

CALCULATIONS

SITE AREA 521.30msq

EXISTING FLOOR AREA
GROUND FLOOR 191.36msq

PROPOSED FLOOR AREA
GROUND FLOOR 193.47msq
FIRST FLOOR 85.68msq

TOTAL FLOOR AREA 279.15msq
ALLOWABLE FSR 0.4 :1
TOTAL FSR 0.53:1

SITE COVERAGE
DRIVEWAY 45.15msq
HOUSE 234.20msq
PAVING 10.20msq

TOTAL SITE COVERAGE 289.55msq 55%

LANDSCAPING
204.58msq 39%

PRIVATE OPEN SPACE
157.81msq 30%

SITE PLAN

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0628

AMENDMENTS
A 5th Sep 2018
Front entry stair revised and set back a further 1m from boundary to allow for neighbours views
Basix amended for W10 & W18
B 26th Sep
Line of existing roof indicated on North elevation
C 11th Nov 2019
First floor Bathroom and Ensuite layout alteration, window & door relocation
Skylight relocated
D 10th Nov Additional dimensions to Ground & First Floor
D2 moved, Roof window moved, D8 removed, W18 removed, D10 removed, West and East wall rendered, Pool Deleted

DRAWN BY
Raise the Roof
DESIGN BY : Mike Wilcox
ENQUIRIES E. raisetherooft1@optusnet.com.au

CLIENT
Mrs Heidi Dunbar Jonson
12 Moore Street
Clontarf

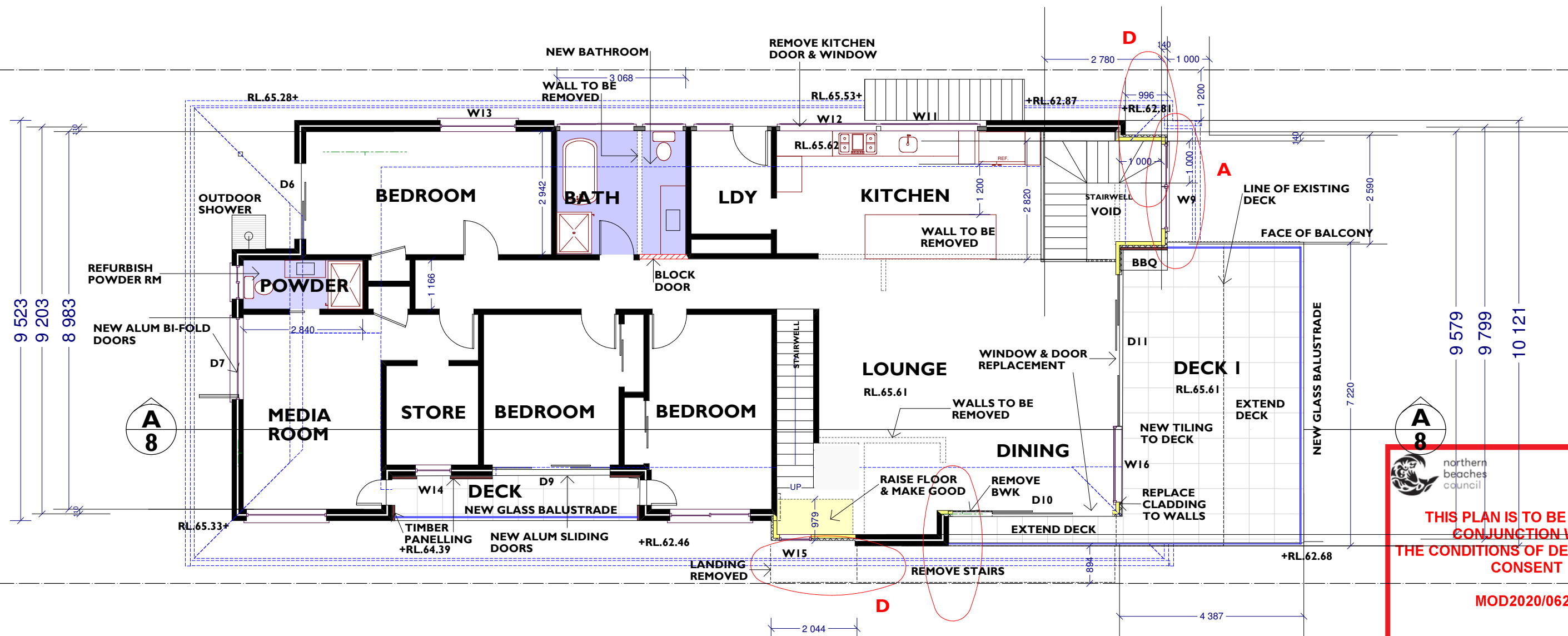
PROJECT
ALTERATIONS AND ADDITIONS
LOT 24 SEC C DP 2610

DRAWING
SITE PLAN
SITE ANALYSIS

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DATE	12th Mar 2018	REVISION	12th Nov 2019
			14th Feb 2020
SCALE	1 : 200		17th Nov 2020

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MOD2020/0628

northern beaches council

PROPOSED GROUND FLOOR PLAN

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ALL MEASUREMENTS SHOWN AND SCHEDULED ARE NOMINAL. THE CONTRACTOR SHALL CHECK ALL MEASUREMENTS ON SITE BEFORE ORDERING MATERIALS AND CHECK ANY ANOMALIES WITH JACARANDER TRADING INTERNATIONAL PTY LTD BEFORE ORDERING

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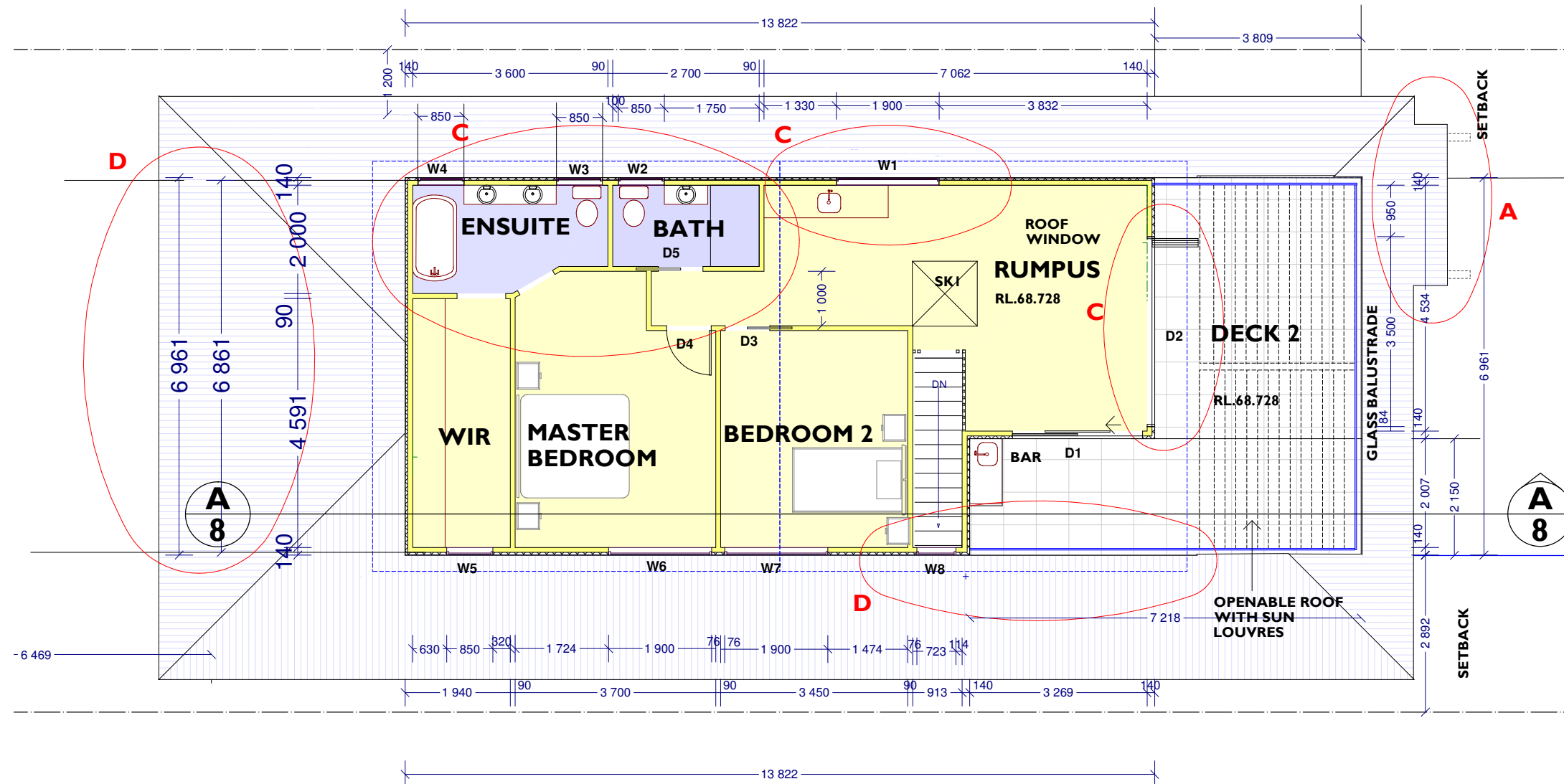
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PROPOSED GROUND FLOOR PLAN

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PROPOSED FIRST FLOOR PLAN



northern
beaches
council

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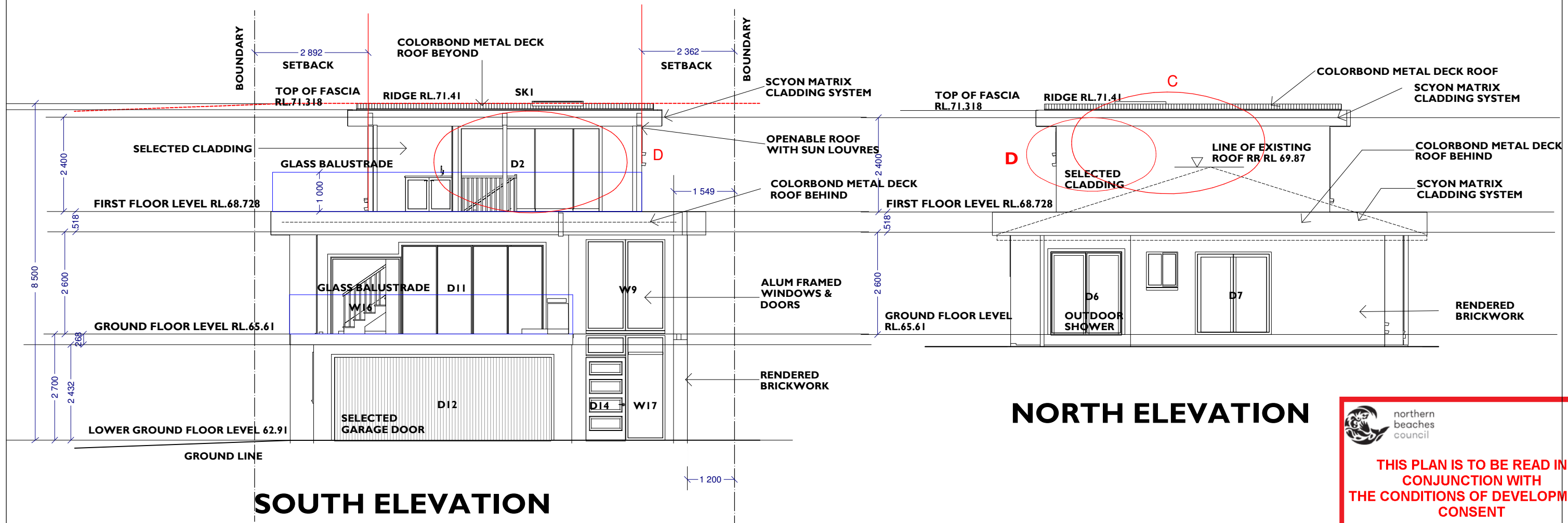
DRAWING
PROPOSED FIRST
FLOOR PLAN

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NORTH ELEVATION

SOUTH ELEVATION

WINDOW SCHEDULE

- W1 600H X 1900W ALUM FRAMED WINDOW
- W2 900H X 850W ALUM FRAMED WINDOW OBSCURE
- W3 900H X 1900W ALUM FRAMED WINDOW OBSCURE
- C W4 900H X 850W ALUM FRAMED WINDOW OBSCURE
- D W5 1800H X 850W ALUM FRAMED WINDOW HALF OBSCURE
- W6 1800H X 1900W ALUM FRAMED WINDOW
- D W7 1800H X 1900W ALUM FRAMED WINDOW
- D W8 1800H X 750W ALUM FRAMED WINDOW
- W9 2400H X 2000 ALUM FRAMED WINDOW
- D W10 2400HX 750W ALUM FRAMED WINDOW DELETED
- W11 700H X 2300W ALUM FRAMED WINDOW
- W12 700H X 2300W ALUM FRAMED WINDOW
- W13 2100H X 1800W ALUM FRAMED WINDOW
- W14 600H X 850W ALUM FRAMED WINDOW
- W15 2400H X 750W ALUM FRAMED WINDOW
- W16 2400H X 1800W ALUM FRAMED WINDOW
- W17 2660H X 1000W ALUM FRAMED WINDOW
- W18 2660H X 750W ALUM FRAMED WINDOW DELETED

DOOR SCHEDULE

- D1 2100H X 2400W ALUM FRAMED SLIDING DOOR
- D2 2100H X 3500W ALUM FRAMED BI-FOLD DOOR
- D3 2040H X 820W HC CAVITY SLIDING DOOR
- D4 2040H X 820W HOLLOW CORE DOOR
- D5 2040H X 820W HC CAVITY SLIDING DOOR
- D6 2100H X 1800W ALUM FRAMED SLIDING DOOR DELETED
- D7 2100H X 3350W ALUM FRAMED SLIDING DOOR
- D8 2100H X 1932W ALUM FRAMED SLIDING DOOR
- D9 2100H X 2800W ALUM FRAMED SLIDING DOOR
- D10 2400H X 3800W ALUM FRAMED SLIDING DOOR
- D11 2400H X 3600W ALUM FRAMED SLIDING DOOR
- D12 2100H X 5500W SELECTED GARAGE DOOR
- D13 2040H X 820W SOLID CORE DOOR
- D14 2040H X 1000W SELECTED ENTRY DOOR

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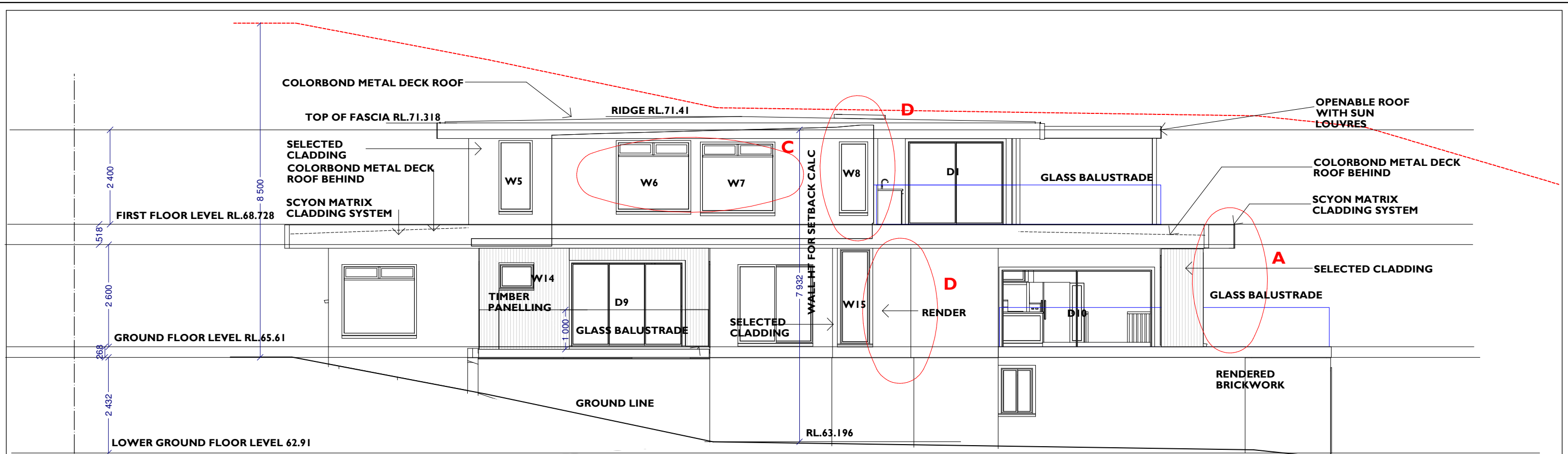
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DRAWING
SOUTH & NORTH ELEVATIONS
WINDOW & DOOR SCHEDULE

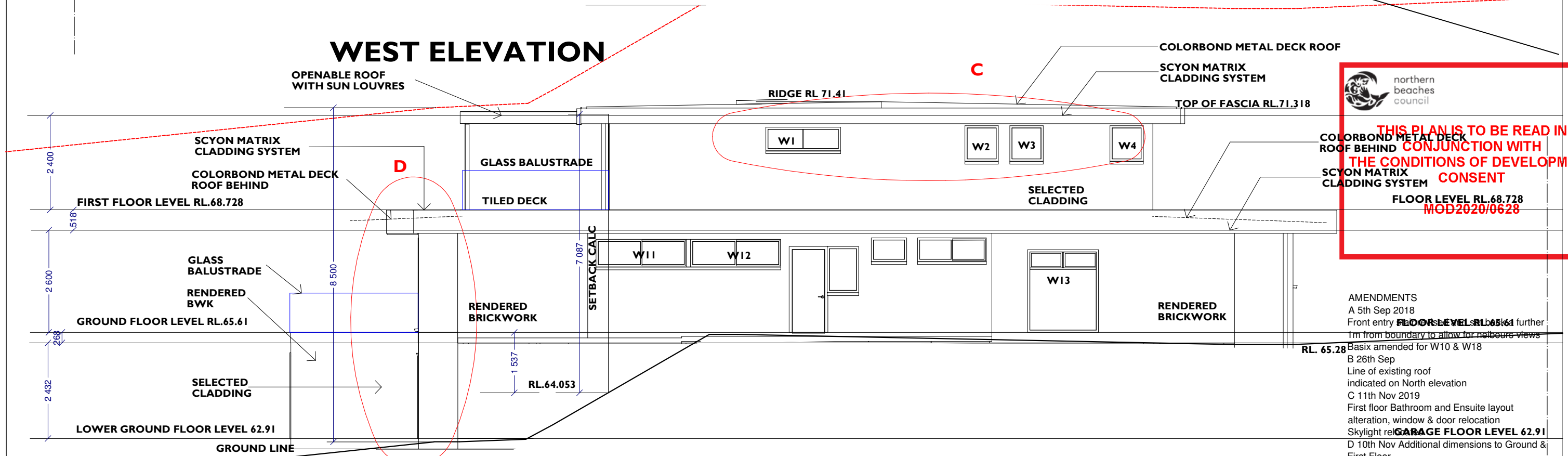
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WEST ELEVATION



EAST ELEVATION

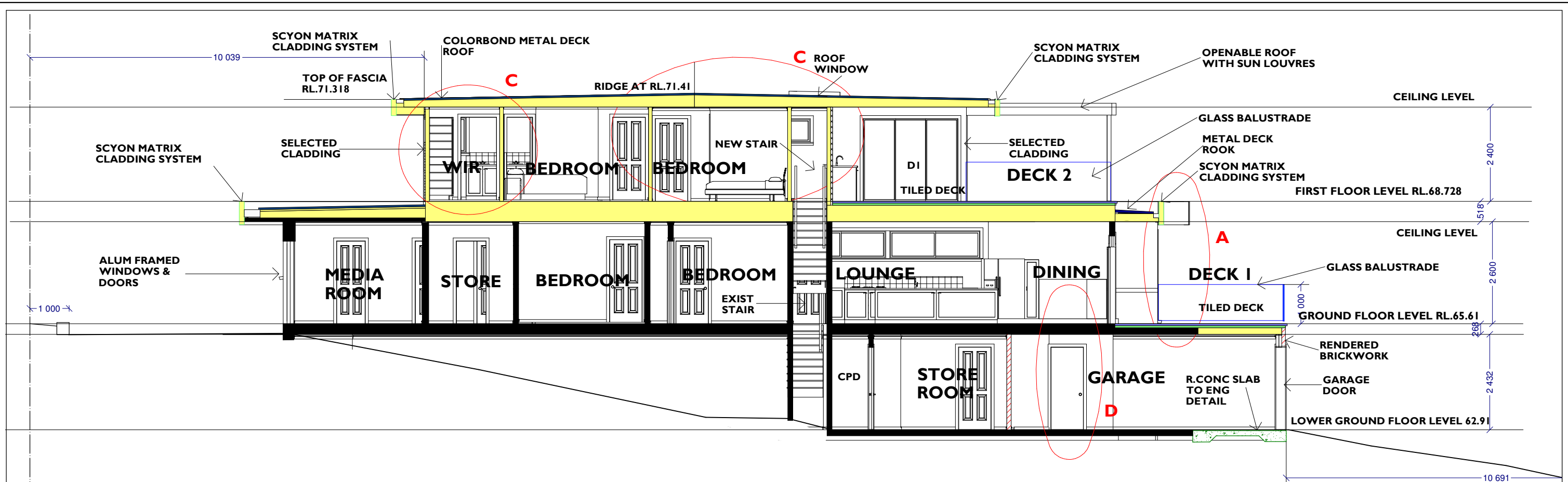
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FLOOR LEVEL RL.68.728

MOD2020/0628

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BASIX REQUIREMENTS

Building Sustainability Index www.basix.nsw.gov.au
Alterations and Additions
Certificate number: A308049_12
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au
Secretary
Date of issue: Tuesday, 17, November 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.
Project address
Project name 12 Moore St Clontarf_10
Street address 12 Moore Street Clontarf 2093
Local Government Area Manly Council
Plan type and number Deposited Plan 2610
Lot number 24
Section number C
Project type
Dwelling type Separate dwelling house
Type of alteration and addition
My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Jacaranda Trading International Pty Ltd
ABN (if applicable): 26075061335
Lighting
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
Fixtures
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

SECTION A-A

Insulation requirements
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
Construction Additional insulation required (R-value) Other specifications
suspended floor with enclosed subfloor: framed (R0.7).
R0.60 (down) (or R1.30 including construction)
floor above existing dwelling or building. nil
external wall: external insulated façade system (EIFS)(façade panel: 50 mm) nil
flat ceiling, flat roof: framed ceiling: R1.40 (up), roof: foil backed blanket (55 mm)
light (solar absorbance < 0.475)
Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.
Windows and glazed doors glazing requirements

Window / door no.
Orientation Area of glass inc. frame (m²)
Overshadowing Shading device Frame and glass type
Height (m)
Distance (m)
W1 E 1.14 2.5 6.5 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2 E 0.76 2.3 6.5 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3 E 1.71 2.3 6.5 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4 N 0.51 2.1 10 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5 W 1.53 0 0 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6 W 3.42 0 0 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7 W 3.42 0 0 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8 W 1.35 0 0 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9 S 4.8 0 0 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11 E 1.61 5.6 6.5 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12 E 1.61 5.6 6.5 eave/verandah/pergola/balcony >=600 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13 E 3.78 7.1 6.5 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W14 W 0.51 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W15 W 1.8 0 0 eave/verandah/pergola/balcony >=750 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W16 S 4.32 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W17 S 2.66 0 0 none standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1 S 5.04 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

D2 S 7.35 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D7 N 4.074 10 6.5 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D9 W 5.88 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D10 W 9.12 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D11 S 8.64 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D6 N 3.78 0 0 eave/verandah/pergola/balcony >=900 mm standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Skylights
The applicant must install the skylights in accordance with the specifications listed in the table below.
The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.
Skylights glazing requirements
Skylight number Area of glazing inc. frame (m²)
Shading device Frame and glass type
S1 1.21 external adjustable awning or blind timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)



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