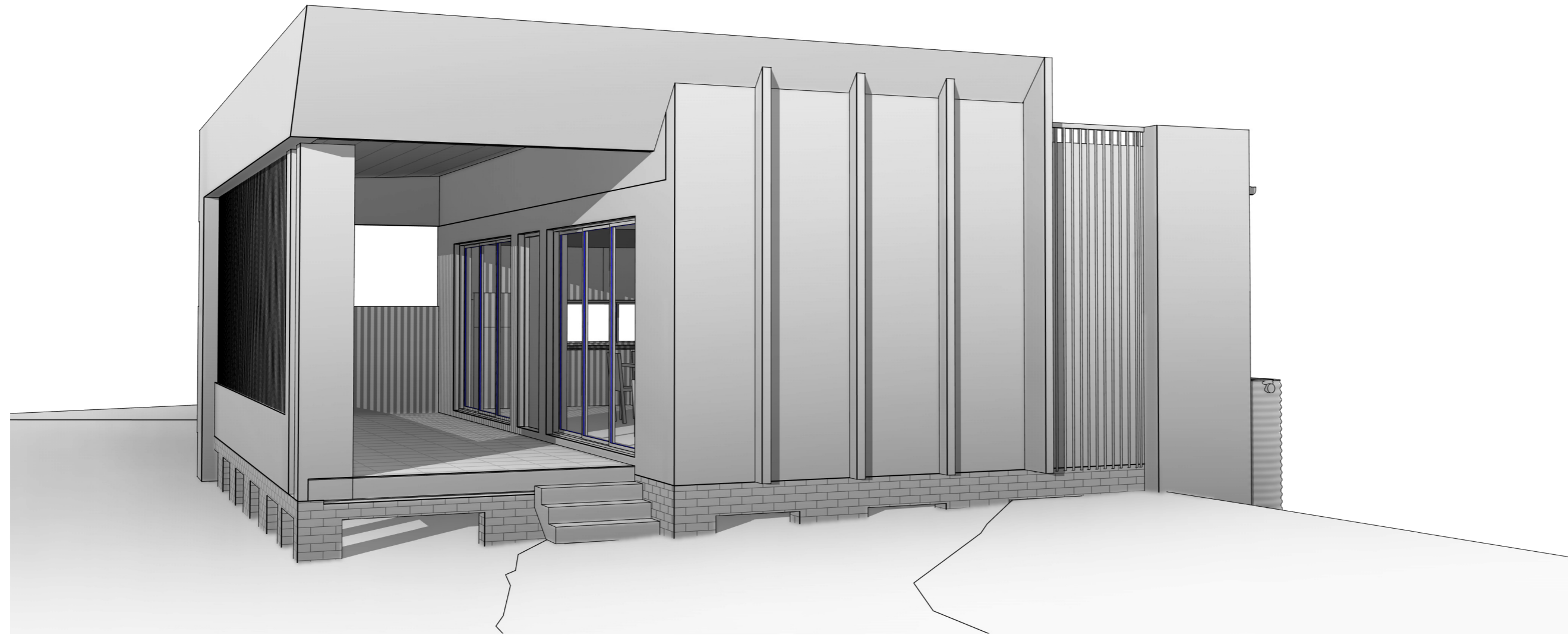


# PROPOSED SECONDARY DWELLING DEVELOPMENT AT 6 ALFRED ROAD, BROOKVALE



PROJECT INFORMATION	
SHEET No.	SHEET NAME
DA 000	COVER PAGE
DA 100	SPECIFICATIONS
DA 101	SITE PLAN ANALYSIS
DA 102	SITE PLAN
DA 200	GROUND FLOOR
DA 201	ROOF PLAN
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PROJECT INFORMATION	
SHEET No.	SHEET NAME
DA 301	SECTION AND DOORS AND WINDOWS SCHEDULE
DA 400	SHADOW DIAGRAMS
DA 500	SCHEDULES OF FINISHES
DA 501	DEMOLITION PLAN
DA 600	CONCEPT LANDSCAPE PLANS
DA 700	BASIX COMMITMENT
DA 800	NOTIFICATIONS PLANS

Grand total: 14



PROJECT DETAILS

## PROPOSED SECONDARY DWELLING DEVELOPMENT

AT

6 ALFRED ROAD, BROOKVALE

PROJECT NO:  
22154

CLIENT DETAILS:  
MR. MINH

PROJECT STATUS:

ISSUED FOR DA SUBMISSION

ISSUE:

**A**

## GENERAL NOTES:

Coordination  
Refer to and coordinate information contained in the architectural drawings, and the documentation of other consultants. Notify any discrepancies between the architectural and/or other consultants documentation prior to proceeding with the works.

### Specifications and Schedules

Refer to and coordinate with applicable Specifications and Schedules. Notify any discrepancies between documents prior to proceeding with the works.

### Detail Drawings

Drawings at larger scales take precedence over drawings at smaller scales, Notify any discrepancies prior to proceeding with the works.

### Execution of the works

Execute the works in accordance and compliance with:  
-The approved Development Application and in accordance with the relevant Conditions of Consent and other relevant Local Authority requirements;  
-The requirements scheduled by a current BASIX Certificate consistent with the works.  
-The current edition of the Building Code of Australia (as amended); and  
-Current editions of the relevant Australian and other applicable published standards relevant to the execution of the works.

### Units of measurement

Dimensions are shown in millimetres unless noted otherwise.

### Materials handling and storage

Material, fixtures and fittings are to be handled, stored and installed in accordance with the Manufacturer's current written instructions.

### Structure

Foundations, footings, reinforced concrete slabs, retaining walls, framing, bracing, tie-down and other structural elements are to be constructed in accordance with the Structural Engineer's details and specifications.

### Hydraulics

Stormwater drainage, waste water drainage, fresh water, gas supply and other hydraulic services are to be constructed in accordance with Local Authority and Hydraulic Engineer's requirements.

## SPECIFICATION NOTES:

General  
**Specifications**  
Execute the works in compliance with the relevant deemed-to-satisfy provisions of the Building Code of Australia (BCA) (Volume 2), current editions of relevant Australian and other applicable published Standards and the relevant requirements of Local and/or Statutory Authorities applicable to the execution of the works. This schedule of codes and standards outlines the minimum acceptable standards.

**Termite protection**  
Provide termite protection: In accordance with Part 3.1.3 -Termite Risk Management of the BCA (Volume 2) and to AS 3660.1 (Termite management - New building work) Provide professional certification of the termite protection measures to the principal certifying authority, confirming compliance with the provisions of the BCA and Australian Standard.  
**Flashing and damp-proof courses**  
Flashings and damp-proof courses: To AS/NZS 2904 (Damp proof courses and flashings).

**Fasteners**  
Steel nails: Hot-dip galvanised to AS/NZS 4680 (Hot-dip galvanised (zinc) coatings on fabricated ferrous articles). Self-drilling screws: To AS 3566.1 (Self-drilling screws for the building and construction industries)

**Metal finishes**  
Corrosion protection: To BCA Volume 2 clause 3.4.2.2 (Acceptable construction -Framing - Steel framing - General).

### Site Preparation

Demolition  
Demolish existing structures as shown: To AS 2601 (Demolition of structures).  
**Earthworks**  
To be carried out in accordance with: The requirements of the Environmental Planning & Assessment Act 1979; Relevant conditions of the development consent; and the relevant requirements of Part 3.1.1 of the BCA (Volume 2).  
**Stormwater drainage**  
Part 3.1.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage).  
AS/NZS 3500 (Part 5 - Domestic installations - Section 5 - stormwater drainage).

### Structural design

For details of structural footings, slabs, framing and the like refer to structural engineering details, to be prepared by a qualified structural engineer.  
Structural design is to be in accordance with the relevant structural design manuals.

### Site Classification

To be in accordance with Part 3.2.4 of the BCA (Volume 2)  
**Structural design manuals**  
AS 1170.1 (Dead and live loads and load combinations)  
AS 1170.2 (AS 4055 - Wind loads) AS 1170.4 (Earthquake loads)  
AS 1720.1 (Timber structures code)  
AS 2159 (Piling - design and installation)  
As 2327.1 (Composite structures)  
AS 3600 (Concrete structures)  
AS 4100 (Steel structures)  
**Structural design certification**  
Submit structural engineer's design certification, in accordance with Local Authority requirements, the Principal Certifying Authority prior to the commencement of works.

### Concrete construction

Concrete structures generally: To AS 3600 (Concrete structures).  
Ground Slabs and footings: To AS 2870 (Residential slabs and footings - Construction).  
Ready mixed supply: To AS 1379 (Specification and supply of concrete). **Footings and slabs**  
Design and construct footings and slabs: In accordance with Part 3.2 of the BCA (Volume 2) and AS 2870 (Residential slabs and footings), AS 3600 (Concrete structures) and AS 2159 (Piling - Design and installation).

### Brick & block construction (masonry)

Masonry construction: To be in accordance with Part 3.3 of the BCA (Volume 2) and to AS 3700 (Masonry structures).  
Masonry units: To AS/NZS 4455 (Masonry units and segmental pavers). Clay brick durability below damp-proof course: Use exposure category to AS/NZS 4456.10 (Masonry units and segmental pavers - Methods of test -Determining resistance to salt attack) Appendix A (Salt attack resistance categories).

### Galvanising

Galvanising mild steel components (including fasteners) to AS 1214 or AS/NZS 4680, as appropriate, where exposed to weather, embedded in masonry or in contact with chemically treated timber.

### Wall Ties

Wall tie type: To BCA Volume 2 clause 3.3.3.2 (Acceptable construction -Masonry - Masonry accessories - Wall ties) and AS/NZS 2699.1 (Built-in components for masonry construction -Wall ties); Non-seismic areas:  
Type A; Seismic areas: Type B.  
Wall tie spacing: To BCA Volume 2 Figure 3.3.3.1 (Typical brick ties spacings in cavity and veneer construction).  
Wall tie corrosion protection: To BCA Volume 2 Table 3.3.3.1 (Corrosion protection for wall ties).  
Lintels generally: In accordance with Part 3.3.3.4 of the BCA (Volume 2).

### Timber & steel framed construction

**Sub-floor ventilation**  
To be in accordance with Part 3.4.1 of the BCA (Volume 2)  
Timber wall, floor and roof framing  
Timber framing: To be in accordance with Part 3.4 of the BCA (Volume 2) and AS 1684.4 (Residential timber-framed construction - Simplified - Non-cyclonic) or AS 1720.1 (Timber structures -Design methods).  
**Steel framing and structural steel members**  
Steel framing: to be in accordance with Part 3.4.2 of the BCA (Volume 2). Acceptable construction practice (Part 3.4.2.1 of the BCA) and / or AS 4100 (Steel structures)  
Cold-formed steel framing: Provide a proprietary system designed to AS 3623 (Domestic metal framing).

### Roof and wall cladding

**Roof tiling**  
To be in accordance with Parts 3.5.1.1 & 3.5.1.2 of the BCA (Volume 2) and AS 2049 (Roof tiles).  
Roof tile installation: To AS 2050 (Installation of roofing tiles).  
**Metal roof sheeting**  
To be in accordance with Parts 3.5.1.1 & 3.5.1.3 of the BCA (Volume 2). Metal roofing design and installation: To AS 1562.1 (Design and installation of sheet roof and wall cladding - Metal).  
**Roof plumbing**  
To be in accordance with Part 3.5.2 of the BCA (Volume 2) and AS/NZS 3500 (Part 3 - Stormwater drainage) and AS/NZS 3500 (Part 5 - Domestic installation - section 5 - stormwater drainage).  
**Wall cladding**  
To be in accordance with Part 3.5.3 of the BCA (Volume 2)

### Installation and sarking

Bulk insulation: To AS/NZS 4859.1 (Materials for the thermal insulation of buildings - General criteria and technical provisions), Section 5.  
Reflective insulation: To AS/NZS 4859.1, Section 9.  
Sarking material: To AS/NZS 4200.1 (Pliable building materials and underlays - Materials).

### Windows and doors

Glazing to be in accordance with Part 3.6 of the BCA (Volume 2).  
Glass Selection and installation: To AS 1288 (Glass in buildings - Selection and installation).  
Timber doorsets: To AS 2688 (Timber doors).  
Timber frames and jamb linings: To AS 2689 (Timber doorsets)  
Security screen doors and window grilles: To AS 5039 (Security screen doors and security window grilles).  
Window selection and installation: To AS 2047 (Windows in buildings - Selection and installation).  
Doorset installation: To AS 1909 (Installation of timber doorsets).  
Garage doors: To AS/NZS 4505 (Domestic garage doors).

### Lining

Plasterboard: To AS/NZS 2588 (Gypsum plasterboard).  
Plasterboard installation: To AS/NZS 2589.1 (Gypsum linings in residential and light commercial construction -Application and finishing - Gypsum plasterboard) Level 4 finish.  
Fibre cement: To AS/NZS 2908.2 (Cellulose-cement products - Flat Sheets),  
Type B, Category 2.  
Fibrous plaster products: To AS 2185 (Fibrous plaster products).

### Fire safety

**Fire separation**  
To be in accordance with Part 3.7.1 of the BCA (Volume 2).  
Fire separation - Separating wall construction: Part 3.7.1.8 of the BCA (Volume 2).  
Fire separation - Roof lights: Part 3.7.1.10 of the BCA (Volume 2).  
Refer to architectural details of fire separation methods.  
**Smoke alarms**  
To be in accordance with Part 3.7.2 of the BCA (Volume 2); and AS 3786 (Smoke alarms).

### Health and amenity

**Wet areas**  
Refer to "Waterproofing".  
**Room heights**  
To be in accordance with Part 3.8.2 of the BCA (Volume 2).  
**Kitchen, sanitary and washing facilities**  
To be in accordance with Parts 3.8.3.2 and 3.8.3.3 of the BCA (Volume 2).  
**Natural and artificial light**  
To be in accordance with Parts 3.8.4.2 and 3.8.4.3 of the BCA (Volume 2).  
**Ventilation**  
To be in accordance with Part 3.8.5 of the BCA (Volume 2).  
Natural Ventilation: Parts 3.8.5.2 and 3.8.5.3 of the BCA (Volume 2).  
Mechanical Ventilation: Parts 3.8.5.0 and 3.8.5.3 of the BCA (Volume 2).  
**Sound insulation**  
To be in accordance with Part 3.8.6.1 of the BCA (Volume 2).

### Safe movement and access

**Stair construction**  
To be in accordance with Part 3.9.1.1 of the BCA (Volume 2) - Acceptable construction practice.  
**Balustrades**  
To be in accordance with Part 3.9.2.1 of the BCA (Volume 2) - Acceptable construction practice.

### Block and tile finishes

Ceramic tiling: Follow the guidance provided by AS 3958.1 (Ceramic tiles - Guide to the installation of ceramic tiles) and AS 3958.2 (Ceramic tiles - Guide to the selection of a ceramic tiling system).  
Adhesives: To AS 2358 (Adhesives -For fixing ceramic tiles).

### Waterproofing

To be in accordance with Part 3.8.1 of the BCA (Volume 2).  
Waterproofing: To AS 3740 (Waterproofing of wet areas in residential buildings).  
Refer to architectural details of waterproofing.

### Floor coatings and coverings

Carpeting: To AS/NZS 2455.1 (Textile floor coverings - Installation practice - General).  
Resilient finishes: To AS 1884 (Floor coverings - Resilient sheet and tiles - Laying and maintenance practices).

### Painting

Painting generally: Follow the guidance provided by AS/NZS 2311 (Guide to the painting of buildings) and AS/NZS 2312 (Guide to the protection of structural steel against atmospheric corrosion by the use of protective coatings).

Plumbing installations  
Where a discrepancy arises the hydraulic consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.  
Plumbing and draining products: To SAA MP52 (Manual of authorization procedures for plumbing and drainage products) and AS/NZS 3718 (Water supply - Tap ware).  
Stormwater: To AS/NZS 3500.3 (Plumbing and Drainage - Stormwater drainage) or AS/NZS 3500.5 (National Plumbing and Drainage - Domestic installations).  
Wastewater: To AS/NZS 3500.2 (Plumbing and Drainage - Sanitary plumbing and drainage) or AS/NZS 3500.5.  
Freshwater: To AS/NZS 3500.1 (Plumbing and Drainage - Water services) and AS/NZS 3500.4 (Plumbing and Drainage - Heated water services) or AS/NZS 3500.5.  
Gas: To AS 5601 (Gas installation code).

### Electrical installations

Where a discrepancy arises the electrical consultant's, local or statutory authority's requirements take precedence over the following standards to the extent of the discrepancy.  
Electrical installation: To AS/NZS 3018 (Electrical installation - Domestic installations).  
Smoke Alarms: Refer to "Fire Safety, Smoke Alarms".  
Smoke alarm installation and testing: To AS 1670.1 (Fire detection, warning, control and intercom systems - System design, installation, and commissioning -Fire) in accordance with the requirements of the Building Code of Australia. Connect smoke alarms to mains power.  
Test electrical installations: To AS/NZS 3017 (Electrical installations - Testing guidelines).  
Certify compliance with AS/NZS 3018.

### Mechanical installations

Mechanical ventilation: To AS 1668.2  
(The use of ventilation and air-conditioning in buildings - Mechanical ventilation for acceptable indoor quality) - Grade 2 amenity.



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#### PROJECT DETAILS:

**PROPOSED SECONDARY DWELLING DEVELOPMENT**

AT:  
**6 ALFRED ROAD, BROOKVALE**

PROJECT NO.  
**22154**

LOGGED AT  
**NORTHERN BEACHES COUNCIL**

#### PROJECT STATUS:

**ISSUED FOR DA SUBMISSION**

CLIENT DETAILS:  
**MR. MINH**

#### ISSUE DETAILS:

REV	DATE	DESCRIPTION	INITIAL
A	05.02.2025	ISSUED FOR DA SUBMISSION ONLY	DN

#### DRAWING DETAILS:

**SPECIFICATIONS**

START DATE  
**19/02/2024**

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**DN**

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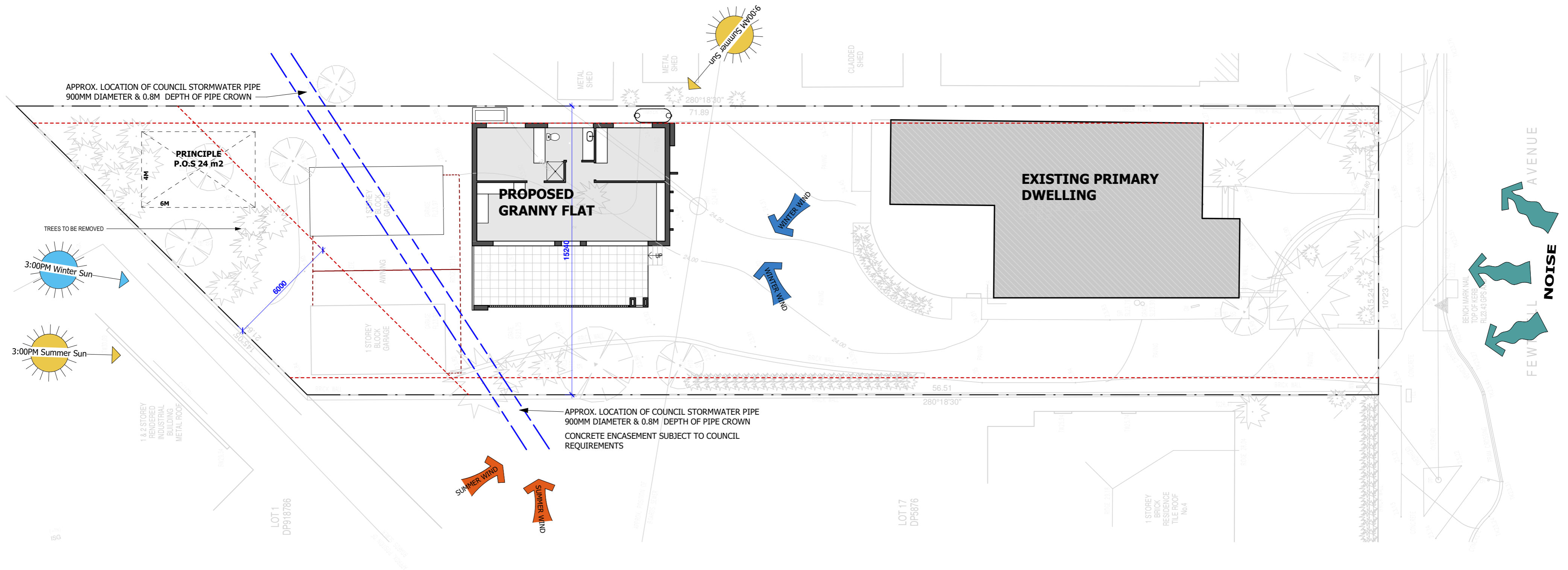
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**DA 100**



ISSUE

**A**



## SITE ANALYSIS

SCALE: 1 : 150



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**22154**  
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CLIENT DETAILS:  
**MR. MINH**

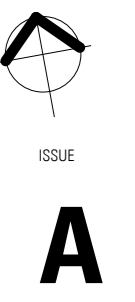
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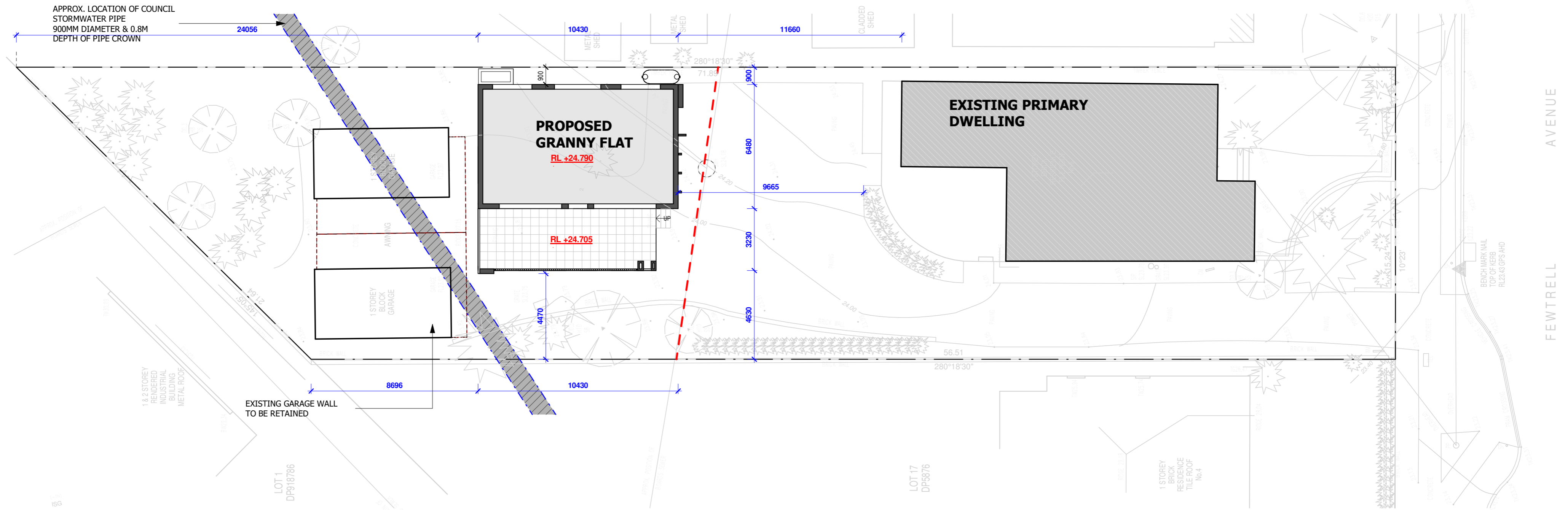
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A	05.02.2025	ISSUED FOR DA SUBMISSION ONLY	DN

### DRAWING DETAILS SITE PLAN ANALYSIS

START DATE  
**19/02/2024**  
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**DN**  
 CHECKED BY  
**DN**

SCALE  
**1 : 150**  
 DRAWING NO.  
**DA 101**





SITE DETAILS		
ADDRESS:	<b>6 ALFRED ROAD, BROOKVALE</b>	
	<b>LOT 18 DP 5876</b>	
LOT AREA	<b>978.4 m<sup>2</sup></b>	
LOT FRONTAGE	<b>15.24 m</b>	
WARRINGAH DCP 2011		
	ALLOWED	PROVIDED
<b>GROSS FLOOR AREA</b>	N/A	<b>193.98 m<sup>2</sup></b>
		TOTAL EXISTING PRIMARY DWELLING (AS EXISTING)
		<b>134.6m<sup>2</sup></b>
		PROPOSED GRANNY FLAT
		<b>59.38m<sup>2</sup></b>
<b>MAX BUILDING HEIGHT</b>	8.5m	
<b>MAX WALL HEIGHT</b>	7.2m	
<b>SETBACK MIN.</b>		AS PER EXISTING
PRIMARY FRONT SETBACK	<b>6.5 m</b>	
SIDE SETBACK	<b>Min.0.9 m</b>	<b>0.9 m</b>
REAR SETBACK	<b>6 m</b>	<b>8.69 m</b>
<b>LANDSCAPE AREA MIN.</b>		
LANDSCAPE AREA (40% LOT AREA) WITH MIN. 1m	<b>391.36 m<sup>2</sup></b>	<b>395.74 m<sup>2</sup></b>
<b>PRIVATE OPEN SPACE</b>		
	<b>Min.60 m<sup>2</sup></b>	
	MIN. 5m DIMENSIONS	

LANDSCAPE AREA CALCULATION	
Name	Area
EX. REAR LANDSCAPE	255.87 m <sup>2</sup>
FRONT LANDSCAPE	64.37 m <sup>2</sup>
PROPOSED REAR LANDSCAPE	75.50 m <sup>2</sup>
	395.74 m <sup>2</sup>

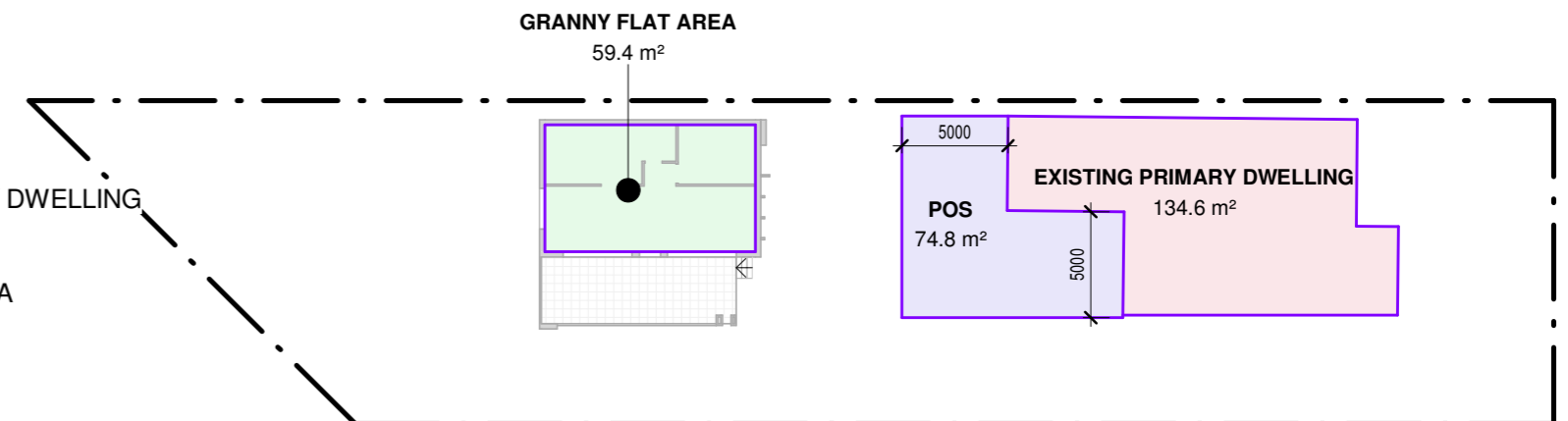
GROSS AREA CALCULATION	
Name	Area
GRANNY FLAT AREA	59.38 m <sup>2</sup>
EX. GARAGE AREA	Not Placed
EXISTING PRIMARY DWELLING	134.60 m <sup>2</sup>
POS	74.82 m <sup>2</sup>
	268.81 m <sup>2</sup>

- LEGENDS:**
- EXISTING WALL STRUCTURAL
  - EXISTING WALL TO BE REMOVED
  - EXISTING ROOF TO BE REMOVED
  - EXISTING TREES TO BE REMOVED
  - EXISTING LANDSCAPE AREA
  - PROPOSED LANDSCAPE AREA
  - EXISTING PAVING AREA

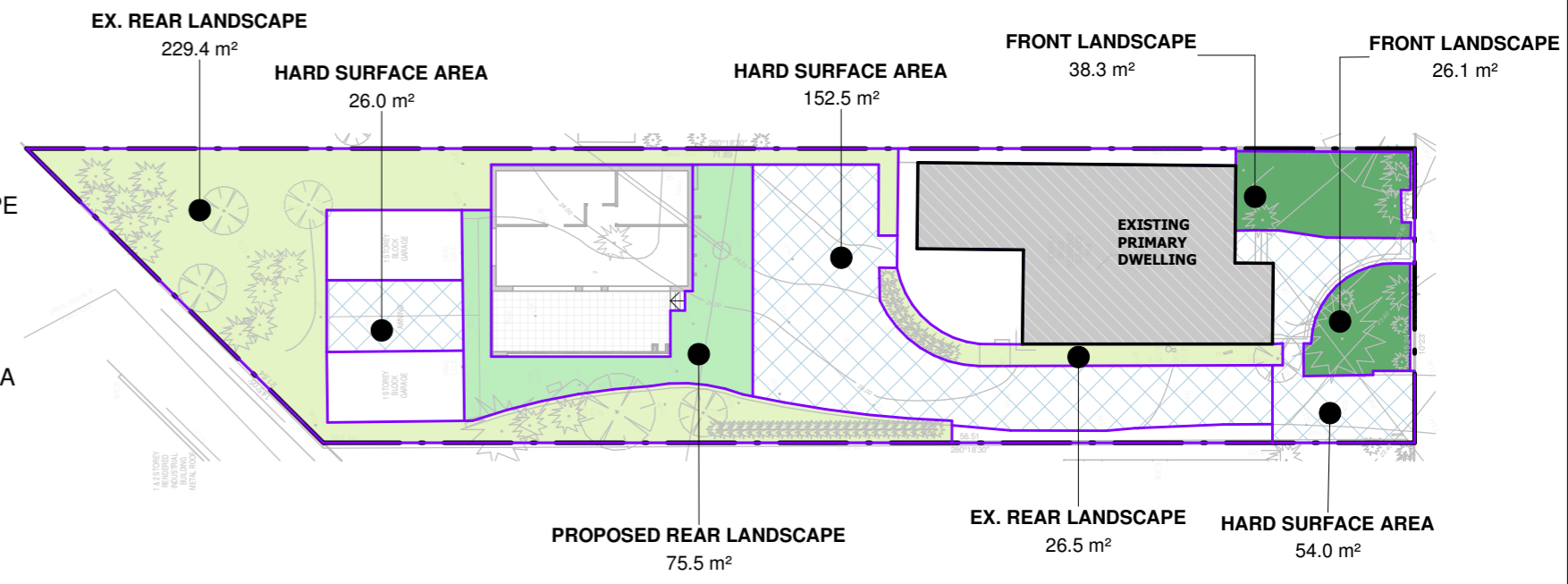
### SITE PLAN

SCALE: 1 : 150

- LEGEND**
- EXISTING PRIMARY DWELLING
  - GRANNY FLAT AREA
  - POS



- LEGEND**
- EX. REAR LANDSCAPE
  - FRONT LANDSCAPE
  - HARD SURFACE AREA
  - PROPOSED REAR LANDSCAPE



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**SITE PLAN**

START DATE  
**19/02/2024**

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**DN**






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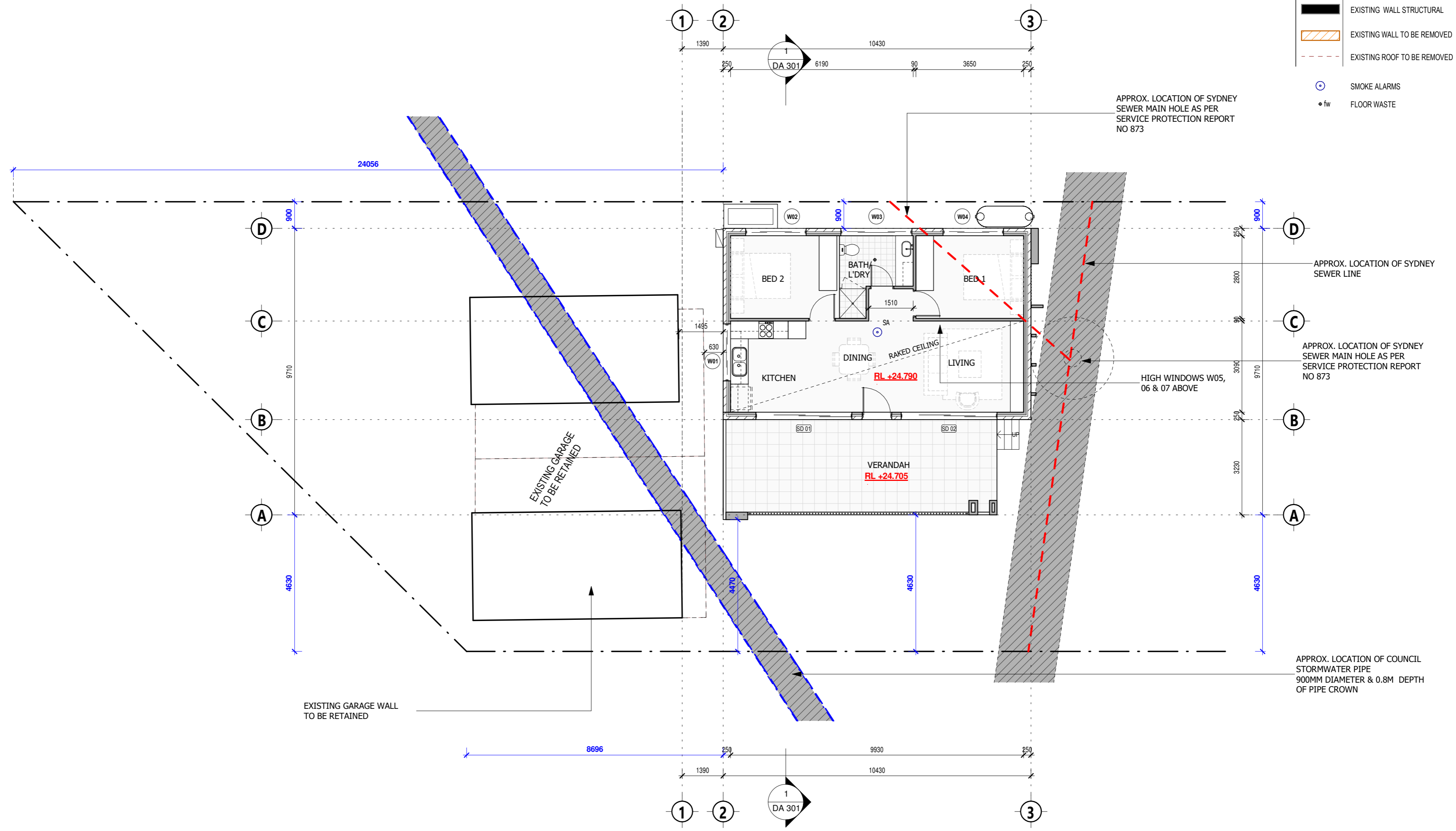
SCALE  
**As indicated**

DRAWING NO.  
**DA 102**

ISSUE  
**A**

LEGENDS:

-  EXISTING WALL STRUCTURAL
-  EXISTING WALL TO BE REMOVED
-  EXISTING ROOF TO BE REMOVED
-  SMOKE ALARMS
-  FLOOR WASTE



**GROUND FLOOR**

SCALE: 1 : 100



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**GROUND FLOOR**

START DATE  
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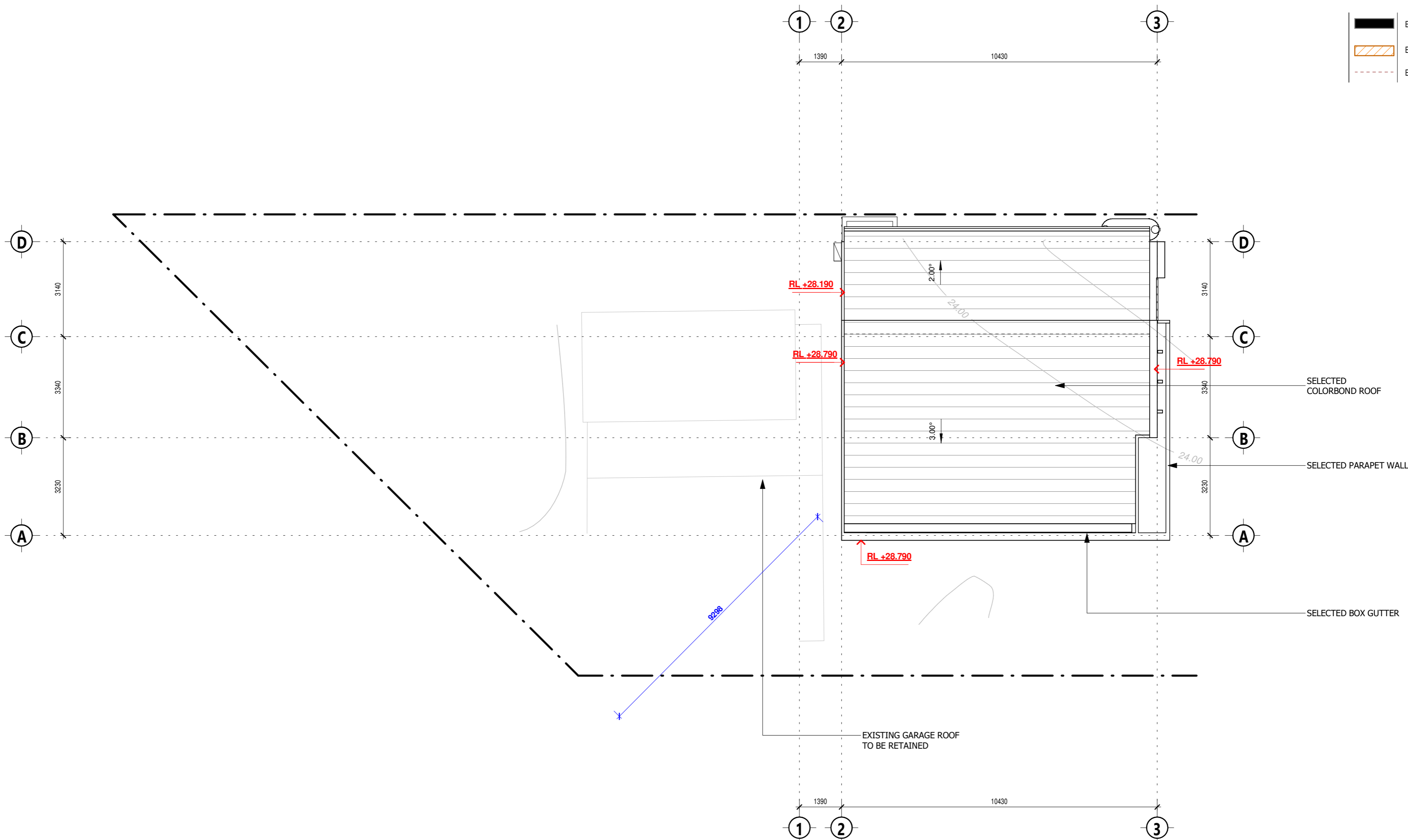
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**1 : 100**

DRAWING NO.  
**DA 200**

ISSUE  
**A**

LEGENDS:

- EXISTING WALL STRUCTURAL
- EXISTING WALL TO BE REMOVED
- EXISTING ROOF TO BE REMOVED



# ROOF PLAN

SCALE: 1 : 100



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PROJECT DETAILS:  
**PROPOSED SECONDARY DWELLING DEVELOPMENT**

AT:  
**6 ALFRED ROAD, BROOKVALE**  
 PROJECT NO.  
**22154**  
 LOGGED AT  
**NORTHERN BEACHES COUNCIL**

PROJECT STATUS:  
**ISSUED FOR DA SUBMISSION**

CLIENT DETAILS:  
**MR. MINH**

ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	05.02.2025	ISSUED FOR DA SUBMISSION ONLY	DN

DRAWING DETAILS  
**ROOF PLAN**

START DATE  
**19/02/2024**  
 DRAWN BY  
**DN**  
 CHECKED BY  
**DN**

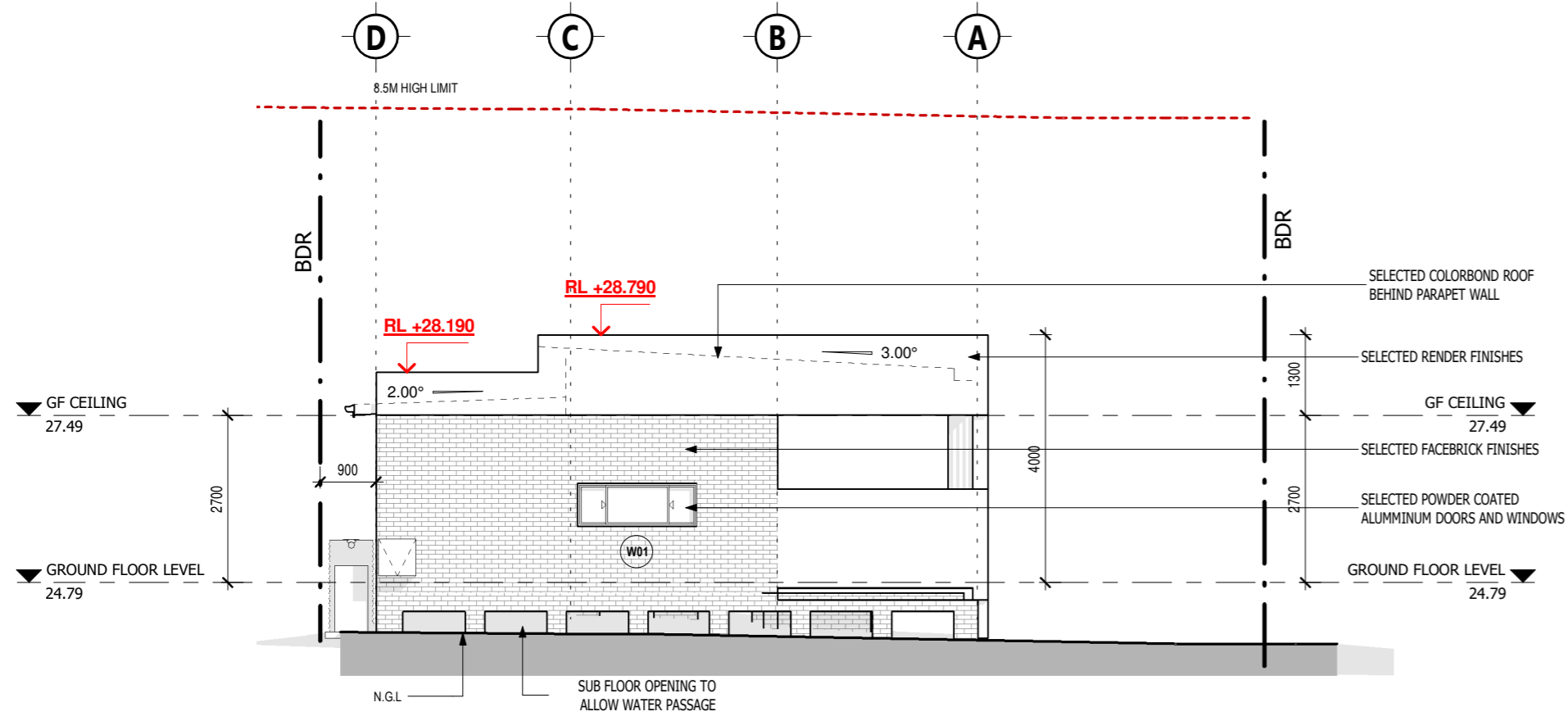
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**1 : 100**  
 DRAWING NO.

**DA 201**

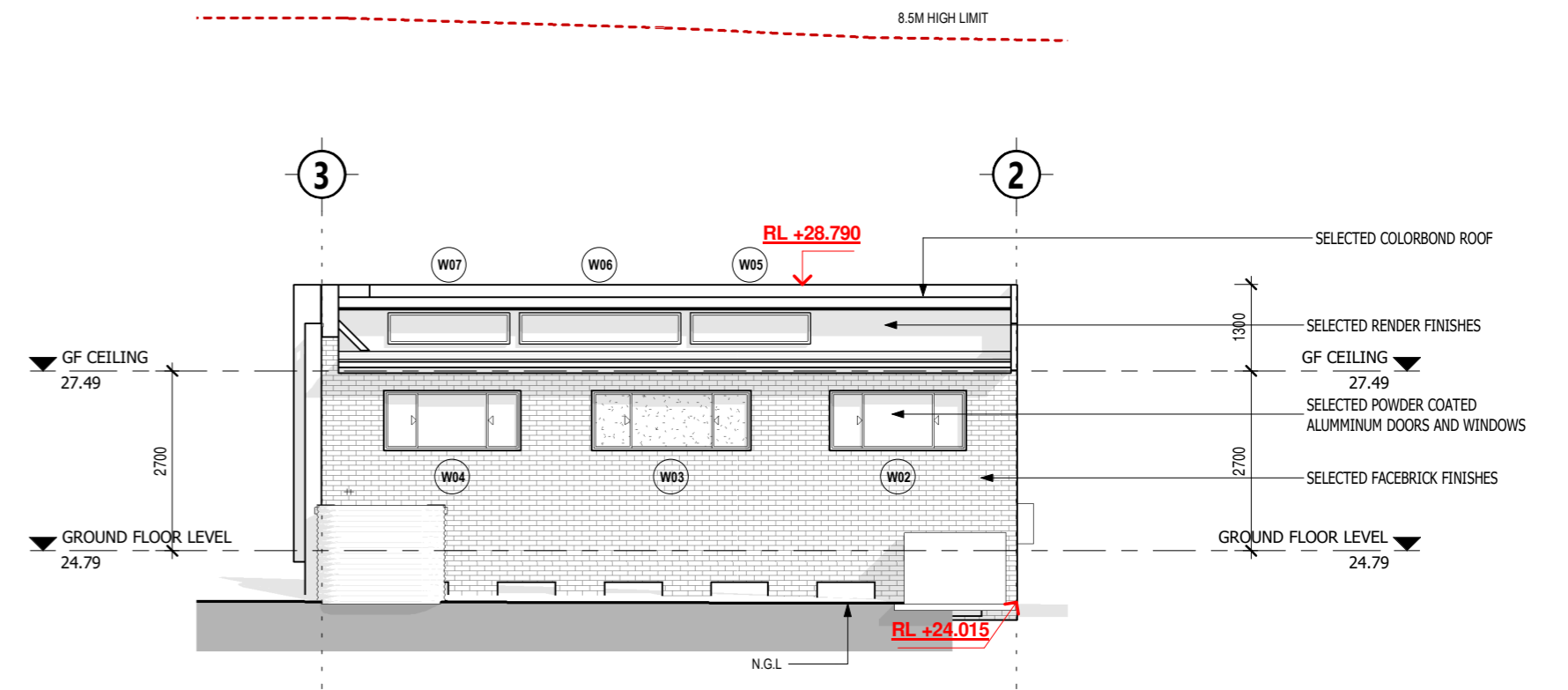


ISSUE

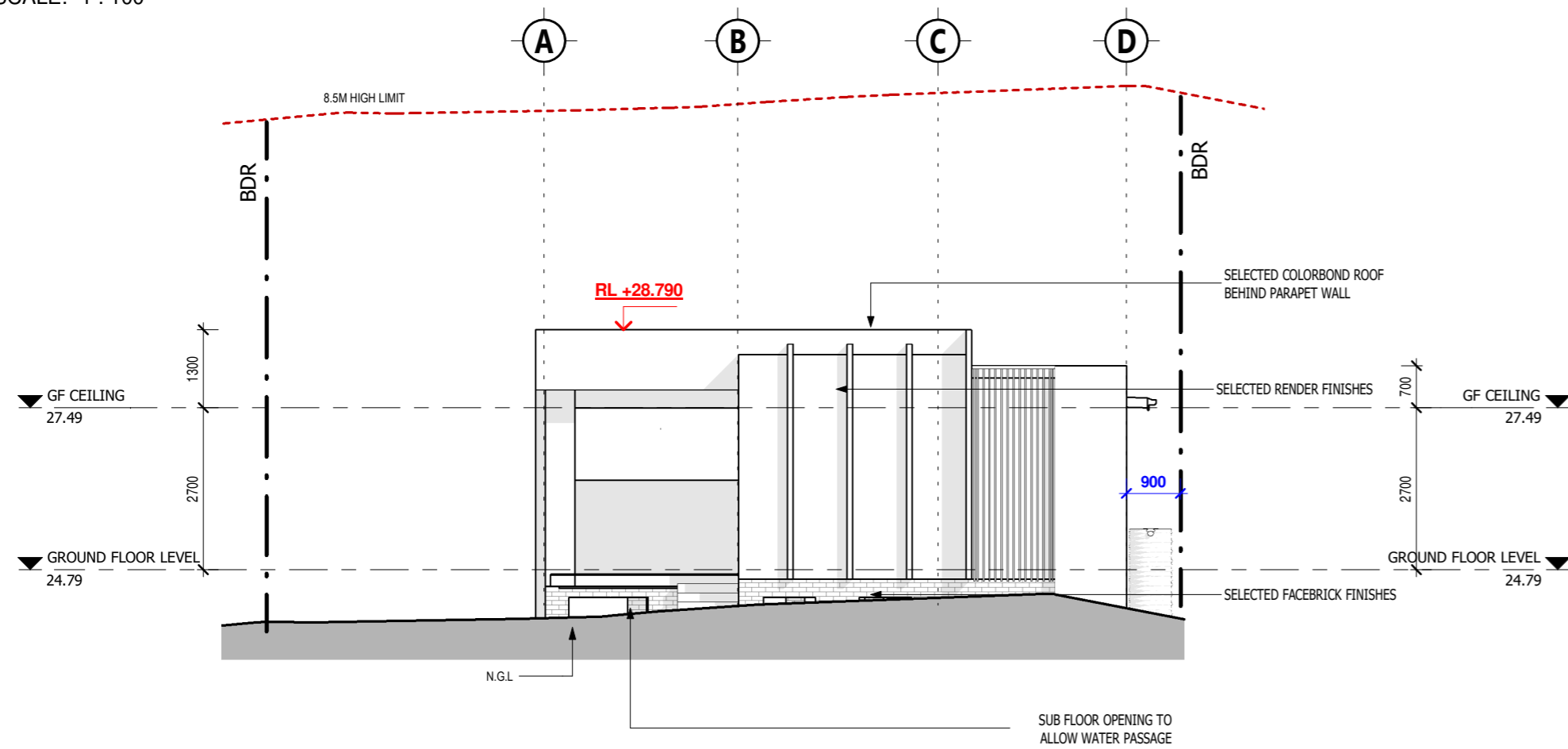
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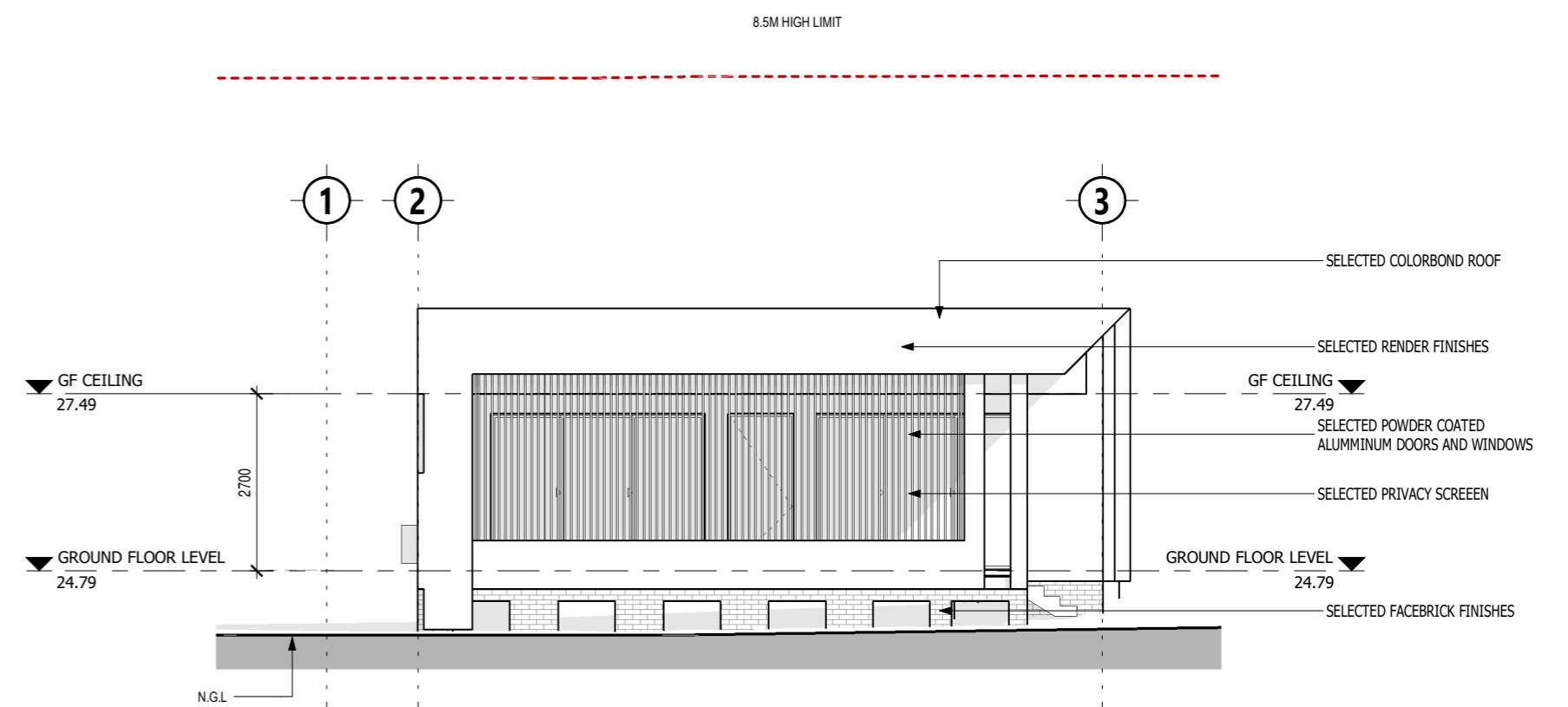
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SCALE: 1 : 100



**ELEVATION 2 - NORTH**  
SCALE: 1 : 100



**ELEVATION 3 - EAST**  
SCALE: 1 : 100



**ELEVATION 4 - SOUTH**  
SCALE: 1 : 100

**LEGEND**

- HEIGHT LIMIT
- EXISTING NATURAL GROUND LINE
- EXISTING STRUCTURAL TO BE REMOVED
- EXISTING STRUCTURAL TO BE RETAINED
- FROSTED GLASS



Address: 511 Gardeners Road, Roseberry, NSW 2018  
P : 0415 678 131  
E : info.bryandesign@gmail.com  
W : bryandesign.com.au  
ABN : 30 615 709 272

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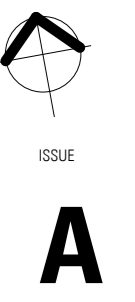
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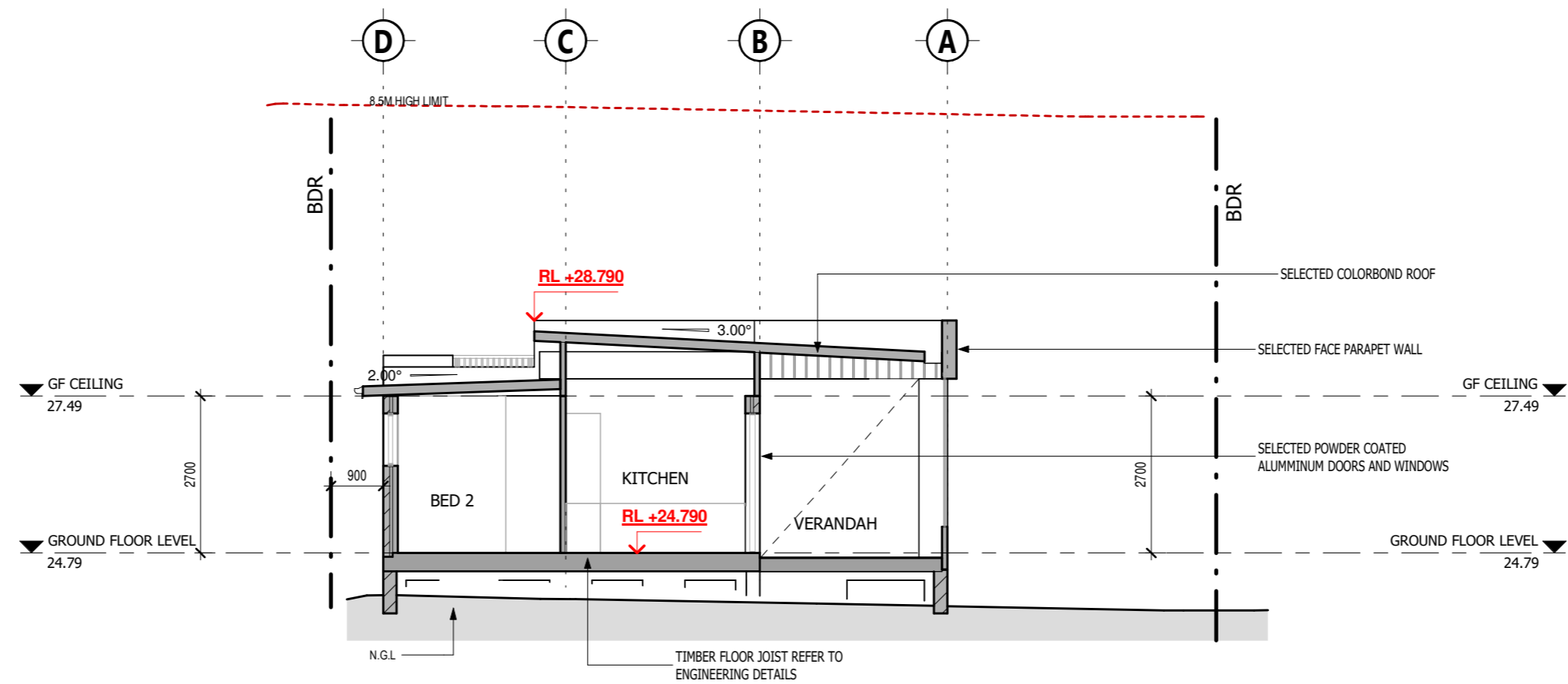
CLIENT DETAILS:  
**MR. MINH**

ISSUE DETAILS			
REV	DATE	DESCRIPTION	INITIAL
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DRAWING DETAILS  
**ELEVATIONS**  
START DATE  
**19/02/2024**  
DRAWN BY  
**DN**  
CHECKED BY  
**DN**

SCALE  
**1 : 100**  
DRAWING NO.  
**DA 300**





**LEGEND**

- HEIGHT LIMIT
- EXISTING NATURAL GROUND LINE
- - - EXISTING STRUCTURAL TO BE REMOVED
- ▒ EXISTING STRUCTURAL TO BE RETAINED
- ▒ FROSTED GLASS

**SECTION 1-1**  
SCALE: 1 : 100

**PROPOSED DOOR SCHEDULE**

Mark	Height	Width
SD 01	2400	3250
SD 02	2400	3250

**PROPOSED WINDOW SCHEDULE**

Mark	Height	Width
W01	700	1930
W02	900	2050
W03	900	2410
W04	900	2050
W05	480	1810
W06	480	2410
W07	480	1810



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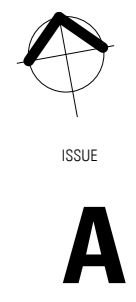
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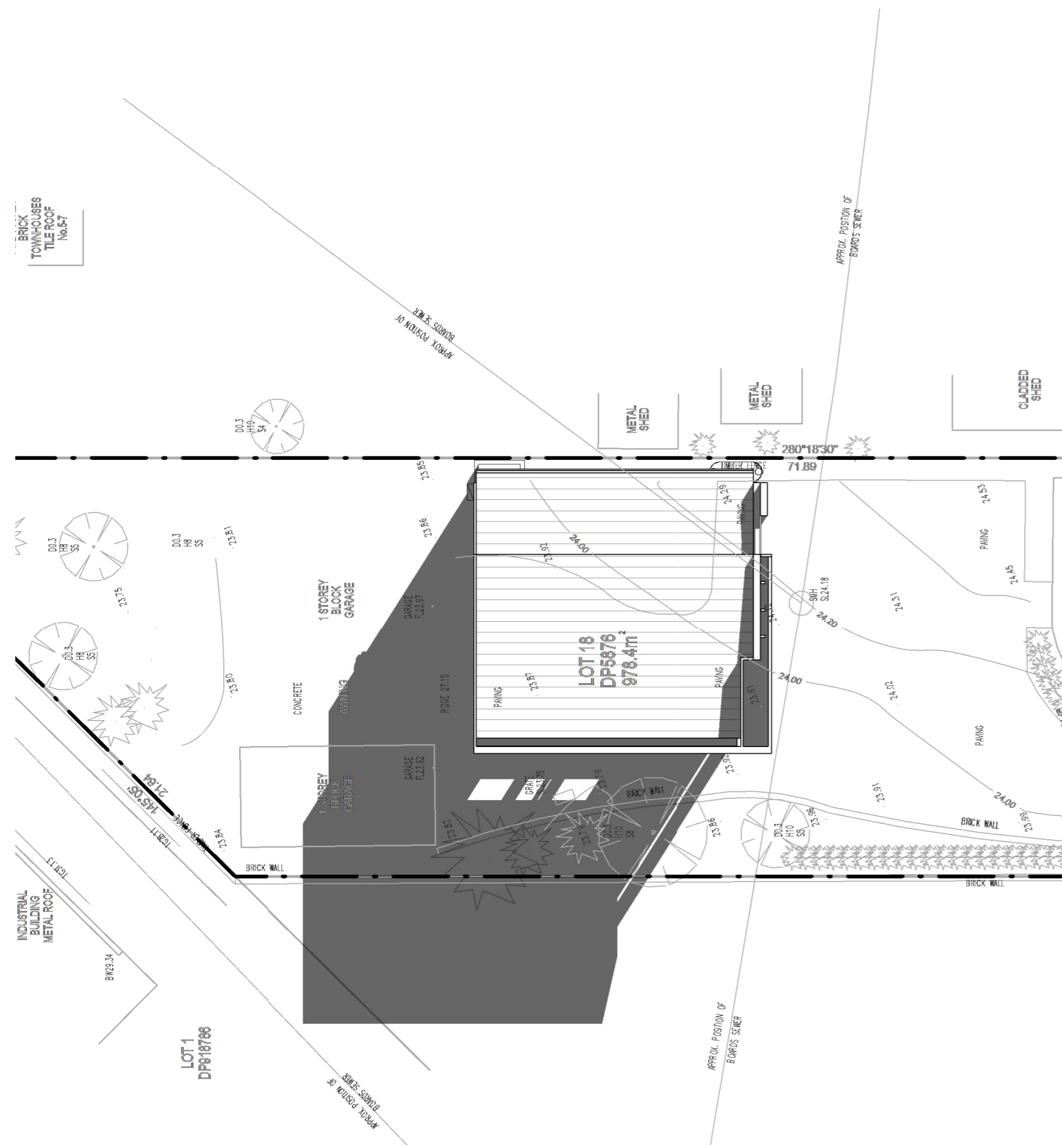
**ISSUE DETAILS**

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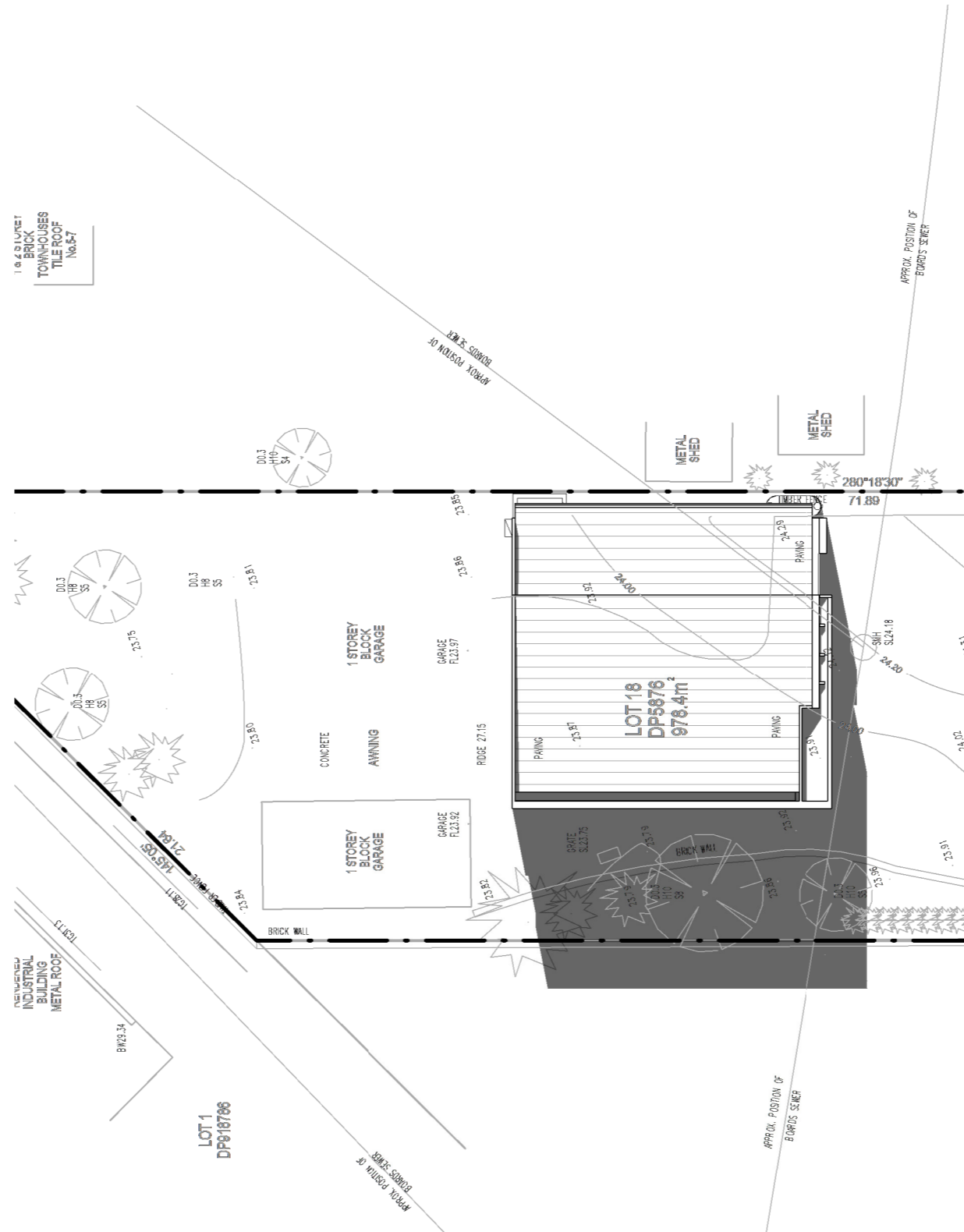
**DRAWING DETAILS:**  
**SECTION AND DOORS AND WINDOWS SCHEDULE**  
 START DATE  
**19/02/2024**  
 DRAWN BY  
**DN**  
 CHECKED BY  
**DN**  
 SCALE  
**1 : 100**  
 DRAWING NO.  
**DA 301**



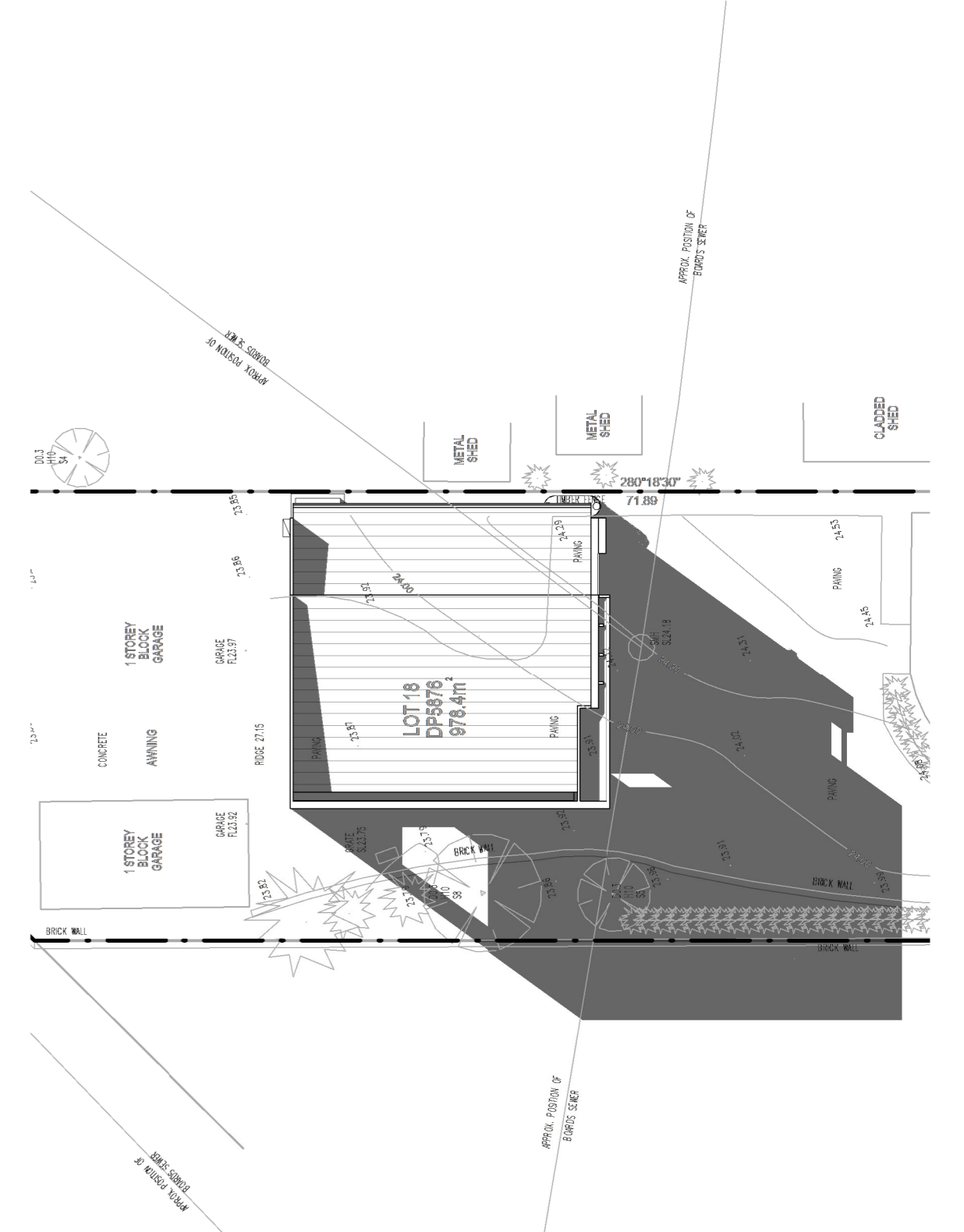




**SHADOW DIAGRAM- 09.00 AM- 21JUNE**  
SCALE: 1 : 200



**SHADOW DIAGRAM- 12.00 PM- 21JUNE**  
SCALE: 1 : 200



**SHADOW DIAGRAM- 03.00 PM- 21JUNE**  
SCALE: 1 : 200



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**22154**  
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CLIENT DETAILS:  
**MR. MINH**

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DRAWING DETAILS  
**SHADOW DIAGRAMS**

START DATE  
**19/02/2024**  
SCALE  
**1 : 200**  
DRAWN BY  
**DN**  
DRAWING NO.  
**DA 400**  
CHECKED BY  
**DN**



ISSUE

**A**



1. SELECTED TILES ROOF  
- ULTRA SILVER GLOSS (OR EQUIVELENT)



2. GUTTER, FASCIA, POWDER COAT ALUMINUM DOORS AND WINDOWS  
- WOODLAND GREY SALTIN (OR EQUIVELENT)



3. RENDER FINISHES  
- SELECTED DULUX SHADE GREY (OR EQUIVELENT)



4. FACEBRICK FINISHES  
- SELECTED BLACK HEALTH AUSTRAL BRICK(OR EQUIVELENT)



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**MR. MINH**

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DRAWING DETAILS  
**SCHEDULES OF FINISHES**

START DATE  
**19/02/2024**  
DRAWN BY  
**DN**  
CHECKED BY  
**DN**

SCALE  
**1 : 100**  
DRAWING NO.

**DA 500**



ISSUE

**A**

SP62903  
1 & 2 STOREY  
BRICK  
TOWNHOUSES  
TILE ROOF  
No.57

1 STOREY  
BRICK  
RESIDENCE  
TILE ROOF  
No.8

APPROX. LOCATION OF COUNCIL STORMWATER PIPE  
900MM DIAMETER & 0.8M DEPTH OF PIPE CROWN

EXISTING TREES TO BE REMOVED

**EXISTING PRIMARY DWELLING**

APPROX. LOCATION OF COUNCIL STORMWATER PIPE  
900MM DIAMETER & 0.8M DEPTH OF PIPE CROWN  
CONCRETE ENCASEMENT SUBJECT TO COUNCIL  
REQUIREMENTS

1 & 2 STOREY  
RENDERED  
INDUSTRIAL  
BUILDING  
METAL ROOF

LOT 1  
DP918786

LOT 17  
DP5876

1 STOREY  
BRICK  
RESIDENCE  
TILE ROOF  
No.4

FEWTRELL AVENUE

## DEMOLITION PLAN

SCALE: 1 : 150

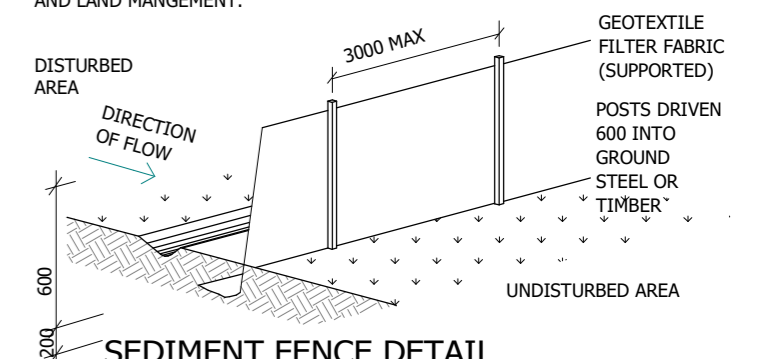
### LEGENDS:

- EXISTING WALL TO BE REMOVED
- EXISTING ROOF TO BE REMOVED
- EXISTING TREES TO BE REMOVED

### SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION AND CONTROL OR BY COUNCIL REQUIREMENTS, REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



**SEDIMENT FENCE DETAIL**  
SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX AND  
SLOPE GRADIENT OF 1:2 MAX WITH LENGTH OF 60M MAX



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### ISSUE DETAILS

REV	DATE	DESCRIPTION	INITIAL
A	05.02.2025	ISSUED FOR DA SUBMISSION ONLY	DN

### DRAWING DETAILS DEMOLITION PLAN

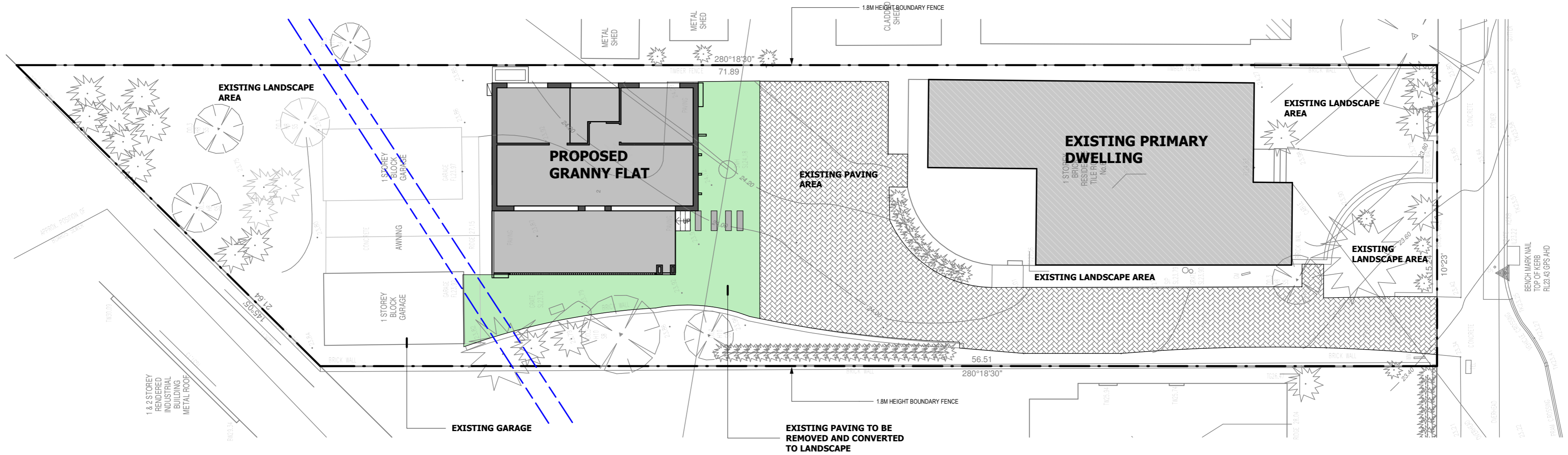
START DATE  
**19/02/2024**  
DRAWN BY  
**DN**  
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**DN**

SCALE  
**As indicated**  
DRAWING NO.  
**DA 501**



ISSUE

**A**



**SPECIFICATION NOTES**

**PLANTING MATERIALS**

**Planting Mix**  
 Imported planting mix to planting bed is to comprise and approved soil mix of:  
 • 60% Soil mix (75% coarse sand and 25% blacksoil)  
 • 10% Mushroom compost  
 • 10% Composted sawdust  
 • 10% Pine bark fines  
 • 10% Composted manure

**Mulch:**  
 Mulch shall mean hardwood (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

**Plant Material:**  
 All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or forae grown and not root bound. Plants are available from Andreasens Green wholesale nursery, contact Darren (02) 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

**Turfed areas:**  
 All new turfed areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points. All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

**PREPARATION AND HARDWORKS**

**Excavating for Spot Planting**  
 To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

**Staking**  
 Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.  
 • 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie  
**TIES:** Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.  
 Loose Nepean River Pebble  
**MATERIAL:** Nepean river pebble gravel to be of uniform size or graded material in the size 20mm grade to nominal 75mm thickness as available from Australian Native Landscapes. Ph: (02) 9450 1444.

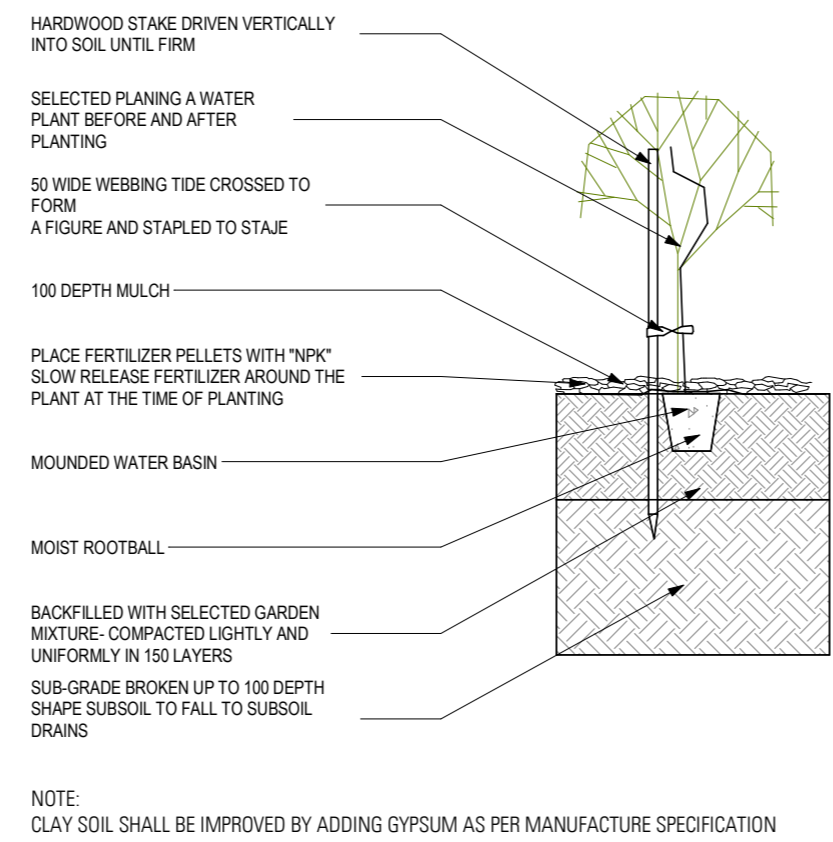
**Timber Edge**  
**MATERIAL:** Timber edging shall consist of:  
 Edging: 100 x 50mm hardwood  
 Pegs: 50 x 50 x 400mm hardwood.  
 Fastenings: to be 75x3.75mm diam. galvanised nails  
**INSTALLATION:** Setout alignment of timber edges on site for approval of Superintendent. Excavate to approved alignment and place edge band within trench to confirm peg locations. Install pegs and affix timber edge in accordance with details. All timber edging to finish flush with adjoining turf.

**MAINTENANCE/ PLANT ESTABLISHMENT**  
 - Landscape Contractors to provide 26 weeks for maintenance / plant establishment period. Carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

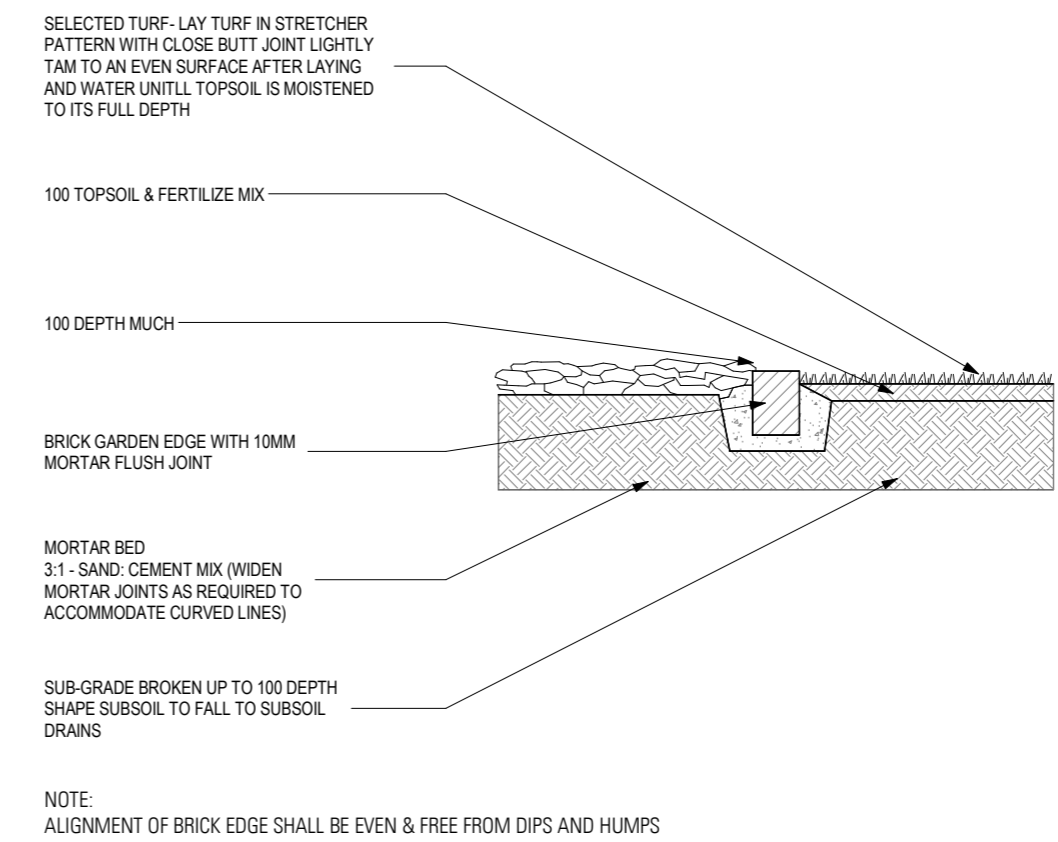
**NOTE:**  
 - All finished levels are to be verified by Contractor on site.  
 - All landscape works be in strict accordance with Council's landscape code and guidelines  
 - This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

**LANDSCAPE PLAN**

SCALE: 1 : 150



**TREE & SHRUB PLANTING IN GARDEN BED**



**TURF & GARDEN EDGE DETAIL**

- LEGENDS:**
- EXISTING WALL STRUCTURAL
  - EXISTING WALL TO BE REMOVED
  - EXISTING ROOF TO BE REMOVED
  - EXISTING TREES TO BE REMOVED
  - EXISTING LANDSCAPE AREA
  - PROPOSED LANDSCAPE AREA
  - EXISTING PAVING AREA

**LANDSCAPE AREA CALCULATION**

Name	Area
EX. REAR LANDSCAPE	255.87 m <sup>2</sup>
FRONT LANDSCAPE	64.37 m <sup>2</sup>
PROPOSED REAR LANDSCAPE	75.50 m <sup>2</sup>
<b>TOTAL</b>	<b>395.74 m<sup>2</sup></b>



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**CLIENT DETAILS:**  
**MR. MINH**

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**DRAWING DETAILS**  
**CONCEPT LANDSCAPE PLANS**

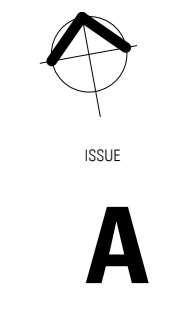
START DATE  
**19/02/2024**

SCALE  
**As indicated**

DRAWN BY  
**DN**

DRAWING NO.  
**DA 600**

CHECKED BY  
**DN**



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Tuesday, 11 March 2025 To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary table with fields: Project name, Street address, Local Government Area, Plan type and plan number, Lot no., Section no., Project type, No. of bedrooms, Project score, Water, Thermal Performance, Energy, Materials.

Certificate Prepared by table with fields: Name / Company Name, ABN (if applicable).

Description of project table with fields: Project address, Assessor details and thermal loads, Project type, Site details.

Schedule of BASIX commitments table with columns: Commitment description, Show on DA plans, Show on CC/CDC plans & specs, Certifier check. Includes sections for Water, Landscape, Fixtures, Rainwater tank, and Alternative water.

Thermal Performance and Materials commitments table with columns: Commitment description, Show on DA plans, Show on CC/CDC plans & specs, Certifier check. Includes sections for Do-it-yourself Method and Construction.

Table with columns: Construction, Area - m², Additional insulation required, Options to address thermal bridging, Other specifications. Includes a Note section regarding insulation specifications.

Thermal Performance and Materials commitments table with columns: Commitment description, Show on DA plans, Show on CC/CDC plans & specs, Certifier check. Includes a Note regarding ceiling fans.

Table with columns: Glazed window/door no., Maximum height (mm), Maximum width (mm), Frame and glass specification, Shading device, Overshadowing. Includes a Note section regarding skylight area.

Table with columns: Glazed window/door no., Maximum height (mm), Maximum width (mm), Frame and glass specification, Shading device, Overshadowing. Includes a Note section regarding skylight area.

Energy Commitments table with columns: Commitment description, Show on DA plans, Show on CC/CDC plans & specs, Certifier check. Includes sections for Hot water, Cooling system, Heating system, Ventilation, Artificial lighting, and Natural lighting.

Energy Commitments table with columns: Commitment description, Show on DA plans, Show on CC/CDC plans & specs, Certifier check. Includes sections for Hot water, Cooling system, Heating system, Ventilation, Artificial lighting, and Natural lighting.

Legend table with sections: Legend, In these commitments, 'applicant' means the person carrying out the development. Includes sections for commitments identified with a checkmark in the 'Show on DA plans' column and the 'Show on CC/CDC plans and specs' column.



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PROJECT DETAILS: PROPOSED SECONDARY DWELLING DEVELOPMENT

AT: 6 ALFRED ROAD, BROOKVALE PROJECT NO: 22154 LOGGED AT NORTHERN BEACHES COUNCIL

PROJECT STATUS: ISSUED FOR DA SUBMISSION

CLIENT DETAILS: MR. MINH

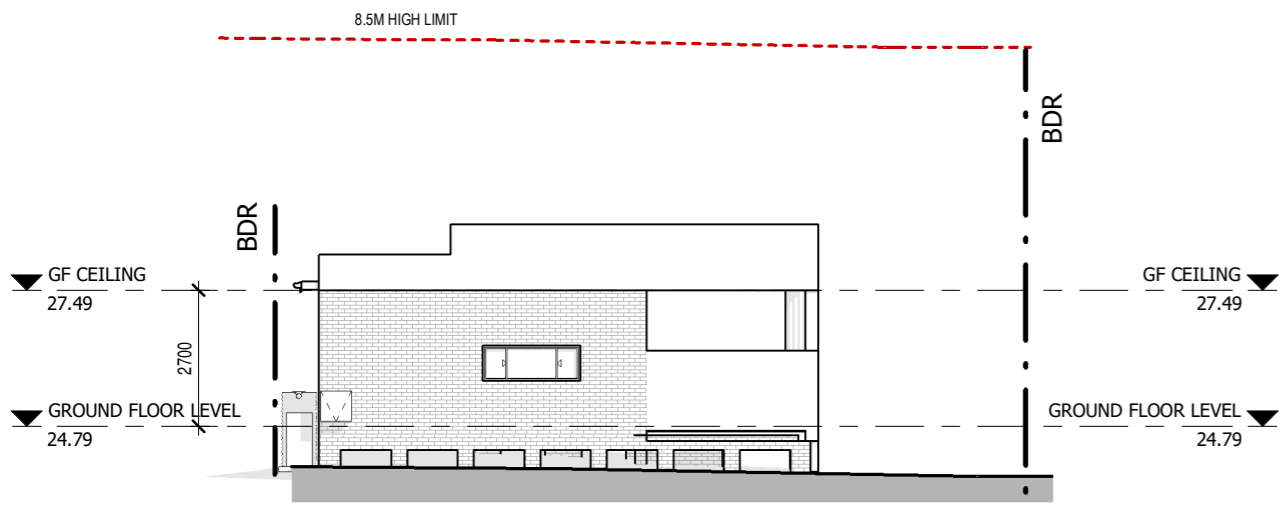
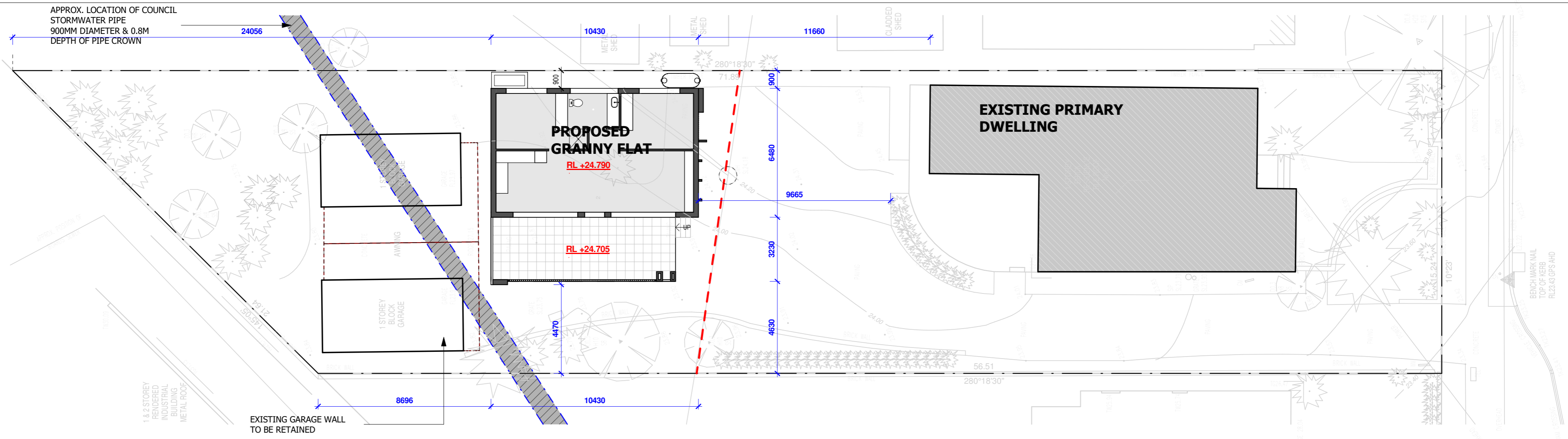
ISSUE DETAILS

Table with columns: REV, DATE, DESCRIPTION, INITIAL, DN. Row 1: A, 05.02.2025, ISSUED FOR DA SUBMISSION ONLY.

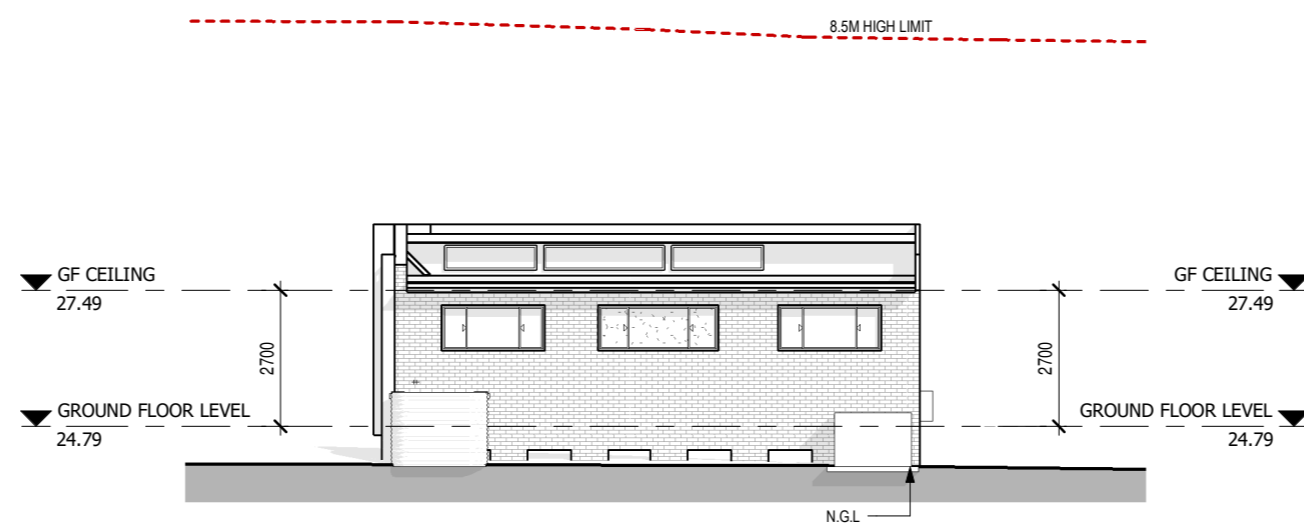
DRAWING DETAILS: BASIX COMMITMENT

START DATE: 19/02/2024 SCALE: DRAWING NO: DA 700

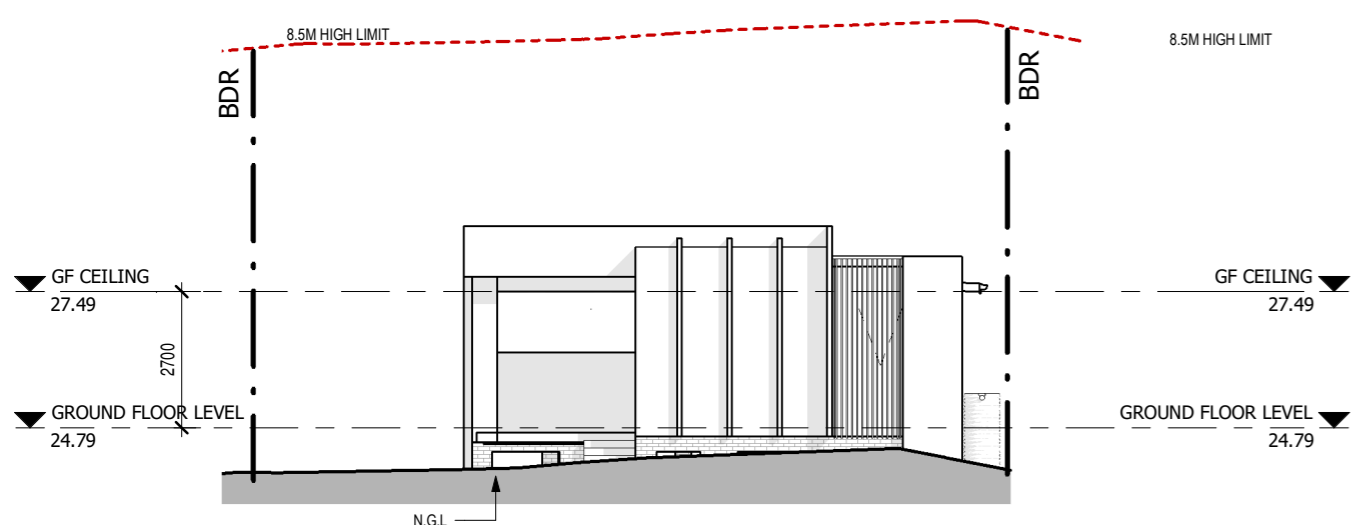




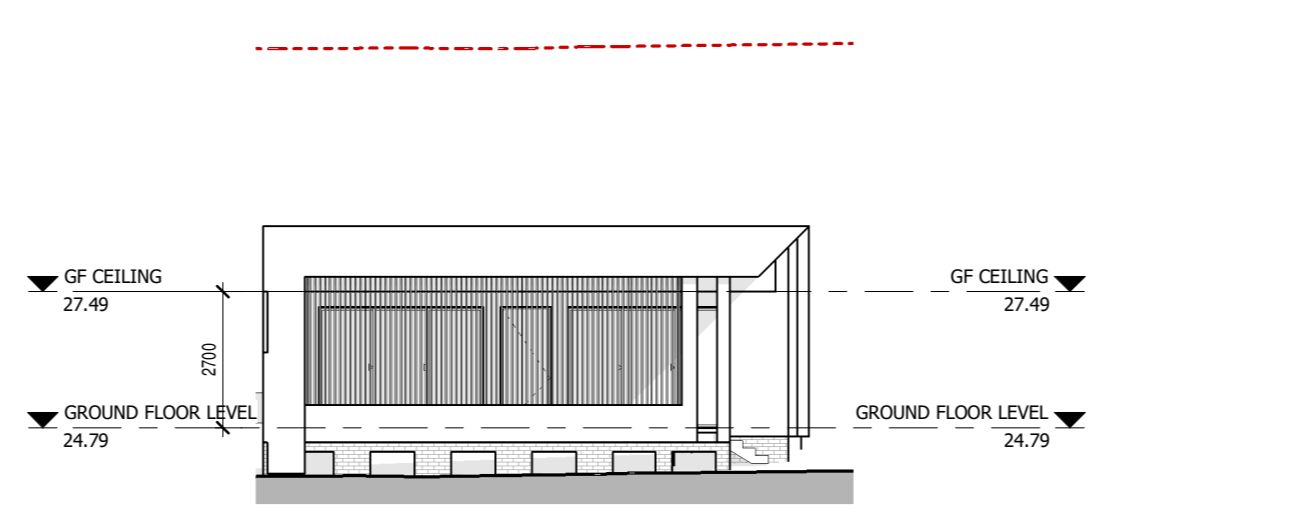
**ELEVATION 1 - WEST**  
SCALE: 1 : 150



**ELEVATION 2 - NORTH**  
SCALE: 1 : 150



**ELEVATION 3 - EAST**  
SCALE: 1 : 150



**ELEVATION 4 - SOUTH**  
SCALE: 1 : 150



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PROJECT DETAILS:  
**PROPOSED SECONDARY DWELLING DEVELOPMENT**

AT:  
**6 ALFRED ROAD, BROOKVALE**

PROJECT NO.  
**22154**

LOGGED AT  
**NORTHERN BEACHES COUNCIL**

PROJECT STATUS:  
**ISSUED FOR DA SUBMISSION**

CLIENT DETAILS:  
**MR. MINH**

REV	DATE	DESCRIPTION	INITIAL
A	05.02.2025	ISSUED FOR DA SUBMISSION ONLY	DN

DRAWING DETAILS:  
**NOTIFICATIONS PLANS**

START DATE  
**19/02/2024**

DRAWN BY  
**DN**

CHECKED BY  
**DN**

SCALE  
**1 : 150**

DRAWING NO.  
**DA 800**

