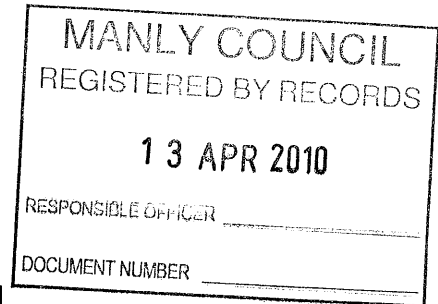


M c K E N Z I E
GROUP CONSULTING



TRANSMITTAL FORM

To:	Manly Council	Project No:	04763
Address:	PO Box 82, Manly NSW 2095		
Attention:	Customer Service	Date:	9 April 2010
Project:	30-42 The Corso, Manly		
From:	Vanessa Hinge		
Method of Delivery:	<input checked="" type="checkbox"/> Mail <input type="checkbox"/> Courier <input type="checkbox"/> By Hand <input type="checkbox"/> Collected		
Subject:	Construction Certificate No. 10/3211-1		

Dear Sir or Madam:

Please find enclosed one (1) copy of the Construction Certificate No. 10/3211-1 and it's attachment in accordance with Clause 151 (2) of the Environmental Planning & Assessment Regulation 2000, issued for the above project together with a cheque of \$30.00 being the lodgement fee.

Plans and specifications approved

- Drawings prepared by Gray Pucksand, numbered: A001/1, A002/1.

Attachments

1. Fire safety schedule.
2. Application form for Construction Certificate.
3. Record of Site Inspection made by Accredited Certifier in accordance with Clause 143B (EP&A Regulations 2000) prior to issue of Construction Certificate.
4. BCA Design Statement prepared by Coles Group Limited C/- Gray Pucksand, dated 6 April 2010.
5. Receipt of Payment for Long Service Levy from Manly Council.
6. Design Certification in accordance with Structural Works and Structural Construction Notes prepared by Wellstructured, dated 23 December 2009.
7. Waste Management Plan
8. Mechanical Ventilation Certificate prepared by Brian Bedford, dated 31 March 2010.
9. Sediment Control Site Plan
10. Letter of Certification in accordance with existing awning structure prepared by RHM Consultants, dated 12 May 2008.

BUILDING REGULATIONS CONSULTANTS
Level 6 / 189 Kent Street Sydney New South Wales 2000
Telephone 02 8298 6800 Facsimile 02 8298 6899 email@mckenzie-group.com.au
www.mckenzie-group.com.au

Offices in Melbourne and Brisbane

\$30.00
R/W 684796
125 13/4/2012

11. Compliance with DA 329/09 prepared by Gray Puksand, dated 6 April 2010.
12. Drawings numbered: 3640-02, 3640-02, 3640-03, 3640-04, 3640-05, 3640-10, 3640-18, 3640-83, LBAO4.4, LBB5.17.
13. Specification and Schedule of Works prepared by Gray Puksand.

Please provide a receipt upon completion of payment process and **note our reference**.

If you require further information please contact me on (02) 8298 6800.

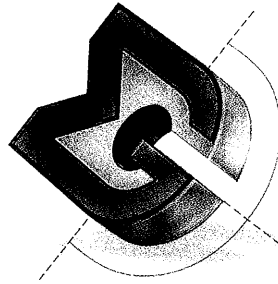
Regards,

T. Williams

Per
Vanessa Hinge
Assistant Building Surveyor
McKenzie Group Consulting (NSW) Pty Ltd
ACN 093 211 995

Copy To:	Attention:	Address:
Coles Group Limited C/- Grays Puksand	Ian Hayes	Level 5, 8 Spring Street, Sydney NSW 2000





MCKENZIE
GROUP CONSULTING

CONSTRUCTION CERTIFICATE No. 10/3211-1

Issued under the Environmental Planning and Assessment Act 1979 Sections 109C(1)(b), 81A(2) and 81A(4)

Owner

Name: Coles Group Limited C/- Gray Pucksand
Address: Level 5, 8 Spring Street, Sydney NSW 2000

Property details

Address: 38-42 The Corso, Manly
Lot/Portion No: 10
DP No: 74775
Municipality: Manly City Council

Description and value of development

Description: Fitout of Retail Premises
Value of work: \$250,000

Building Code of Australia building classification

Use: Commercial – Retail
BCA classification: 6

Determination

Approved/Refused: Approved
Date of Determination: 9 April 2010

Plans and specifications approved

- Drawings prepared by Gray Pucksand, numbered: A001/1, A002/1.

Attachments

1. Fire safety schedule.
2. Application form for Construction Certificate.
3. Record of Site Inspection made by Accredited Certifier in accordance with Clause 143B (EP&A Regulations 2000) prior to issue of Construction Certificate.
4. BCA Design Statement prepared by Coles Group Limited C/- Gray Pucksand, dated 6 April 2010.
5. Receipt of Payment for Long Service Levy from Manly Council.
6. Design Certification in accordance with Structural Works and Structural Construction Notes prepared by Wellstructured, dated 23 December 2009.
7. Waste Management Plan
8. Mechanical Ventilation Certificate prepared by Brian Bedford, dated 31 March 2010.
9. Sediment Control Site Plan

BUILDING REGULATIONS CONSULTANTS

Level 6 / 189 Kent Street Sydney New South Wales 2000
Telephone 02 8298 6800 Facsimile 02 8298 6899 email@mckenzie-group.com.au
www.mckenzie-group.com.au

Offices in Melbourne and Brisbane


10. Letter of Certification in accordance with existing awning structure prepared by RHM Consultants, dated 12 May 2008.
11. Compliance with DA 329/09 prepared by Gray Puksand, dated 6 April 2010.
12. Drawings numbered: 3640-02, 3640-02, 3640-03, 3640-04, 3640-05, 3640-10, 3640-18, 3640-83, LBAO4.4, LBB5.17.
13. Specification and Schedule of Works prepared by Gray Puksand.

Development Consent

Certificate no.: 329/09
Date of Determination: 21 December 2009

Certificate / Certifying Authority

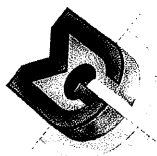
I Mike Gooley certify that the work, if completed in accordance with these plans and specifications will comply with the Environmental Planning and Assessment Regulation 2000 as referred to in Section 81A(5) of the Environmental Planning and Assessment Act 1979.

Signature

Mike Gooley
Accredited Certifier Grade 1
BPB Registration No. 0143
McKenzie Group Consulting (NSW) Pty Ltd
ACN 093 211 995

Date of endorsement **9 April 2010**
Certificate Number **10/3211-1**

Note: Prior to commencement of work sections 81A(2)(b), 81A(2)(c), 81A(4)(b) and 81A(4)(c) of the Environmental Planning and Assessment Act 1979 must be satisfied.



ATTACHMENT 1**Existing Fire Safety Schedule**

(Pursuant to Clause 168 of the Environmental Planning and Assessment Regulation 2000)

	Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval
1.	Emergency Lighting	BCA Clause E4.2, E4.4 & AS/NZS 2293.1 – 1998
2.	Exit Signs	BCA Clauses E4.5, E4.6 & E4.8 and AS/NZS 2293.1 – 1998
3.	Fire Dampers	BCA Clause C3.15, AS 1668.1 – 1998 & AS 1682.1 & 2 – 1990
4.	Fire Seals	BCA Clause C3.15 & AS 1530.4 – 1997
5.	Mechanical Air Handling System	BCA Clause E2.2, AS/NZS 1668.1 – 1998 & AS 1668.2 – 1991
6.	Portable Fire Extinguishers	BCA Clause E1.6 & AS 2444 – 2001
7.	Smoke and/or Heat Alarm System	BCA Spec. E2.2a & AS 3786 – 1993

Proposed Fire Safety Schedule

(Pursuant to Clause 168 of the Environmental Planning and Assessment Regulation 2000)

	Items to be inspected or tested as nominated by the relevant authority	Deemed to satisfy installation standard/code/conditions of approval
8.	Emergency Lighting	BCA Clause E4.2, E4.4 & AS/NZS 2293.1 – 1998
9.	Exit Signs	BCA Clauses E4.5, E4.6 & E4.8 and AS/NZS 2293.1 – 1998
10.	Fire Dampers	BCA Clause C3.15, AS 1668.1 – 1998 & AS 1682.1 & 2 – 1990
11.	Fire Seals	BCA Clause C3.15 & AS 1530.4 – 1997
12.	Mechanical Air Handling System	BCA Clause E2.2, AS/NZS 1668.1 – 1998 & AS 1668.2 – 1991
13.	Portable Fire Extinguishers	BCA Clause E1.6 & AS 2444 – 2001
14.	Smoke and/or Heat Alarm System	BCA Spec. E2.2a & AS 3786 – 1993





MCKENZIE
GROUP CONSULTING

APPLICATION FORM / APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY / NOTICE OF COMMENCEMENT

Environmental Planning and Assessment Act 1979 Sections 81A(b1)(i), 81A (2), 81A (4), 86(1), 86(2) and 109C (1) (b)

I/We the undersigned hereby make application to McKenzie Group Consulting (NSW) Pty Ltd for:


- Construction Certificate
 Complying Development Certificate
 Occupation Certificate:
 To appoint Mike Gooley from McKenzie Group Consulting (NSW) Pty Ltd as the Principal Certifying Authority for the project.

Applicant	Name: <u>COLES GROUP LIMITED C/- GRAY PUKSAND</u> Address: <u>LEVEL 5, 8 SPRING STREET</u> <u>SYDNEY NSW 2000</u> Tel: <u>02 9247 9422</u> Fax: <u>02 9247 9433</u> Note: The applicant must be the property owner or a person authorized by the owner to lodge the application. However a building contractor cannot be the applicant unless they are the owner of the property.
Owner of building (if not Applicant)	Name: _____ Address: <u>REFER</u> <u>ATTACHED</u> Tel: _____ Fax: _____
Consent of all owner(s) (Signatures)	I/We consent to this application <u>REFER ATTACHMENT.</u> _____ Name: _____ Signature
Subject land	Address: <u>38-42 THE CORSO</u> <u>MANLY NSW 2095</u> Lot/Portion: <u>10 (PART OF)</u> Section: _____ DP No.: <u>74775</u> Municipality: <u>MANLY</u>
Description of development <input checked="" type="checkbox"/> Building work	Description: <u>FITOUT OF EXISTING</u> <u>RETAIL PREMISES</u>

BUILDING REGULATIONS CONSULTANTS

McKenzie Group Consulting (NSW) Pty Ltd – ACN 093 211 995

Suite 601, Level 6 / 189 Kent Street Sydney New South Wales 2000
Telephone 02 8298 6800 Facsimile 02 8298 6899 www.mckenzie-group.com.au

Building Code of Australia building classification (As nominated on the development consent)	Part: _____ Use: <u>SHOP</u> BCA Class: <u>6</u>
Development Consent	Consent No: <u>329/09</u> Date of determination: <u>8 DEC 2009</u>
Construction Certificate/ Complying Development Certificate	Certificate No: _____ Date of determination: _____
Principal Certifying Authority	Name: I, <u>MILK GOOLEY</u> of McKenzie Group Consulting (NSW) Pty Ltd - ACN 093 211 995, consent to being appointed as the Principal Certifying Authority. Address: Level 6, 189 Kent Street, Sydney NSW 2000 Tel: 02 8298 6800 Signed:  Accredited Certifier Grade _____ BPB Registration No. <u>8143</u>
Value of work (building)	\$: <u>250,000</u>
Date work is to commence	Date: <u>APRIL 2010</u>
Date of receipt (to be completed by certifying authority)	Date: <u>6/4/2010</u>
Builder / Principal Contractor	Name: <u>DEWCAPE PTY LTD</u> Address: <u>PO BOX 531 STRATHFIELD NSW 2135</u> License No/Permit No: <u>199026C</u> (Where applicable)
Compliance with Development Consent or Complying Development Certificate	Have all conditions required to be satisfied prior to the commencement of work been satisfied? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (Conditions may include payment of security, s 94 contributions, endorsement of building work plans by water supply authority, etc)
Home Building Act 1989 Requirements (see note 1)	Principal Certifying Authority has been advised of the requirements of CI 78C of the Regulation? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Schedule	The attached schedule is required to be completed for the purposes of providing information to the Australian Bureau of Statistics.
Right of appeal	Under s 109K where the certifying authority is a council an applicant may appeal to the Land and Environment Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

Hayes
Signature of Applicant

IAN HAYES
Name of Applicant

06/04/2010
Date

Ref: Document1



graypuksand	
10 MAR 2010	job no.

APPLICATION FORM / APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY / NOTICE OF COMMENCEMENT

Environmental Planning and Assessment Act 1979 Sections 81A(b)(1), 81A (2), 81A (4), 86(1), 86(2) and 108C (1) (b)

I/We the undersigned hereby make application to McKenzie Group Consulting (NSW) Pty Ltd for:

- Construction Certificate
- Complying Development Certificate
- Occupation Certificate:
- To appoint Mike Gooley from McKenzie Group Consulting (NSW) Pty Ltd as the Principal Certifying Authority for the project.

Applicant	Name: <u>COLES GROUP LIMITED c/- GRAYPUKSAND</u> Address: <u>LEVEL 6, 8 SPRING STREET</u> <u>SYDNEY NSW 2000</u> Tel: <u>02 9247 9422</u> Fax: <u>02 9247 9433</u> <small>Note: The applicant must be the property owner or a person authorized by the owner to lodge the application. However a building contractor cannot be the applicant unless they are the owner of the property.</small>
Owner of building (if not Applicant)	Name: <u>N/S/O's Pty Ltd</u> Address: <u>Greyhound St</u> <u>Centimeter</u> Tel: <u>074491072</u> Fax:
Consent of all owner(s) (Signatures)	I/We consent to this application Name: _____ Signature: _____
Subject land	Address: <u>38-42 THE CORSO</u> <u>MANLY NSW 2095</u> Lot/Portion: <u>10 (PART OF)</u> Section: _____ DP No: <u>74775</u> Municipality: <u>MANLY</u>
Description of development <input checked="" type="checkbox"/> Building work	Description: <u>FITOUT OF EXISTING</u> <u>RETAIL PREMISES</u>

BUILDING REGULATIONS CONSULTANTS

McKenzie Group Consulting (NSW) Pty Ltd - ACN 093 214 995

Suite 801, Level 6 / 189 Kent Street Sydney New South Wales 2000
Telephone 02 8298 6800 Facsimile 02 8298 6889 www.mckenzie-group.com.au

Schedule to Application

Particulars of the Proposal

What is the area of the land (m²): **153 APPROX**

Gross floor area of existing building (m²): **1677 APPROX**

What are the current uses of all or parts of the building(s)/land? (If vacant state vacant)

Location: **BASEMENT**

Use: **RETAIL (ENTERTAINMENT) / STORAGE**

Location: **GROUND FLOOR**

Use: **RETAIL**

Location: **LEVELS 1 + 2**

Use: **RESIDENTIAL**

Location: **LEVEL 3**

Use: **ROOFTOP / LAUNDRY**

Does the site contain a dual occupancy? Yes No

What is the gross floor area of the proposed addition or new building (m²): **NO CHANGE TO EXISTING**

What are the proposed uses of all parts of the building(s)/land?

Location:

Use:

Location:

Use:

Location:

Use:

Location:

Use:

NO CHANGE

NO CHANGE

Materials to be Used

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

Walls		Code
<input type="checkbox"/>	full brick/single brick/concrete block	11
<input type="checkbox"/>	brick veneer	12
<input checked="" type="checkbox"/>	concrete/masonry	20
<input type="checkbox"/>	fibrous cement/hardiplank	30
<input type="checkbox"/>	timber/weatherboard	40
<input type="checkbox"/>	curtain glass	50
<input type="checkbox"/>	steel	60
<input type="checkbox"/>	cladding-aluminum	70
<input checked="" type="checkbox"/>	other	80
<input type="checkbox"/>	unknown	90

Roof		Code
<input type="checkbox"/>	concrete/ terracotta tiles or shingle	10
<input type="checkbox"/>	concrete/slate	20
<input type="checkbox"/>	fibrous cement	30
<input checked="" type="checkbox"/>	steel	60
<input type="checkbox"/>	aluminum	70
<input type="checkbox"/>	fibreglass/other	80

Floor		Code
<input type="checkbox"/>	timber	10
<input checked="" type="checkbox"/>	concrete	20
<input type="checkbox"/>	other	80
<input type="checkbox"/>	unknown	90

Frame		Code
<input checked="" type="checkbox"/>	timber	40
<input checked="" type="checkbox"/>	steel	60
<input type="checkbox"/>	other	80
<input type="checkbox"/>	unknown	90

Notes for completing APPLICATION FORM / APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY / NOTICE OF COMMENCEMENT

Building Work

In the case of an application for a construction certificate for **building work**:

- a) copies of compliance certificates relied upon
- b) four (4) copies of detailed plans and specifications

The plan for the building must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, construction and provision for fire safety and fire resistance (if any)

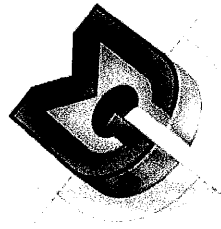
Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building the general plan is to be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the proposed alteration, addition or rebuilding.

Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the modification.

The specification is:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
 - state whether the materials proposed to be used are new or second hand and give particulars of any second hand and give particulars of any second hand materials to be used
- c) where the application involves an alternative solution to meet the performance requirements of the BCA, the application must also be accompanied by:
 - details of the performance requirements that the alternative solution is intended to meet, and
 - details of the assessment methods used to establish compliance with those performance requirements
 - d) evidence of any accredited component, process or design sought to be relied upon
 - e) except in the case of an application for, or in respect of, a Class 1a or Class 10 building:
 - a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
 - if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated.

The list must describe the extent, capability and basis of design of each of the measures concerned.



MCKENZIE
GROUP CONSULTING

Site Inspection – Prior to issue of Construction Certificate/Comply Development Certificate

Record of inspections conducted under Clause 129B and 143B of the
Environment Planning and Assessment Regulations 2000 (EP & A Regulations)

Job No.	04763		
Project Description	Retail fitout - Liquorland.		
Property Address:	38-42 The Corso, Manly		
Development Consent No.	329109.	Construction Certificate No:	10/3211-1
Complying Development Certificate No.	-	Date of Application for Complying Development Certificate No:	-
Inspection Type:	Prior to issue of Construction Certificate/ Complying Development Certificate:	Date of Inspection:	8/4/2010
Accredited Certifier undertaking Site Inspection:	Mike Gooley	Accredited Certified No.	0143
Existing Building – received current / proposed fire safety measure	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Plan & Specification subject to CC/CDC accurately depict the existing conditions	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Special feature of site that would prevent the issue of CDC	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (provide comment)	Comments:	
Has building works commenced on site	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (provide comment)	Comments:	

Notes: If a council or accredited certifier carrier at the inspection on behalf of the certifying authority, they are required, within two (2) days after carrying out this inspection, to provide a copy at the record to the certifying authority.

BUILDING REGULATIONS CONSULTANTS

McKenzie Group Consulting (NSW) Pty Ltd – ACN 093 211 995
Level 6 / 189 Kent Street Sydney New South Wales 2000

Telephone 02 8298 6800 Facsimile 02 8298 6899 email@mckenzie-group.com.au

DESIGN STATEMENT

COMPLIANCE WITH THE BUILDING CODE OF AUSTRALIA

ADDRESS:	38-42 THE CORSO, MANLY NSW 2095
PROJECT:	SHOP FITOUT, NEW SHOP FRONT, CHANGE OF USE TO LIQUOR SHOP, AND SIGNAGE

1a. BCA Clause C1.10 requires floors, walls and ceilings to be of, or covered by materials that comply with the requirements of Spec C1.10a

1. Clause D2.21 of the BCA requires all door handles to ... *"be readily openable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900mm and 1,200mm from the floor, except if it is fitted with a fail-safe device ..."*


Note: If fail safe devices are proposed then details of the method of operation are to be provided.

3. Part B1 of the BCA requires all glazing to comply with Australian Standard 1288 – 2006 and AS 2047 – 1999. Also the BCA requires external glazing to comply with the requirements of Part J2.
4. Part D3 of the BCA requires access for people with disabilities to comply with AS 1428.1 and AS 1428.4.
5. Clause D1.6 of the BCA requires all exits and paths of travel to an exit including spaces between workstations to have a minimum unobstructed width of 1m.

Accordingly, it is specified that for the proposed works at the above premises:

- All floor, wall and ceiling materials and linings will comply with BCA Clause C1.10;
- All door handles and locks will comply with Clause D2.21 of the BCA;
- All glazing will comply with AS 1288, 2047, & BCA CI Part J2; and
- Disabled access, facilities and circulation space will comply with Part D3 of the BCA and AS1428.1 and AS 1428.4;
- All exits and paths of travel to an exit from any point on the floor will comply with CI D1.6 of the BCA.

Applicant Details:

Name:	MARC STREEL C/- IAN HAYES	
Company:	COLES GROUP LIMITED C/- GRAY PULSAND	
Address:	LEVEL 5, 8 SPRING STREET SYDNEY NSW 2000	
Signature:		Date:
		06 / 4 / 2010

ABN #: 43642963045
 Manly Council
 PO Box 82
 MANLY NSW 1555
 Ph 9976 1500 Fax 9976 1400
 Email: records@manly.nsw.gov.au
 Website: www.manly.nsw.gov.au

Date 07/04/2010 15:20
 Receipt 0049432010001 Terminal 1:390
 Newcastle Pty Ltd

Details	Amount
Builders Deposits - 010.2009.00000327.001 38-42 The Corso	5000.00
Long Service Levy 008000.9200.8079 38/42 The Corso	675.00
Total Value: Tendered	5675.00
Cheque	5675.00
Change	0.00

Thank you for Prompt Payment

ABN # 43662969045
Manly Council
PO Box 92
MANLY NSW 1555
Ph 9976 1500 Fax 9976 1400
Email: records@manly.nsw.gov.au
Website: www.manly.nsw.gov.au

Date 07/04/2010 15:20
Receipt 0049432010001 Terminal 1:390
NewCap Pty Ltd

Details	Amount
Builders Deposits - 010.2009.00000329.001 38-42 The Corso	5000.00
Long Service Levy 008000.9200.8079 38/42 The Corso	875.00
Total Value:	5875.00
Tendered	
Cheque	3875.00
Change	0.00

Thank you for Prompt Payment

8 THE CORSO MANLY.

Waste Management Plan

DA #:

Construction Stage: Destination of Excess Materials (Residential/Commercial/Industrial)

Materials On-Site		Destination		
Type of Material	Estimated Volume (m ³) or Area (m ²)	Re-Use & Recycling		Disposal
		On-Site Specify proposed reuse or on-site recycling methods	Off-Site Specify contractor and recycling outlet	
Example: Bricks	0.8m ³	Unbroken bricks kept for owner to build a bbq	Rest to Brandovns for recycling (~0.4m ³)	N/A
Excavation Material	1m ³	KEPT ON SITE FOR LEVELING.	—	—
Green Waste (eg Trees)	NIL	N/A	—	—
Bricks	NIL	N/A.	—	—
Concrete	70m ²	—	SENT TO BINGO HBRC FOR RECYCLING.	HBRC P/L.
Timber – please specify	NIL	—	—	—
Plasterboard	NIL	—	—	—
Metals – please specify	NIL	—	—	—
Other – (eg Tiles, paints, plastics, PVC tubing, cardboard)	6m ³	—	SENT TO BINGO/HBRC FOR RECYCLING	BINGO/HBRC

Note: Details of site area to be used for on-site separation, treatment and storage (including weather protection) should be provided on the plan drawings accompanying your application.

Design of Nominated Waste Disposal Area and Future Waste Management (Except Single Dwelling)

Type of Waste to be Generated (Please specify: eg: food waste, paper, off-cuts, etc)	Expected Volume per Week (Litres or m ³)	Proposed On-site Storage and Treatment Facilities (eg. Waste storage & recycling area; garbage chute; compaction equipment)	Destination (Recycling; Disposal; Specific contractor)
PAPER	2m ³	GARBAGE AREA	RECYCLING

Attachment M2

Mechanical Ventilation Performance Certificate Ventilation Acoustics, Fire Precautions, Smoke Hazard Management

ADDRESS: Liquorland, 38-42 The Corso Manly.

DEVELOPMENT APPLICATION NUMBER... 329/10.....

CONSTRUCTION CERTIFICATE NUMBER.....

I hereby certify that the performance of the new/altered mechanical ventilation system meets the current requirements of the Building Code of Australia ⁽ⁱ⁾ and in particular is designed in accordance with the. following:

- a. Approved architectural plans under the, above development application and construction. certificate (nominate drawing numbers and attach a list); ⁽ⁱⁱ⁾
- b. AS 1668 Parts 1 and 2;
- c. Complies with BCA part J4 and part J5 2007
- d. All conditions based on recommendations of the NSW Fire Brigade. ⁽ⁱⁱ⁾

I am an appropriately qualified and competent person, in the area of mechanical ventilation and as such can certify that the installation and performance of mechanical ventilation systems comply with the Building Code of, Australia, AS 1668 and other relevant Codes and documents covered by Attachment 1 associated with this project.

I possess Indemnity Insurance to the satisfaction of the building owner or my principal.

Date of Development Consent (Compulsory):.....

Date of Construction Certificate (Compulsory):.....

Full Name of Certifier:..... Brian Bedford.....

Qualifications:..... Air Conditioning and Refrigeration Mechanic.....

Address of Certifier:..... 1 Hill Street..... Leichhardt..... NSW..... 2040.....

Phone Numbers **Bus:** (02) 9552 6311 **Mobile:** 0418 240 655 **Fax:** (02) 9552 6304

Signature 

Date: 31/03/2010

Name of Employer: **Kal Mechanical Air Conditioning Services Pty Ltd**

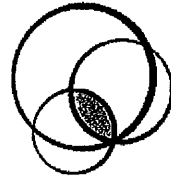
Certified Mechanical Drawing numbers and revision list

1.

❖ **The Public Health Act requires Council registration of cooling towers and certain water systems. Proof of Registration is required on Attachment M2.**

Notes:

- i. Departures from the prescribed design provisions of the BCA must be justified herein and validated when the Certificate of Performance (Attachment M2) is submitted. (eg: smoke test);
- ii. Where compliance with the prescribed or deemed provisions of the Building Code of Australia is not possible reasons must be submitted with this Certificate, together with evidence of any dispensation granted by Council or the NSW Fire Brigade.



RHM Consultants

12th May 2008

Reference: 08-2020.120508 SH1

Level 4 224 Victoria Road
Drummoyne NSW 2047 Australia
PO Box 259 Drummoyne NSW 1470

Telephone +61 2 9819 6022

Facsimile +61 2 9819 7134

www.rhmengineers.com

The Owners - Strata Plan 18046
C/- Gillbey Burgess Strata Management
PO Box 147
MANLY NSW 1655

Attention: Mr Bill Lake

Dear Bill,

**Re: EXISTING AWNING STRUCTURE
38-42 THE CORSO, MANLY
STRATA PLAN 18046**

RECEIVED
13 MAY 2008

BY:.....

Inspections of the subject property were undertaken to verify the recent strengthening works to the awning. Our office can confirm that the strengthening works has been undertaken in accordance with our engineering advice and Manly Council requirements. The extent of the strengthening work included the following:

1. Treatment of all existing tie rods;
2. Treatment of all existing awning beams;
3. Strengthening of all existing tie rod to awning beam connections;
4. Installation of seventeen (17) new tie rods;

On that basis we hereby certify the structural integrity of the awning for the next five (5) years. This certification is under the proviso that annual audits are undertaken on the subject awning.

Should you require any further information or clarification, please do not hesitate to contact the undersigned in our Drummoyne office on (02) 9819 6022.

Yours faithfully,
For RHM Consultants Pty Ltd

Stephen Hamilton BE (Civil) MIEAust
DIRECTOR
shamilton@rhmenq.com

noted / good - repairs carried out / Hamilton

name	Paul Schenko	date	6 April 2010
company	McKenzie Group Consulting	no. of pages	1 (including cover page)
address/fax		project no.	209108
from	Ian Hayes	project	Coles Group Limited New Liquorland 38 The Corso, Manly NSW
cc	M Streef	Liquorland	cc details Marc.Streef@coles.com.au

transmission by e-mail

our ref: 209108 MGC BCA CC 100406.doc

Please find the following confirmation for BCA assessment:

1. **BCA Clause C2.9 Separation of Classification in Different Storeys**
The construction documentation has been prepared in accordance with this requirement for compliance.
2. **BCA Spec C1.1 Fire Resisting Construction**
No load bearing works are proposed and therefore no fire-rated construction is required.
3. **Basement / Plant Area**
The basement / plant area will be made largely redundant. A fire-rated hatch will be provided.
4. **Ramp Gradient**
The gradient of the new ramp will be approximately 1:20.
5. **Accessible WC**
An accessible wc has been provided to comply with AS 1428.1.
Level floor access will be provided between the store room, cleaner's room, and the accessible wc.
6. **BCA J3 Building Sealing, BCA J4 Air Movement, BCA J5 Air Conditioning**
The mechanical design and installation will comply with BCA J3 Sealing, BCA J4 Air Movement, and BCA J5 Air Conditioning.
Design compliance statements have been provided by the mechanical contractor.

p	o	cda	+	chkd
---	---	-----	----------	------

name	Paul Schenko	date	6 April 2010
company	McKenzie Group Consulting	no. of pages	2 (including cover page)
address/fax		project no.	209108
from	Ian Hayes	project	Coles Group Limited New Liquorland 38 The Corso, Manly NSW
cc	M Streeel	Liquorland	cc details Marc.Streeel@coles.com.au

transmission by e-mail

our ref: 209108 MGC DA CC 100406.doc

Please find the following confirmation of compliance with DA 329/09 conditions of consent:

1. ANS01

The refrigeration units and air-conditioning units will be subject to noise readings taken by a qualified acoustic consultant at the time of installation and operation. Units found to exceed the maximum recommended noise levels will be housed in acoustic enclosures.

2. ANS03

The tenancy fitout has been designed in accordance with the requirements for Food Premises

3. ANS04

A double bowl sink has been provided in the design.
A separate hand basin has also been provided in the design.

4. ANS05

A hand wash basin has been provided in the design, including provisions for warm water via a single spout, and soap and paper towel dispenser.

5. ANS06

An automatic self-closing device, and mechanical ventilation, have been designed for the Accessible WC.

6. DA002

Access in accordance with AS1428.2 has been designed to and within the main entry and exit points of the development.

7. DA016

A Trust Fund Deposit of \$5,000.00 made payable to Manly Council has been made by the Builder.

8. DA018

Builder's details:
Dewcape Pty Ltd
PO Box 531 Strathfield NSW 2135
Licence No. / Permit No. 199026C

9. DA039

4 copies of the Structural Engineers details are provided.

10. DA234

Waste Management Plan has been prepared by Dewcape.

p	o	cda	#	chkd
---	---	-----	---	------

11. DA261

Sediment and Erosion Control Plan has been prepared by Dewcape.

12. DA294

Structural Engineer has provided design certification.

Structural certification has also been provided for the awning to The Corso.

Mechanical Ventilation Design Statement

This has been prepared, confirming compliance with BCA J3 Building Sealing, BCA J4 Air Movement, and BCA J5 Air Conditioning. Refer attached copy.

Electrical Design Statement

This has been prepared, confirming compliance with BCA Clause Part J6 Artificial Lighting and Power. Refer attached copy.



KEC
ELECTRICAL CONTRACTORS

Over 30 years of integrity, trust & expertise

Commercial, Residential & Industrial Electrical Contractors
Kastoun Electrical Contractors & Engineers Pty Ltd

AC.N. 050 034 181
A.B.N. 86 050 034 181

67 Bright St, Guildford NSW 2161

Ph 02 9681 5004

Fax 02 9721 1400

@ info@thekec.com

1st April 2010

CERTIFICATE OF COMPLIANCE
Shop 38, The Corso, Manly, N.S.W

Kastoun Electrical Pty Ltd can now confirm that all lighting and power complies with the **Australian Standards and BCA Clause Part J6.**

Regards,

E.A. Kastoun

Director