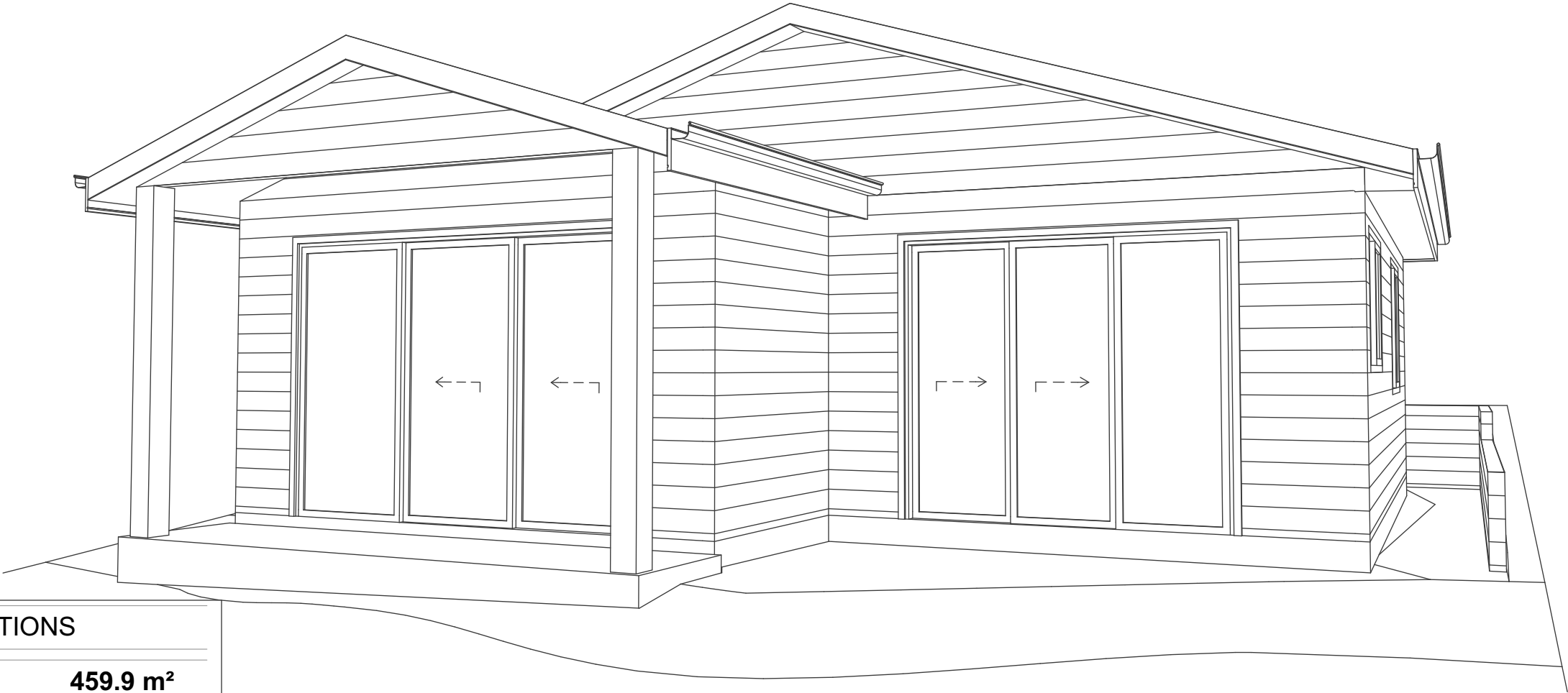


PROPOSED 2 BEDROOM GRANNY FLAT  
40 Curl Curl Parade, Curl Curl



SITE CALCULATIONS	
SITE AREA	459.9 m²
EXISTING DWELLING	113.69 m²
EXISTING GARAGE	16.93 m²
EXISTING PATIO	31.09 m²
PROPOSED GRANNY FLAT	57.29 m²
PROPOSED PORCH	4.08 m²
TOTAL GROSS FLOOR AREA	223.08 m²
FLOOR SPACE RATIO	0.47/1
LANDSCAPE O. SPACE	191.82 m² (41.7%)
TOTAL SOFT AREAS	121.2 m² (26.3.%)
SITE COVERAGE AREAS	
BUILDINGS	223.08 m²
DRIVEWAYS/PATHS	53.40
TOTAL	276.48 m² (60.1%)

ACID SULPHATE:	N/A
BAS/BOS:	N/A
BAL RATING:	N/A
FLOOD:	N/A
HERITAGE:	N/A
MARINE GRADE:	N/A

GENERAL NOTES						CLIENT DETAILS	
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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE						Brooke Bennett	
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF GRANNYFLAT SOLUTIONS/NEW SOUTH HOMES, PRIOR TO WORKS COMMENCING.						LOT 15 - DP 5539	
						JOB REF	215780
						SCALE A3	1:1
						SHEET	DA 01
13/04/2022	CV	M	PRELIMINARY CONCEPT			COVER PAGE	
DATE	DRAWN BY	REVISION	ISSUE	SIGNED			

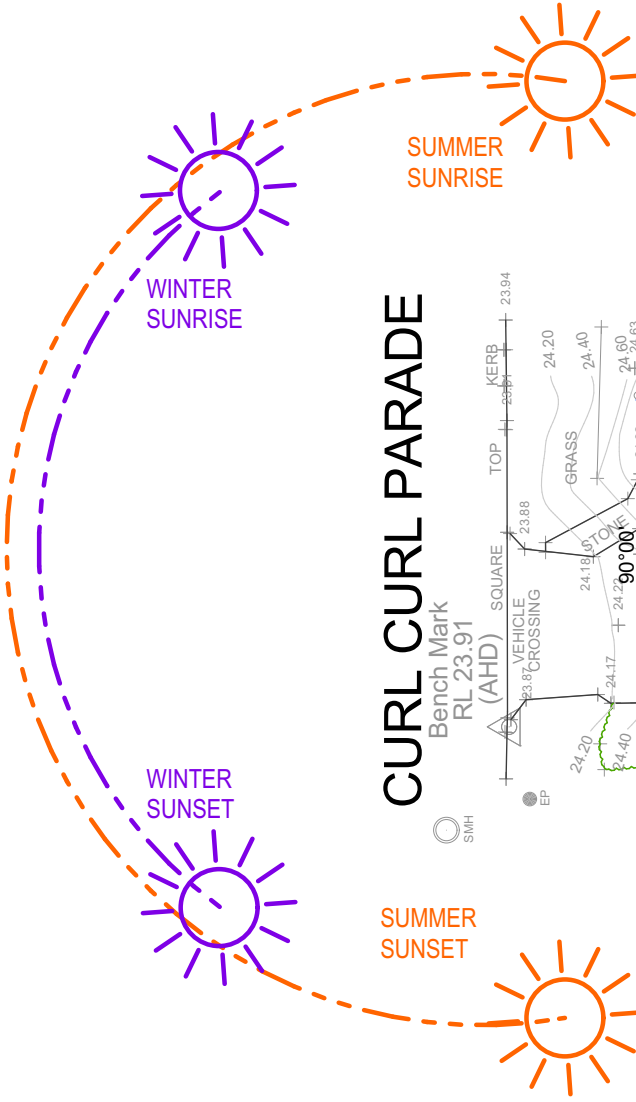
DESIGN BY



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SITE AREA - 459.9m<sup>2</sup>



CURL CURL PARADE

Bench Mark  
RL 23.91

SMH

EP

TOP

VEHICLE CROSSING

(AHD) SQUARE

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STUD OPENING SIZE

ADD 60mm TO HEIGHT AND 50mm TO WIDTH OF ALL WINDOWS

FLYSCREEN NOTES

ALL FLYSCREEN FOR SLIDING DOORS TO HAVE MID BARS

GLAZING NOTES

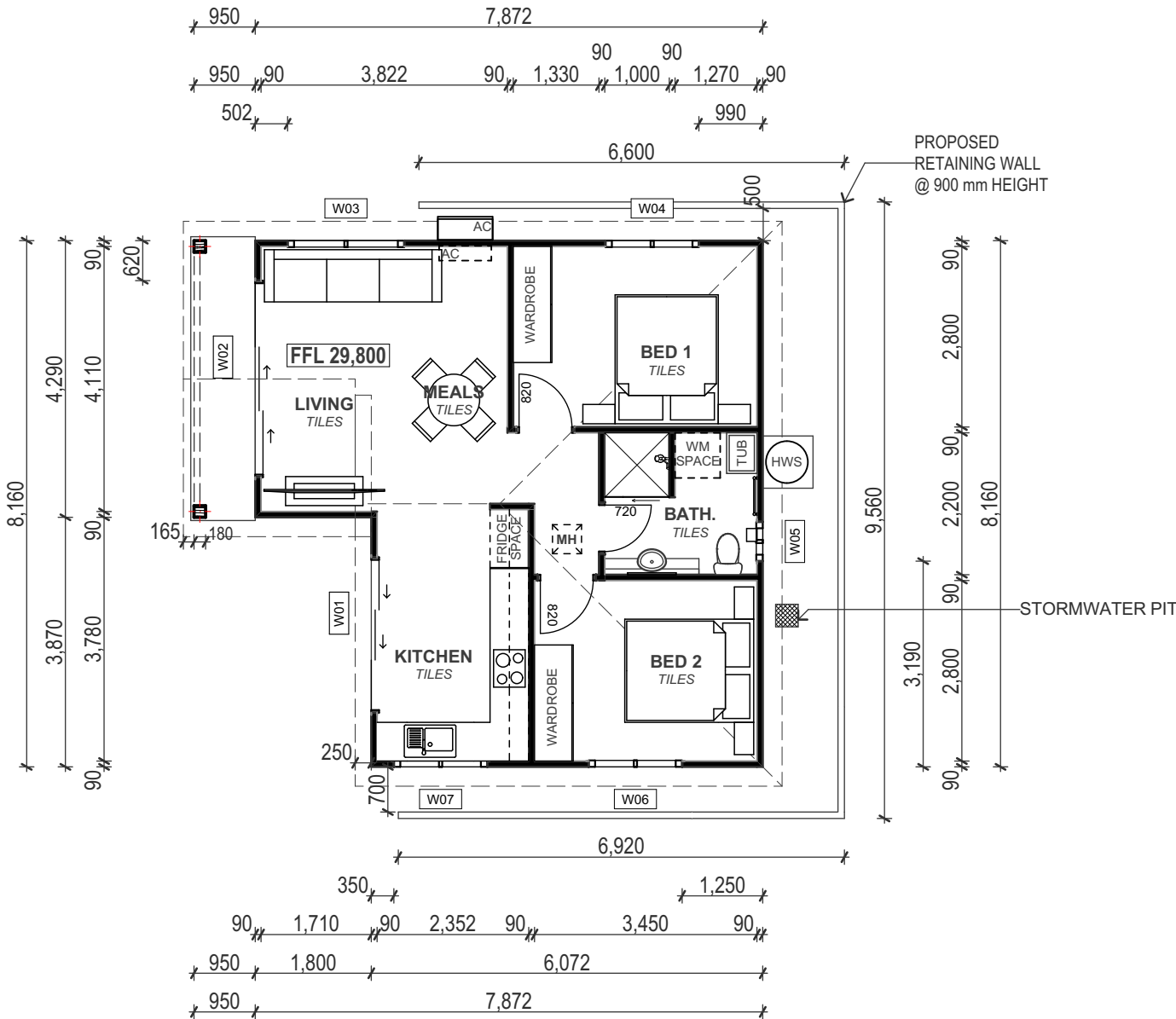
ALL GLAZING TO COMPLY WITH AS1288 & BASIX CERTIFICATE.  
ALL WINDOWS WILL HAVE A FIXED PANEL ON THE RIGHT AND OPENING PANEL ON THE LEFT, WHEN VIEWED FROM THE OUTSIDE, UNLESS REQUESTED OTHERWISE. SLIDING DOORS WILL OPEN IN DIRECTION AS SHOWN ON PLAN.

WINDOW FLASHING NOTES

ALL WINDOWS ON CLADDED WALLS, INCLUDING ACRYLIC RENDERED WALLS TO HAVE FLASHINGS ON ALL SIDES.

WINDOW SCHEDULE

W#	HEIGHT	WIDTH	FRAME	GLAZING	TYPE	REVEAL	OFFSET
W01	2,100	2,410	ALUMINIUM	CLEAR	STACKING DOOR	100mm	0
W02	2,100	3,048	ALUMINIUM	CLEAR	STACKING DOOR	100mm	0
W03	1,200	1,810	ALUMINIUM	CLEAR	SLIDING	100mm	0
W04	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	100mm	0
W05	600	610	ALUMINIUM	OBSCURE	SLIDING	100mm	0
W06	1,200	1,450	ALUMINIUM	CLEAR	SLIDING	100mm	0
W07	1,000	1,450	ALUMINIUM	CLEAR	SLIDING	100mm	0



BAL RATING ON PAGE 1

FLOOR FINISHES NOTES

PLEASE NOTE THAT THERE MAY BE A SMALL STEP WHEN THERE IS A CHANGE IN FLOOR FINISHES BETWEEN ROOMS

EXTERNAL DOOR WARRANTY

GRANNY FLAT SOLUTIONS CANNOT PROVIDE WARRANTY ON ENTRANCE DOORS IF THE COLOUR CHOSEN HAS A LIGHT REFLECTIVE VALUE (LRV) OF 50 OR BELOW (THESE COLOURS REPRESENT THE DARKER COLOURS IN THE PAINT SPECTRUM). THE MANUFACTURERS DO NOT WARRANT DOORS PAINTED IN DARK COLOURS AS THEY ABSORB MORE HEAT THAN COLOURS GREATER THAN 50 LRV RATING, CAUSING THEM TO WARP OR BEND. FURTHERMORE, THE MANUFACTURER'S WARRANTY IS ALSO VOID IF THE EXTERNAL DOOR IS NOT COVERED BY AT LEAST 1 METER WIDE ROOF / EAVE OVERHANG / PATIO, DUE TO THE DOOR HAVING DIRECT EXPOSURE TO WEATHER ELEMENTS (WIND, RAIN, SUN ETC.) WHICH MAY CAUSE THE DOOR TO SWELL, WARP OR BEND.

DESIGN BY

NEW SOUTH HOMES

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13/04/2022	CV	M	PRELIMINARY CONCEPT	
DATE	DRAWN BY	REVISION	ISSUE	SIGNED

CLIENT DETAILS

40 Curl Curl Parade, Curl Curl

Brooke Bennett

LOT 15 - DP 5539

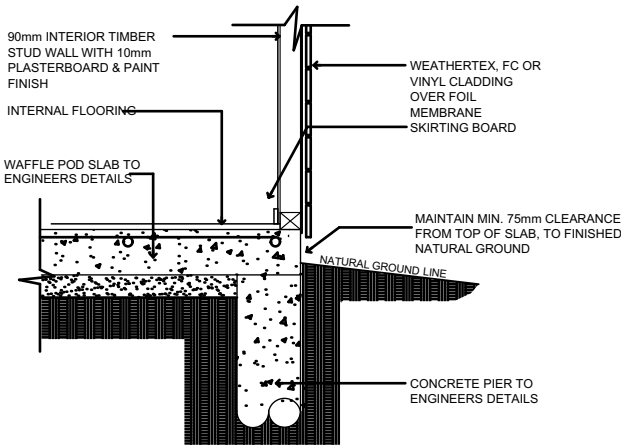
**FLOOR PLAN**

JOB REF	215780
SCALE A3	1:100
SHEET	DA 03

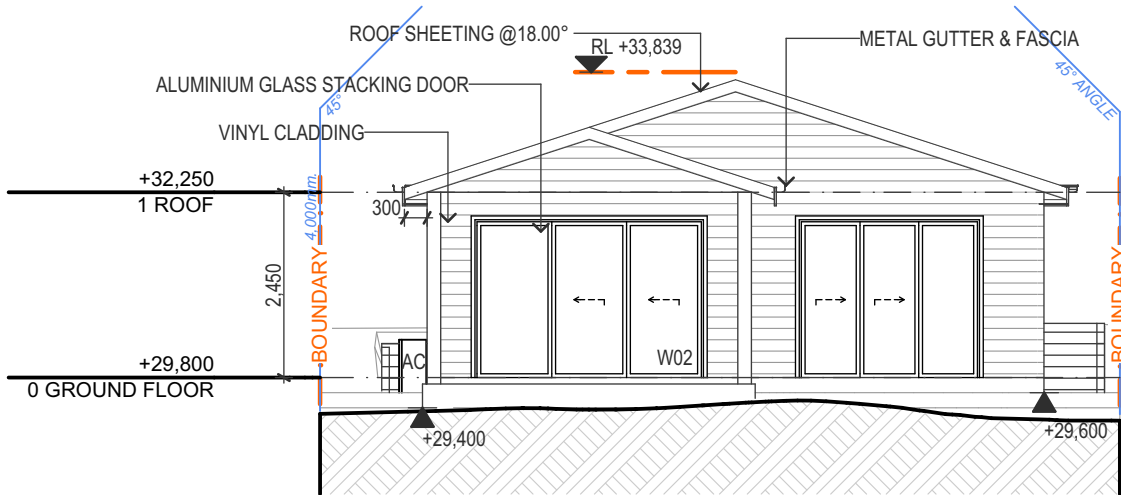
ROOF VENTILATION METHOD: EAVE VENTS

ROOF SCHEDULE

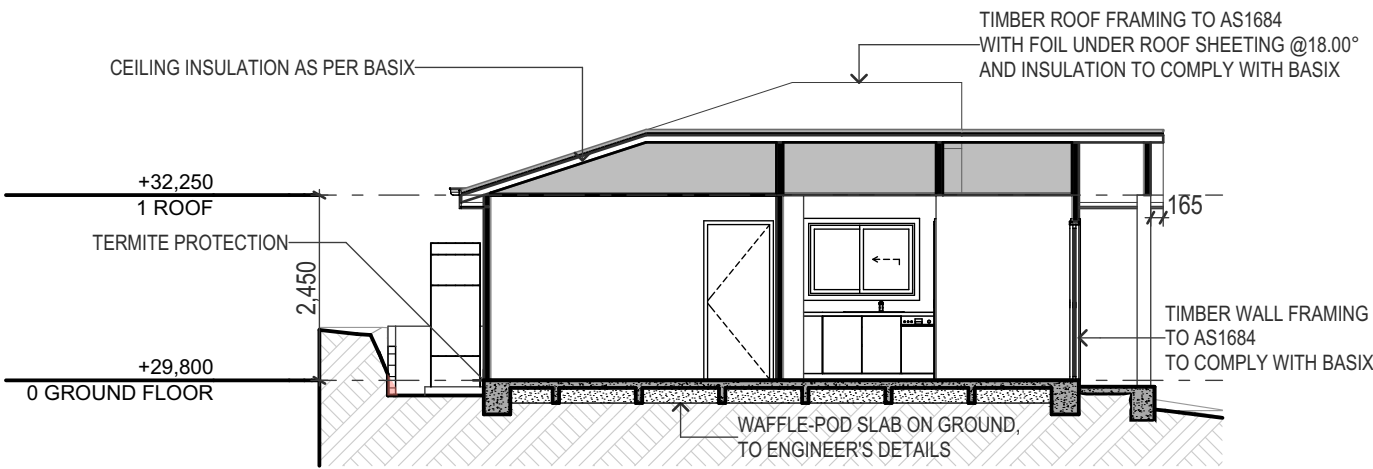
Surface Area	Eaves Length
0.58	250
6.85	2,665
20.17	8,760
20.41	6,622
27.26	9,287
33.89	0



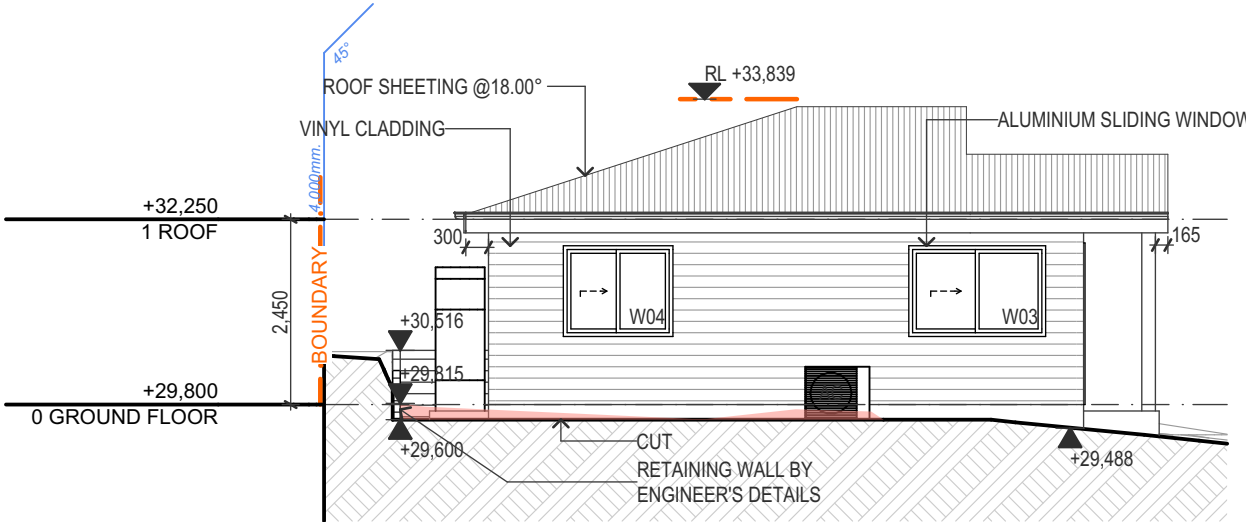
Standard Lightweight Cladding Detail  
Scale- 1:20



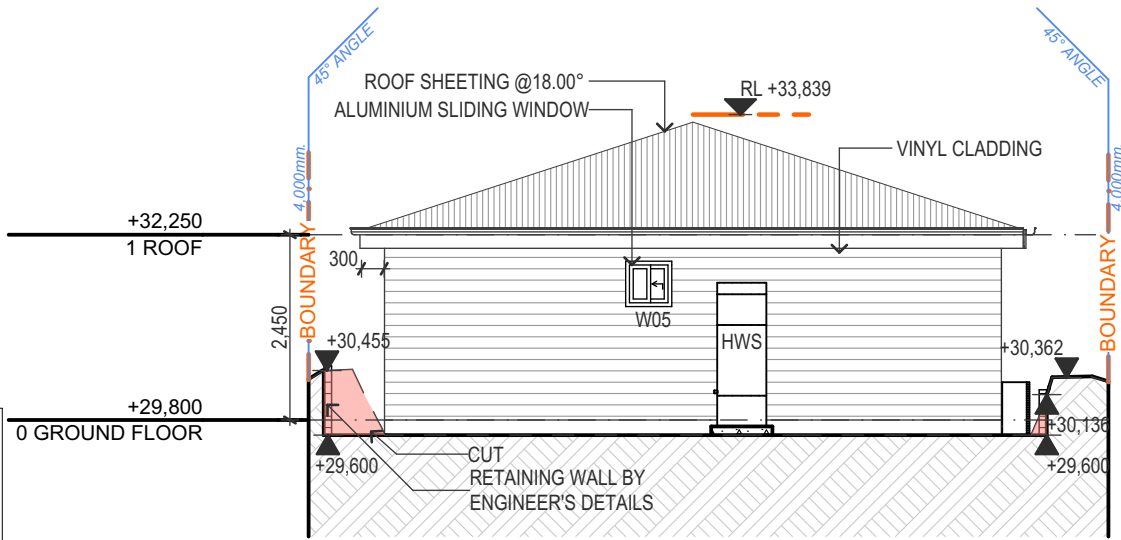
NORTH ELEVATION



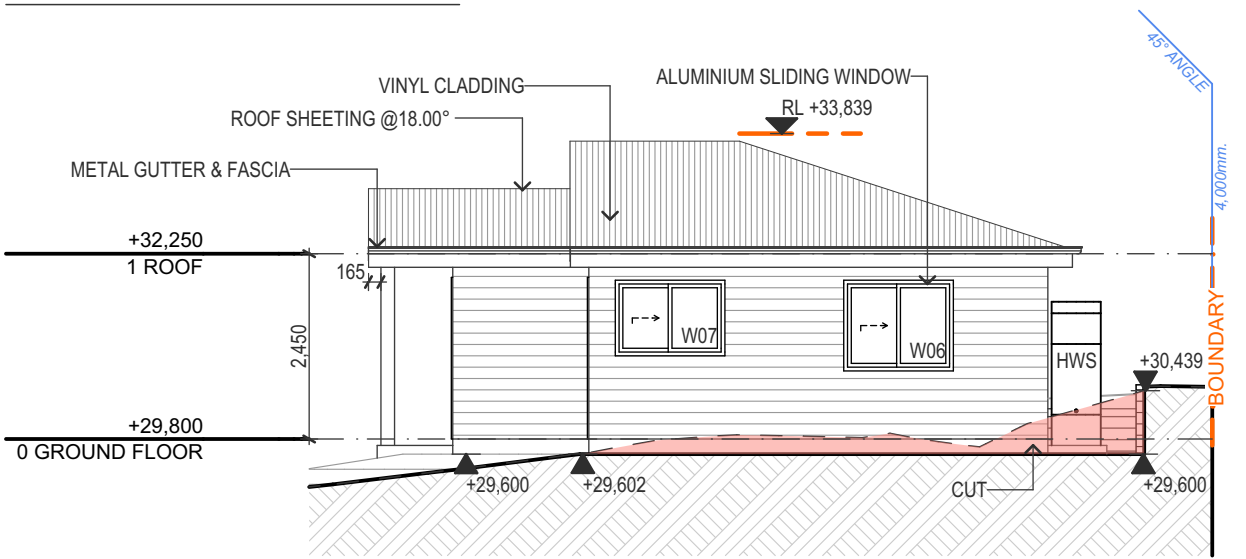
CROSS SECTION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SITE BENCHING NOTES:

WHERE POSSIBLE/APPROPRIATE, EXISTING SOIL TO BE REUSED AS COMPACTED FILL TO AVOID ANY DROP EDGE BEAMS.  
IF EXCAVATED SOIL IS NOT APPROPRIATE FOR USE, DROP EDGE BEAMS OR ADDITIONAL IMPORTED SOIL MAY BE REQUIRED.  
PLEASE REFER TO YOUR TENDER VARIATION FOR ANY RELEVANT ALLOWANCES.

LANDSCAPING NOTE

UNLESS SPECIFIED IN YOUR CONTRACT, NO LANDSCAPING WORKS HAVE BEEN ALLOWED FOR AROUND THE BUILDING. AT COMPLETION OF LANDSCAPE WORKS, THE SLAB HEIGHT MUST REMAIN A MIN. OF 75mm ABOVE THE FINISHED LANDSCAPED LEVEL.

GUTTER & VALLEY NOTE

WHEN BUILDING NEAR TREES, WE STRONGLY RECOMMEND YOU INSTALL GUTTER-GUARD OR A SIMILAR PRODUCT IN ALL GUTTERS AND VALLEYS, TO PREVENT LEAF BUILD-UP AND WATER OVERFLOW UNDER THE ROOF TILES OR SHEETING

FLOOR LEVEL NOTE

THE FLOOR LEVEL SHOWN ON THE ELEVATIONS MAY VARY SLIGHTLY ON SITE, DUE TO SITE CONDITIONS AND FINAL LEVELS AFTER EXCAVATION AND REMOVAL OF SOIL.  
UNLESS SPECIFIED IN YOUR TENDER AND BUILDING CONTRACT, NO DIRT REMOVAL HAS BEEN ALLOWED FOR WHEN LEVELLING THE SITE FOR A CONCRETE SLAB. WHEN ACCESS IS TIGHT, A DECISION WOULD NEED TO BE MADE AS TO WHERE TO STOCKPILE ON SITE TO AVOID ACCESS INTERRUPTIONS OR A COST TO REMOVE THE SOIL CAN BE ARRANGED OR YOU.  
FURTHERMORE, NO EXTERNAL STEPS TO PORCHES, DROP EDGE BEAMS OR RETAINING WALLS HAVE BEEN ALLOWED FOR, UNLESS SPECIFIED IN YOUR TENDER.

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					SCALE A3	1:100
13/04/2022	CV	M	PRELIMINARY CONCEPT		SHEET	DA 04
DATE	DRAWN BY	REVISION	ISSUE	SIGNED		

CLIENT DETAILS

40 Curl Curl Parade, Curl Curl  
Brooke Bennett  
LOT 15 - DP 5539

ELEVATIONS & SECTION

DESIGN BY



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Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Energy Commitments			
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 31 to 35 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 3 Star (old label)		✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a  Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a  Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓ ✓ ✓	✓ ✓ ✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none"><li>at least 2 of the bedrooms / study; dedicated</li><li>at least 1 of the living / dining rooms; dedicated</li><li>the kitchen; dedicated</li><li>all bathrooms/toilets; dedicated</li><li>the laundry; dedicated</li><li>all hallways; dedicated</li></ul>		✓ ✓ ✓ ✓ ✓ ✓	✓ ✓ ✓ ✓ ✓ ✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
The applicant must install a fixed indoor or sheltered clothes drying line as part of the development.		✓	

Thermal Comfort Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features					
The dwelling must not have more than 2 storeys.			✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.			✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.			✓	✓	✓
The dwelling must not contain third level habitable attic room.			✓	✓	✓
Floor, walls and ceiling/roof					
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.			✓	✓	✓
Construction		Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground		nil			
external wall - framed (weatherboard, fibre cement, metal clad)		3.00 (or 3.40 including construction)			
ceiling and roof - flat ceiling / pitched roof		ceiling: 2.95 (up), roof: foil backed blanket (75 mm)	2 wind-driven ventilator(s) + eave vents; medium (solar absorptance 0.475-0.70)		
ceiling and roof - flat ceiling / flat roof, framed		ceiling: 3.08 (up), roof: foil backed blanket (75 mm)	framed; medium (solar absorptance 0.475-0.70)		
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.				
Windows, glazed doors and skylights					
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.			✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.			✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.					✓
- Aluminium single clear					
- Aluminium double (air) clear					
- Timber/uPVC/fibreglass single clear					
- Timber/uPVC/fibreglass double (air) clear					
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
W01	2100	2410	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
W02	2100	3048	aluminium, single, clear	solid overhang 1200 mm, 1100 mm above head of window or glazed door	not overshadowed
East facing					
W03	1200	1810	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
W04	1200	1450	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
South facing					
W05	600	610	aluminium, single, clear	eave 450 mm, 1500 mm above head of window or glazed door	not overshadowed
West facing					
W06	1200	1450	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
W07	1000	1210	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed

Certificate number: 1276679S

Project score		
Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 52	Target 50

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					JOB REF	215780
					SCALE A3	
13/04/2022	CV	M	PRELIMINARY CONCEPT		SHEET	DA 05
DATE	DRAWN BY	REVISION	ISSUE	SIGNED		

CLIENT DETAILS

40 Curl Curl Parade, Curl Curl  
Brooke Bennett

LOT 15 - DP 5539

BASIX COMMITMENTS

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LANDSCAPE OPEN SPACE	
FRONT	14.31
BACK	177.51
191.82 m <sup>2</sup>	

CURL CURL PARADE

Bench Mark

RL 23.91

(AHD)

SQUARE

TOP

KERB

VEHICLE CROSSING

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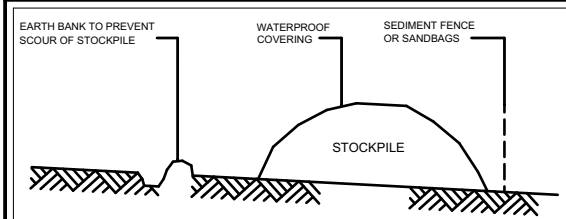
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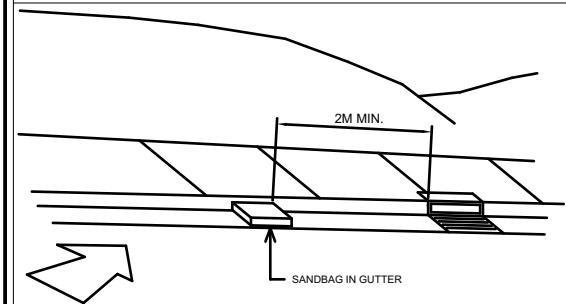
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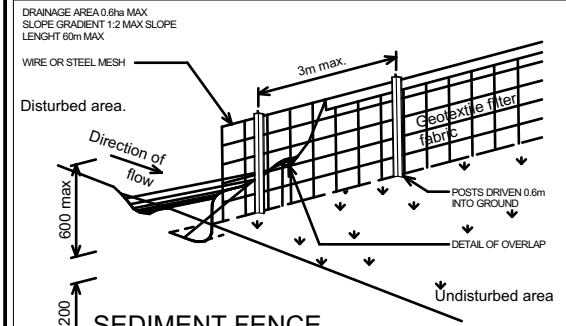
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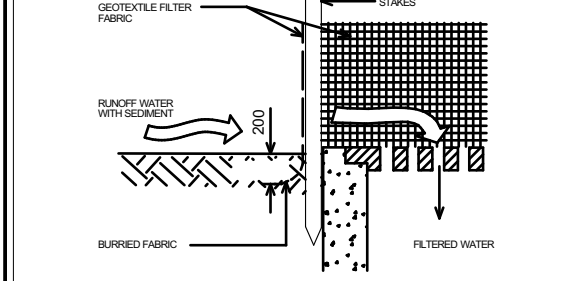
BUILDING MATERIAL STOCKPILES



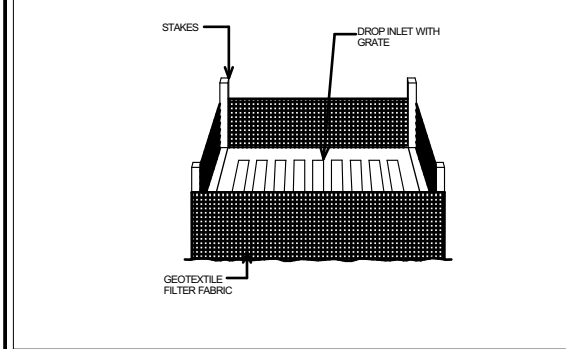
SANDBAG KERB SEDIMENT TRAP



SEDIMENT FENCE

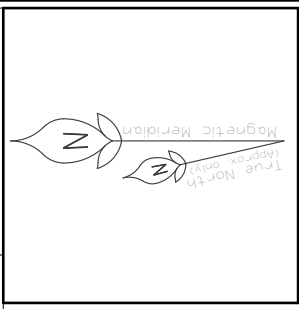


SEDIMENT TRAP TO STORMWATER SUMP



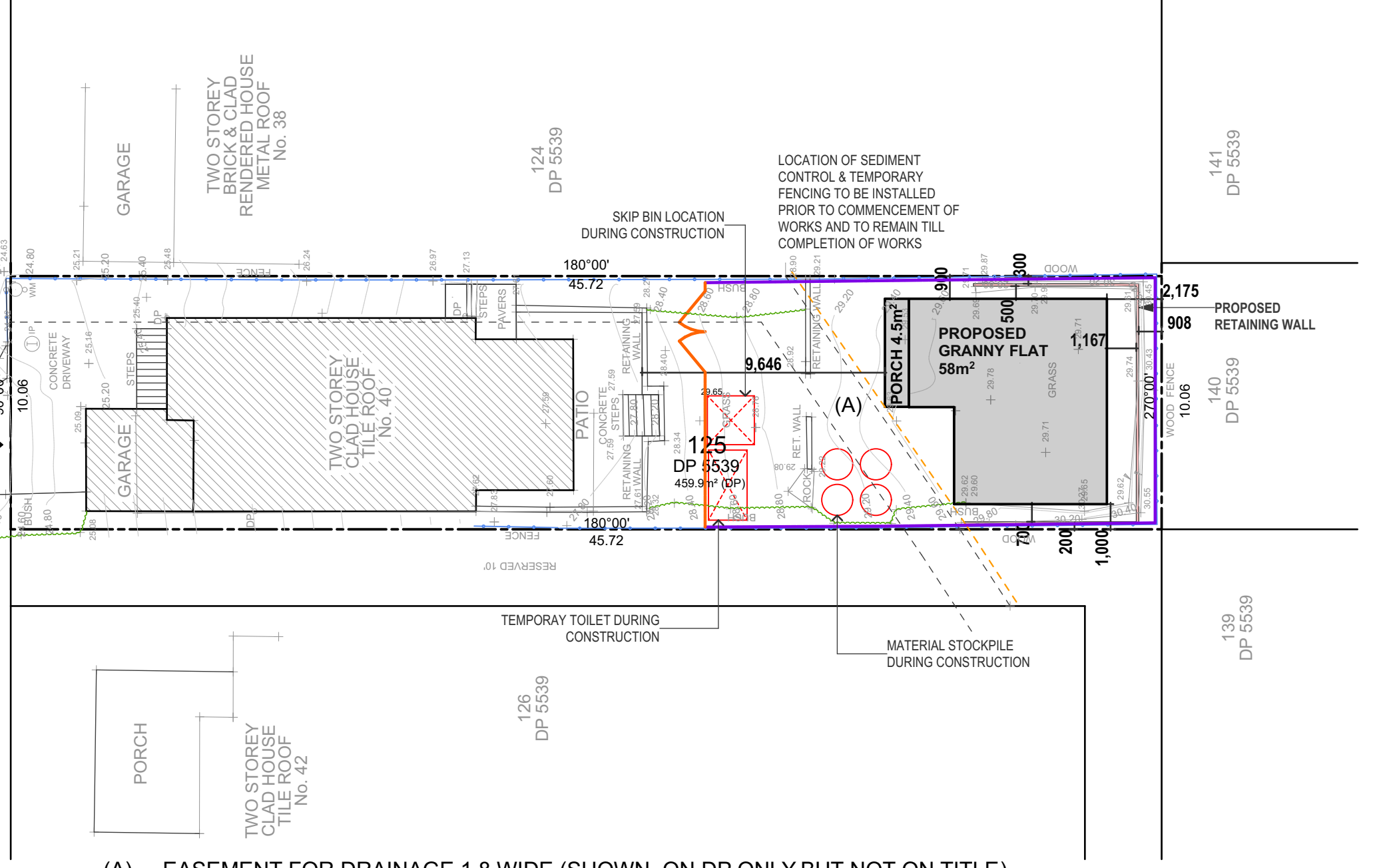
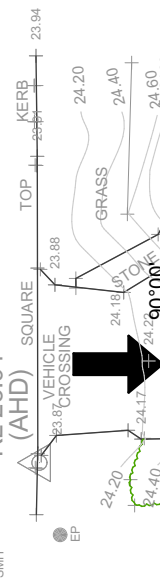
LEGEND:  
PROPOSED PROTECTIVE SITE FENCING  
PROPOSED SEDIMENT CONTROL FENCING

**EROSION AND SEDIMENTATION CONTROL NOTE:**  
1. BUILDER SHALL PROVIDE SEDIMENT FENCING MATERIAL DURING CONSTRUCTION AS INDICATED ON THE PLAN. THE SEDIMENT FENCING MATERIAL TO CYCLONE WIRE SECURITY FENCE. SEDIMENT CONTROL FABRIC SHALL BE AN APPROVED MATERIAL (EG HUMES PROPOEX SILT STOP) STANDING 300mm MIN. ABOVE GROUND AND EXTENDING 200mm BELOW GROUND.  
2. EXISTING DRAINS LOCATED WITHIN THE SITE SHALL ALSO BE ISOLATED BY SEDIMENT FENCING MATERIAL.  
3. NO PARKING OR STOCKPILING OF MATERIALS IS PERMITTED ON THE LOWER SIDE OF THE SEDIMENT FENCE.  
4. GRASS VERGES SHALL BE MAINTAINED AS MUCH AS PRACTICAL TO PROVIDE A BUFFER ZONE TO THE CONSTRUCTION SITE.  
5. ROOF DRAINAGE IS TO BE CONNECTED TO THE STORMWATER SYSTEM AS SOON AS PRACTICAL.  
6. BUILDER SHALL ENSURE ALL CONSTRUCTION TRAFFIC ENTERING AND LEAVING THE SITE DO SO IN A FORWARD DIRECTION.  
7. ALL TEMPORARY STOCKPILES SHALL BE AT LEAST 2000mm CLEAR OF AREAS OF CONCENTRATED WATER FLOW & THE DRIVEWAY.  
8. PROVIDE MESH AND GRAVEL PROTECTION TO GUTTER INLETS NEAR THE ALLOTMENT.



CURL CURL PARADE

Bench Mark  
RL 23.91



(A) EASEMENT FOR DRAINAGE 1.8 WIDE (SHOWN ON DP ONLY BUT NOT ON TITLE)

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TO TAKE PRECEDENCE				
ANY DISCREPANCIES TO BE BROUGHT TO THE ATTENTION OF GRANNYFLAT SOLUTIONS/NEW SOUTH HOMES, PRIOR TO WORKS COMMENCING.				
			JOB REF	215780
			SCALE A3	1:200
13/04/2022	CV	M	PRELIMINARY CONCEPT	
DATE	DRAWN BY	REVISION	ISSUE	SIGNED
			SHEET	DA 10

CLIENT DETAILS	
40 Curl Curl Parade, Curl Curl	
Brooke Bennett	
LOT 15 - DP 5539	
SITE MANAGEMENT PLAN	

DESIGN BY

**NEW SOUTH HOMES** **GrannyFlat** solutions

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