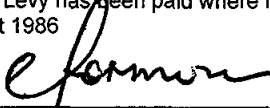
**COMPLYING DEVELOPMENT CERTIFICATE # 2010/002**

Approved 12/01/10

Issued in accordance with the provisions of the Environmental &amp; Assessment Act 1979 under Sections 85 &amp; 85A

Date Application Received	06/12/09	Certificate Lapse Date	12/01/15
Council	Pittwater	Relevant Planning Instrument	SEPP Exempt & Complying Development 2008
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa - BPB0124
Accreditation Body	Building Professionals Board		
<b>APPLICANT DETAILS</b>			
Name	Jayne Parums	Ph No	9986 0212
Address	10 Hollywood Road NEWPORT NSW 2106		
<b>OWNER DETAILS</b>			
Name	David Miller		
Address	17 York Street Glenbrook		
<b>DEVELOPMENT DETAILS</b>			
Subject Land	10 Hollywood Road NEWPORT NSW 2106	Lot No	11 DP 17825
Description of Development	Alterations and additions to the rear of the existing dwelling	Land Zoned	Res 2 (a)
Class of Building	1a 10a	Value of Work	\$48 000 00
<b>BUILDER DETAILS</b>			
Name	Byldan Enterprises Pty Ltd		
Address	34 Binburra Ave North Avalon 2107		
Contact Number	0414 954 550	License No	3256C
<b>APPROVED PLANS &amp; DOCUMENTS</b>			
Plans Prepared By	Anthony Sweeney		
Drawing Numbers	960-1 960 2	Dated	11/09
Engineer Details Prepared By	McKee & Associates Pty Ltd		
Drawing Numbers	S00 - S03	Dated	16/12/09
This Certificate is approved subject to the prescribed conditions listed under Clauses 133 136A 136D 149 & 154B of the Environmental Planning and Assessment Act Regulations 2000 This Certificate is approved subject to the attached conditions as contained in the SEPP Exempt and Complying 2008		Nos	3 37 - 3 45
<b>CERTIFICATION</b>			
I Craig Formosa as the certifying authority am satisfied that The requirements of the regulations referred to in s81A (5) have been complied with That is work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act and Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986			
Signed 		Date 12/01/10	

REC 273763  
13/1/10 \$30

### **Division 3 Conditions applying to complying development certificate under this code**

**Note** Complying development must comply with the requirements of the Act the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Part

**Note** A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must under section 94EC of the Act impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan

### **Subdivision 1 Conditions applying before works commence**

#### **3 37 Protection of adjoining areas**

(1) A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works

(a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or

(b) could cause damage to adjoining lands by falling objects, or

(c) involve the enclosure of a public place or part of a public place

(2), (3) (Repealed)

**Note** See the entry in the General Exempt Development Code for scaffolding hoardings and temporary construction site fences

#### **3 38 Toilet facilities**

(1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site

(2) Each toilet must

(a) be a standard flushing toilet connected to a public sewer, or

(b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or

(c) be a temporary chemical closet approved under the *Local Government Act 1993*

#### **3 39 Garbage receptacle**

(1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed

(2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers

#### **3 39A Notification to neighbours**

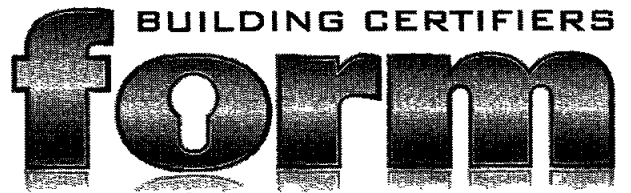
The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out

### **Subdivision 2 Conditions applying during the works**

**Note** The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise

#### **3 40 Hours of construction or demolition**

Construction or demolition may only be carried out between 7 00 am and 5 00 pm on Monday to Saturday and no construction or demolition is to be carried out at any time on a Sunday or a public



holiday

### **3 41 Compliance with plans**

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates

### **3 42 Sedimentation and erosion controls**

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped

### **3 43 Maintenance of site**

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held
- (2) Demolition materials and waste materials must be disposed of at a waste management facility
- (3) The work site must be left clear of waste and debris at the completion of the works

## **Subdivision 3 Construction requirements**

### **3 44 Staging construction**

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained

### **3 45 Utility services**

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out



INFORMATION REQUIRED FOR THE AUSTRALIAN BUREAU OF STATISTICS			
Please complete this table indicating the types of building materials to be used in association with this application			
FRAME	FLOOR	WALLS	ROOF
<input checked="" type="checkbox"/> Timber	<input checked="" type="checkbox"/> Concrete or Slate	Double Brick	Tiles
<input type="checkbox"/> Steel	<input type="checkbox"/> Timber	Brick Veneer	Concrete or Slate
<input type="checkbox"/> Aluminium	<input type="checkbox"/> Other	Concrete or Stone	Fibre Cement
<input type="checkbox"/> Other	<input type="checkbox"/> Not specified	<input checked="" type="checkbox"/> Fibre Cement	Steel
<input type="checkbox"/> Not specified		<input checked="" type="checkbox"/> Timber	Aluminium
		Curtain Glass	Other
		Steel	Not specified
		Aluminium	colour bond
Gross Floor Area of Proposed Development (m <sup>2</sup> ) 18		cladding	corrugated iron



Insurance services  
YOUR INSURANCE PARTNER



# Certificate of Insurance

Byldan Enterprises Pty Ltd  
34 Binburra Avenue  
AVALON VIC 3212  
Australia

Builder s Copy  
**Policy Number** RCW77603947  
**Date of Issue** 06/01/2010  
**Broker Payment Reference** 209827C  
**Builder s Job Number** Not Supplied

**Form 1**  
**Section 92**  
**Home Building Act 1989**

**CERTIFICATE IN RESPECT OF INSURANCE**

<b>Contract of Insurance Complies With</b>	Section 92
<b>Of The</b>	Home Building Act 1989
<b>Issued By</b>	Vero Insurance Limited ABN 48 005 297 807
<b>Building Contract Details</b>	
<b>Contract Date</b>	04/01/2010
<b>Declared Building Contract Value</b>	\$49,600 00 (Refer policy for indemnity limit)
<b>Carried out By</b>	Byldan Enterprises Pty Ltd
<b>Trading As</b>	
<b>ABN</b>	47 120 299 103
<b>Licence Number</b>	209827C
<b>For</b>	Jayne Parums
<b>In Respect Of</b>	Alterations and Additions
<b>At</b>	House Number 10 Hollywood Road NEWPORT NSW 2106
<b>Permit Authority</b>	Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary Please note when the Insurer has issued this certificate the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid This certificate is to be read in conjunction with the policy wording

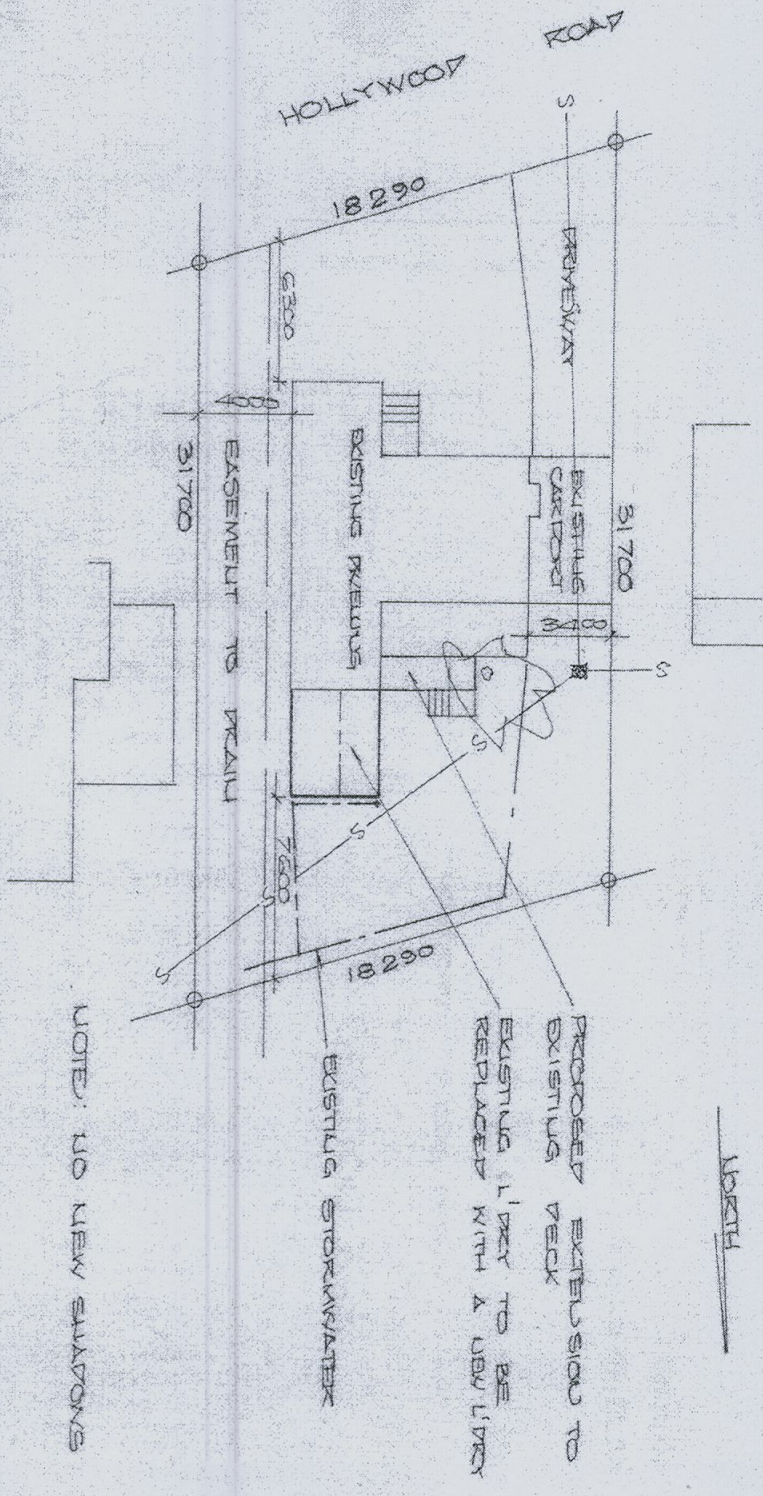
COI000676117 Generated 06/01/2010

Signed for and on behalf of the Insurer

B → D →

Insurer Vero Insurance Limited ABN 48 005 297 807  
Vero Warranty is a division of Vero Insurance Limited





NOTE: NO NEW SWIMMERS

# SITE ANALYSIS PLAN 1:200

Accredited Supplier to SYDNEY WATER  
**BUILDING PLAN APPROVED**  
**SUBJECT TO REQUIREMENTS**  
Ref No: 18290-10626 Date: 18/12/22

SITE ANALYSIS	
SITE AREA	958.72
EXISTING BUILT AREA	187.56
NEW EXTENSION	12.8

NOTE: DIMENSIONS TO BE CHECKED ON SITE.  
STORMWATER INTO EXISTING

ANTHONY SWEENEY

ARCHITECTURAL DESIGN & PLAN SERVICE

Phone: 9876 5432, 0407 017 075

PROPOSED EXTENSION

SITE: 10 HOLLYWOOD RD

LEX/FORT

FOR J. PARLINS

DRAWN: T. SWEENEY

1/200

15360-1



Dr David Miller  
17 York Street  
Glenbrook NSW 2773

6 12 2009

To Whom it may concern.

I Dr David Miller of 17 York St Glenbrook NSW 2773, give permission to my daughter Janna Parums to proceed with any process in the renovations of my property at 10 Hollywood Rd Newport 2106 I agree to the Complying Development Certificate being done by Building Certifiers Form Pty Ltd

If you have any other request please do not hesitate to contact myself on 02 473921009

Yours sincerely,

A handwritten signature in cursive script that reads "David C. Miller".

Dr David Miller



Application Lodgement Summary



**Reference Number** 2744884      **Date Requested** Mon December 7 2009  
**DOLFIN Number** D09/0-10626

**Agent** Reece Mona Vale, 10 Taronga Pl Mona Vale  
**Applicant** Dc Miller, 10 Hollywood Rd Newport 2106  
**Property/Asset** 10 Hollywood Rd, Newport 2106 (Dc Miller) PNum 3423660  
150 mm PE Sewer Main - (2810429)  
**Product** Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$25 95	\$0 00	\$25 95

Property Special Conditions

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property

**Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards**

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards



**SYDNEY WATER  
BUILDING PLAN APPROVED  
SUBJECT TO REQUIREMENTS**

Dolfin No D09/0-10626

Quick Check Ref No 2744884

e-Developer Case No

**Property Location**

Street No 10

Lot No 11

Street Name HOLLYWOOD AVENUE

Suburb NEWPORT

Building/Structure Description ALTERATIONS & ADDITIONS

Building Plan No TS960-1 Engineers Plan No 9912-S00-2

Proposed building/structure is **APPROVED** to construct **OVER/ADJACENT TO** a Sydney Water sewer/asset subject to the following requirements  
(NB Delete non applicable requirements)

- 1 The foundations/piers are to be founded below 1.1 zone of influence soil strata
- 2 No part of the building/structure or its foundations to be less than a minimum 0.6 metre horizontal distance from the centreline of the sewer
- ~~3 No part of the swimming pool or its foundations to be less than a minimum ..... metre, horizontal distance from the centreline of the sewer to the outer edge of the pool coping.~~
- ~~4 No part of the building/structure or swimming pool coping to be less than 1 m horizontal distance from outside edge of maintenance hole rim / maintenance shaft rim / lamphole rim / vertical rim / bedding point or edge of vent shaft.~~
- ~~5 No piling of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of pile.~~
- 6 Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water
- 7 All foundations/piers are to be founded to below the zone of influence or to solid rock
- ~~8 Indemnity letter to be signed by owners of property and returned to Water Servicing Coordinator prior to issue of building plan approval.~~
- ~~9 Concrete encase approximately ..... metres of sewer. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.~~
- ~~10 Concrete encasement must extend a minimum of 600 mm past the external walls of the building/structure.~~
- ~~11 Minimum of ..... mm vertical clearance between top of concrete encasement to underside of concrete slab.~~
- ~~12 Minimum of ..... mm of compressible membrane between top of concrete encasement to underside of concrete slab.~~
- ~~13 Property connection point (junction) to be inserted under Minor Works Agreement.~~
- ~~14 All works are to be completed in accordance with Case No .....~~

SPECIAL REQUIREMENTS

Water Servicing Co-ordinator to inspect piers prior to Concrete Pour.

NOTE:

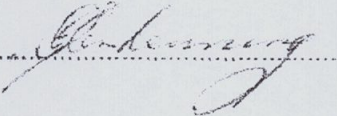
Above requirements must be inspected/supervised by an Accredited Supplier or Sydney Water to enable the issue of a satisfactory compliance letter.

Permits are required to fill all new swimming pools with a capacity greater than 10,000 litres. To arrange for a permit please contact Sydney Water on 13 20 92 during business hours. Fines will apply for filling swimming pools without a permit.

APPROVED BY

WSC Company Name: BYRNE & ASSOCIATES PTY LTD

Name of Key Personnel: D. GLENDENNING

Signature of Key Personnel: .....

Date: 18.12.09

7 December 2009

JAYNE PARUMS  
10 HOLLYWOOD RD  
NEWPORT NSW 2106

Building and Construction Industry  
Long Service Payments Corporation  
Level 1  
19 21 Watt Street  
Gosford NSW 2250  
Locked Bag 3000  
Central Coast MC NSW 2252  
Tel. 13 14 41  
Fax (02) 9287 5685  
Email. info@lspc.nsw.gov.au  
www.lspc.nsw.gov.au  
ABN 93 646 090 808

As per your request for a copy of your receipt no. 00076423 dated 6 December 2009, the following information is provided

Received from	(Name of person or organisation paying for levy)	the amount of
JAYNE PARUMS		\$168 00

Payment details	
Online	00579710194 \$168 00

being payment for Long Service Levy as detailed below

Levy Payment Form number	5002764
Council/Department/Authority	PITTWATER COUNCIL
C D C Number	17825
Work address	10 HOLLYWOOD RD NEWPORT NSW 2106
Estimated value of work	\$48,000 00
Levy payable (No exemption)	\$168 00
Total levy paid	\$168 00

Signed 

Date 7/12/09

ALTERATIONS AND ADDITIONS  
AT 10 HOLLYWOOD RD NEWPORT  
FOR A & J PARUMS

STRUCTURAL DRAWINGS

S01 /2 CONSTRUCTION NOTES  
S02 /2 PLANS  
S03 /2 DETAILS

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning and Assessment Act 1979

This is the planSpec referred to  
in Form Building Certifiers Certificate  
Certificate No. 2010/002  
Plan No. 2500-503  
12/01/10  
Craig F.A. Morse  
BPB0124

McKEE & ASSOCIATES PTY LTD STRUCTURAL ENGINEERS 56 Lincoln Ave Collaroy 2087 0419 733366 ACN 003 894 111		ALTERATIONS AND ADDITIONS AT 10 HOLLYWOOD RD NEWPORT FOR A & J PARUMS		
PLAN CERTIFICATION I am a Structural Engineer holding the qualification of Bachelor of Engineering (Structural) and I am approved to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian Industry Standards G McKee BE PEng		TITLE SHEET & CURRENT DRAWING LIST		
Created 29/11/09	Approved G McKee	Scale Project	Drawn GM	Size A3
Date of Rev 16/12/09	Purpose of Issue CONSTRUCTION	Project 9912	Dwg S00	Rev 2



CONSTRUCTION NOTES

GENERAL

- G1 This drawing shall be read in conjunction with all other working drawings and specifications and with such other written instructions as may be issued during the course of construction. All discrepancies and variations shall be referred to the Engineer before proceeding with the work.
- G2 All work shall be in accordance with the requirements of all relevant and current SAA Codes.
- G3 All dimensions relevant to setting out and off-site work shall be verified before construction and fabrication is commenced.
- G4 Dimensions shall not be obtained by scaling the structural drawings.
- G5 During construction the structure shall be maintained in a stable condition and no part of the structure shall be overstressed.
- G6 The structural elements shown on these drawings have been designed for the following superimposed loads  
2kPa

CONCRETE

- C1 All workmanship and materials shall be in accordance with current editions of AS3600 except as varied by contract documents.
- C2 Cement shall be Type "A" unless specified otherwise. Concrete components and quality shall be as follows:

Structural Element	F <sub>c</sub> MPa	Slump mm	Age at casting days	Density (kg/m <sup>3</sup> )
Footings, levelling strips	25	100	20	2400
Slab on ground	32	100	20	2400
Suspended slab	32	100	20	2400
Columns and walls	40	100	20	2400
- C3 Clear concrete cover to reinforcement unless shown otherwise shall be:

Element	Formed Not exposed	Formed exposed soil or rain	Poured against membrane
Slabs	30	40	30
Walls	30	40	n/a
Beams	40	50	n/a
Columns	40	50	n/a
Pedestals	50	50	n/a
Footings	50	65	40
Pool sprayed	50 back	60 water	-
Pool formed	-	50	-

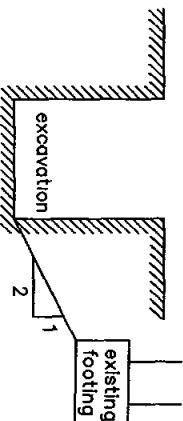
- C4 Construction joints shall be properly formed and used only where shown or specifically approved by the Engineer.
- C5 No holes chases or embedment of pipes other than those shown on the structural drawings shall be made without the written prior approval of the Engineer.
- C6 Splices in reinforcement shall be made only in the positions shown on the Structural drawings or as otherwise approved by the Engineer.
- C7 Lapped fabric splices shall be so made that the overlap measured between the outermost wires of each sheet of fabric is not less than the greater wire spacing plus 25mm.
- C8 Reinforcement is shown diagrammatically. It is not necessarily shown in true projection.

CONCRETE

- C9 All reinforcement shall be D500 to AS4671 UNO. Fabric shall be SL square RL rectangular to AS4671. Bars shall be D500N to AS 4671 UNO.
  - S shall mean Grade 250N (for pools)
  - N Grade D500N Deformed bar Normal ductilityExample of designation code for reinforcing bars - No. of bars in group - bar grade and type 17N20-350 nominal bar size in mm - spacing in mm UNO stands for unless noted otherwise. Welding of reinforcement shall be to AS1554.3.
- C10 Where transverse tie bars are not shown provide N12-400 Splice where necessary and lap with main bars for 400mm.
- C11 All concrete shall be placed and "cured" in accordance with AS3600. Where curing compound is used it must be applied (a) onto slabs within 2 hours of finishing the concrete surface (b) onto walls and columns immediately after removal of formwork.
- C12 Horizontal formwork shall be stripped when approved by the Engineer.
- C13 Slabs and beams shall bear only onto the beams, walls and other types of support as shown on the structural drawings. All other building elements shall be kept 15mm clear from soffits of structure.
- C14 During concrete placing the builder shall have on site rain protecting plastic sheeting and supports to keep it clear of wet concrete and also diaphanous clocheal sprays to prevent plastic cracking in hot or windy conditions.

FOUNDATIONS

- F1 Footings have been designed for a bearing pressure of 100 kilopascals. Foundation material shall be approved for this pressure before placing concrete in footings and piers.
- F2 Determine adjacent footing depth and do not excavate below a line of influence of 1 in 2 as shown.



BLOCKWORK

- B1 Blockwork shall be in accordance with AS3700.
- B2 Concrete in base shall be Grade 20.
- B3 Reinforcement symbol S requires bars as Note C9.
- B4 Construct retaining walls with double-U blocks.
- B5 Blocks shall be Grade 12 to AS4455.
- B6 Clean out openings shall be used in all cores and cleaned out before grout filling.
- B7 Use recessed blocks for horizontal bars.
- B8 Grout shall be Grade 20 with 10mm aggregate and 230 slump.
- B9 All cores shall be filled with grout.
- B10 All mortar shall be 1 part cement to 1 1/2 part lime and 4-1/2 parts sand (1 : 0.5 : 4.5).
- B11 Mortar dags and concrete fins shall be removed by rodding and cleaned out before grouting cores.
- B12 Where horizontal bars are specified in both faces they shall be in staggered courses.
- B13 Where vertical bars are shown lapped the bar may be in one length to suit double-U blocks in stack bond.

STRUCTURAL STEELWORK

- S1 All workmanship and materials shall be in accordance with AS4100 AS1554 AS3679 and AS1163 as applicable.
- S2 Unless otherwise noted all structural steel shall be Grade 300 (Grade 350 for hollow sections).
- S3 All bolts shall be high strength galvanised.
- S4 Provide 25 thick cement mortar pad under steelwork supported on masonry.
- S5 Steel shall be painted with primer unless noted.
- S6 Lintels and beams partly exposed to the weather shall be hot dip galvanised to AS4680 unless noted.
- S7 All welds shall be 6mm continuous fillet all round U N O.

MASONRY

- M1 Where slabs or beams bear on masonry the top course shall be level smooth and covered with two layers of three-ply midthold unless noted otherwise.
- M2 Masonry walls shall not be erected on suspended slabs or beams until all propping has been removed.
- M3 Bricks used in load bearing construction shall have a minimum compressive strength of 20 MPa unless otherwise noted.
- M4 All masonry shall comply with AS3700 and Australian Standards referenced within AS3700.
- M5 Masonry shall be articulated where required by AS2870 to satisfy footing design selections.
- M6 Provide expansion joints at 8m centres in straight runs of brickwork. Provide expansion joints within 4m of corners.

McKEE & ASSOCIATES PTY LTD

STRUCTURAL ENGINEERS

56 Lincoln Ave Collaroy 2097 0419 733366 ACN 003 894 111

PLAN CERTIFICATION  
I am a Structural Engineer holding the full licence of the Engineering (Structural) and I hereby certify that these plans and details comply with the provisions of the Building Code of Australia and/or relevant Australian Standards.  
Geoffrey McKee BE(Structural) PEng G McKee BE PEng

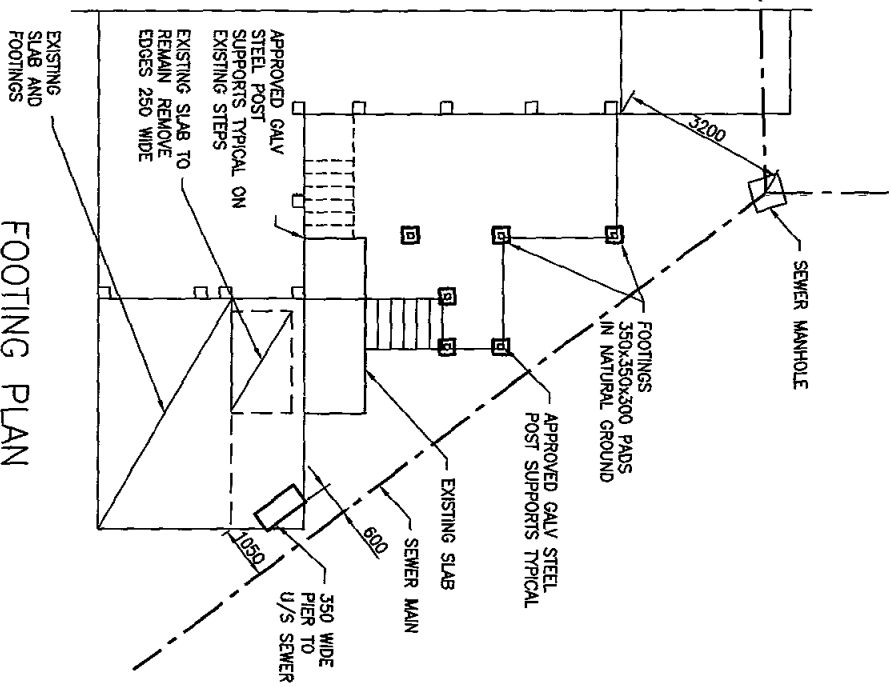
ALTERATIONS AND ADDITIONS  
AT 10 HOLLYWOOD RD NEWPORT  
FOR A & J PARUMS

CONSTRUCTION NOTES

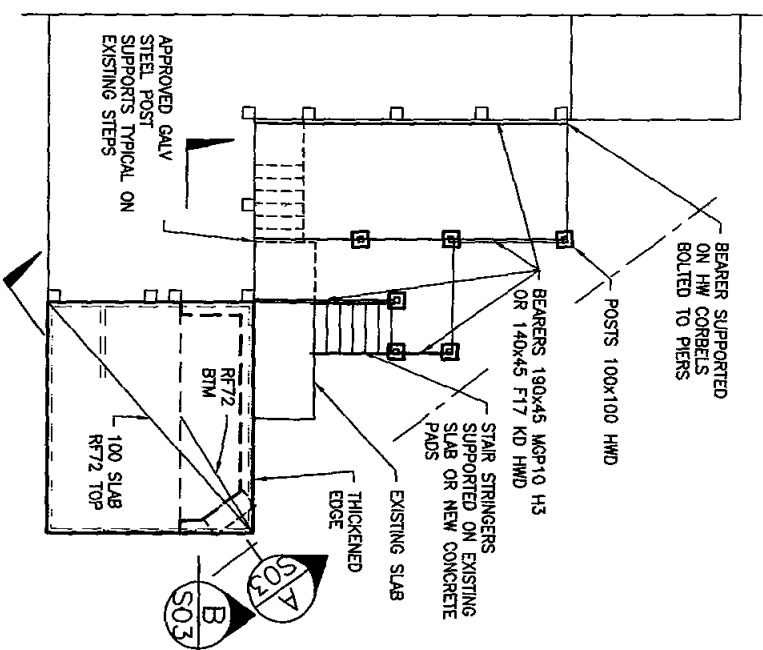
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Date of Rev	Purpose of issue	Project	Draw	Rev
16 12 09	CONSTRUCTION	9912	S01	2



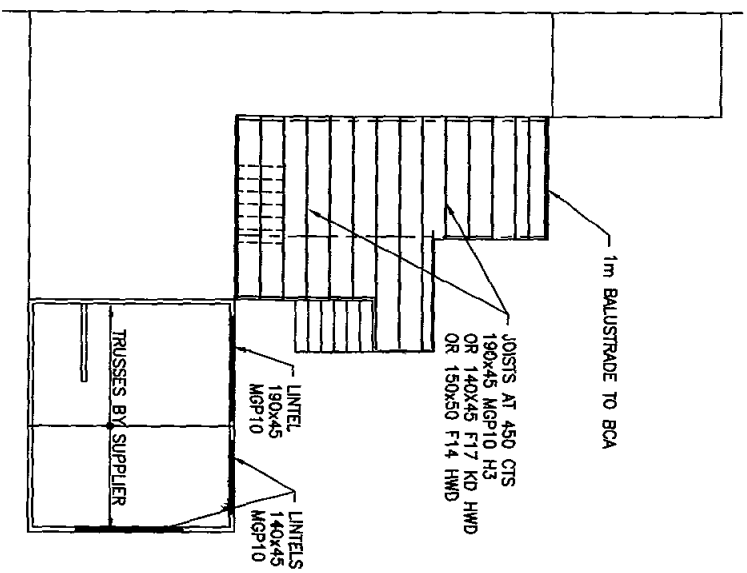
Created	Approved	Scale	Drawn	Size
29 11 09	G McKee	1 20	GM	A3
Date of Rev	Purpose of issue	Project	Dwg	Rev
16 12 09	CONSTRUCTION	9912	SN3	2



FOOTING PLAN



BEARER AND FLOOR SLAB PLAN



JOIST AND LINTEL PLAN

**McKEE & ASSOCIATES PTY LTD**  
**STRUCTURAL ENGINEERS**  
 56 Lincoln Ave Collaroy 2097 0419 733366 ACN 003 894 111

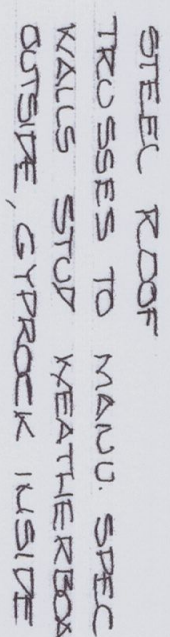
**PLAN CERTIFICATION**  
 I am a Structural Engineer holding the qualification of Bachelor of Engineering (Structural) and I am appropriately qualified to certify the structural components of this project.  
 I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian Standards.  
 Geoffrey McKee BE(Structural) Eng G McKee BE Eng

**ALTERATIONS AND ADDITIONS**  
**AT 10 HOLLYWOOD RD NEWPORT**  
**FOR A & J PARUMS**

**PLANS**

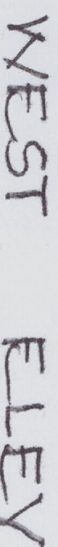
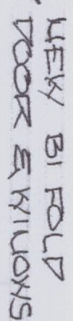
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29 11 09	G McKee	1 100	GM, MW	A3
Date of Rev	Purpose of issue	Project	Drw	Rev
16 12 09	CONSTRUCTION	9912	SO2	2



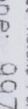


This is the plan/spec. referred to  
in Form Building Certifiers Certificate  
Certificate No. 20101002  
Plan No. 2  
12/01/10  
Craig Crumosa  
EPB0124

A



COMPANY  
**ANTHONY SWEENEY**  
ARCHITECTURAL DESIGN & PLAN SERVICE  
1/16-20 Victoria Parade, Ment, 2095.  
Phone: 9976 3613, 0407 017 075



# PROPOSED EXTENSION

STEE:  
10 HOLLAND RD  
LEAFPORT

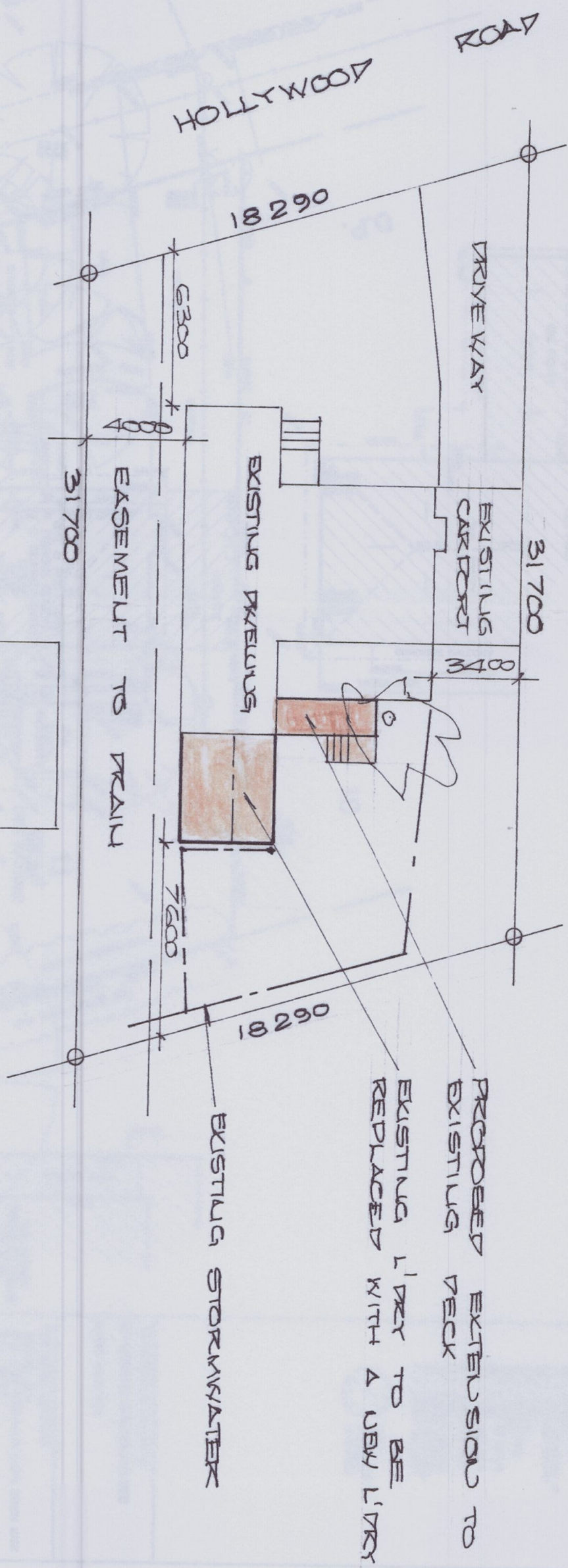
FOR J. PARUMS

DRAGON: T. SWEETLY 11/88 TS 960-2





NORTH



# SITE ANALYSIS PLAN 1:200

SITE ANALYSIS	
SITE AREA	555.2
EXISTING BUILT AREA	187.56
NEW EXTENSION	12.8

NOTE: DIMENSIONS TO BE CHECKED ON SITE. STORMWATER INTO EXISTING

NOTE: NO NEW SHADOWS

COMPANY:

**ANTHONY SWEENEY**

ARCHITECTURAL DESIGN & PLAN SERVICE

1/16-20 Victoria Parade, Melbourne, 2095

Phone: 9976 3613, 0407 017 075

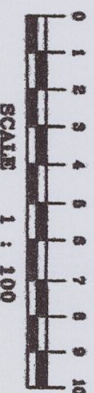
PROPOSED EXTENSION

SITE: 10 HOLLYWOOD RD

FOR J. PARLAMS

DRAWN: T. SWEENEY 11/09 TS960-1





- ONLY VISIBLE SERVICES HAVE BEEN LOCATED IN THIS SURVEY. THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF AVOIDING PLANNING.
- REQUIREMENTS HAVE NOT BEEN FORMED (TITLE DIVISIONS ONLY) - BODILY DIVISIONS IS SUBJECT TO FURTHER SURVEY.
- RELATIONSHIP OF MEASUREMENTS TO BOUNDARIES IS DETERMINED ONLY, WORK OFFERS AND CONTACT THEY SHOULD BE PROVIDED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY BOUNDARY LOCATION OR RETAIL, WITH REFERENCE TO BOUNDARIES IS INDICATIVE ONLY.
- UNDERGROUND SERVICES HAVE NOT BEEN LOCATED - PRIOR TO ANY EXCAVATIONS, SERVICE PROVIDERS SHOULD BE ADVISED OF THE FOLLOWING INFORMATION.
- CRITICAL 50/51 LEVELS SHOULD BE COMPARED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSES OF DESIGNING NEW CONSTRUCTION.
- TITLE SURVEY THAT LEFT IT IS AFFECTED BY AN EASEMENT TO BOUNDARY 2/55 WITH THE VARIOUS.
- CONSIDERATION OF THE SURVEYOR'S SURVEY AT SPOT LEVELS, SPOT, WITH THE SURVEYOR THE EXACT LEVEL AT ANY PARTICULAR POINT.
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY AS SHOWN.
- CONTINUED INTERVAL - 0.55 m/s/s - SPOT LEVELS SHOULD BE ADAPTED.
- DO NOT SCALE OFF THE PLAN / REQUIRED MEASUREMENTS TO BE TAKEN IN REFERENCE TO SCALED PLANNING.
- ALL DIMENSIONS TO BE CHECKED ON SITE.
- IF ACCURATE THE SURVEY IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.
- COPYRIGHT © ONE SURVEYORS DATA.

NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION OF THE COPYRIGHT OWNER. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS SURVEY IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.


ANY FURTHER BOUNDARY, ELECTRONIC STORAGE, DISPLAY, OR TRANSMISSION OF THIS SURVEY IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

NO LIABILITY IS ASSIGNED TO THE ORIGINAL SURVEY.

THIS SURVEY MUST NOT BE MISSED.

**TREE**  
 D=DIAMETER  
 H=HEIGHT  
 S=SPREAD

[illegible]

 **C.M.S. Surveyors**  
**Pty Limited**

L.G.A. PITWATER		SHEET 1 OF 1	
STARTED	FINISH	CHANGED	APPROVED
MC	CJR	MC	DT
SURVEY INFORMATION		SCALE	DATE
350A		1:100	23/10/00
DRAWN BY		CHECKED	
M. J. JONES		M. J. JONES	