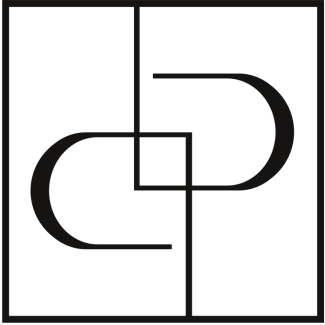


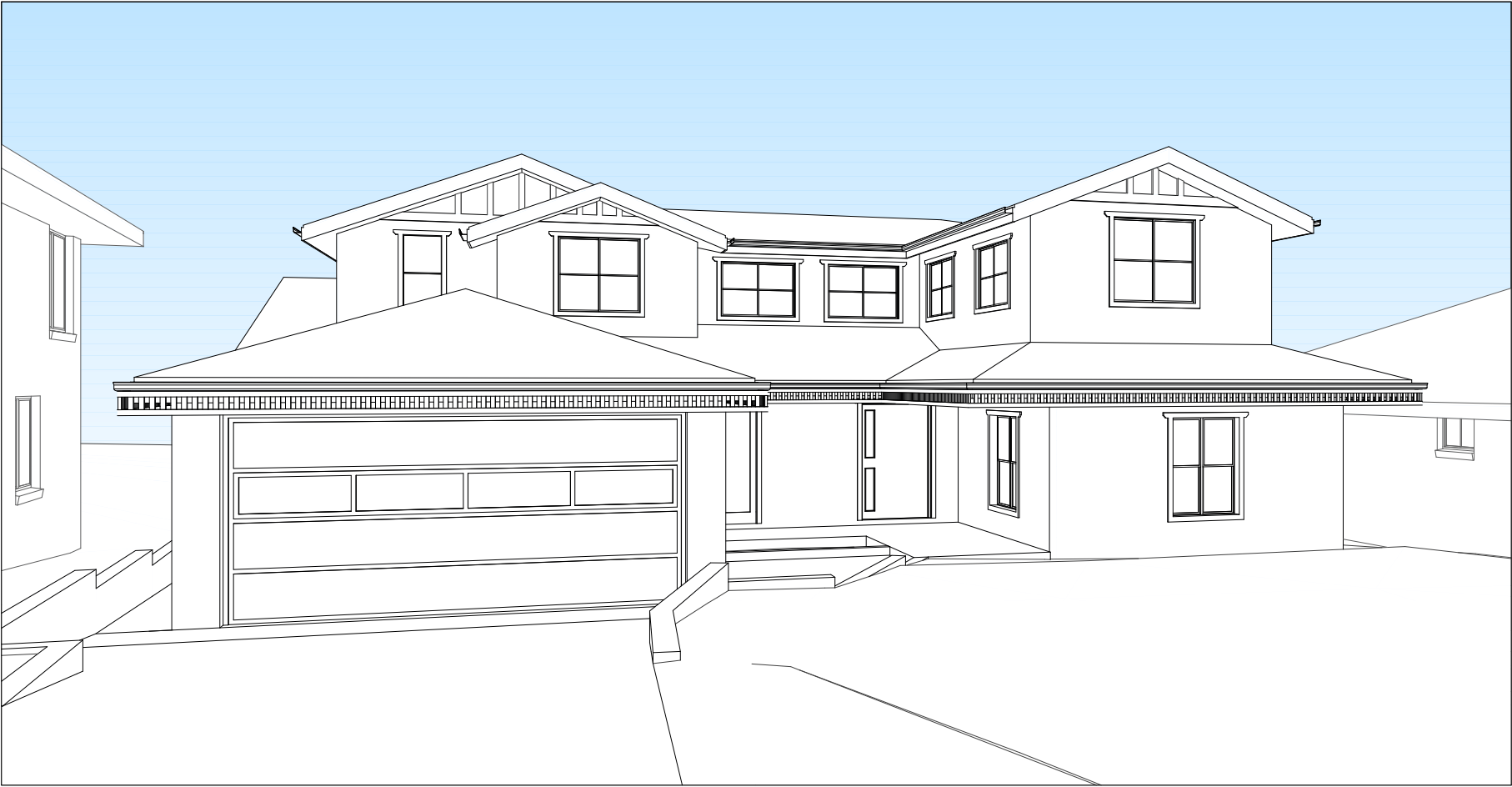
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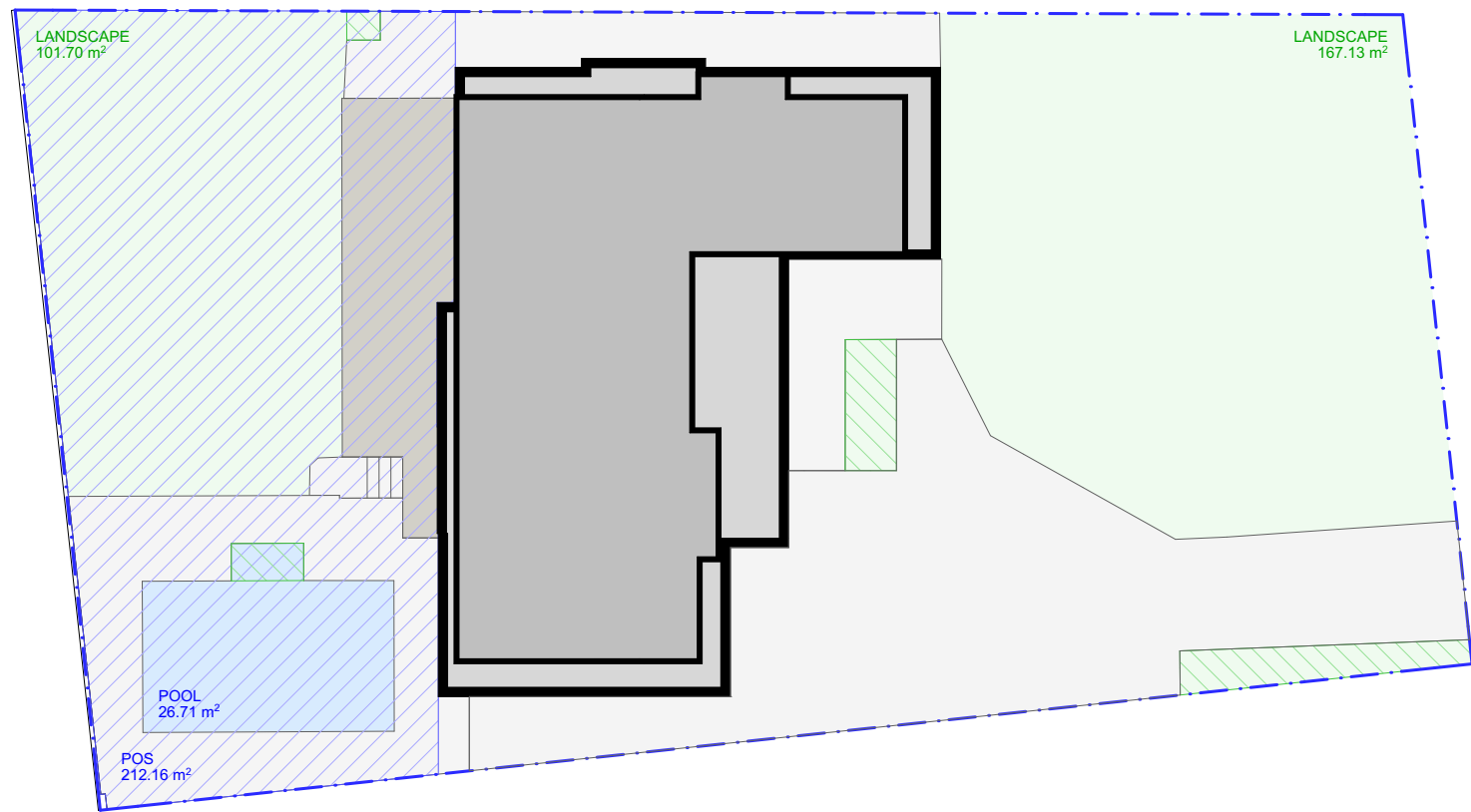
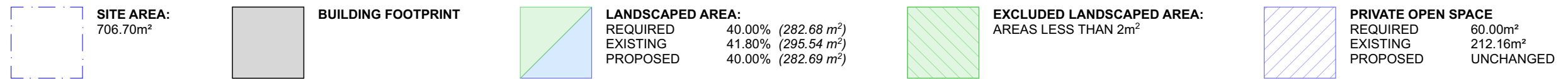
ALTERATIONS AND ADDITIONS TO
65 SUFFOLK AVENUE
COLLARROY, NSW, 2097
LOT 57 / DP 212835



PROGRESSIVE PLANS
BUILDING DESIGN

NO:	SHEET NAME	ISSUE DATE
DA01	TITLE PAGE	4/8/20
DA02	AREA CALCULATIONS	4/8/20
DA03	SITE ANALYSIS	4/8/20
DA04	SITE - ROOF - WASTE - SEDIMENT PLAN	4/8/20
DA05	EXISTING GROUND FLOOR	4/8/20
DA06	PROPOSED GROUND FLOOR	4/8/20
DA07	EXISTING FIRST FLOOR	4/8/20
DA08	PROPOSED FIRST FLOOR	4/8/20
DA09	EXISTING ROOF PLAN	4/8/20
DA10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	4/8/20
DA11	ELEVATIONS - NORTH EAST & SOUTH WEST	4/8/20
DA12	ELEVATIONS - NORTH WEST & SOUTH EAST	4/8/20
DA13	SECTIONS - AA & BB	4/8/20
DA14	FINISHES BOARD	4/8/20
DA15	SHADOW DIAGRAMS - JUNE 21 - 9AM	4/8/20
DA16	SHADOW DIAGRAMS - JUNE 21 - 12PM	4/8/20
DA17	SHADOW DIAGRAMS - JUNE 21 - 3PM	4/8/20

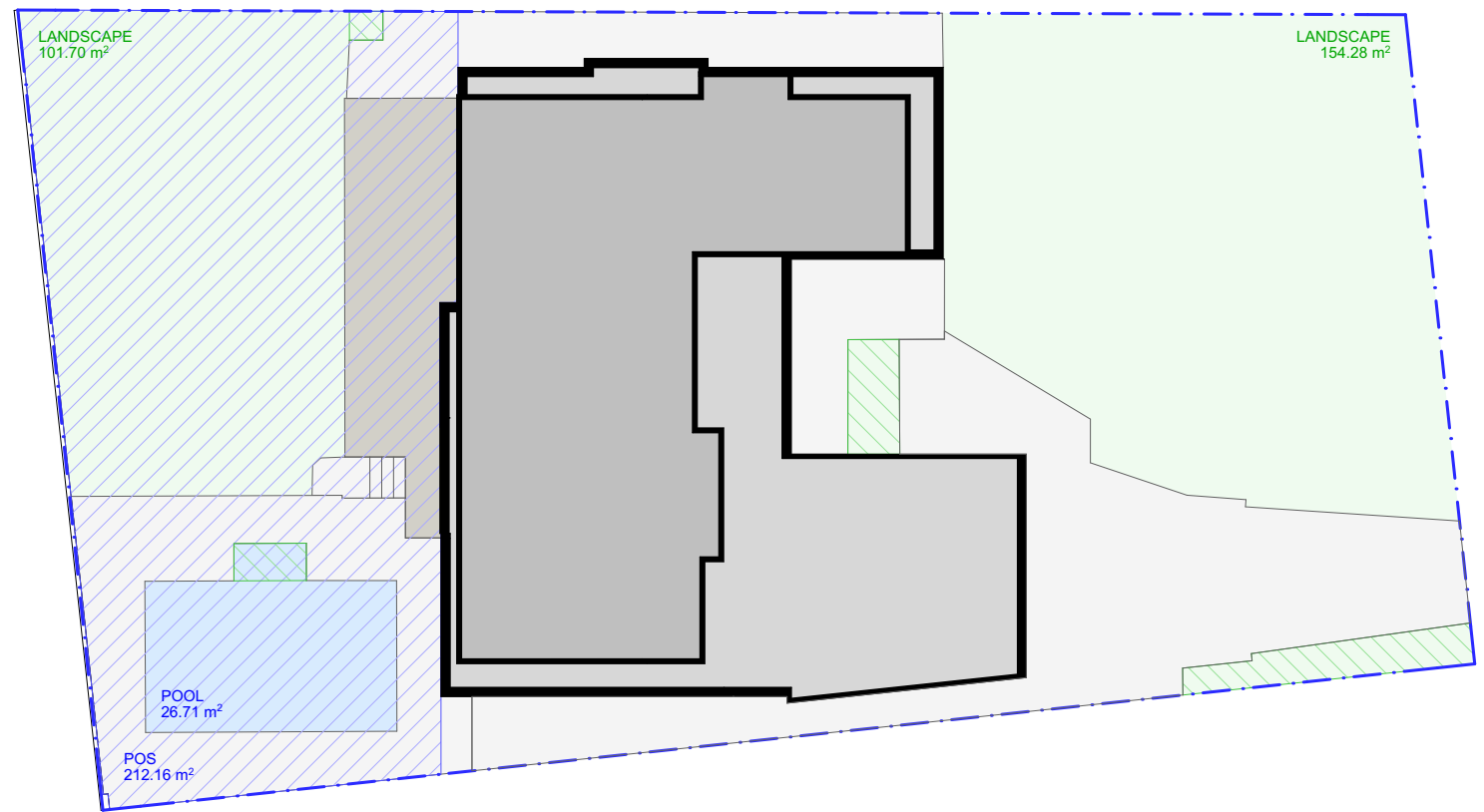




1

EXISTING AREA CALCULATIONS

1:200



2

PROPOSED AREA CALCULATIONS

1:200

CONTACT

HARMONY VARLEY
DESIGNER

(02) 8094 9936
0415 877 919
2/31 AUSTIN STREET
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C	DA SUBMISSION	AF	04.08.20

LEGEND

- DWELLING WALLS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER

ABBREVIATIONS

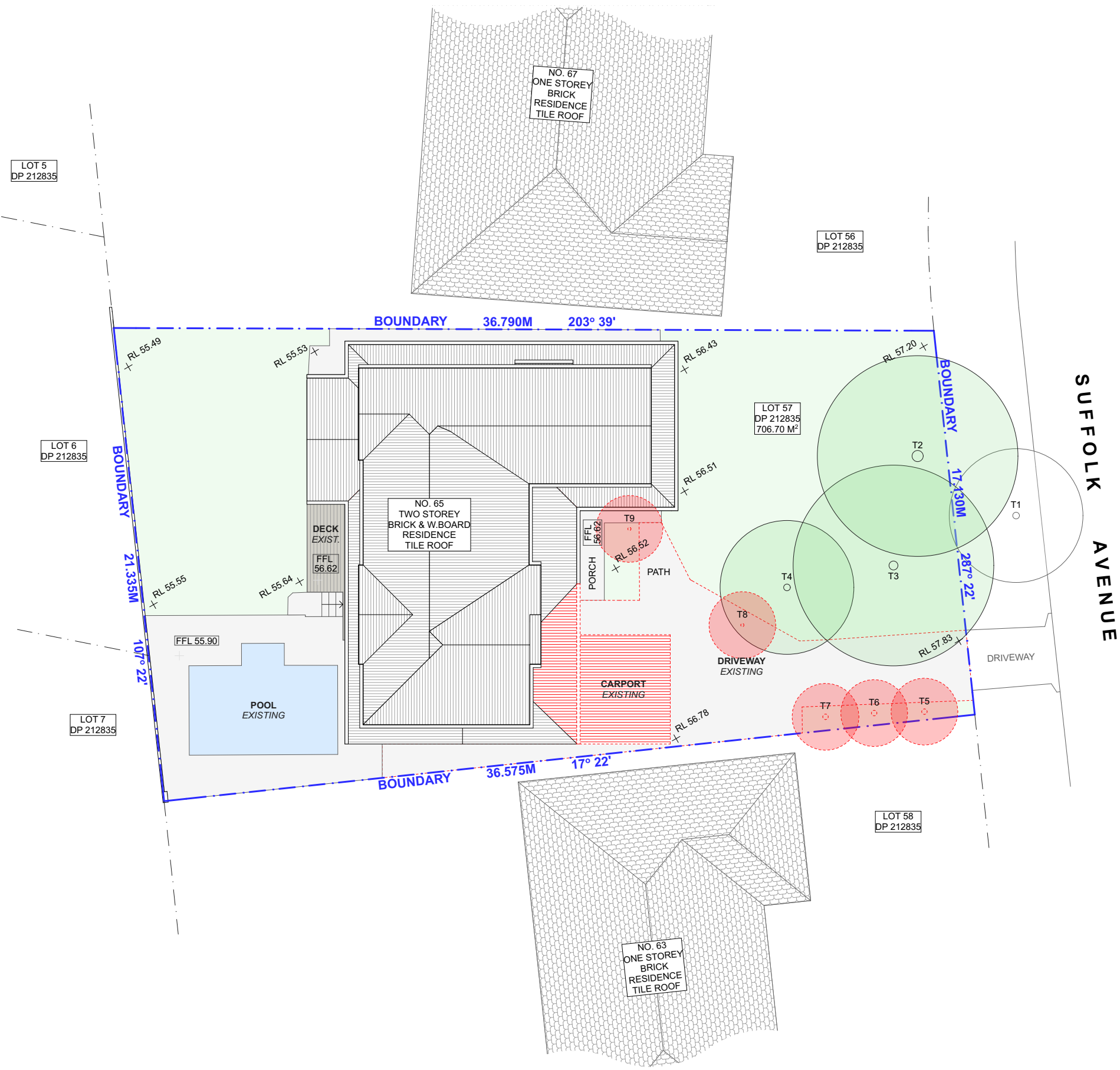
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DP: DOWN PIPE
DPS: DOWN PIPE SPITTER
FFL: FINISHED FLOOR LEVEL
RL: REDUCED LEVEL



NORTH POINT

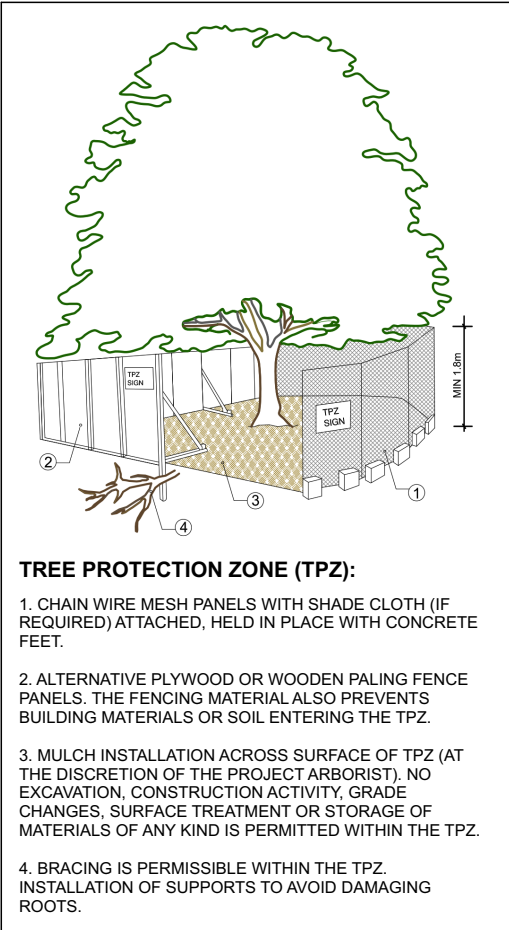
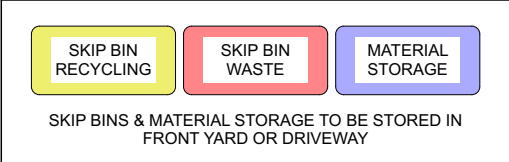
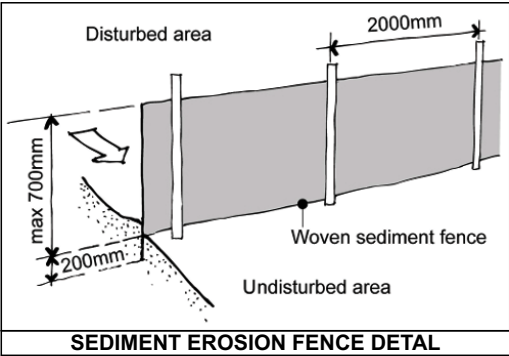
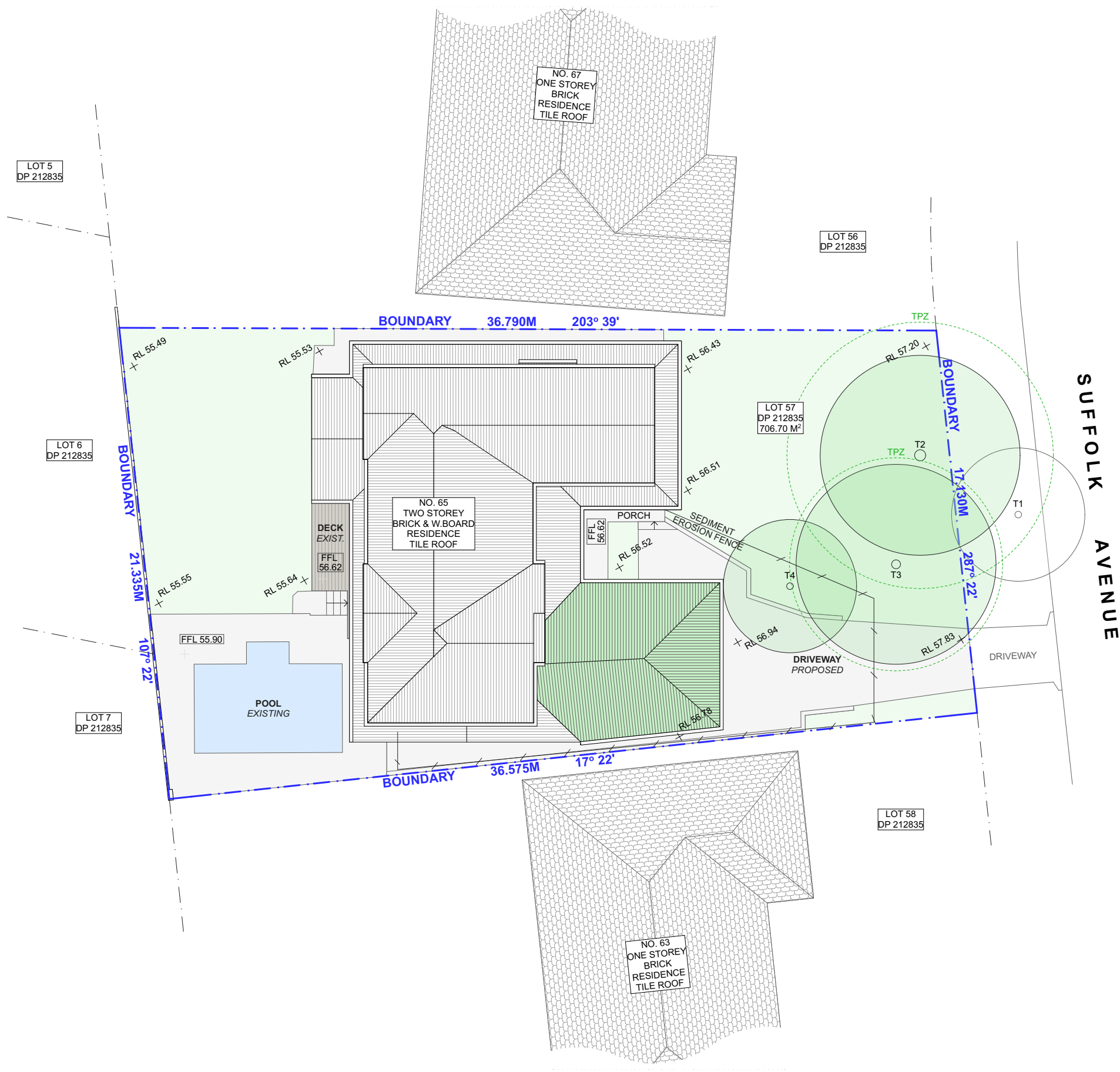
CLIENTS:
JAMES & JULIET ALGAR

SITE ADDRESS:
65 SUFFOLK AVENUE
COLLARROY, NSW, 2097



DRAWING TITLE: AREA CALCULATIONS	
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PROJECT NO: 1010	DRAWING NO: DA02




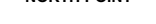
<div></div> <div>PROGRESSIVE PLANS BUILDING DESIGN</div>	<div>CONTACT</div> <div>HARMONY VARLEY DESIGNER</div> <div>(02) 8094 9936 0415 877 919 2/31 AUSTIN STREET FAIRLIGHT, NSW, 2094 harmony@progressivebuildingdesign.com.au www.progressivebuildingdesign.com.au</div>	<div>NOTES</div> <div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</div>	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>CONCEPT DESIGN</td><td>AF</td><td>08.07.20</td></tr><tr><td>B</td><td>DA REVIEW SET</td><td>AF</td><td>22.07.20</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>04.08.20</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	CONCEPT DESIGN	AF	08.07.20	B	DA REVIEW SET	AF	22.07.20	C	DA SUBMISSION	AF	04.08.20													<div>LEGEND</div> <div><div><div><div></div><div>EXISTING</div></div><div><div></div><div>DEMOLISHED</div></div><div><div></div><div>EXISTING ROOF</div></div><div><div></div><div>PROPOSED ROOF</div></div></div><div><div><div></div><div>LANDSCAPE / GRASS</div></div><div><div></div><div>CONCRETE / PAVERS</div></div><div><div></div><div>TIMBER DECK</div></div><div><div></div><div>POOL / WATER</div></div></div></div>	<div>NORTH POINT</div> <div></div>	<div>CLIENTS:</div> <div>JAMES & JULIET ALGAR</div> <div>•</div> <div>SITE ADDRESS:</div> <div>65 SUFFOLK AVENUE COLLAROY, NSW, 2097</div>	<div>DRAWING TITLE:</div> <div>SITE ANALYSIS</div>	
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1 PROPOSED SITE / WASTE / SEDIMENT EROSION PLAN 1:200

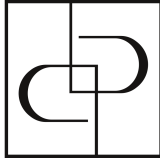
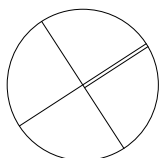
 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT HARMONY VARLEY DESIGNER (02) 8094 9936 0415 877 919 2/31 AUSTIN STREET FAIRLIGHT, NSW, 2094 harmony@progressivebuildingdesign.com.au www.progressivebuildingdesign.com.au	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>CONCEPT DESIGN</td><td>AF</td><td>08.07.20</td></tr><tr><td>B</td><td>DA REVIEW SET</td><td>AF</td><td>22.07.20</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>04.08.20</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	CONCEPT DESIGN	AF	08.07.20	B	DA REVIEW SET	AF	22.07.20	C	DA SUBMISSION	AF	04.08.20													LEGEND ■ EXISTING ■ DEMOLISHED ■ EXISTING ROOF ■ PROPOSED ROOF ■ LANDSCAPE / GRASS ■ CONCRETE / PAVERS ■ TIMBER DECK ■ POOL / WATER	NORTH POINT 	CLIENTS: JAMES & JULIET ALGAR * SITE ADDRESS: 65 SUFFOLK AVENUE COLLARROY, NSW, 2097	DRAWING TITLE: SITE - ROOF - WASTE - SEDIMENT PLAN	
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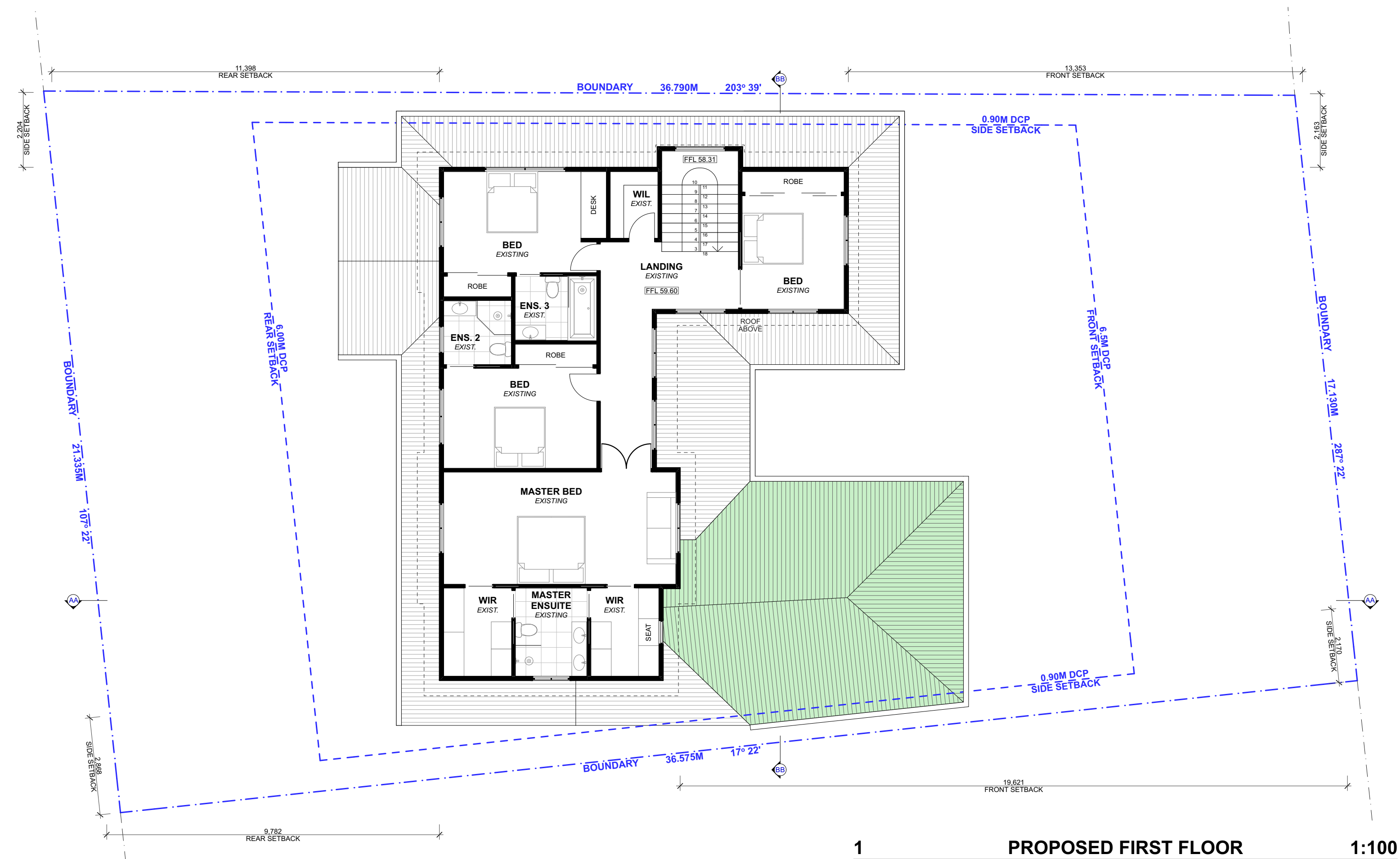


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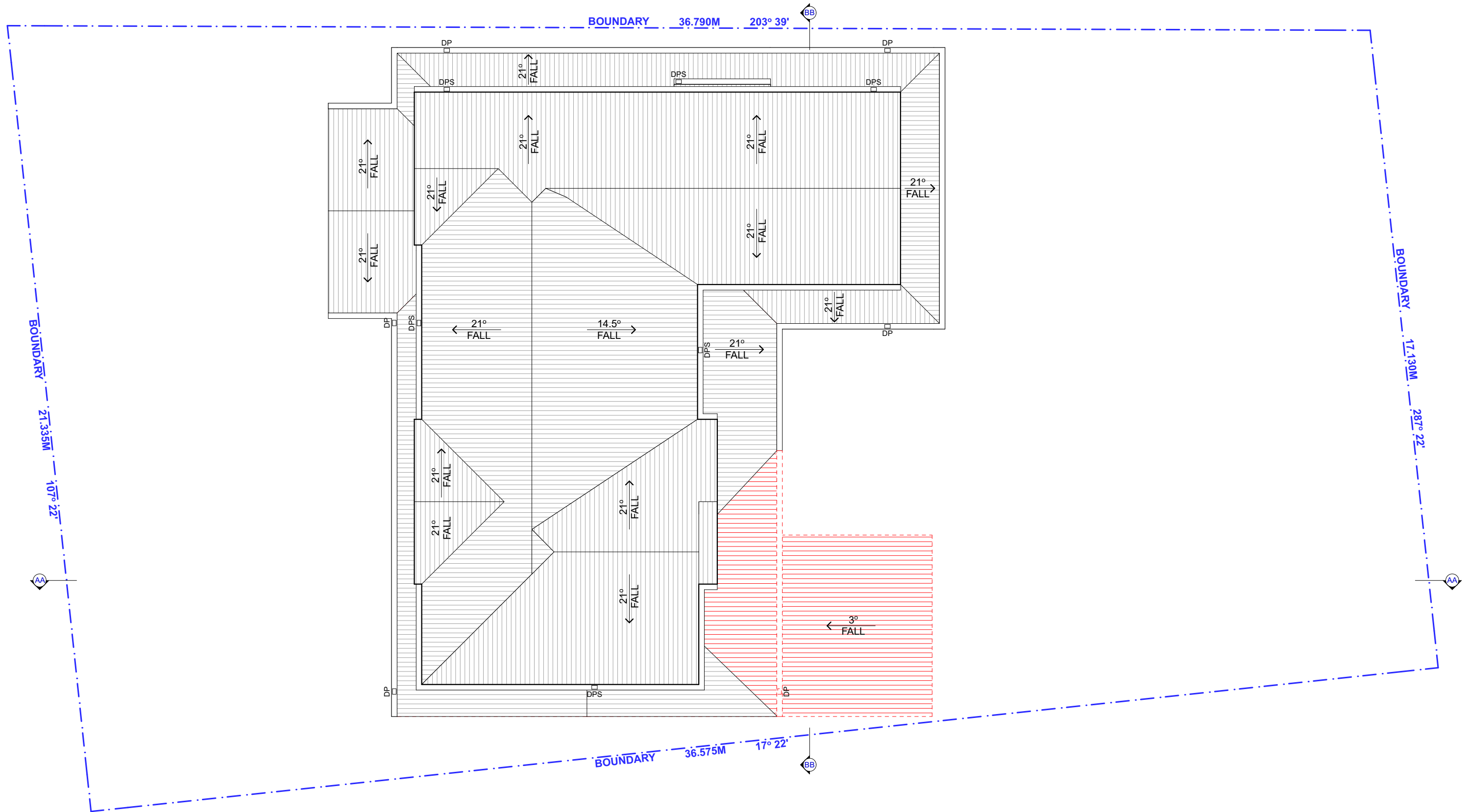
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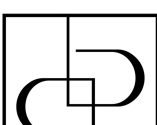









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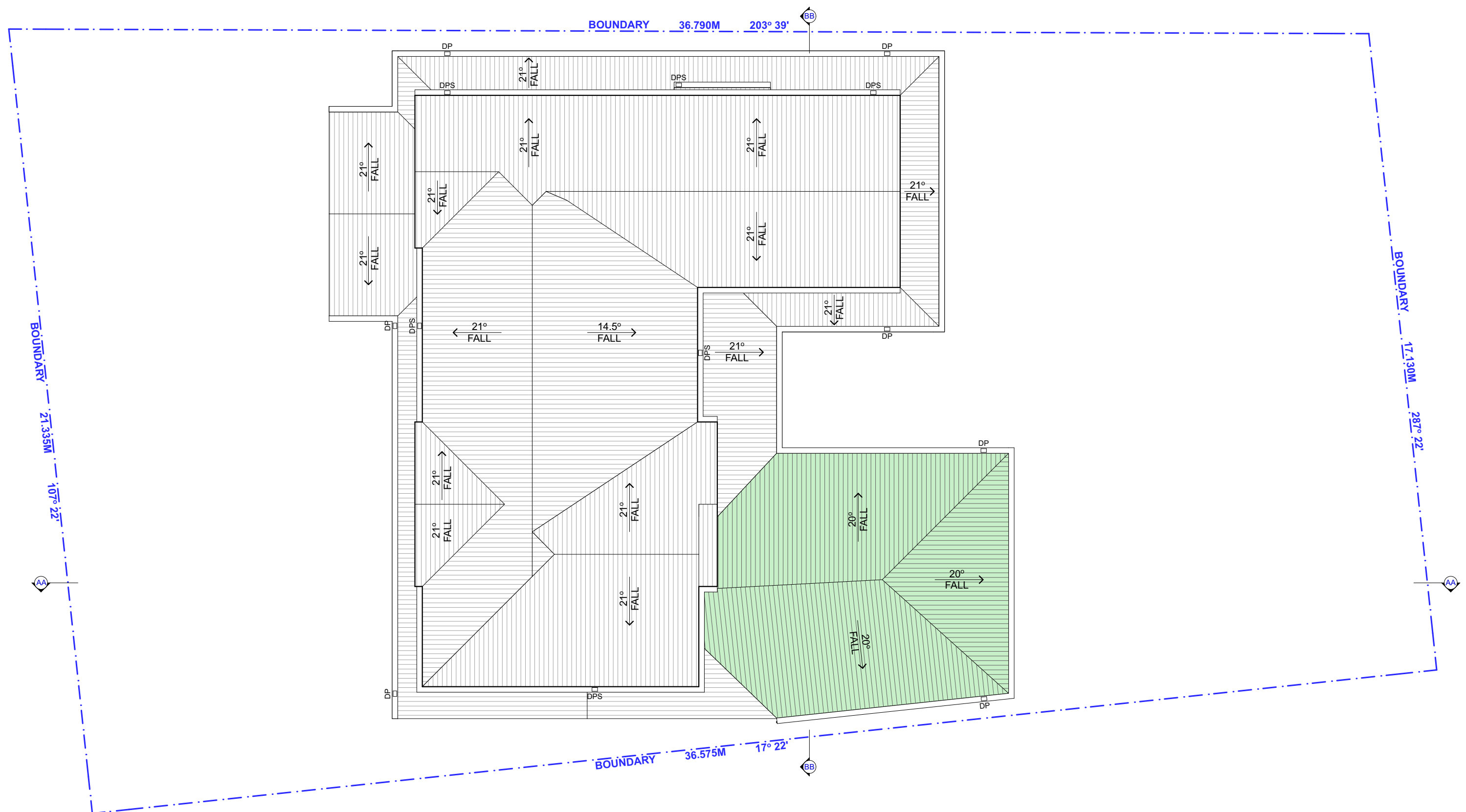
1 PROPOSED FIRST FLOOR 1:100

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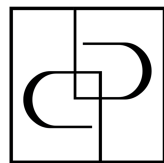


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										SCALE: 1:100 @A3	DATE: 4/8/20		
										PROJECT NO: 1010	DRAWING NO: DA09		

NOTE:
PROPOSED STORMWATER TO DRAIN
INTO EXISTING STORMWATER LINES.



1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100



CONTACT









HARMONY VARLEY
DESIGNER

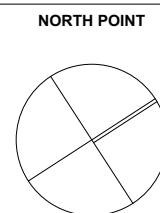
(02) 8094 9936
0415 877 919
2/31 AUSTIN STREET
FAIRLIGHT, NSW, 2094
harmony@progressivebuildingdesign.com.au
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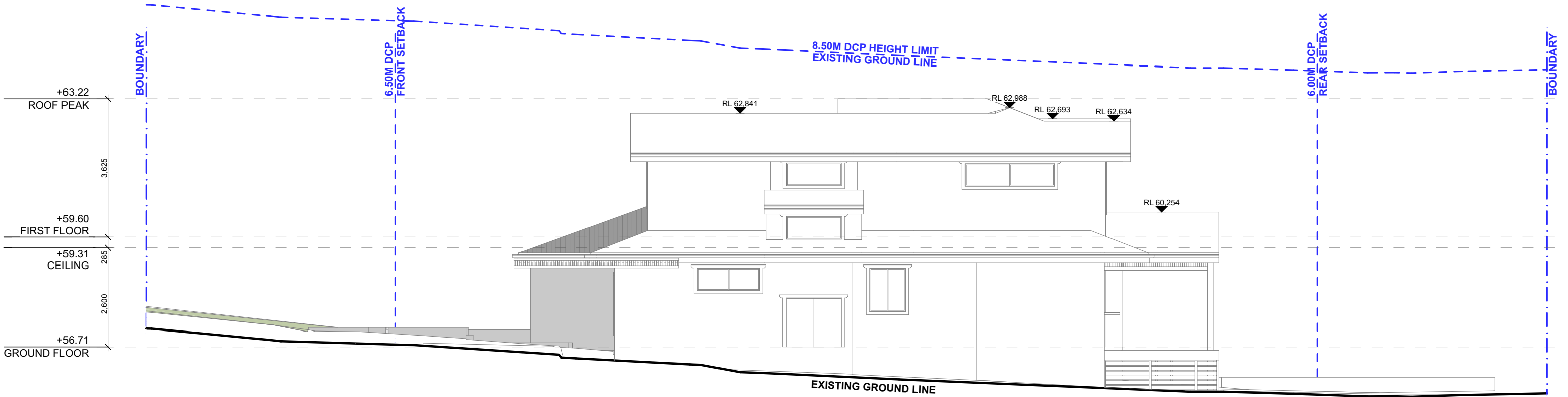
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	DEMOLISHED		BRICK
	EXISTING ROOF		CONCRETE
	NEW ROOF		GLASS
		CPD: CUPBOARD DP: DOWN PIPE DPS: DOWN PIPE SPITTER FFL: FINISHED FLOOR LEVEL RL: REDUCED LEVEL	



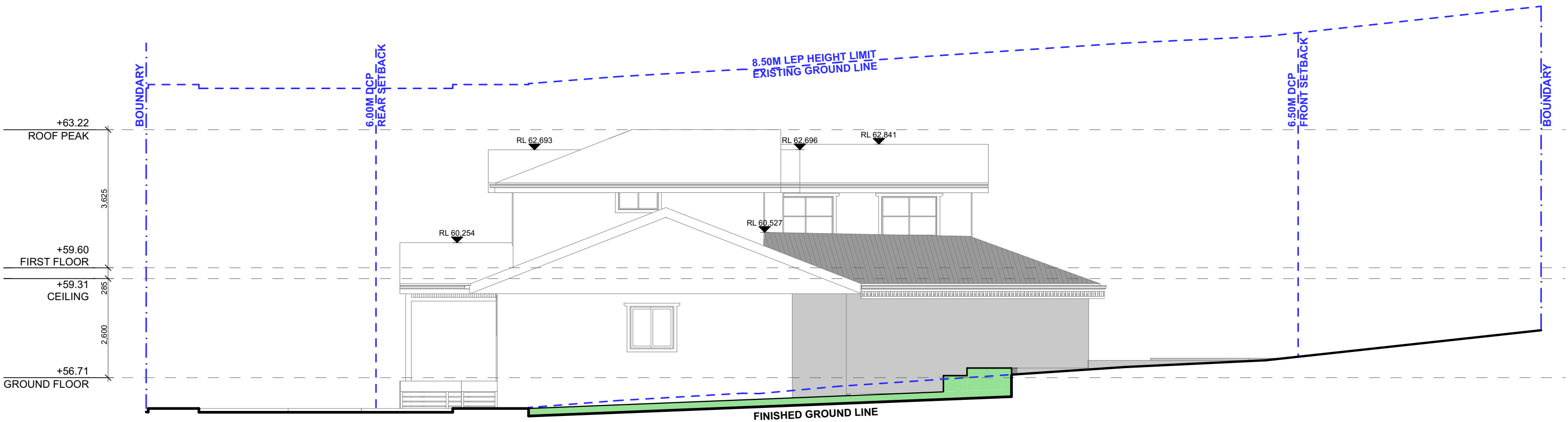
CLIENTS:
JAMES & JULIET ALGAR

SITE ADDRESS:
65 SUFFOLK AVENUE
COLLAROY, NSW, 2097

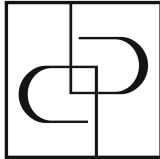


















DRAWING TITLE: PROPOSED ROOF / CONCEPT STORMWATER PLAN	
SCALE: 1:100 @A3	DATE: 4/8/20
PROJECT NO: 1010	DRAWING NO: DA10

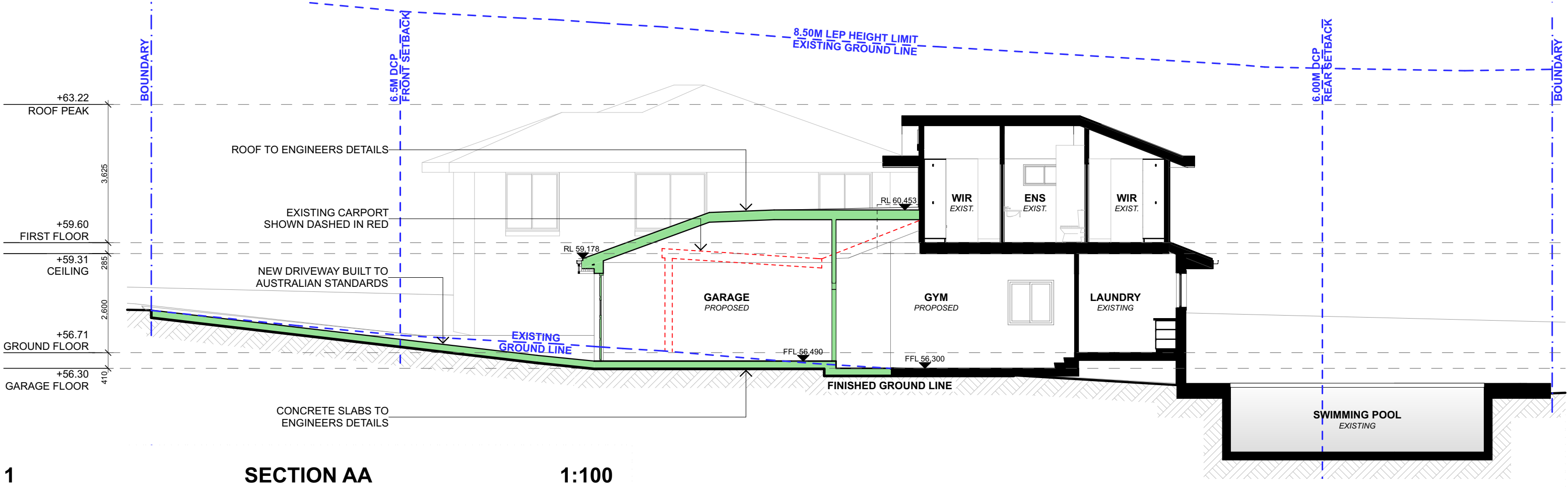


1 NORTH WEST ELEVATION 1:100



2 SOUTH EAST ELEVATION 1:100

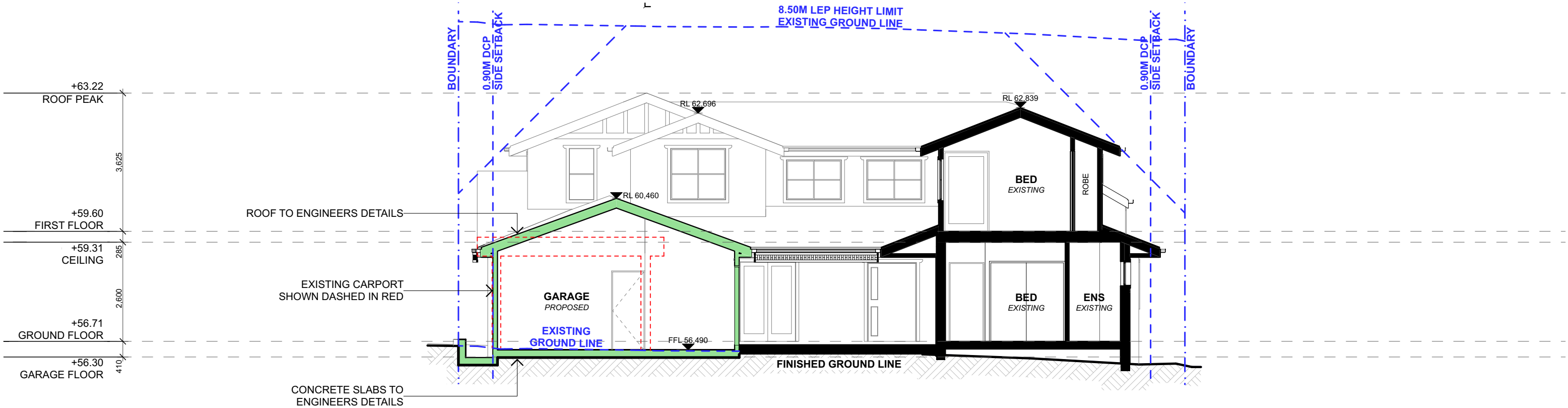
 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT HARMONY VARLEY DESIGNER (02) 8094 9936 0415 877 919 2/31 AUSTIN STREET FAIRLIGHT, NSW, 2094 harmony@progressivebuildingdesign.com.au www.progressivebuildingdesign.com.au	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>CONCEPT DESIGN</td><td>AF</td><td>08.07.20</td></tr><tr><td>B</td><td>DA REVIEW SET</td><td>AF</td><td>22.07.20</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>04.08.20</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	CONCEPT DESIGN	AF	08.07.20	B	DA REVIEW SET	AF	22.07.20	C	DA SUBMISSION	AF	04.08.20													LEGEND <table><tr><td></td><td>EXISTING</td><td></td><td>WALLS - RENDER MID-GREY</td></tr><tr><td></td><td>DEMOLISHED</td><td></td><td>ROOF - COLORBOND BASALT</td></tr><tr><td></td><td>PROPOSED</td><td></td><td>GARAGE/ROOF TRIMS - WHITE</td></tr></table>		EXISTING		WALLS - RENDER MID-GREY		DEMOLISHED		ROOF - COLORBOND BASALT		PROPOSED		GARAGE/ROOF TRIMS - WHITE	ABBREVIATIONS CPD: CUPBOARD DP: DOWN PIPE DPS: DOWN PIPE SPITTER FFL: FINISHED FLOOR LEVEL RL: REDUCED LEVEL	CLIENTS: JAMES & JULIET ALGAR SITE ADDRESS: 65 SUFFOLK AVENUE COLLAROY, NSW, 2097	DRAWING TITLE: ELEVATIONS - NORTH WEST & SOUTH EAST <table><tr><td>SCALE: 1:100 @A3</td><td>DATE: 4/8/20</td></tr><tr><td>PROJECT NO: 1010</td><td>DRAWING NO: DA12</td></tr></table>	SCALE: 1:100 @A3	DATE: 4/8/20	PROJECT NO: 1010	DRAWING NO: DA12
	REV.	NOTES.	INITIAL	DATE																																															
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SCALE: 1:100 @A3	DATE: 4/8/20																																																		
PROJECT NO: 1010	DRAWING NO: DA12																																																		



1

SECTION AA


1:100

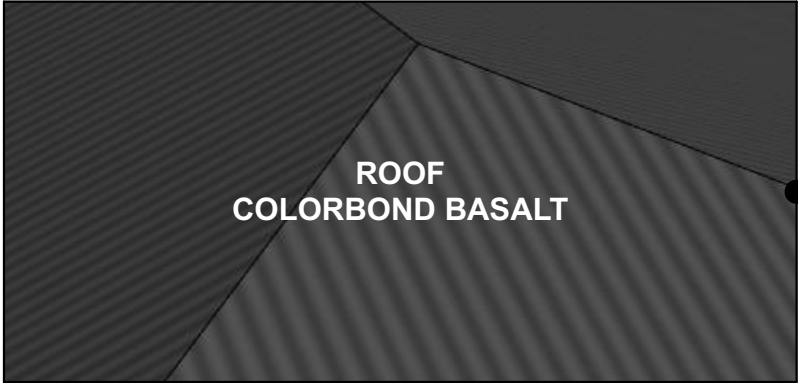


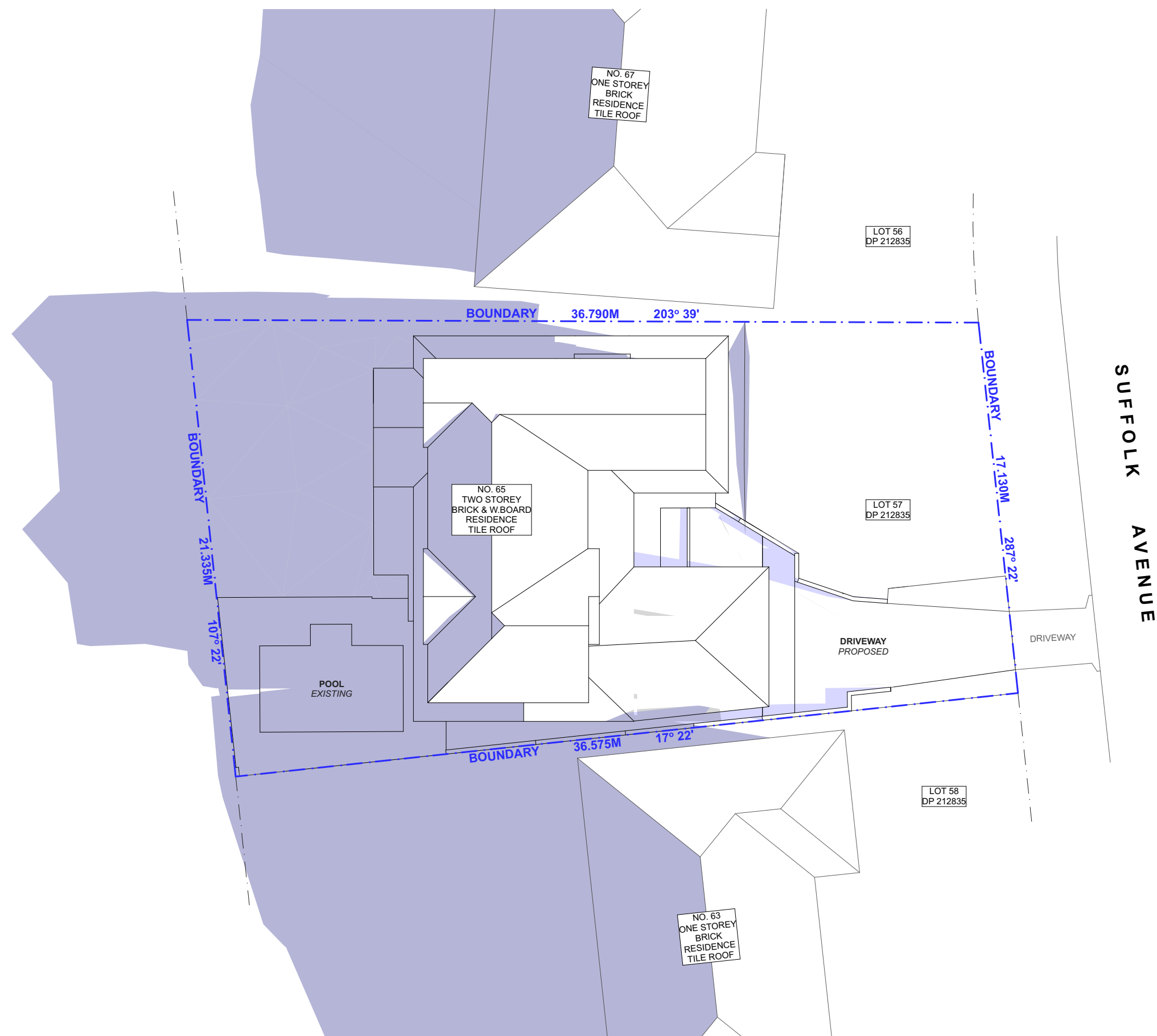
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SECTION BB

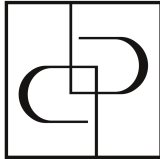
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 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT HARMONY VARLEY DESIGNER (02) 8094 9936 0415 877 919 2/31 AUSTIN STREET FAIRLIGHT, NSW, 2094 harmony@progressivebuildingdesign.com.au www.progressivebuildingdesign.com.au	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND ■ EXISTING <div>□ DEMOLISHED</div> <div>■ PROPOSED</div>	ABBREVIATIONS CPD: CUPBOARD DP: DOWN PIPE DPS: DOWN PIPE SPITTER FFL: FINISHED FLOOR LEVEL RL: REDUCED LEVEL	CLIENTS: JAMES & JULIET ALGAR * SITE ADDRESS: 65 SUFFOLK AVENUE COLLARROY, NSW, 2097	DRAWING TITLE: SECTIONS - AA & BB	
		A	CONCEPT DESIGN	AF	08.07.20					SCALE: 1:100 @A3	DATE: 4/8/20
		B	DA REVIEW SET	AF	22.07.20					PROJECT NO: 1010	DRAWING NO: DA13
		C	DA SUBMISSION	AF	04.08.20						





1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:200



PROGRESSIVE PLANS
BUILDING DESIGN

CONTACT
HARMONY VARLEY
DESIGNER

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0415 877 919
2/31 AUSTIN STREET
FAIRLIGHT, NSW, 2094
harmony@progressivebuildingdesign.com.au
www.progressivebuildingdesign.com.au

NOTES

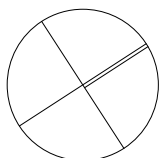
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C	DA SUBMISSION	AF	04.08.20

LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

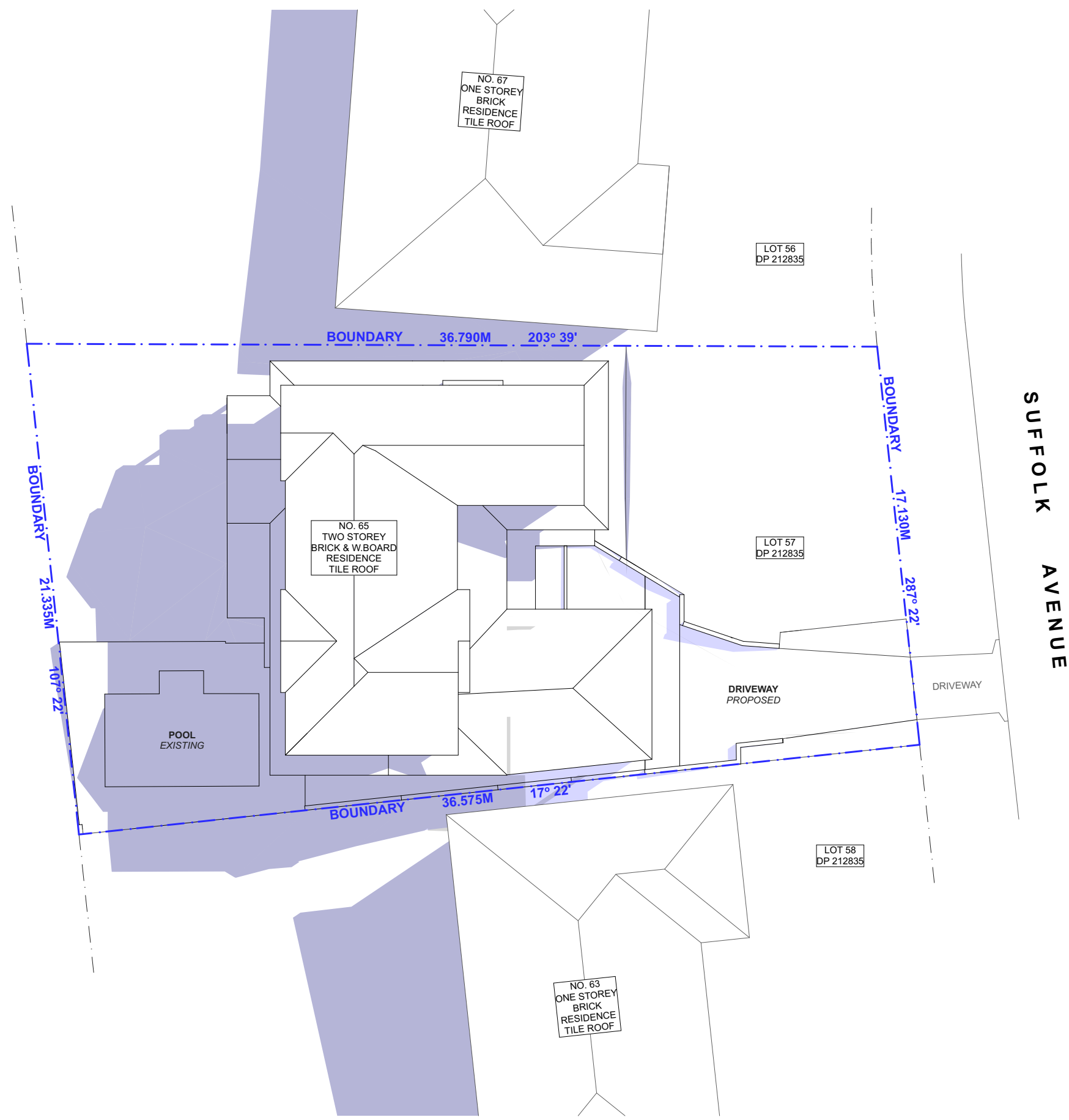
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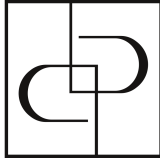
CLIENTS:
JAMES & JULIET ALGAR

SITE ADDRESS:
65 SUFFOLK AVENUE
COLLARROY, NSW, 2097

DRAWING TITLE: SHADOW DIAGRAMS - JUNE 21 - 9AM	
SCALE: 1:200 @A3	DATE: 4/8/20
PROJECT NO: 1010	DRAWING NO: DA15



1 SHADOW DIAGRAM - JUNE 21 - 12PM 1:200



PROGRESSIVE PLANS
BUILDING DESIGN

CONTACT
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harmony@progressivebuildingdesign.com.au
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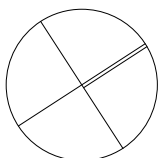
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REV.	NOTES.	INITIAL	DATE
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C	DA SUBMISSION	AF	04.08.20

LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

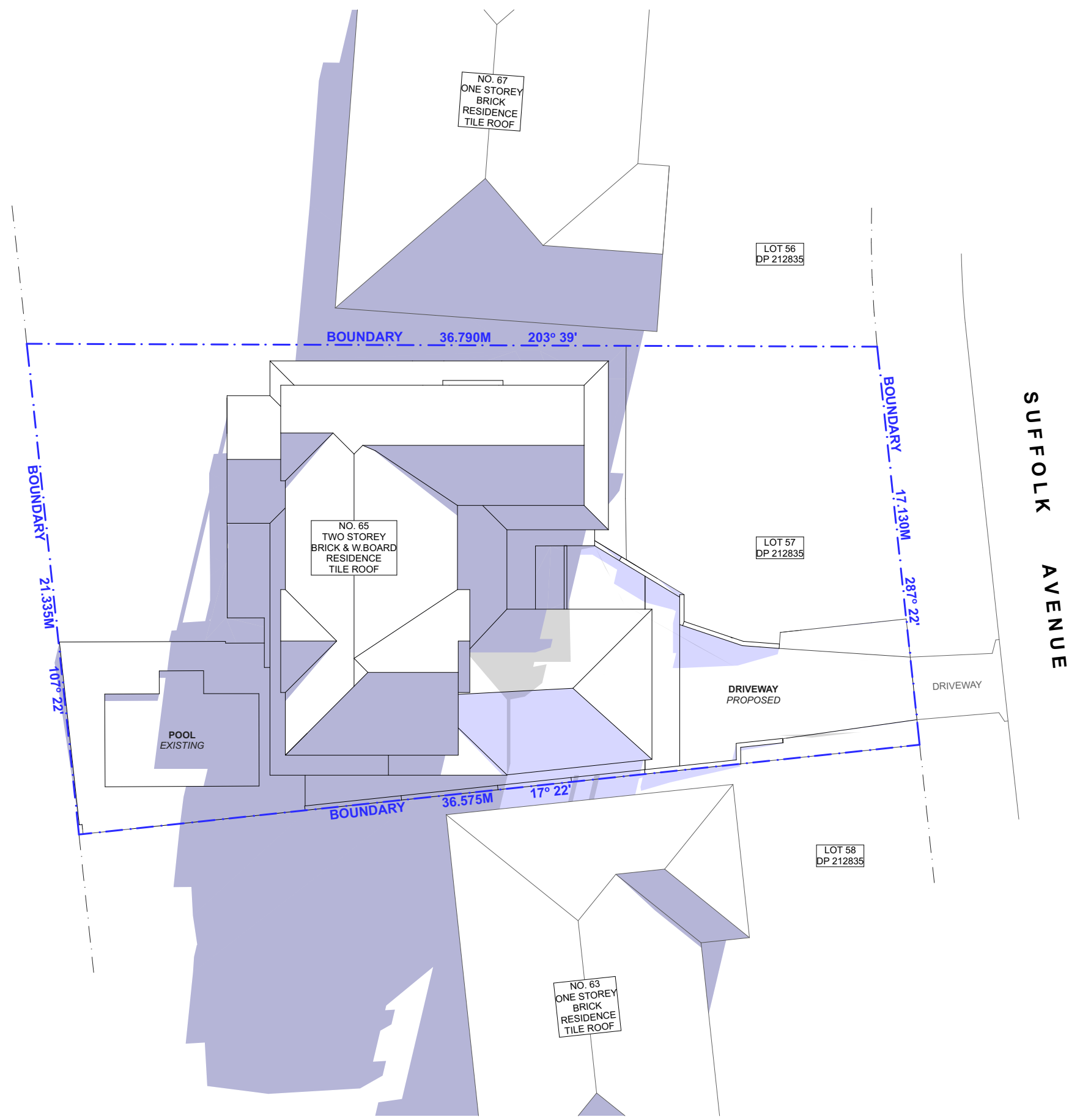
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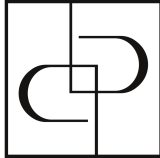
CLIENTS:
JAMES & JULIET ALGAR

SITE ADDRESS:
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COLLARROY, NSW, 2097

DRAWING TITLE: SHADOW DIAGRAMS - JUNE 21 - 12PM	
SCALE: 1:200 @A3	DATE: 4/8/20
PROJECT NO: 1010	DRAWING NO: DA16



1 SHADOW DIAGRAM - JUNE 21 - 3PM 1:200



PROGRESSIVE PLANS
BUILDING DESIGN

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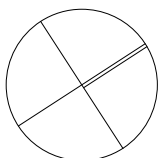
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LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

NORTH POINT



CLIENTS:
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DRAWING TITLE: SHADOW DIAGRAMS - JUNE 21 - 3PM	
SCALE: 1:200 @A3	DATE: 4/8/20
PROJECT NO: 1010	DRAWING NO: DA17