



COMPLYING DEVELOPMENT CERTIFICATE # 2010/002

Approved 12/01/10

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 85 & 85A

Date Application Received	06/12/09	Certificate Lapse Date	12/01/15
Council	Pittwater	Relevant Planning Instrument	SEPP Exempt & Complying Development 2008
Certifying Authority	Craig Formosa	Accredited Certifier	Craig Formosa - BPB0124
Accreditation Body	Building Professionals Board		
APPLICANT DETAILS			
Name	Jayne Parums	Ph No	9986 0212
Address	10 Hollywood Road NEWPORT NSW 2106		
OWNER DETAILS			
Name	David Miller		
Address	17 York Street Glenbrook		
DEVELOPMENT DETAILS			
Subject Land	10 Hollywood Road NEWPORT NSW 2106	Lot No	11 DP 17825
Description of Development	Alterations and additions to the rear of the existing dwelling	Land Zoned	Res 2 (a)
Class of Building	1a 10a	Value of Work	\$48 000 00
BUILDER DETAILS			
Name	Byldan Enterprises Pty Ltd		
Address	34 Binburra Ave North Avalon 2107		
Contact Number	0414 954 550	License No	3256C
APPROVED PLANS & DOCUMENTS			
Plans Prepared By	Anthony Sweeney		
Drawing Numbers	960-1 960 2	Dated	11/09
Engineer Details Prepared By	McKee & Associates Pty Ltd		
Drawing Numbers	S00 - S03	Dated	16/12/09
This Certificate is approved subject to the prescribed conditions listed under Clauses 133 136A 136D 149 & 154B of the Environmental Planning and Assessment Act Regulations 2000		Nos	3 37 - 3 45
This Certificate is approved subject to the attached conditions as contained in the SEPP Exempt and Complying 2008			
CERTIFICATION			
<p>I Craig Formosa as the certifying authority am satisfied that</p> <p>The requirements of the regulations referred to in s81A (5) have been complied with That is work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act and</p> <p>Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986</p>			
Signed <i>C Formosa</i>		Date 12/01/10	

2010/002
13/1/10 \$30

Division 3 Conditions applying to complying development certificate under this code

Note Complying development must comply with the requirements of the Act the *Environmental Planning and Assessment Regulation 2000* and the conditions listed in this Part

Note A contributions plan setting out the contribution requirements towards the provision or improvement of public amenities or public services may specify that an accredited certifier must under section 94EC of the Act impose a condition on a complying development certificate requiring the payment of a monetary contribution in accordance with that plan

Subdivision 1 Conditions applying before works commence

3 37 Protection of adjoining areas

(1) A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works

(a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or

(b) could cause damage to adjoining lands by falling objects, or

(c) involve the enclosure of a public place or part of a public place

(2), (3) (Repealed)

Note See the entry in the General Exempt Development Code for scaffolding hoardings and temporary construction site fences

3 38 Toilet facilities

(1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site

(2) Each toilet must

(a) be a standard flushing toilet connected to a public sewer, or

(b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or

(c) be a temporary chemical closet approved under the *Local Government Act 1993*

3 39 Garbage receptacle

(1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed

(2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers

3 39A Notification to neighbours

The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out

Subdivision 2 Conditions applying during the works

Note The *Protection of the Environment Operations Act 1997* and the *Protection of the Environment Operations (Noise Control) Regulation 2008* contain provisions relating to noise

3 40 Hours of construction or demolition

Construction or demolition may only be carried out between 7 00 am and 5 00 pm on Monday to Saturday and no construction or demolition is to be carried out at any time on a Sunday or a public

holiday

3 41 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates

3 42 Sedimentation and erosion controls

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped

3 43 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held
- (2) Demolition materials and waste materials must be disposed of at a waste management facility
- (3) The work site must be left clear of waste and debris at the completion of the works

Subdivision 3 Construction requirements

3 44 Staging construction

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed
- (2) Any approval that is required for connection to the drainage system under the *Local Government Act 1993* must be held before the connection is carried out
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained

3 45 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out



INFORMATION REQUIRED FOR THE AUSTRALIAN BUREAU OF STATISTICS

Please complete this table indicating the types of building materials to be used in association with this application

FRAME	FLOOR	WALLS	ROOF
<input checked="" type="checkbox"/> Timber <input type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other <input type="checkbox"/> Not specified	<input checked="" type="checkbox"/> Concrete or Slate <input type="checkbox"/> Timber <input type="checkbox"/> Other <input type="checkbox"/> Not specified	<input type="checkbox"/> Double Brick <input type="checkbox"/> Brick Veneer <input type="checkbox"/> Concrete or Stone <input checked="" type="checkbox"/> Fibre Cement <input checked="" type="checkbox"/> Timber <input type="checkbox"/> Curtain Glass <input type="checkbox"/> Steel <input type="checkbox"/> Aluminium	<input type="checkbox"/> Tiles <input type="checkbox"/> Concrete or Slate <input type="checkbox"/> Fibre Cement <input type="checkbox"/> Steel <input type="checkbox"/> Aluminium <input type="checkbox"/> Other <input type="checkbox"/> Not specified <i>colour bond</i>
Gross Floor Area of Proposed Development (m ²)		<i>18</i>	<i>cladding</i>
			<i>corrugated iron</i>



Insurance services
YOUR INSURANCE PARTNER



Certificate of Insurance

Byldan Enterprises Pty Ltd
34 Binburra Avenue
AVALON VIC 3212
Australia

Builder's Copy

Policy Number RCW77603947
Date of Issue 06/01/2010
Broker Payment Reference 209827C
Builder's Job Number Not Supplied

**Form 1
Section 92
Home Building Act 1989**

CERTIFICATE IN RESPECT OF INSURANCE

Contract of Insurance Complies With Section 92
Of The Home Building Act 1989
Issued By Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date 04/01/2010
Declared Building Contract Value \$49,600.00
(Refer policy for indemnity limit)
Carried out By Byldan Enterprises Pty Ltd
Trading As
ABN 47 120 299 103
Licence Number 209827C
For Jayne Parums
In Respect Of Alterations and Additions
At House Number 10
Hollywood Road
NEWPORT NSW 2106
Permit Authority Pittwater Council

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the Insurer has issued this certificate the Insurer is not entitled to refuse to pay a claim or to cancel the insurance contract on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

COI000676117

Generated

06/01/2010

Signed for and on behalf of the Insurer

B → D →

Insurer Vero Insurance Limited ABN 48 005 297 807
Vero Warranty is a division of Vero Insurance Limited

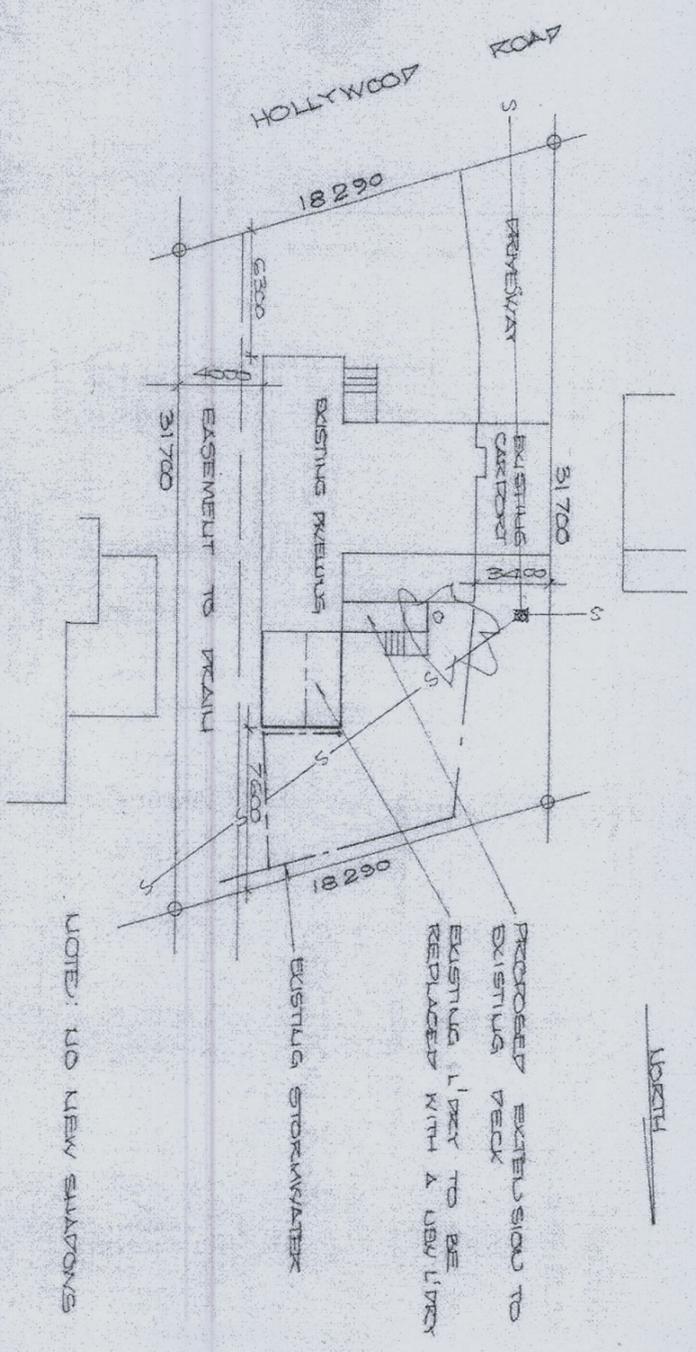
3 5 29 24293

Accredited Supplier to SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS
 Ref No: **182910-10026** Date: **18/12/09**

SITE ANALYSIS	
SITE AREA	959.72
EXISTING BUILT AREA	187.56
NEW EXTENSION	12.8

NOTE: DIMENSIONS TO BE CHECKED ON SITE. STORMWATER INTO EXISTING

SITE ANALYSIS PLAN 1:200



NOTE: NO NEW SWIMMINGS

ANTHONY SWENNEY
 ARCHITECTURAL DESIGN & PLAN SERVICE
 Phone: 9876 3613 Fax: 0407 017 076

PROPOSED EXTENSION
 SITE: 10 HOLLYWOOD RD
 LEX/FORT
 FOR J. PARLUMS

DRAWN: T. SWENNEY 1/9/15 5960-1

Dr David Miller
17 York Street
Glenbrook NSW 2773

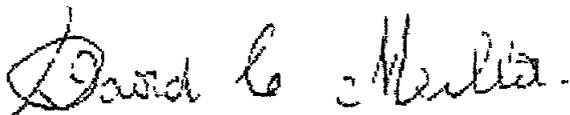
6 12 2009

To Whom it may concern.

I Dr David Miller of 17 York St Glenbrook NSW 2773, give permission to my daughter Janna Parums to proceed with any process in the renovations of my property at 10 Hollywood Rd Newport 2106 I agree to the Complying Development Certificate being done by Building Certifiers Form Pty Ltd

If you have any other request please do not hesitate to contact myself on 02 473921009

Yours sincerely,

A handwritten signature in cursive script that reads "David G. Miller".

Dr David Miller



Application Lodgement Summary



Reference Number 2744884 **Date Requested** Mon December 7 2009

DOLFIN Number D09/0-10626

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale

Applicant Dc Miller, 10 Hollywood Rd Newport 2106

Property/Asset 10 Hollywood Rd, Newport 2106 (Dc Miller) PNum 3423660
150 mm PE Sewer Main - (2810429)

Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$25 95	\$0 00	\$25 95

Property Special Conditions

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water's Plumbing Inspection and Assurance Services on Ph 1300 889 099 to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards

**SYDNEY WATER
BUILDING PLAN APPROVED
SUBJECT TO REQUIREMENTS**

Dolfin No D09/0-10626

Quick Check Ref No 2744884

e-Developer Case No

Property Location

Street No 10

Lot No 11

Street Name HOLLYWOOD AVENUE

Suburb NEWPORT

Building/Structure Description ALTERATIONS & ADDITIONS

Building Plan No TS960-1 Engineers Plan No 9912-S00-2

Proposed building/structure is **APPROVED** to construct **OVER/ADJACENT TO** a Sydney Water sewer/asset subject to the following requirements
(NB Delete non applicable requirements)

- 1 The foundations/piers are to be founded below 1 1 zone of influence soil strata
- 2 No part of the building/structure or its foundations to be less than a minimum 0.6 metre horizontal distance from the centreline of the sewer
- ~~3 No part of the swimming pool or its foundations to be less than a minimum metre, horizontal distance from the centreline of the sewer to the outer edge of the pool coping.~~
- ~~4 No part of the building/structure or swimming pool coping to be less than 1 m horizontal distance from outside edge of maintenance hole rim / maintenance shaft rim / lamphole rim / vertical rim / redding point or edge of vent shaft.~~
- ~~5 No piling of building/structure to be less than 2 m horizontal distance from centreline of maintenance hole to edge of pile.~~
- 6 Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water
- 7 All foundations/piers are to be founded to below the zone of influence or to solid rock
- ~~8 Indemnity letter to be signed by owners of property and returned to Water Servicing Coordinator prior to issue of building plan approval.~~
- ~~9 Concrete encase approximately metres of sewer. Concrete encasement to be carried out by an Accredited Constructor of Minor Works (Sewer) / Constructor and a Minor Works Agreement signed prior to commencement of works.~~
- ~~10 Concrete encasement must extend a minimum of 600 mm past the external walls of the building/structure.~~
- ~~11 Minimum of mm vertical clearance between top of concrete encasement to underside of concrete slab.~~
- ~~12 Minimum of mm of compressible membrane between top of concrete encasement to underside of concrete slab.~~
- ~~13 Property connection point (junction) to be inserted under Minor Works Agreement.~~
- ~~14 All works are to be completed in accordance with Case No~~

SPECIAL REQUIREMENTS

Water Servicing Co-ordinator to inspect piers prior to Concrete Pour.

NOTE:

Above requirements must be inspected/supervised by an Accredited Supplier or Sydney Water to enable the issue of a satisfactory compliance letter.

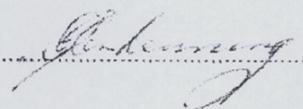
Permits are required to fill all new swimming pools with a capacity greater than 10,000 litres. To arrange for a permit please contact Sydney Water on 13 20 92 during business hours. Fines will apply for filling swimming pools without a permit.

APPROVED BY

WSC Company Name: BYRNE & ASSOCIATES PTY LTD

Name of Key Personnel: D. GLENNING

Signature of Key Personnel:



Date: 18.12.09

7 December 2009

Building and Construction Industry
Long Service Payments Corporation
Level 1
19 21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel. 13 14 41
Fax (02) 9287 5685
Email. info@lspc.nsw.gov.au
www.lspc.nsw.gov.au
ABN 93 646 090 808

JAYNE PARUMS
10 HOLLYWOOD RD
NEWPORT NSW 2106

As per your request for a copy of your receipt no. 00076423 dated 6 December 2009, the following information is provided

Received from (Name of person or organisation paying for levy)	the amount of
JAYNE PARUMS	\$168 00

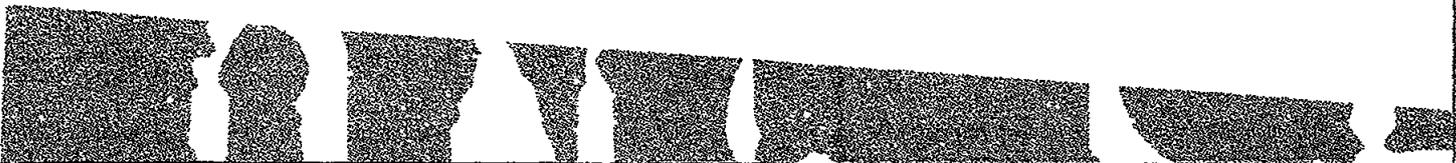
Payment details	
Online	00579710194 \$168 00

being payment for Long Service Levy as detailed below

Levy Payment Form number	5002764
Council/Department/Authority	PITTWATER COUNCIL
C D C Number	17825
Work address	10 HOLLYWOOD RD NEWPORT NSW 2106
Estimated value of work	\$48,000 00
Levy payable (No exemption)	\$168 00
Total levy paid	\$168 00

Signed 

Date 7/12/09



ALTERATIONS AND ADDITIONS AT 10 HOLLYWOOD RD NEWPORT FOR A & J PARUMS

STRUCTURAL DRAWINGS

S01 /2 CONSTRUCTION NOTES
S02 /2 PLANS
S03 /2 DETAILS

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning and Assessment Act 1979

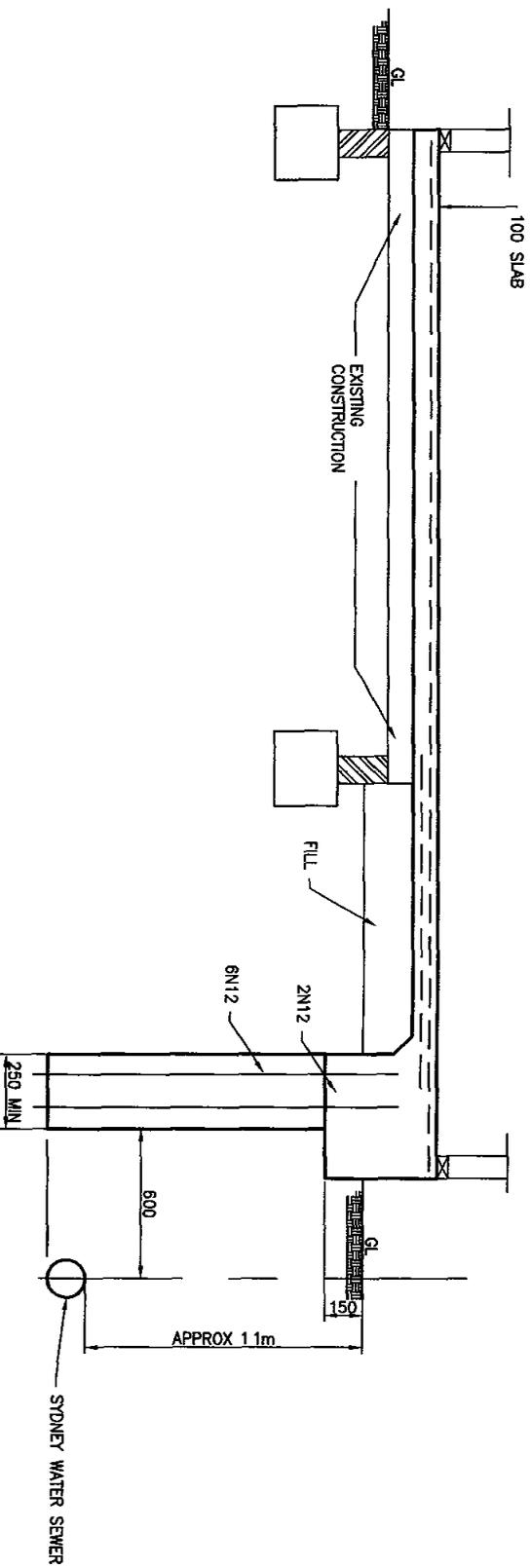
This is the plan/spec referred to
in Form Building Certifiers Certificate
Certificate No. 2010/002
Plan No. 500-503
Craig F. MOSE
12/01/10
BP90124

McKEE & ASSOCIATES PTY LTD
STRUCTURAL ENGINEERS
56 Lincoln Ave Collaroy 2087 0419 733366 ACN 003 894 111

PLAN CERTIFICATION
I am a Structural Engineer holding the qualification of Bachelor of Engineering (Structural) and I am approved to certify the structural components of this project.
I hereby state that these plans and details comply with the conditions of development consent the provisions of the Building Code of Australia and/or relevant Australian Industry Standards
G McKee BE PEng

ALTERATIONS AND ADDITIONS
AT 10 HOLLYWOOD RD NEWPORT
FOR A & J PARUMS

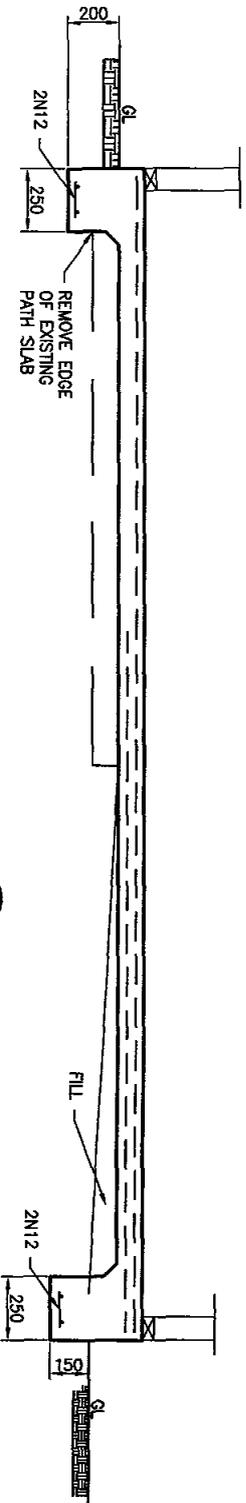
TITLE SHEET & CURRENT DRAWING LIST				
Created	Approved	Scale	Drawn	Size
29/11/09	G McKee		GM	A3
Date of Rev	Purpose of Issue	Project	Drwg	Rev
16/12/09	CONSTRUCTION	9912	S00	2



SECTION A



BUILDING NEAR SEWER DETAIL



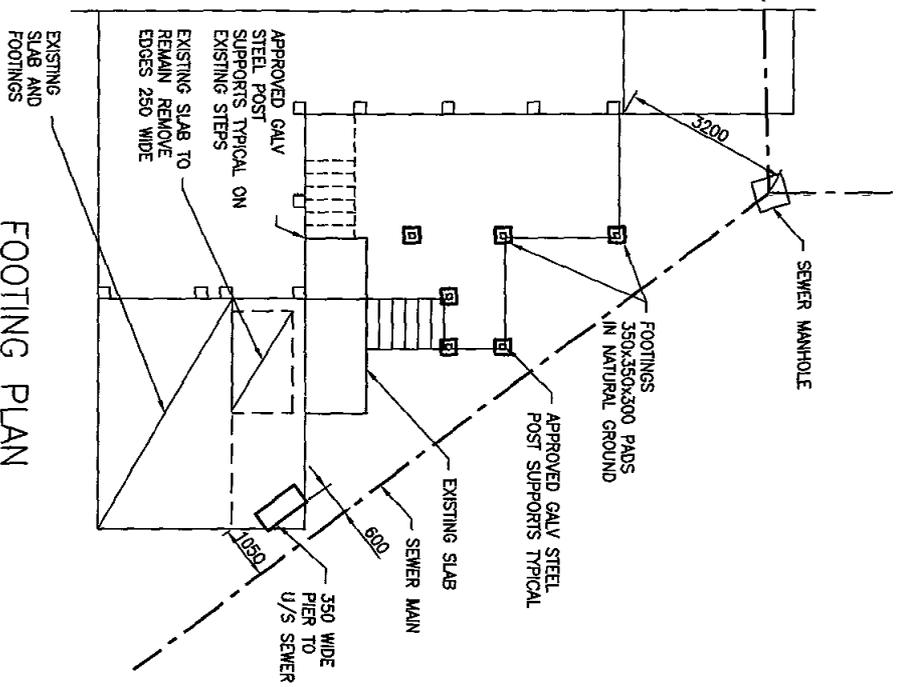
SECTION B



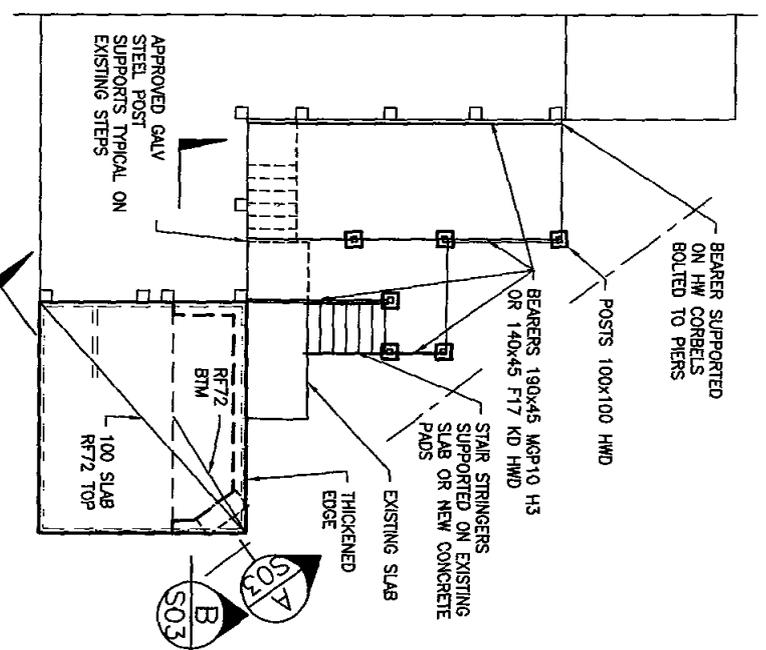
McKEE & ASSOCIATES PTY LTD
STRUCTURAL ENGINEERS
 56 Lincoln Ave Collaroy 2097 0419 733366 ACN 003 894 111

ALTERATIONS AND ADDITIONS
AT 10 HOLLYWOOD RD NEWPORT
FOR A & J PARUMS

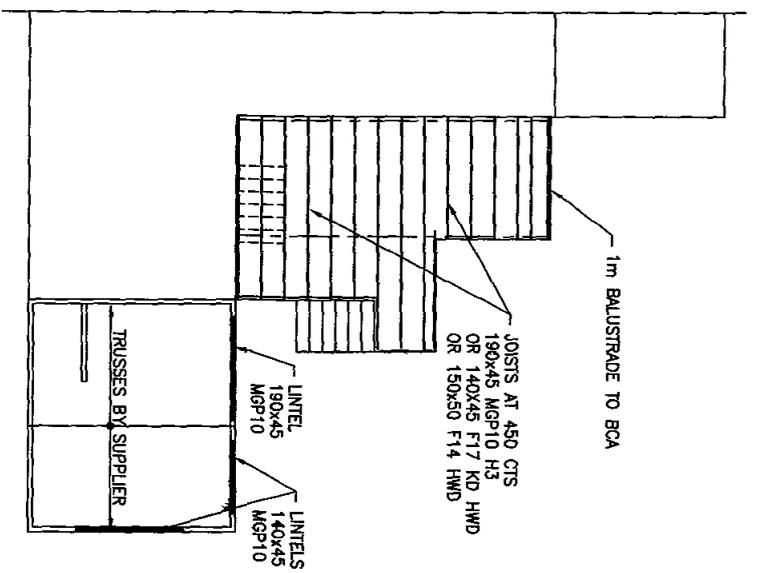
PLAN CERTIFICATION		Scale		Drawn	
I am a Structural Engineer hold a the qualification of Bachelor of Engineering (Structural) and I am appropriately qualified to certify the structural components of this project.		1 20		GM	
I hereby state that these pl. and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/Queensland standards.		Project 9912		Dwg S03	
Giffey McKee BE(Structural) Eng		Date of Rev 16-12-09		Size A3	
G McKee BE Peng		Purpose of issue CONSTRUCTION		Rev 2	



FOOTING PLAN



BEARER AND FLOOR SLAB PLAN



JOIST AND LINTEL PLAN

MCKEE & ASSOCIATES PTY LTD
STRUCTURAL ENGINEERS
 56 Lincoln Ave Collaroy 2097 0419 733366 ACN 003 894 111

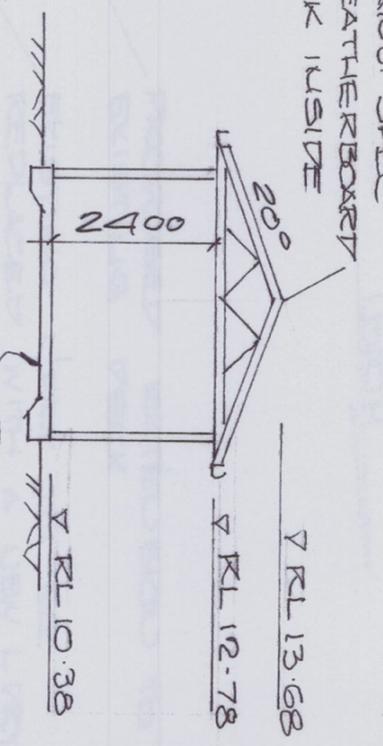
ALTERATIONS AND ADDITIONS
AT 10 HOLLYWOOD RD NEWPORT
FOR A & J PARUMS

PLAN CERTIFICATION
 I am a Structural Engineer holding the qualification of Bachelor of E. g. engng (Structural) and I am appropriately qualified to certify the structural components of this project. I hereby state that these plans and details comply with the conditions of development consent, the provisions of the Building Code of Australia and/or relevant Australian/ state / Standards.
 Geoffrey McKee BE(Structural) PEng G McKee BE PEng

Created		Approved		Scale		Drawn	
29 11 09		G McKee		1 100		GM, MW	
Date of Rev		Purpose of issue		Project		Dwg	
16 12 09		CONSTRUCTION		9912		SO2	
						Size	
						A3	
						Rev	
						2	

STEEL ROOF TRUSSES TO MAUW. SPEC KAILS STUD WEATHERBOARD OUTSIDE, GYPROCK INSIDE

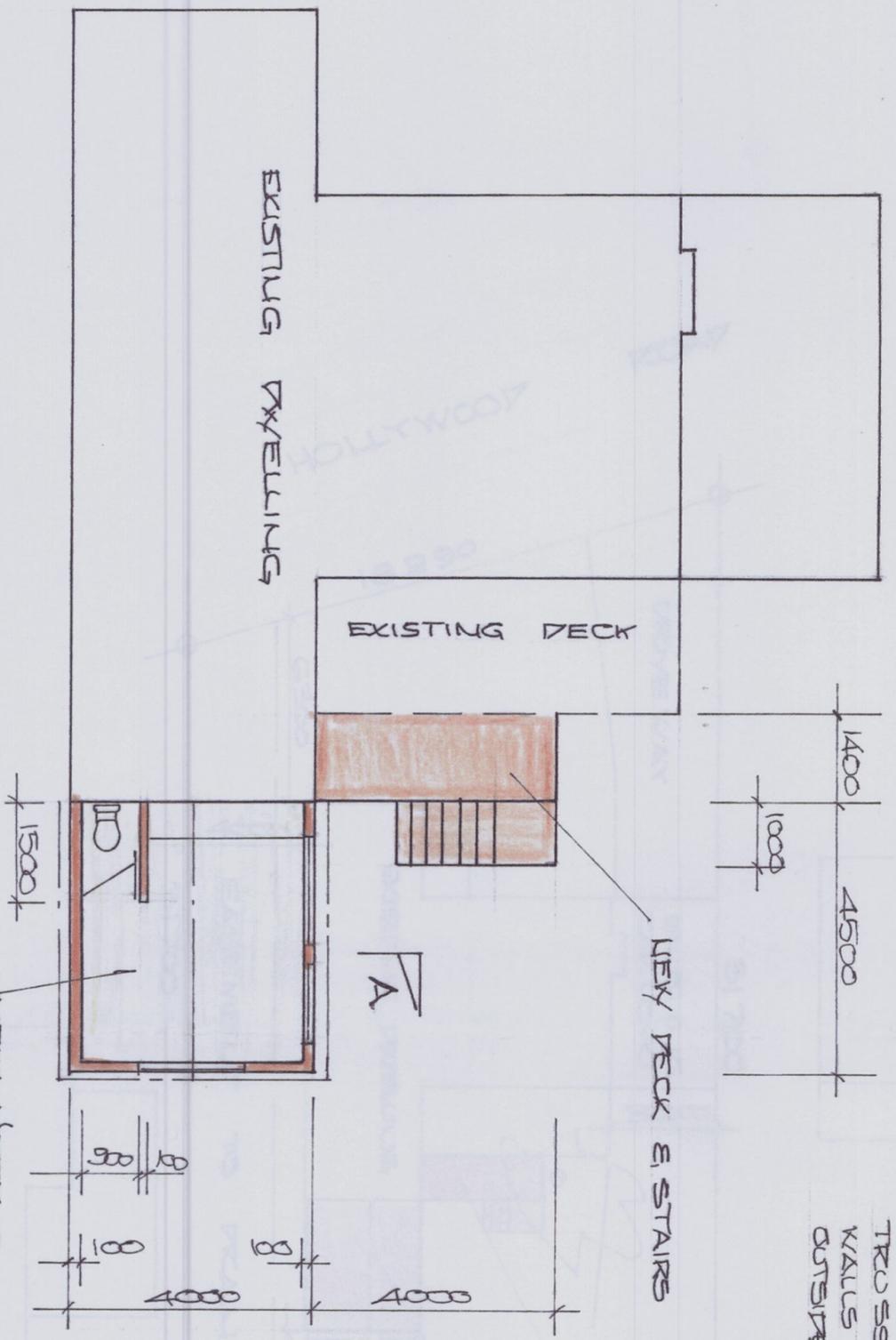
CONCRETE TO EUG. DETAIL



SECTION A-A

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(S) of the Environment Planning and Assessment Act 1979

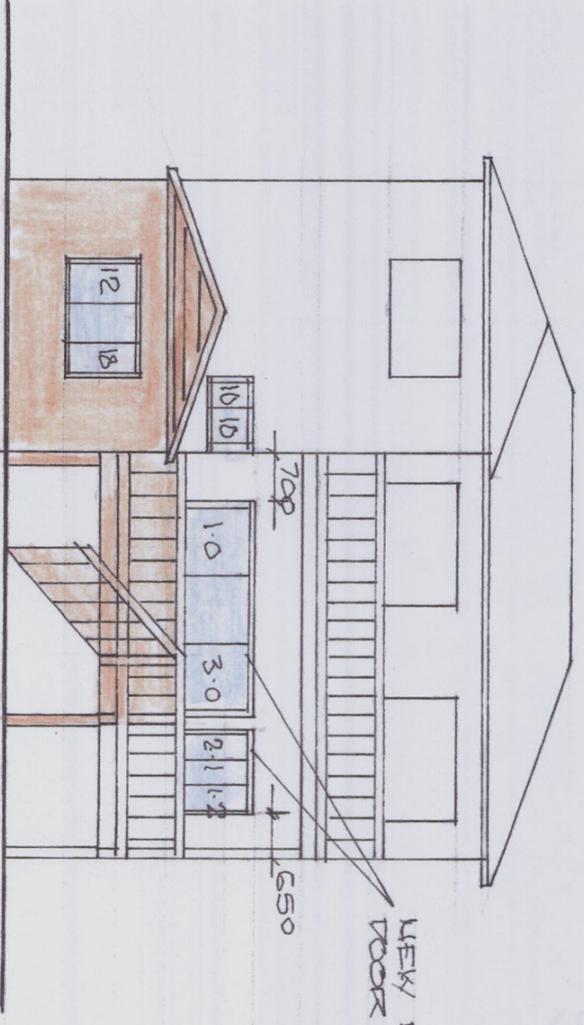
This is the plan/spec. referred to in Form Building Certifiers Certificate
 Certificate No. 2010/002
 Plan 2/1-2
 12/01/10
 DP80124
 Craig McCormick



FLOOR PLAN 1:100

A

NEW L'VRY & STORE ROOM



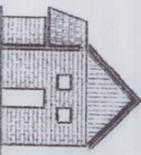
NORTH ELEV

NEW BI FOLD DOOR & WINDOWS



WEST ELEV

COMPANY:
ANTHONY SWEENEY
 ARCHITECTURAL DESIGN & PLAN SERVICE
 1/18-20 Victoria Parade, Morn., 2095.
 Phone: 9976 3613, 0407 017 075



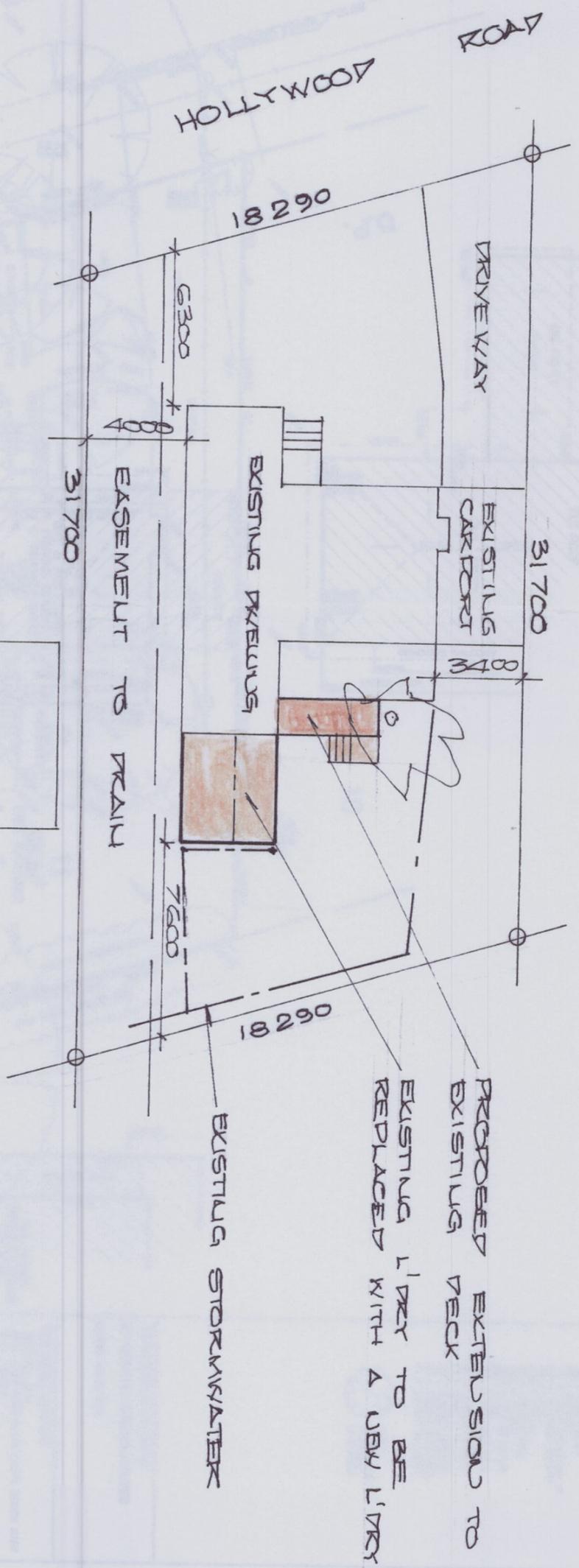
PROPOSED EXTENSION

SITE: 10 HOLLYWOOD RD
 NEX/PORT

FOR J. PARUMS

DRAWN: T. SWEENEY 1/04 TS960-2

NORTH



SITE ANALYSIS PLAN 1:200

SITE ANALYSIS	
SITE AREA	555.2
EXISTING BUILT AREA	187.56
NEW EXTENSION	12.8

NOTE: DIMENSIONS TO BE CHECKED ON SITE. STORMWATER INTO EXISTING

NOTE: NO NEW SHEDDONS

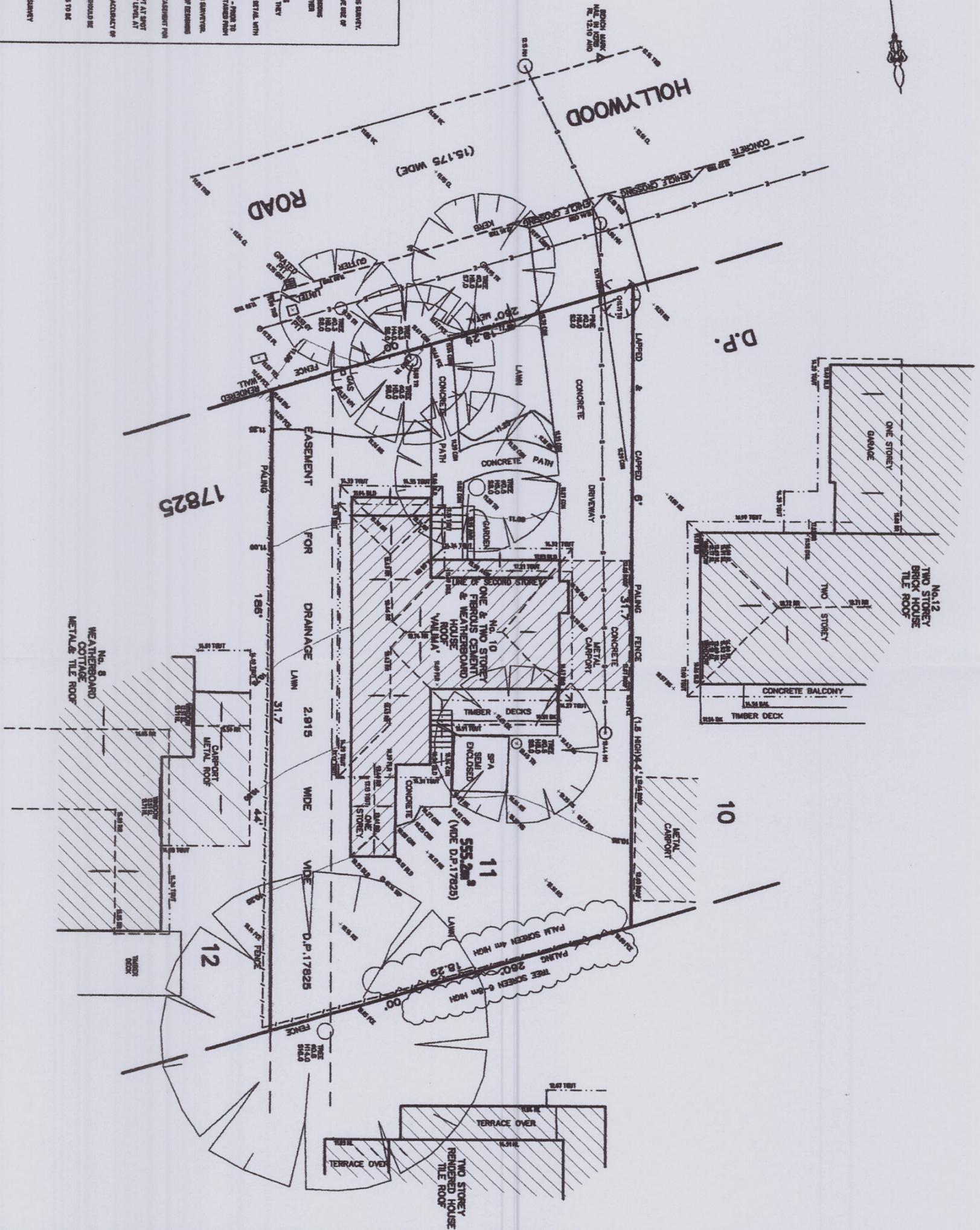
COMPANY:
ANTHONY SWEENEY
 ARCHITECTURAL DESIGN & PLAN SERVICE
 1/16-20 Victoria Parade, Melb, 2095
 Phone: 9976 3613, 0407 017 075

PROPOSED EXTENSION

SITE: 10 HOLLYWOOD RD
 NEWPORT

FOR J. PARUMS

DRAWN: T. SWEENEY 1/09 TS960-1

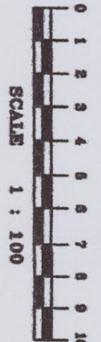


Notes:

- THESE COSTS ARE ESTIMATES ONLY
- ONLY VISUAL SERVICES HAVE BEEN LOCATED BY THIS SURVEY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT.
- BOUNDARIES HAVE NOT BEEN DETERMINED (TITLE PRECEDENCE ONLY) - BOUNDARY DETERMINATION IS SUBJECT TO FURTHER SURVEY.
- RELIANCE ON INFORMATION FROM BOUNDARIES IS AT THE CLIENT'S RISK AND THE SURVEYOR ACCEPTS NO LIABILITY IN RESPECT TO BOUNDARIES IS INDICATED ONLY.
- EXCEPT WHERE SHOWN BY OTHERWISE LOCATION OF DETAILS WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- UNDERGROUND SERVICES HAVE NOT BEEN LOCATED - FROM TO ANY EXCAVATION, SERVICE PROVIDERS SHOULD BE OBTAINED FROM THE RELEVANT AUTHORITIES.
- CENTRAL SPOT LEVELS SHOULD BE COMPARED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING AND CONSTRUCTION.
- TITLE BOUNDARIES THAT ARE AFFECTED BY AN EASEMENT FOR DRAINAGE ARE NOT SHOWN.
- CONTROLS SHOWN ON THE TOPOGRAPHY SHEET AT SPOT LEVELS SHOWN, THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.
- THE REPRESENTATION IS ONLY TO BE USED AT A SCALE ACCORDANT TO THE PLAN.
- CONTOUR INTERVAL - 0.5m - SPOT LEVELS SHOULD BE ADAPTED.
- DO NOT SCALE OFF THIS PLAN / REQUIRED PRECISION TO BE TAKEN IN PRESENT TO SCALED DRAWINGS.
- ALL DIMENSIONS TO BE CHECKED ON SITE.
- IF ACCURATE TRUE NORTH IS REQUIRED A FURTHER SURVEY WOULD BE NECESSARY.
- COPYRIGHT © THE SURVEYORS 2011.

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NOTES

- T10 = TOP OF ASB
- C1 = CENTRELINE
- CON = CONCRETE
- FCE = FENCE
- FL = POWER POLE
- FT = FLOOR TILE
- WH = WATER
- MH = MANHOLE
- SI = SINKER INSPECTION PIT
- BLD = EXTERNAL BUILDING
- GA = GARAGE
- CP = CARPORT ROOF
- AW = AWNING
- RDIT = TOP OF QUILTER
- RI = ROOF RILL LEVEL
- FL = FLOOR LEVEL
- BL = BOTTOM OF WALL
- TR = TREE SURFACE
- WC = WHOLE CROSSING
- WC = WINDOW HOOD LEVEL
- SL = WINDOW SILL LEVEL



HORIZONTAL DATUM:
 CO-ORDINATE SYSTEM ASSUMED
 MARKS ADOPTED:

VERTICAL DATUM:
 DATUM: AND
 B.M. ADOPTED: WATER BOARD BENCH MARK
 R.L. 12.890
 SOURCE: STONEY WATER CORPORATION

NO.	DESCRIPTION	DATE
A	FIRST ISSUE	28/10/08
B	DETAIL UPDATED	22/04/09

CLIENT:
 JAYNE PARLINS
 10 HOLLYWOOD ROAD
 NEWPORT NSW 2106

ELAN
 SHOWING DETAIL & LEVELS
 OVER LOT 11 IN D.P.17825
 No. 10 HOLLYWOOD ROAD,
 NEWPORT NSW

C.M.S. Surveyors
 Pty Limited

ACN: 095 240 201
 PO Box 449 The Bay
 New South Wales
 2216
 Telephone: (02) 8771 4922 Facsimile: (02) 8771 4422
 E-mail: cms@cmsurveyors.com.au

NO.	DESCRIPTION	DATE
1	ISSUED	23/10/08
2	REVISED	01
3	DATE	23/10/08