# **DEVELOPMENT APPLICATION**

65 SUFFOLK AVENUE COLLAROY, NSW, 2097 LOT 57 / DP 212835



NO:	SHEET NAME	ISSUE DATE
DA01	TITLE PAGE	4/8/20
DA02	AREA CALCULATIONS	4/8/20
DA03	SITE ANALYSIS	4/8/20
DA04	SITE - ROOF - WASTE - SEDIMENT PLAN	4/8/20
DA05	EXISTING GROUND FLOOR	4/8/20
DA06	PROPOSED GROUND FLOOR	4/8/20
DA07	EXISTING FIRST FLOOR	4/8/20
DA08	PROPOSED FIRST FLOOR	4/8/20
DA09	EXISTING ROOF PLAN	4/8/20
DA10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	4/8/20
DA11	ELEVATIONS - NORTH EAST & SOUTH WEST	4/8/20
DA12	ELEVATIONS - NORTH WEST & SOUTH EAST	4/8/20
DA13	SECTIONS - AA & BB	4/8/20
DA14	FINISHES BOARD	4/8/20
DA15	SHADOW DIAGRAMS - JUNE 21 - 9AM	4/8/20
DA16	SHADOW DIAGRAMS - JUNE 21 - 12PM	4/8/20
DA17	SHADOW DIAGRAMS - JUNE 21 - 3PM	4/8/20





BUILDING FOOTPRINT



#### LANDSCAPED AREA:

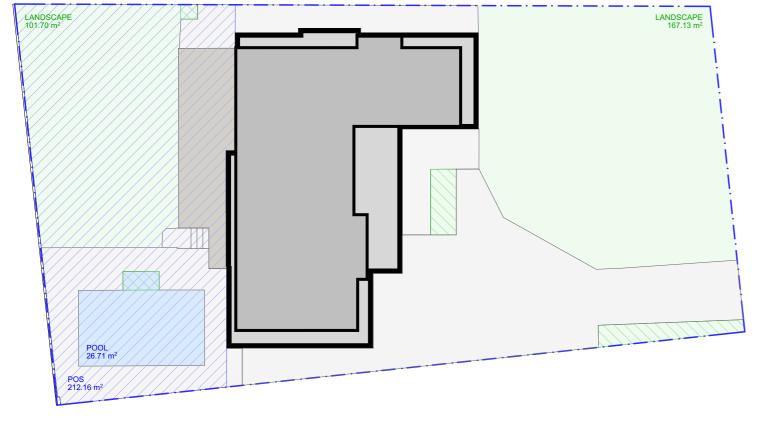
REQUIRED 40.00% (282.68 m²) EXISTING 41.80% (295.54 m²) PROPOSED 40.00% (282.69 m²)



**EXCLUDED LANDSCAPED AREA:** AREAS LESS THAN 2m<sup>2</sup>



60.00m<sup>2</sup> 212.16m<sup>2</sup> UNCHANGED



LANDSCAPE 19.170 m² LANDSC

EXISTING AREA CALCULATIONS 1

1:200

PROPOSED AREA CALCULATIONS

1:200



CONTACT
HARMONY VARLEY
DESIGNER

(02) 8094 9936 0415 877 919 2/31 AUSTIN STREET FAIRLIGHT, NSW, 2094 harmony@progressivebuildingdesign.com.au www.progressivebuildingdesign.com.au THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE	LEGEND
А	CONCEPT DESIGN	AF	08.07.20	DWELLING WALLS
В	DA REVIEW SET	AF	22.07.20	CONCRETE / PAVERS
С	DA SUBMISSION	AF	04.08.20	
				TIMBER DECK
				POOL / WATER

CPD: CUPBOARD DP: DOWN PIPE DPS: DOWN PIPE SPITTER FFL: FINISHED FLOOR LEVEL RL: REDUCED LEVEL

ABBREVIATIONS

NORTH	POINT

CLIENTS: JAMES & JULIET ALGAR

. SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097 DRAWING TITLE:

AREA CALCULATIONS

SCALE: DATE:
1/200 @A3 4/8/20

PROJECT NO: DRAWING NO:
1010 DA02





**EXTERNAL VIEW** 





PROGRESSIVE PLANS BUILDING DESIGN

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DIMENSIONS AND VERIFY ALL ERRORS AND	L
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DO NOT SCALE THE DRAWING.	L
DRAWINGS SHALL NOT BE USED FOR	l
CONSTRUCTION PURPOSES UNTIL ISSUED BY	L
THE DRAFTING OFFICE FOR CONSTRUCTION	Γ
AND NOTED ON THE TITLE BLOCK.	L
THE WORK MUST BE VERIFIED BY	Γ
STRUCTURAL ENGINEER BEFORE WORK	L
COMMENCES.	Γ

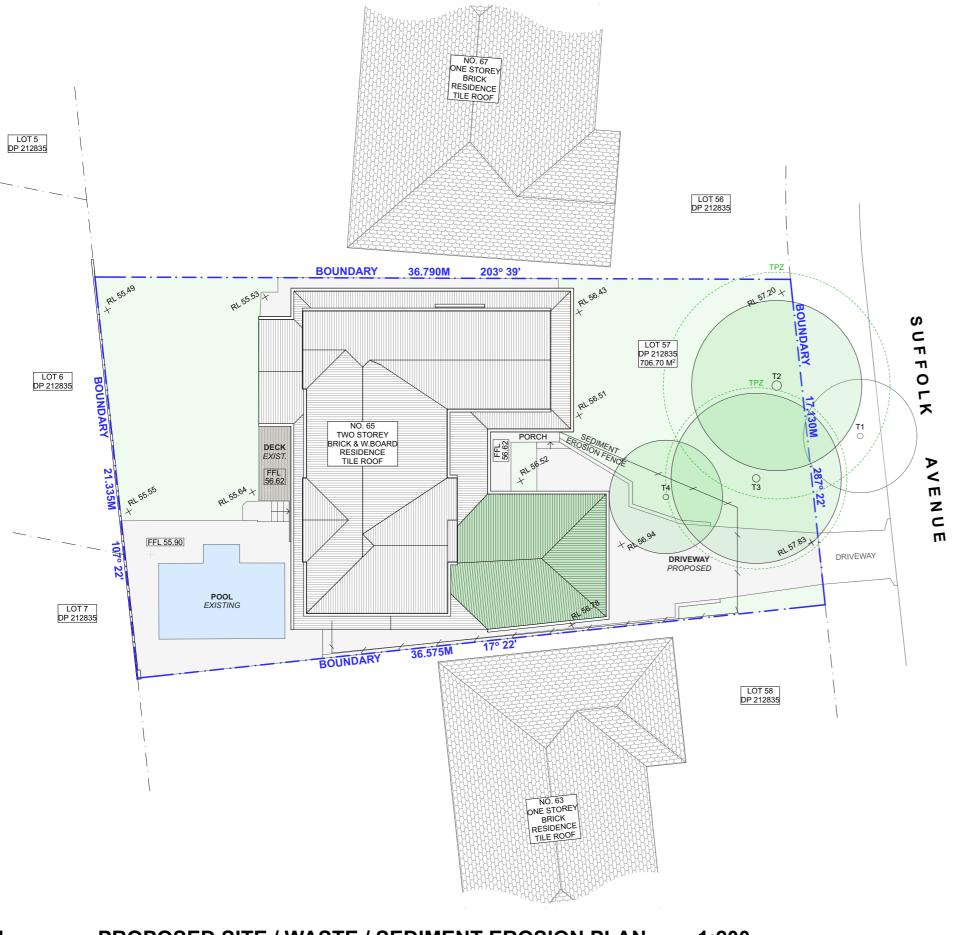
REV.	NOTES.	INITIAL	DATE	LEGEND
А	CONCEPT DESIGN	AF	08.07.20	EXISTING LANDSCAPE / GRASS
В	DA REVIEW SET	AF	22.07.20	DEMOLISHED CONCRETE / PAVERS
С	DA SUBMISSION	AF	04.08.20	EXISTING ROOF TIMBER DECK
				PROPOSED ROOF POOL/WATER

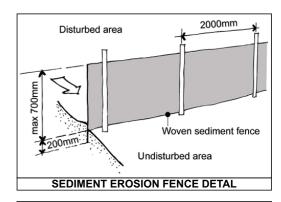
NORTH POINT

CLIENTS: JAMES & JULIET ALGAR

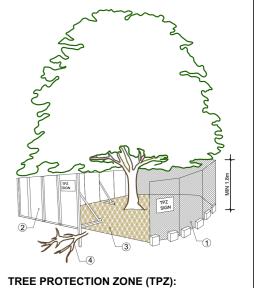
SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097

DRAWING TITLE:	
SITE ANALYSIS	
SCALE:	DATE:
1:200 @A3	4/8/20
PROJECT NO:	DRAWING NO:
1010	DA03









- 1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE
- 2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
- 3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
- 4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING

#### PROPOSED SITE / WASTE / SEDIMENT EROSION PLAN 1:200



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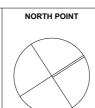
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DO NOT SCALE THE DRAWING.

DRAWINGS SHALL NOT BE USED FOR

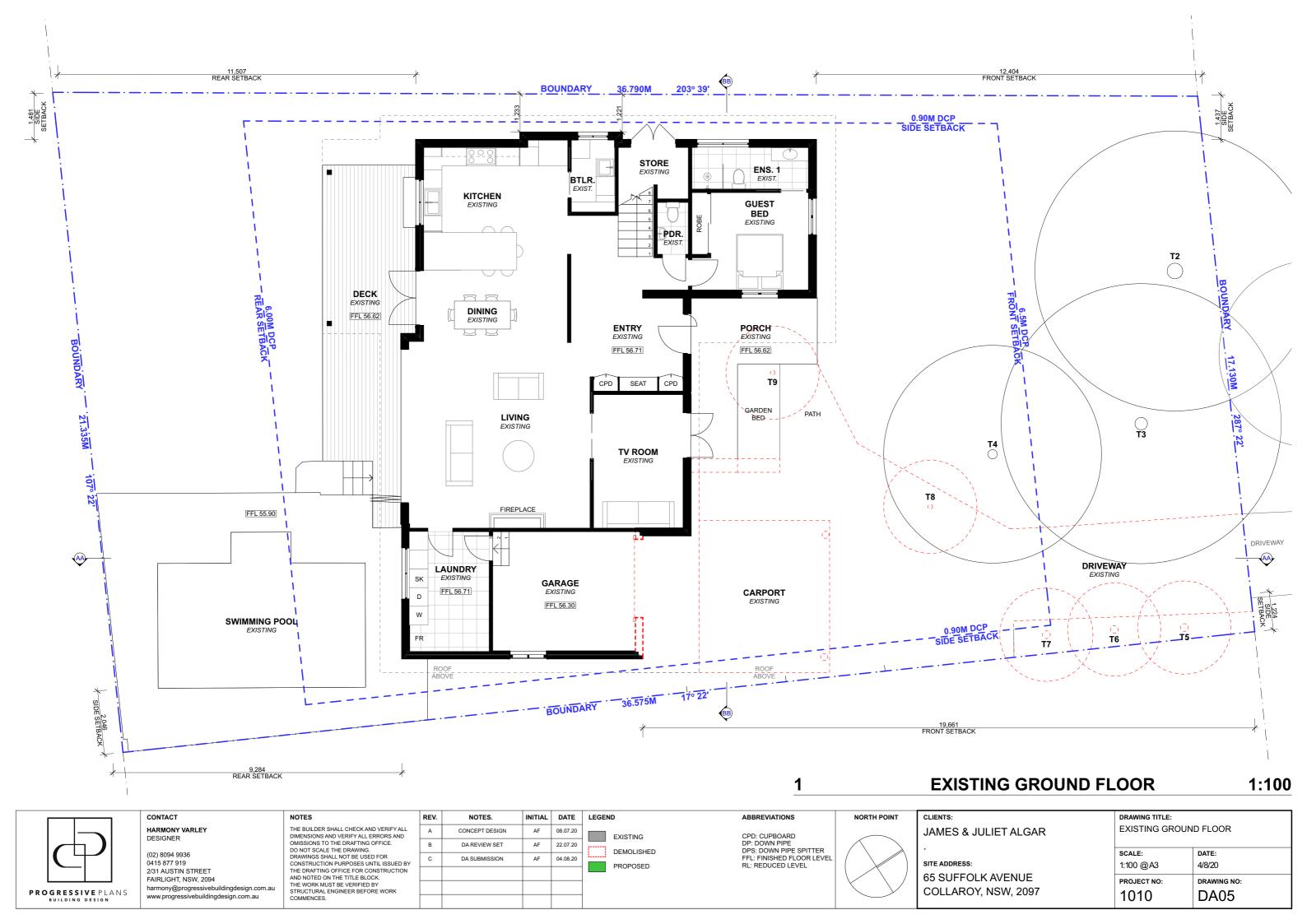
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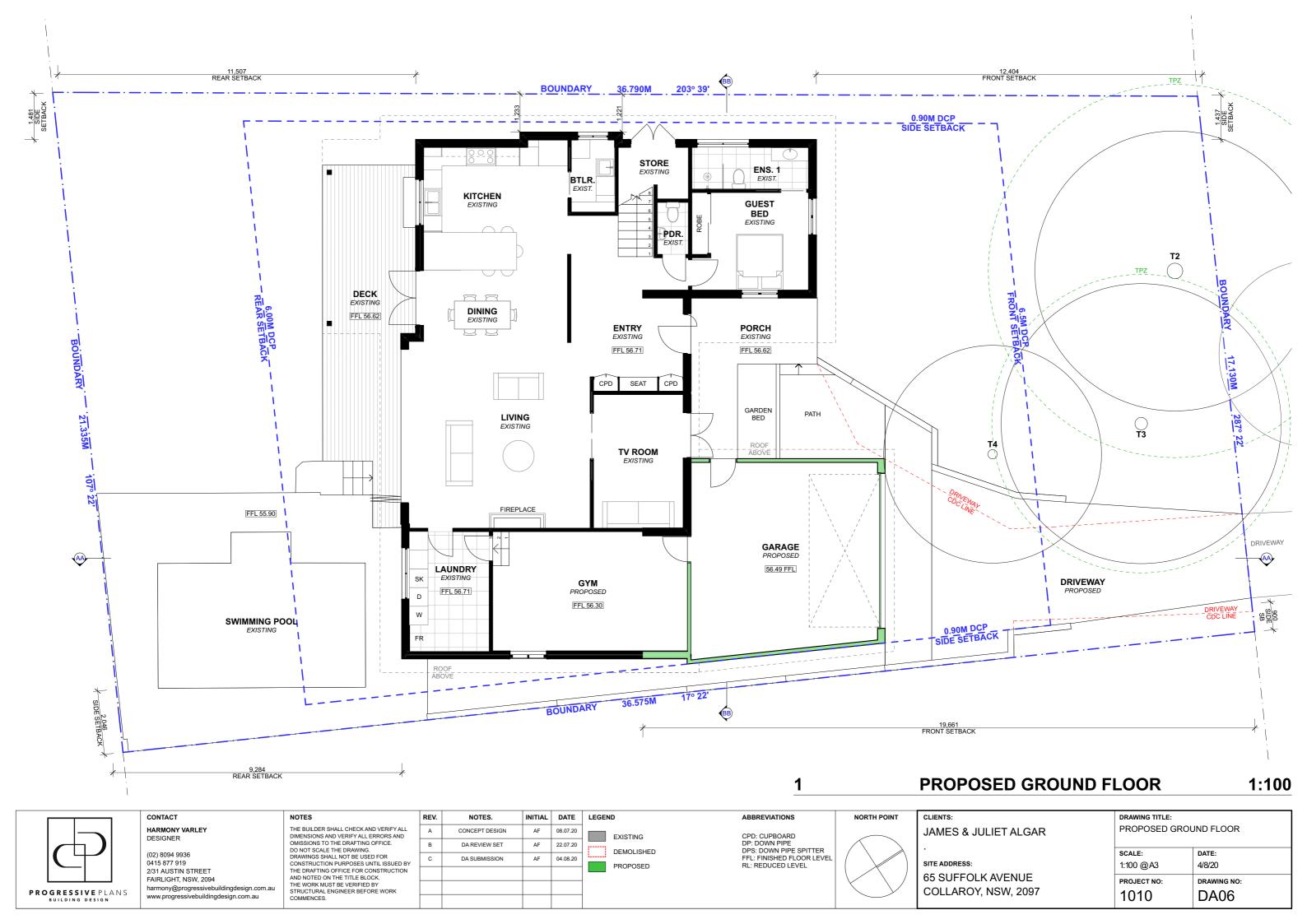
REV.	NOTES.	INITIAL	DATE	LEGEND				
А	CONCEPT DESIGN	AF	08.07.20	EXISTING LANDSCAPE / GRASS				
В	DA REVIEW SET	AF	22.07.20	DEMOLISHED CONCRETE / PAVERS				
С	DA SUBMISSION	AF	04.08.20	EXISTING ROOF TIMBER DECK				
				PROPOSED ROOF POOL/WATER				
				PROPOSED ROOF POOL/WATER				

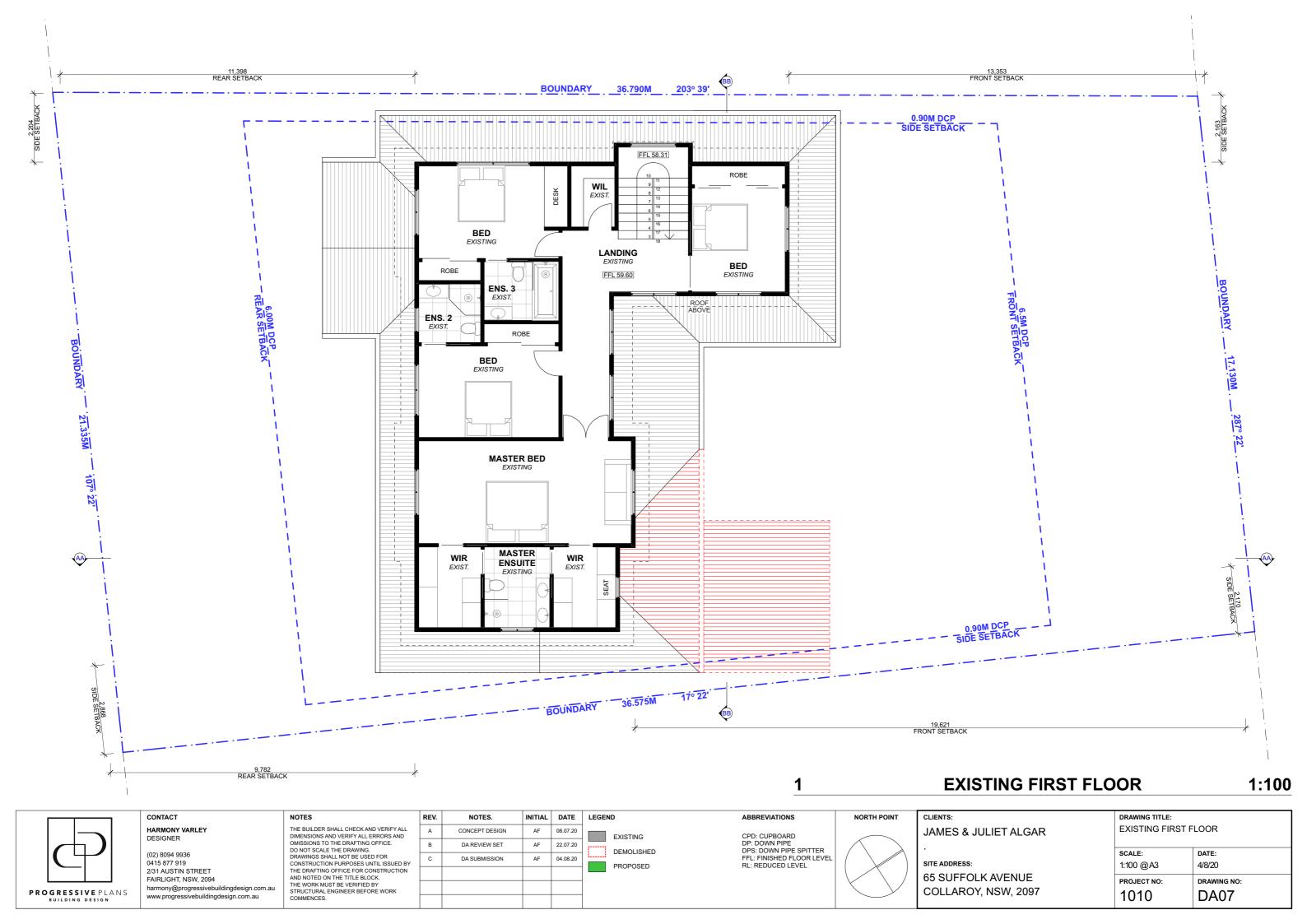


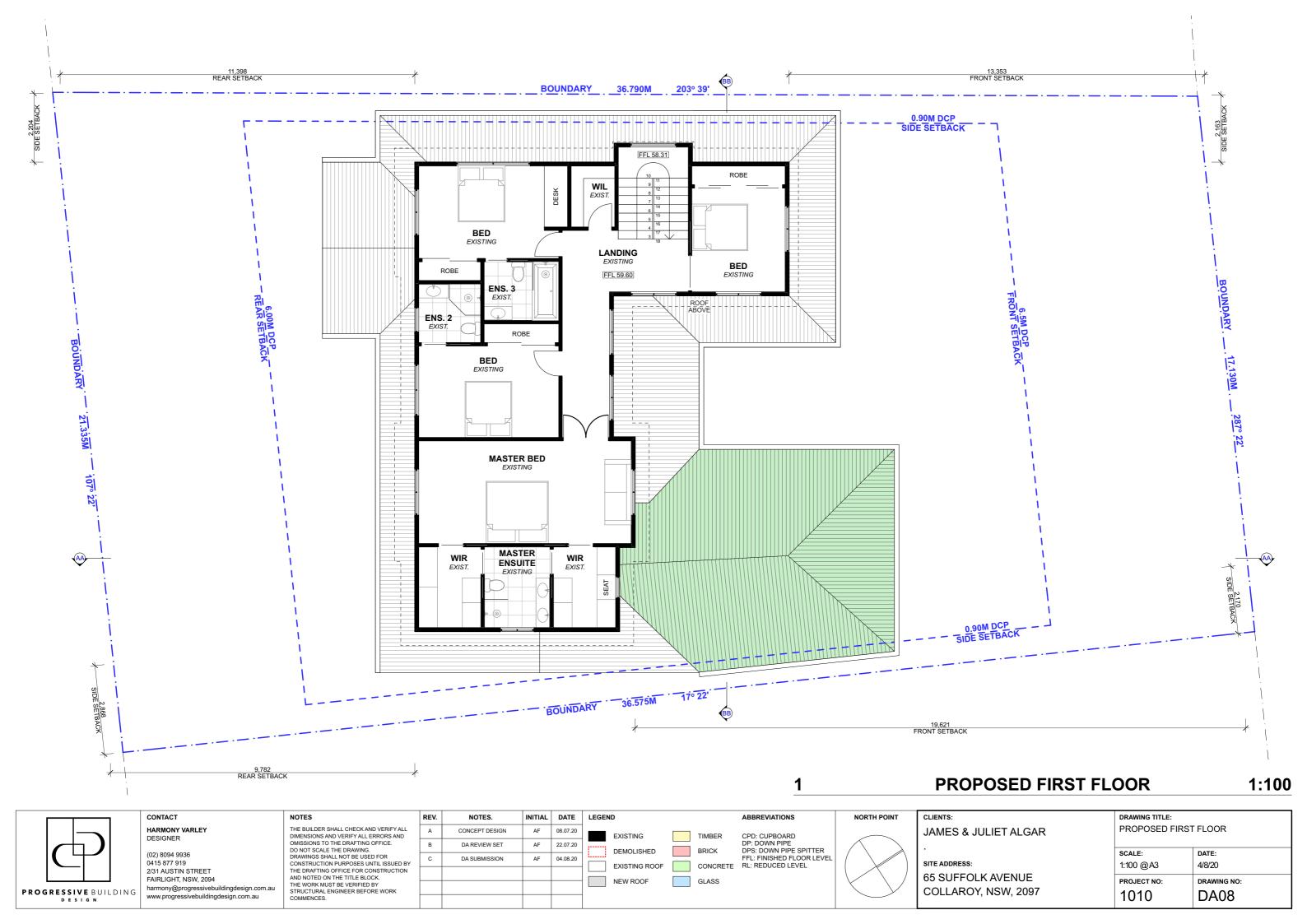
CLIENTS: JAMES & JULIET ALGAR

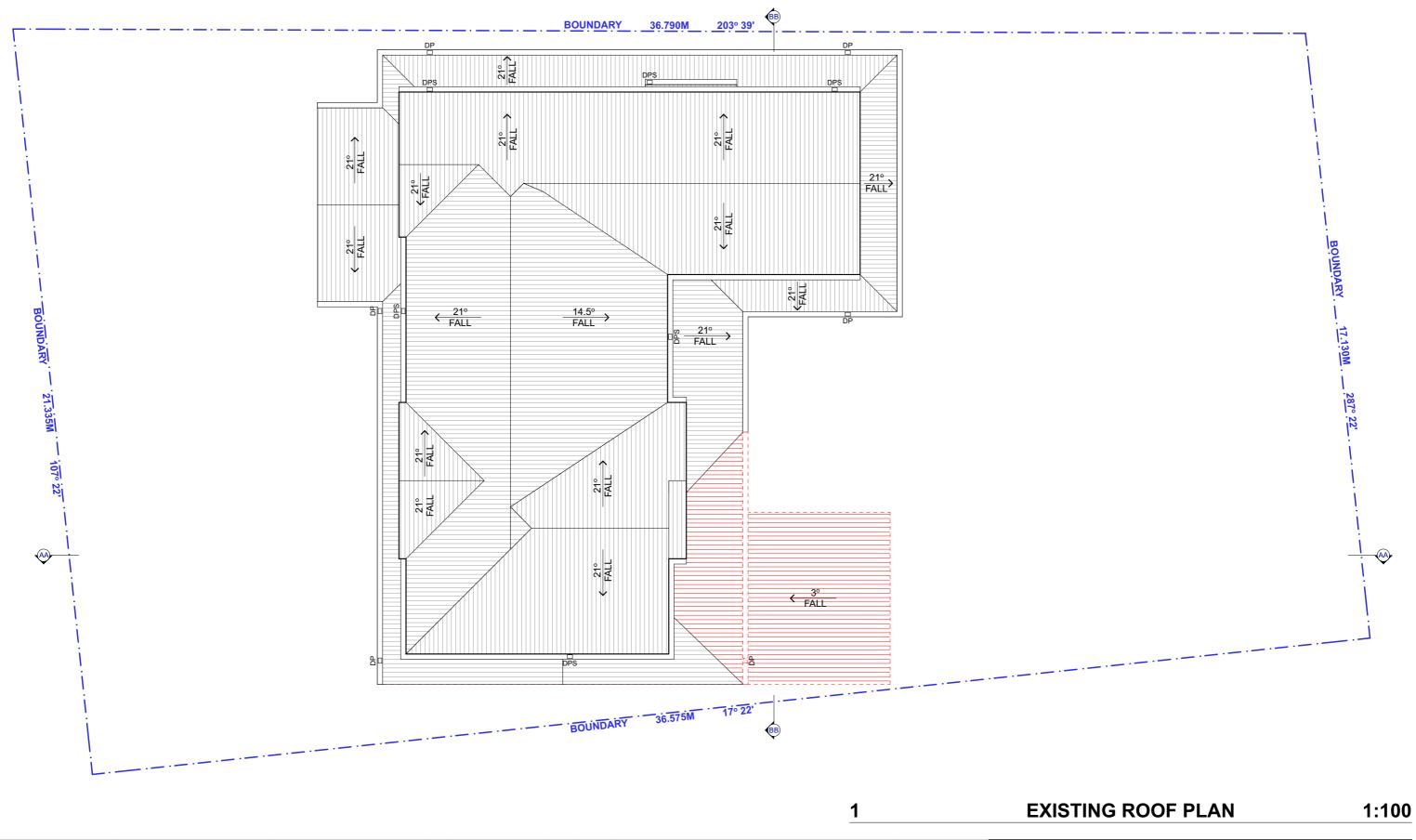
SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097 DRAWING TITLE: SITE - ROOF - WASTE - SEDIMENT PLAN SCALE: 1:200 @A3 4/8/20 PROJECT NO: DRAWING NO: 1010 **DA04** 











# PROGRESSIVE BUILDING DESIGN

CONTACT
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В	DA REVIEW SET	AF	22.07.20	DE
С	DA SUBMISSION	AF	04.08.20	
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				l NE

EXISTING TIMBER

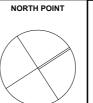
DEMOLISHED BRICK

EXISTING ROOF CONCR

NEW ROOF GLASS

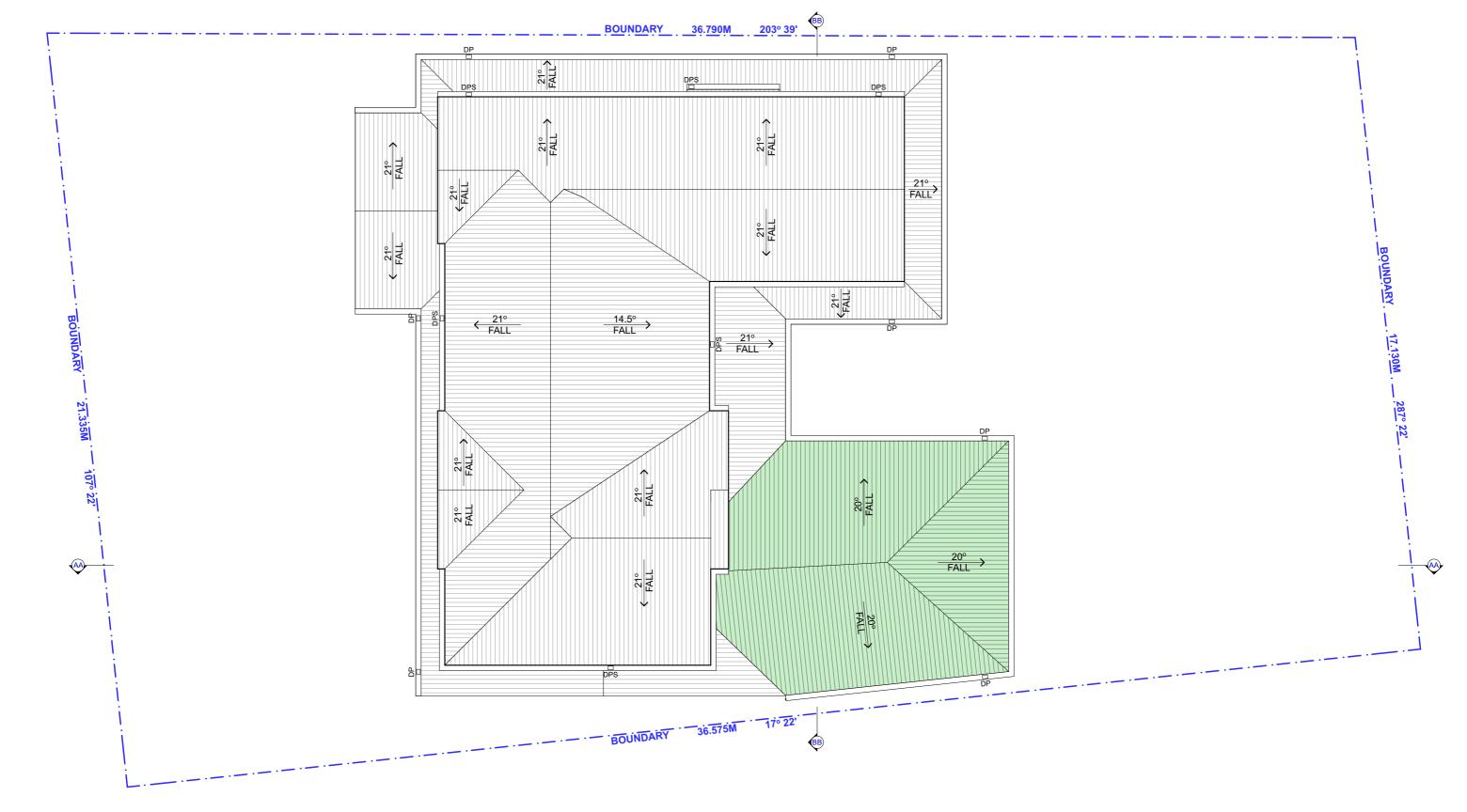
TIMBER CPD: CUPBOARD
DP: DOWN PIPE
BRICK DPS: DOWN PIPE SPITTER
FFL: FINISHED FLOOR LEVEL
CONCRETE RL: REDUCED LEVEL
GLASS

ABBREVIATIONS



CLIENTS:
JAMES & JULIET ALGAR
.

SITE ADDRESS:
65 SUFFOLK AVENUE
COLLAROY, NSW, 2097



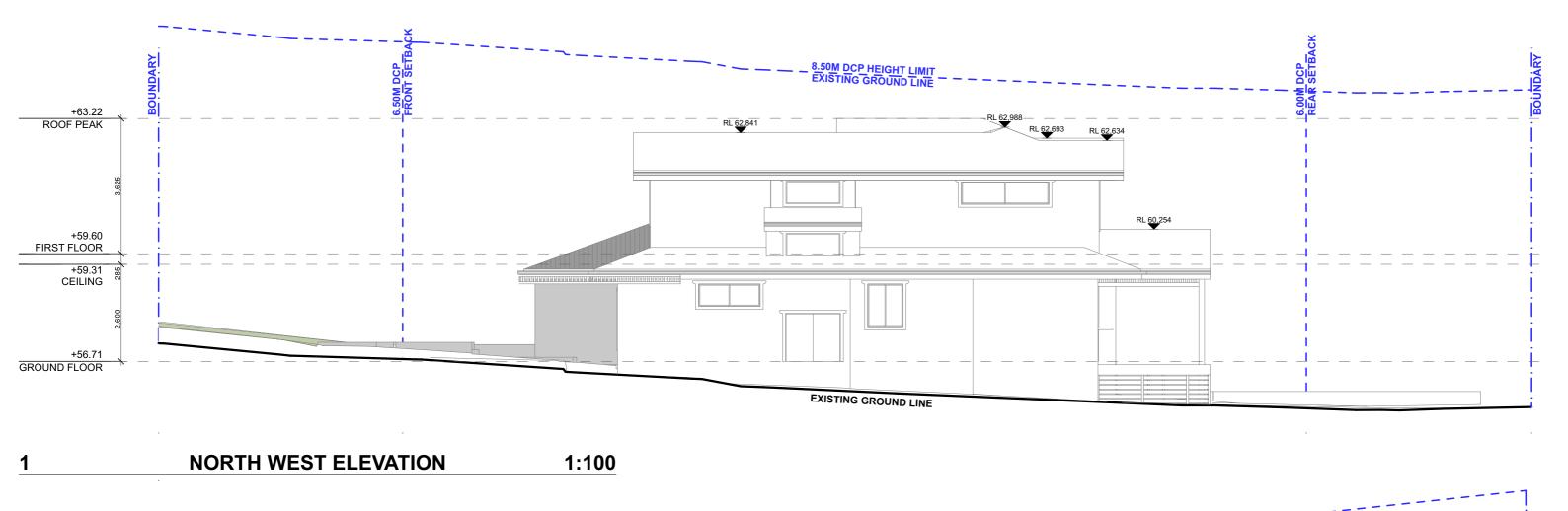
# 1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

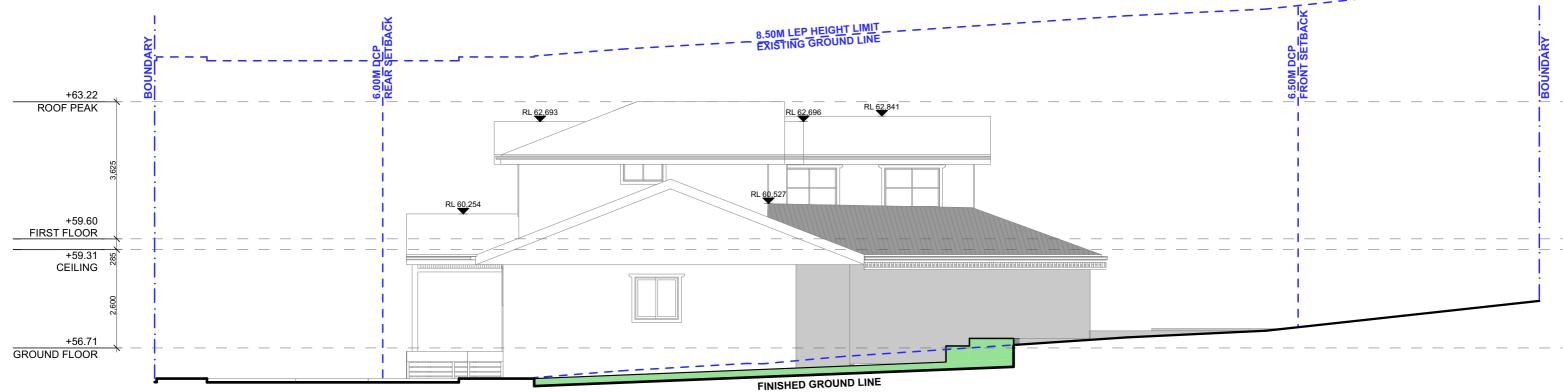




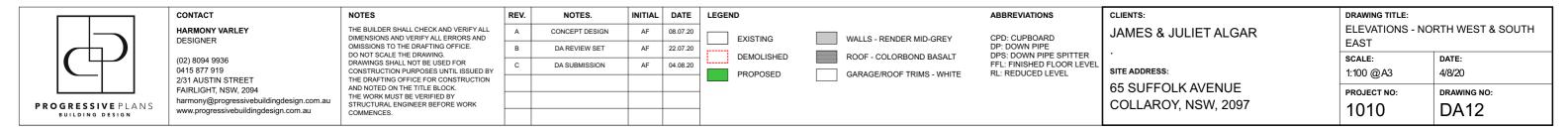
### 2 SOUTH WEST ELEVATION 1:100

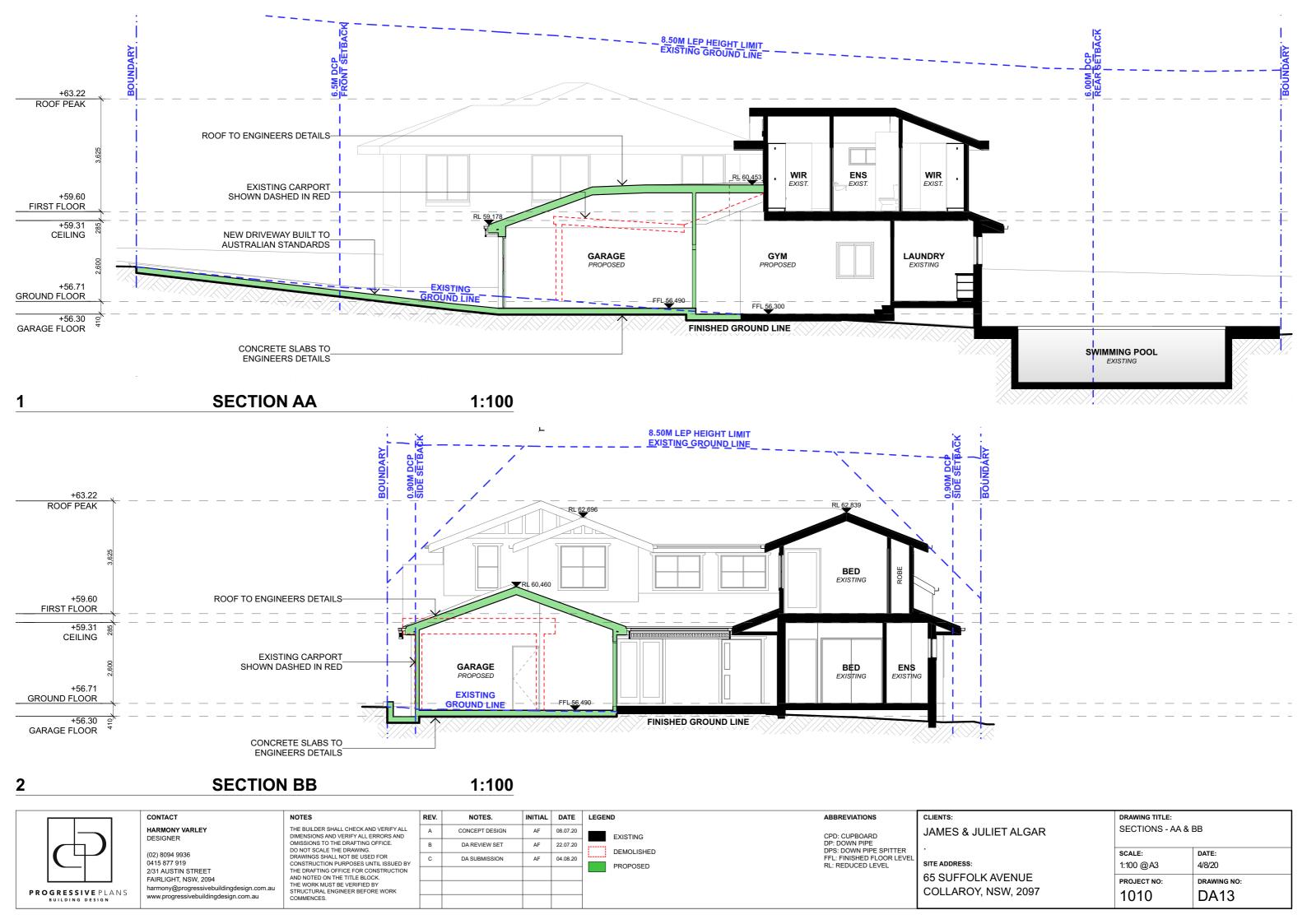


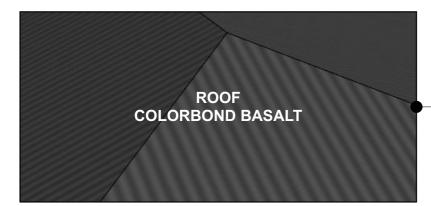




# 2 SOUTH EAST ELEVATION 1:100



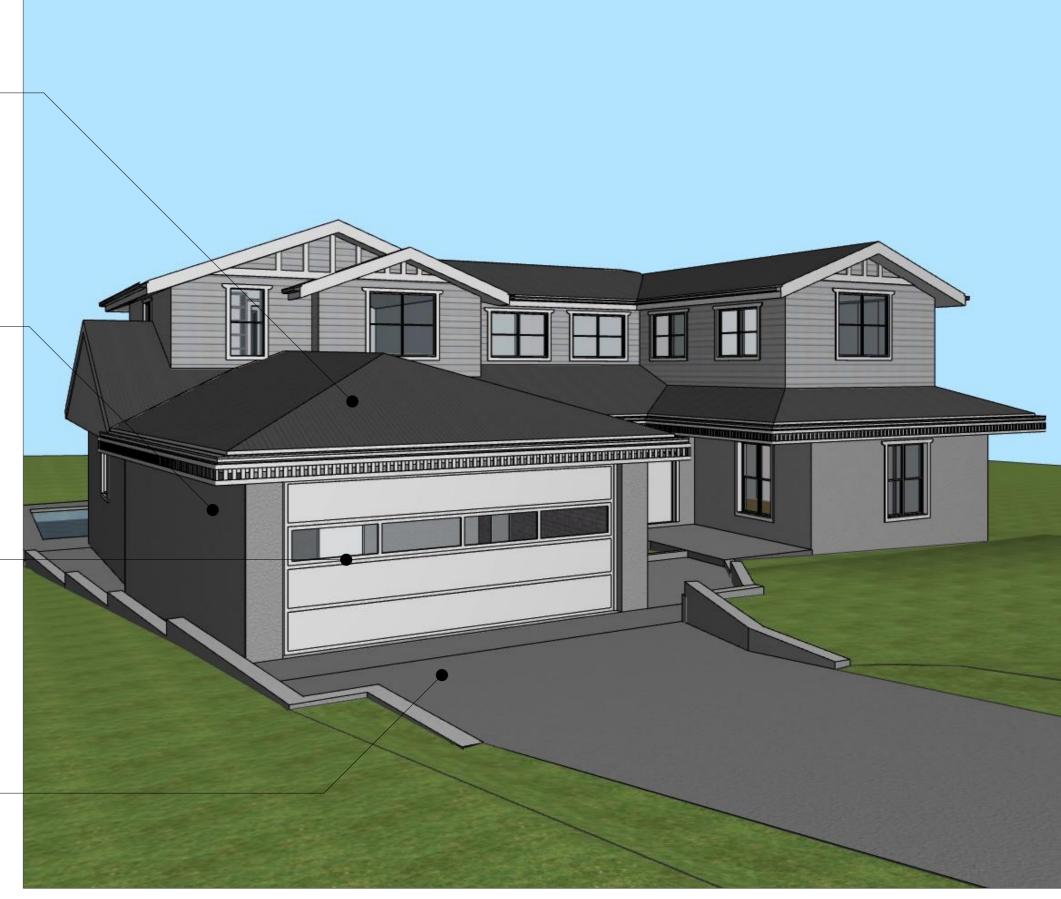




**GARAGE / RETAINING WALLS RENDER MID-GREY** 

> **GARAGE DOOR / ROOF TRIMS / GUTTERS** WHITE

> > **DRIVEWAY DARK-GREY**





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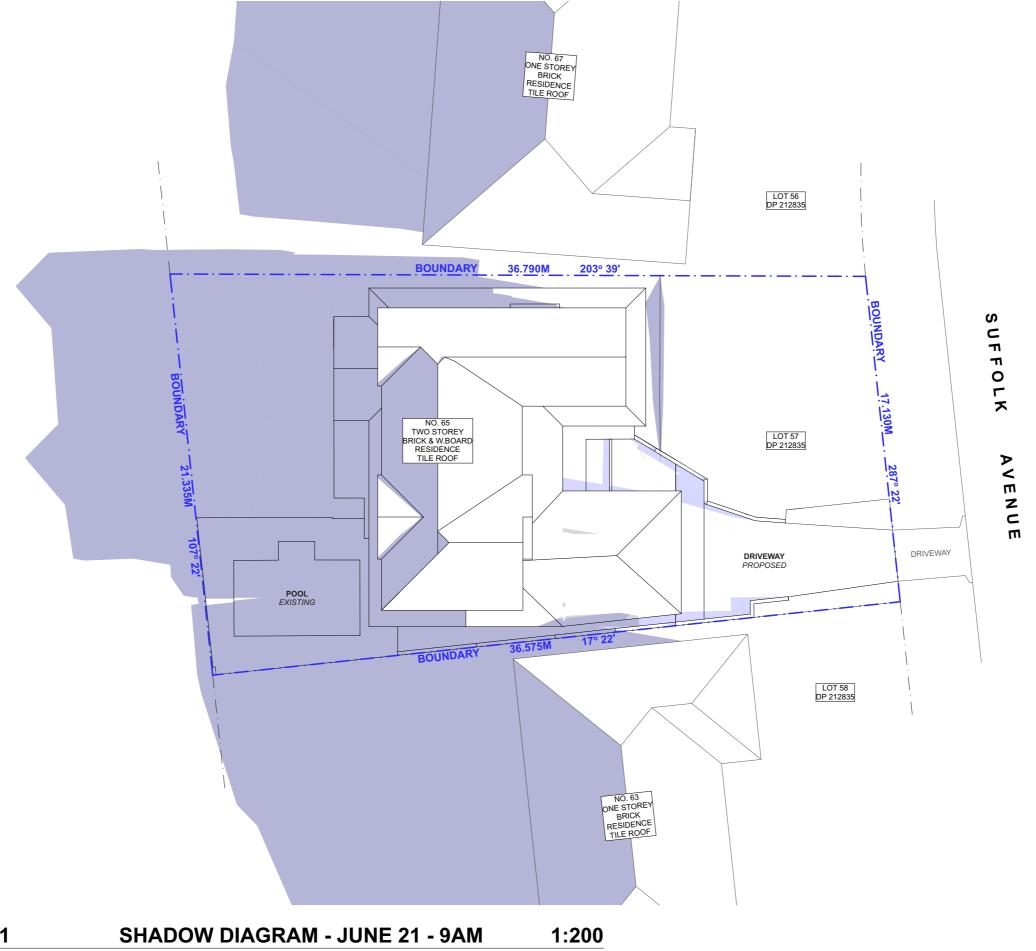
REV.	NOTES.	INITIAL	DATE
А	CONCEPT DESIGN	AF	08.07.20
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С	DA SUBMISSION	AF	04.08.20

JAMES & JULIET ALGAR

SITE ADDRESS:

65 SUFFOLK AVENUE COLLAROY, NSW, 2097

DRAWING TITLE:						
FINISHES BOARD						
SCALE:	DATE:					
@A3	4/8/20					
PROJECT NO:	DRAWING NO:					
PROJECT NO.	DRAWING NO.					
1010	DA14					





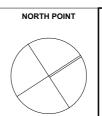
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REV.	NOTES.	INITIAL	DATE	LEGEND
А	CONCEPT DESIGN	AF	08.07.20	EXISTING SHADOWS
В	DA REVIEW SET	AF	22.07.20	PROPOSED SHADOW REDUCTIONS
С	DA SUBMISSION	AF	04.08.20	PROPOSED SHADOW ADDITIONS
				FROFOSED STADOW ADDITIONS



JAMES & JULIET ALGAR

SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097 DRAWING TITLE: SHADOW DIAGRAMS - JUNE 21 - 9AM SCALE:

1:200 @A3 4/8/20 PROJECT NO: DRAWING NO: 1010 **DA15** 



# **SHADOW DIAGRAM - JUNE 21 - 12PM**



CONTACT

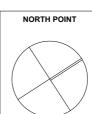
HARMONY VARLEY DESIGNER

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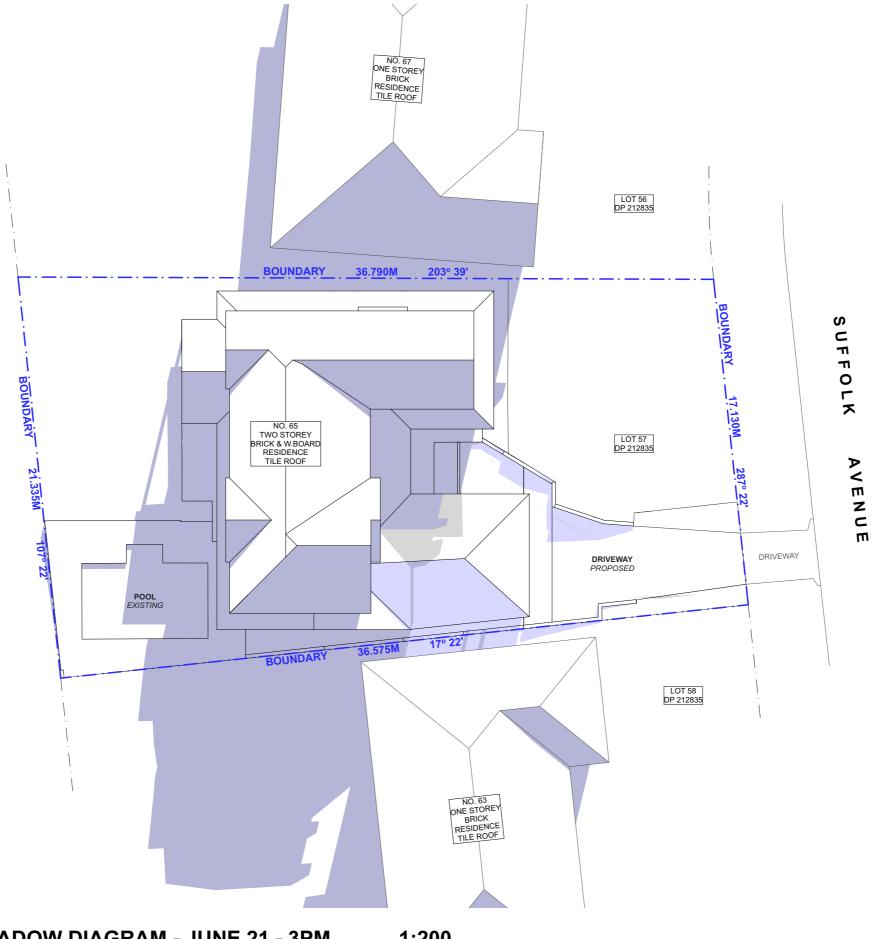
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Α	CONCEPT DESIGN	AF	08.07.20	EXISTING SHADOWS
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С	DA SUBMISSION	AF	04.08.20	PROPOSED SHADOW ADDITIONS
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CLIENTS: JAMES & JULIET ALGAR

SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097 DRAWING TITLE: SHADOW DIAGRAMS - JUNE 21 - 12PM SCALE:

1:200 @A3 4/8/20 PROJECT NO: DRAWING NO: 1010 **DA16** 



#### **SHADOW DIAGRAM - JUNE 21 - 3PM** 1:200

NOTES.



CONTACT

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		PROPOSED SHADOW ADDITIONS

NORTH PO	INT

JAMES & JULIET ALGAR

SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097

DRAWING TITLE: SHADOW DIAGRAMS - JUNE 21 - 3PM SCALE: 1:200 @A3 4/8/20

DRAWING NO:

**DA17** 

PROJECT NO:

1010