

METROPOLITAN

BUILDING APPROVALS

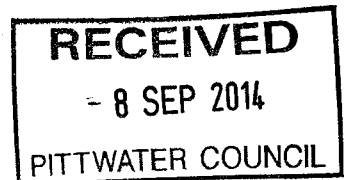
03 September 2014

The General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

PRIVATE CERTIFIER LODGEMENT

**RE – 16A PONDEROSA PARADE, WARRIEWOOD
CONSTRUCTION CERTIFICATE NO. C14-046
DEVELOPMENT CONSENT NO.122/14**



I advise that I have been engaged as the certifier in respect of the above and enclose the Construction Certificate for the project in accordance with the provisions of clause 142(2) of the Environmental Planning and Assessment Regulation 2000.

Please find enclosed the following documents:

- Construction Certificate and documentations;
- Copy of the Notice to Commence Work and Appointment of PCA Form;
- Cheque for \$36.00 being the registration fee for the above;

I would appreciate if a receipt in this regard could be forwarded to our firm as soon as possible.

Please contact the undersigned for any enquiries.

Yours Sincerely,
For Metropolitan Building Approvals

A handwritten signature in black ink, appearing to read "Camile J. Haddad", with a long horizontal line extending to the right.

Camile J. Haddad
Grad Dip Build Surv & Assess MAIBS
Accredited A1 Certifier

Encl.

\$36 REC: 366733 8/9/14

PO Box 124, Cherrybrook NSW 2126 | Shop 17, 30-32 Charles Street, Parramatta NSW 2150

P: (02) 9891 4949 F: (02) 9891 4948 E: admin@metroapprovals.com.au

Metropolitan Building Consultants Pty Ltd trading as Metropolitan Building Approvals ABN 51 003 783 051

CERTIFIERS & CONSULTANTS

METROPOLITAN

BUILDING APPROVALS

Construction Certificate

C14-046

PREMISES:

16A Ponderosa Parade, Warriewood

PROPOSAL:

An industrial development consisting of the addition of concrete paving for provision of further storage bays and demolition of the existing dwelling.

DA REFERENCE:

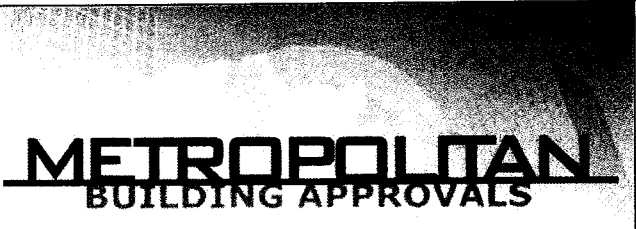
DA122/14

CC REFERENCE:

C14-046

CC DATED:

03 September 2014

	Construction Certificate
	No: C14-046

Details of the Applicant	
Title	Mr <input checked="" type="checkbox"/> Ms <input type="checkbox"/> Mrs <input type="checkbox"/> Dr <input type="checkbox"/>
Name of Applicant (Full name/company & contact person)	Surname: Ambrosius Given name: Michael
Postal address	Company (if applicable): Mirrorbox P/L
Contact details	Street number & name: 16A Ponderosa Parade
	Suburb: Warriewood Postcode: 2102
	Daytime phone: 9979 2000 Mobile: 0411 559 545
	Office phone: Fax:
	Email: michael@supremeselfstorage.com.au

Details of the Development Consent	
Development Consent No.	DA/122/14
Date of Determination	20 th June 2014
Name of Consent Authority	Pittwater Council

Decision of the Certifying Authority	
This certificate is issued: <input checked="" type="checkbox"/> without any conditions <input type="checkbox"/> subject to conditions of the kind referred to in clauses 187 or 188 of the Environmental Planning and Assessment Regulation 2000	
The issue of this certificate has been endorsed on the plans and specifications that were lodged with the application Refer to Attachment "B".	
Date of this decision	3.09.2014


Details of the Land to be Developed	
Address	Street number & name: 16A Ponderosa Parade
	Suburb: Warriewood Postcode: 2102
	Lot: 16 DP/MPS: 12240

Premises: 16 A Ponderosa Parade, Warriewood

Construction Certificate No.: C14-046

Description of the Work Proposed	
Building Class/type	Building Classification: 10b Type of Construction (BCA): N/A
Description of works	Addition of concrete paving for provision of open storage bays.

Certificate Number and date	Construction Certificate No.: C14-046 Date of this Decision: 3 September 2014
Camile Haddad (For and on behalf of Metropolitan Building Approvals certifies that <i>if the work is completed in accordance with documentation accompanying the application for the certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of this Regulation as are referred to in section 81A (5) of the of the Environmental Planning and Assessment Act 1979</i>	

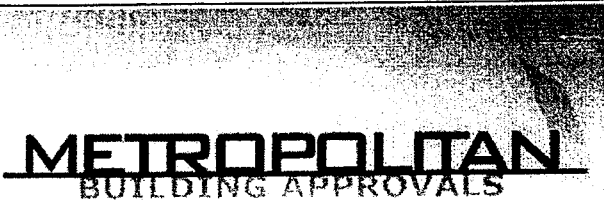
Signature	
For this certificate to be valid, it must be signed by the certifying authority.	
Name of Certifier	Camile Haddad
Accreditation body of the certifier & number	Accreditation body of the certifier: Building Professionals Board Accreditation No.: 0152

Applicant's Right of Appeal	
	If the certifying authority has issued a construction certificate subject to conditions, you can appeal against these conditions to the Land and Environment Court within 12 months from the date of the decision.

Attachments	
Attachment A:	<input checked="" type="checkbox"/> Certificate Application Details
Attachment B:	<input checked="" type="checkbox"/> Plans and Specifications that form part of this Certificate
Attachment C:	<input checked="" type="checkbox"/> Other Supporting Documentation
Attachment D:	<input checked="" type="checkbox"/> Development Consent Permit
Attachment E:	<input checked="" type="checkbox"/> BCA Summary

Attachment A

Certificate Application Details


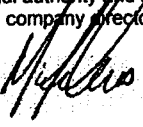
	Construction Certificate Application <small>Under Section 109C (1) (b), 81A (2) and 81A (4) of the Environmental Planning and Assessment Act 1979</small>
	Office Use Only CC No: <u>C14-046</u>
	Date Received: <u>10. 07. 2014</u>

Details of the Applicant	
Title	Mr <input checked="" type="checkbox"/> Ms <input type="checkbox"/> Mrs <input type="checkbox"/> Dr <input type="checkbox"/>
Name of Applicant (Full name/company & contact person)	Surname: <u>Ambrosius</u> Given name: <u>Michael</u>
Postal address	Company (if applicable): <u>Mirrorbox Plc</u> Street number & name: <u>16 A Ponderosa pde</u> Suburb: <u>Warriewood</u> Postcode: <u>2102</u>
Contact details	Daytime phone: <u>9979 2000</u> Mobile: <u>041559 545</u> Office phone: Fax: Email: Note: Applicant is required to sign the second page of this application.

Details of the Land to be Developed	
Address	Level No.: Unit umber: Street number & name: <u>16 A Ponderosa pde</u> Suburb: <u>Warriewood</u> Postcode: <u>2102</u> Lot: DP/MPS:

Service Requested	
I/We the undersigned hereby make application to Metropolitan Building Approvals to undertake the following service: (Place a cross in the box next to the service sought.)	<input checked="" type="checkbox"/> The issue of a Construction Certificate <input checked="" type="checkbox"/> The modification (under Clause 148 of the EP & A Regulations 2000) of previously issued Construction Certificate. <input checked="" type="checkbox"/> The issue of an Occupation Certificate for <input type="checkbox"/> interim, <input type="checkbox"/> final, <input type="checkbox"/> change of use. <input checked="" type="checkbox"/> Occupation/use of a new building. <input checked="" type="checkbox"/> To appoint Camile Haddad as our Principal Certifying Authority, Building Professionals Board, Accreditation No. 0152.

Estimated Cost of the Development	
Estimated amount inc GST	\$ <u>50,000.</u>

Description of the Development	
Type of work proposed	concrete slab.
Has any of the above proposed work commenced on site?	
Yes/No?	<p>Note: An inspection of the site will be carried out as requested as required by Clause 143B of the EP & A Regulation before the construction certificate can be issued.</p>
For Purpose of an Occupation Certificate	
Development Consent details	DA No.: N6122/14 Date of Determination: 20.6.14
	Consent Authority (Local Government):
Construction Certificate details	CC No.: Date CC issued:
	Accredited Certifier/Consent Authority: Camile Haddad Building Professionals Board – BPB0152
Applicant's Signature	
Applicant's Signature	Signature:  Date:
Owner's Signature	
Owner's Consent	<ul style="list-style-type: none">▪ Every owner of the land must sign this application.▪ If the owner is a company, this form must be signed by an authorized director of the company.▪ If the property is a unit under strata title, or a lot in a community title, this form must be signed by the chairperson or the secretary of the Body Corporate or the appointed managing agent.▪ If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (e.g. power of attorney, executor, trustee, company director, etc).
Owner's Signature	Signature:  Signature:
Full Name of Person and/or Company Name & Address	M11/101 BOX P/L
Telephone Number	9979 2000
Date	Date: 4-7-14 Date:
Privacy Policy	
	The information you provide in this application will enable your application to be assessed by the certifying authority. If the information is not provided, your application may not be accepted. Please contact us if the information you have provided in your application is incorrect or changes.

Schedule to Application for a Construction Certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All proposed buildings

Please complete the following:

- Number of storeys (above ground floors)
- Number of storeys (underground floors)
- Gross floor area of proposed building (m²)
- Gross site area (m²)

0
0
158
268

Residential buildings only

Please complete the following details on residential structures:

- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes <input type="checkbox"/> No <input type="checkbox"/>
Yes <input type="checkbox"/> No <input type="checkbox"/>
Yes <input type="checkbox"/> No <input type="checkbox"/>

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	<input type="checkbox"/> 11	Tiles	<input checked="" type="checkbox"/> 10	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40
Brick (veneer)	<input type="checkbox"/> 12	Concrete or slate	<input checked="" type="checkbox"/> 20	Timber	<input type="checkbox"/> 40	Steel	<input type="checkbox"/> 60
Concrete or stone	<input checked="" type="checkbox"/> 20	Fibre cement	<input type="checkbox"/> 30	Other	<input type="checkbox"/> 80	Aluminium	<input type="checkbox"/> 70
Fibre cement	<input type="checkbox"/> 30	Steel	<input checked="" type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90	Other	<input type="checkbox"/> 80
Timber	<input type="checkbox"/> 40	Aluminium	<input type="checkbox"/> 70			Not specified	<input type="checkbox"/> 90
Curtain glass	<input type="checkbox"/> 50	Other	<input type="checkbox"/> 80				
Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90				
Aluminium	<input checked="" type="checkbox"/> 70						
Other	<input type="checkbox"/> 80						
Not specified	<input type="checkbox"/> 90						

Information to be attached to the application

You need to provide material with your application that is relevant to the type of work you propose to do. Please indicate the material you have attached by placing a cross in the appropriate boxes ☐:

1. If you are going to carry out building work:

- ☒ a copy of any compliance certificates on which you rely
- ☒ detailed plans of the building (3 copies)

The plans must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show each elevation of the building
- show the level of the lowest floor, the level of any yard or unbuilt area on that floor and the level of the ground
- indicate the fire safety and fire resistance measures (if any), and their height, design and construction

Where you propose to alter, add to or rebuild a building that is already on the land, or modify plans that have already been approved, please mark the general plan (by colour or otherwise) to show the change you propose to make.

- ☐ detailed specifications of the building (3 copies)

The specifications are to:

- describe the construction (including the standards that will be met), the materials which will be used to construct the building and the methods of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give details of any second-hand materials to be used.

Where you propose to modify specifications that have already been approved, please mark the approved specifications (by colour or otherwise) to show the modification.

- ☐ a plan of the existing building, drawn to scale, where the application involves building work to alter, enlarge or extend that building

This plan will assist Metropolitan Building Consultants Pty Ltd, being the certifying authority to assess whether the work will reduce the fire protection capacity of the building.

- ☐ where you propose to meet the performance requirements of the Building Code of Australia (BCA) by using an alternative solution to the deemed-to-satisfy provisions of the BCA:

- a list of the performance requirements you will meet by using the alternative solution
- the details of the assessment methods you will use to meet those performance requirements
- a copy of any compliance certificates on which you rely

- ☒ evidence of any accredited component, process or design on which you seek to rely
Components, processes or designs that relate to the erection or demolition of a building are accredited under the Environmental Planning and Assessment Regulation 2000.

- ☐ details of the fire safety measures, unless you are building a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool). These details are to include:

- a list of any fire safety measures you propose to include in the building or on the landfill you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land

The lists must describe the extent, capability and the basis of design of each measure.

- ☒ the attached schedule, completed for the development

The information in the schedule will be used by the Australian Bureau of Statistics to report each quarter on the building activity that occurs in the economy. Building statistics allow governments and businesses to accurately identify main areas of population growth and demand for products and services.

☒ a long service levy to construct a building, unless:

- a long service levy has already been paid for the building
- the cost of construction is less than \$25,000
- the building will be constructed for a public authority and those who will do the work are
 - employed by that public authority
 - the building will be constructed by or for a church or non-profit organisation and will be built wholly or partly by volunteers, or
 - the building will be constructed by an owner-builder.

2. If you are going to carry out work to do a subdivision (eg building roads or a stormwater drainage system):

☐ the details of the existing and proposed subdivision pattern (including the number of lots and the location of roads)

☒ the details of the consultation you have carried out with the public authorities who provide or will increase the services you will need (like water, road, electricity, sewerage)

☒ the existing ground levels and the proposed ground levels when the subdivision is completed

☒ copies of any compliance certificates on which you rely

☐ detailed engineering plans (3 copies). The detailed plans might include the following:

- earthworks ☒
- road works ☒
- road pavement ☒
- road furnishings ☒
- stormwater drainage ☒
- water supply works ☒
- sewerage works ☒
- landscaping works ☒
- erosion control works ☒

Where you propose to modify plans that have already been approved, please mark the approved plans (by colour or otherwise) to show the modification.

3. If you are going to change the use of a building or the classification of a building under the Building Code of Australia and you are doing building work (unless the building will now be used as a single dwelling or a non-habitable building or structure (such as a private garage, carport, shed, fence, antenna, wall or swimming pool)):

☒ a list of any fire safety measures you propose to include in the building or on the land if you propose to alter, add to or rebuild a building that is already on the land, a list of the fire safety measures that are currently used in the building or on the land

☐ details as to how the building will comply with the Category One fire safety provisions of the Building Code of Australia

The lists of fire safety measures must describe the extent, capability and the basis of design of each measure.

Attachment B

**Plans and Specification That Form Part of This
Certificate**

ASSESSED DOCUMENTS THAT FORM PART OF THIS CERTIFICATE**Structural Plans & Specification Prepared By MIK Consulting**

Drawing No.	Revision	Title	Date
S01		General Notes	Nov 2004
S02		Slab & Driveway Plan	Nov 2004
S03		Footing Details Sheet one	Nov 2004
S04		Footing Details Sheet two	Nov 2004

Stormwater Plans & Specification Prepared By itm design

Drawing No.	Revision	Title	Date
H-STW	A	Stormwater, drainage & sediment control	15.10.04

Documents That Form Part of this Construction Certificate
Designed and certified by qualified consultants**Other Supporting Documentation:**

- Long Service Levy payment receipt number 172800 dated 29.07.14;
- Certificate of currency for business liability policy number OA10623559 certified by Youi dated 25.02.14;
- Certificate of currency for workers compensation policy number MWN7109944033 certified by Allianz dated 27.06.14;
- Confirmation of Insurance Certificate for public liability policy number SYEN-0200-6375 certified by MK Insurance & P dated 29.01.14;
- Tree removal Authority Letter, certified by owner, Edward Ambrosius dated 15.07.14;
- Sydney water quick check application reference number 8844559 dated 29.07.14;
- Sydney water quick check approved stamped plan property number 3432975;
- Site Plan of Existing Conditions Dwg No. 7010/03/04 Rev 01 dated 29.03.14 by Mudge Property Services;
- Specifications for driveway crossing from Pittwater Council;
- Storm Water Plan Dwg No. 001 approved-stamped by Pittwater City Council
- Application for Sec 139 for kerb, gutter and driveway. Approved by Pittwater Council Receipt No. 362418 dated 01.07.14;
- A letter from Pittwater Council re: Section 139 Roads Act 1993 signed by Ross McWhirter of Pittwater Council dated 7.07.14;
- Evidence of compliance with DA consent being Section 139 Consent certified by Ross McWhirter of Pittwater Council dated 03.09.14 together with civil engineering drawings for pavement & footpath Dwg No 29531-C1 and 29531-C2 by Jack Hodgson Consultants Pty Ltd dated 15.07.14. approved by Council.

Attachment C

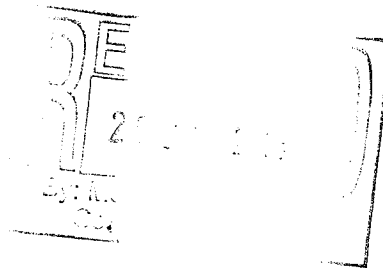
Other Supporting Documentation

Levy Online Payment Receipt

Building and Construction



MIRRORBOX PTY LTD
18 PONDEROSA PDE
WARRIEWOOD NSW 2102



Application Details:

Applicant Name:	MIRRORBOX PTY LTD
Levy Number:	5071180
Application Type:	CC
Application Number:	C14-046
Approving Authority:	PITTWATER COUNCIL

Work Details:

Site Address:	16 PONDEROSA PDE WARRIEWOOD NSW 2102
Value of work:	\$50,000
Levy Due:	\$175.00

Payment Details:

LSC Receipt Number:	172800
Payment Date:	29/07/2014 10:21:51 AM
Bank Payment Reference:	758859794
Levy Paid:	\$175.00
Credit card surcharge:	\$0.70
Total Payment Received:	\$175.70

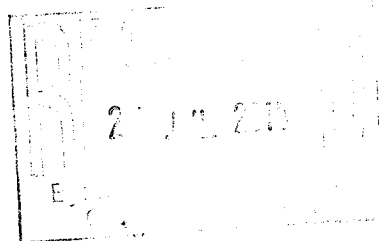
HELPLINE
13 14 41
www.longservice.nsw.gov.au

EMAIL
info@longservice.nsw.gov.au
ABN 93 646 090 808

POSTAL ADDRESS
Locked Bag 3000,
Central Coast MC, NSW 2252



you.insured
car home contents



Certificate of Currency

Policy Number OA10623559

Date 25/02/2014

To Whom It May Concern,

This certificate confirms the following insurance cover is current as at the date shown above.

Details

Insured Plati Group Ppt Ltd Frank Pangallo

Registered address 55 Crescent Road Newport, Nsw 2106

ABN 11 127 258 995

Cover start date 24/02/2014 15:01 (AEST)

Cover end date 23/02/2015 Midnight

Cover type Business Liability Insurance

Insured value \$10,000,000

Financial interest Plati Group Ppt Ltd Frank Pangallo

Special conditions

An Additional Excess of \$10,000 applies to any claim for personal injury and/or property damage to subcontractors of the insured business. This Additional Excess is in addition to all other excesses which may apply at the time of a claim.

Yours sincerely,

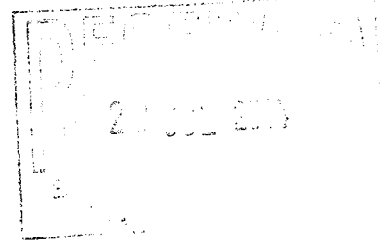
Youi Client Services

Allianz Australia Workers' Compensation (NSW) Limited
ACN 003 087 545 ABN 17 003 087 545
Agent for the NSW WorkCover Scheme
ABN 83 564 379 108 002
GPO Box 5429 Sydney NSW 2001fa
Phone: 1300 130 664 Fax: 02 9266 7223



CERTIFICATE OF CURRENCY

NORTHERN BEACHES EXCAVATION
PO BOX 5056
ELANORA HEIGHTS
NSW 2101



Dear Sir/Madam,

1. STATEMENT OF COVERAGE

The following policy of insurance covers the full amount of the employer's liability under the *Workers Compensation Act 1987*.

This Certificate is valid from 30/06/2014 to 30/06/2015

The information provided in this Certificate of Currency is correct at: 27 June 2014

2. EMPLOYERS INFORMATION

POLICY NUMBER MWN7109944033
LEGAL NAME PAUL ANTHONY EVANS
TRADING NAME NORTHERN BEACHES EXCAVATION
ABN 67 455 792 440 ACN/ARBN
TRUST NAME
TRUST ABN

WorkCover Industry Classification Number (WIC)	Industry	Number of Workers*	Wages*
421020	SITE PREPARATION SERVICES	1	\$60,000

* Number of workers includes contractors/deemed workers
* Total wages estimated for the current period



**INSURANCE
ADVISERNET**
AUSTRALIA PTY LIMITED

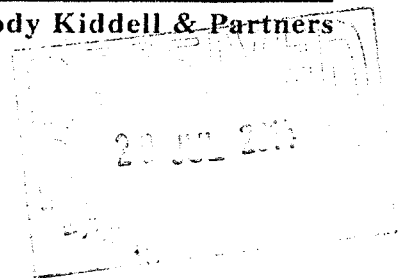
Australian Financial Services Licence Number 240349
ABN 15 003 886 687

www.insuranceadviser.net



INSURANCE

Moody Kiddell & Partners



29/01/2014

To Whom it May Concern

CONFIRMATION OF INSURANCE CERTIFICATE

This is to certify that the undermentioned Insurance Policy has been issued and current until 4:00pm on 29/01/2015.

Insured's Name:	Northern Beaches Excavations
Interested Parties:	N/A
Insurers:	Wesfarmers General Insurance Limited t/a Lumley Insurance
Policy Number:	SYEN-0200-6375
Class of Risk:	Plant Equipment and Liability
Brief Details of Cover:	Plant & Equipment As per attached Schedule Liability Public and Products Liability: \$10,000,000 Care, Custody and Control Limit:\$250,000 Vibration, Removal and/or Weakening of Support Limit:\$500,000 Excess: \$1,000

This is to certify that the above policy is current to the expiry date shown above unless cancelled in the meantime, subject to Terms and Conditions of the policy

Disclaimer

The information provided is a summary only and does not amend, extend, alter or set out the full terms of the policy referred to nor do we confirm or warrant the Insurance cover is in force at the date of this advice. You must always refer to the policy for full details and to the extent of any inconsistency the policy prevails. The policy is also subject to the operation of the Insurance Contracts Act 1984 (cth), including in particular, the insurer's rights under section 28 in relation to pre contractual non disclosure or misrepresentation. We will not provide any updates in relation to the policy to any third party unless we specifically agree to do so in writing with that third party.

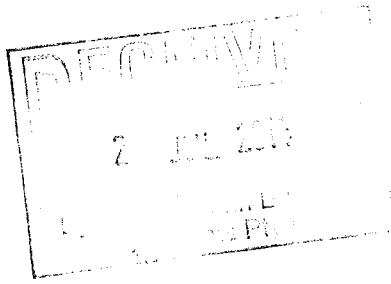
Yours Faithfully,

Nalini Reddy

Authorised Representative No: 320024

278-C600105317-P601069602-1
PO Box 83, ARTARMON NSW 1570

15/7/14



To whom it may concern,

I Edward Ambrosius, owner of 14B Ponderosa Pde Warriewood give permission to remove the NON
NATIVE tree bordering my property as it is damaging the footings of the house.

Regards

A handwritten signature in black ink, appearing to be "Ed", followed by a long, sweeping horizontal line that extends across the page.

Edward Ambrosius



Application Lodgement Summary

Sydney
WATER

Reference Number 8844559

Date Requested: Tue July 29 2014

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale
Applicant MIRROR BOX PTY LTD, 16 PONDEROSA PDE WARRIEWOOD 2102
Property/Asset 16 Ponderosa Pde, Warriewood 2102 (Mirror Box Pty Ltd) PNum: 3432975
225 mm VC Sewer Main - (2779419) (WasteWater)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application	\$17.50	\$0.00	\$17.50

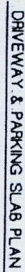
Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

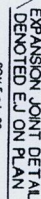
Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.



MAINTAINING AROUND PITS TO BE COMPLETED AS PER NOTES
PITS, HOPES, LOCATIONS, LEVELS, AND FALLS TO ARCHITECTURAL AND STORMWATER DOCUMENTATION
ADVISE ENGINEER IMMEDIATELY FOR INSTRUCTION WHERE GROUND CONDITIONS VARY TO DETAILS.

CHURCH OF THE HOLY TRINITY



KEYED JOINT DETAIL
DENOTED E-J ON PLAN

SECRET - 11

SCALE = 1:2

SCALE = 1 : 20

2 FOR GENERAL NOTES AND
DRAWING SCHEDULE REFER
TO DRAWING NUMBER 901

PVP concentration (g/100 ml)	Apparent molecular weight (10^5)
0	~80
1	~75
5	~65
10	~55
20	~45
30	~35
40	~25
50	~10

I hereby state that these plans or details comply with the conditions of development set out in the provisions of the Wildlife Code of Australia.

JACK HODGSON CONSULTANTS PTY. LIMITED
 Certified On-Boarded and Insured

GH	GH	29531-5
15 JULY 2014		
GSM		

RECEIVED
01 JUL 2014
By: Metropolitan Building
Consultants Pty Ltd

CUTTER LEVEL 23.00

NO. 14
2 STORY
BRICK
RESIDENCE
TILE ROOF

RIDGE LEVEL 24.53

CUTTER LEVEL 22.99

LOT 1
DP 805463

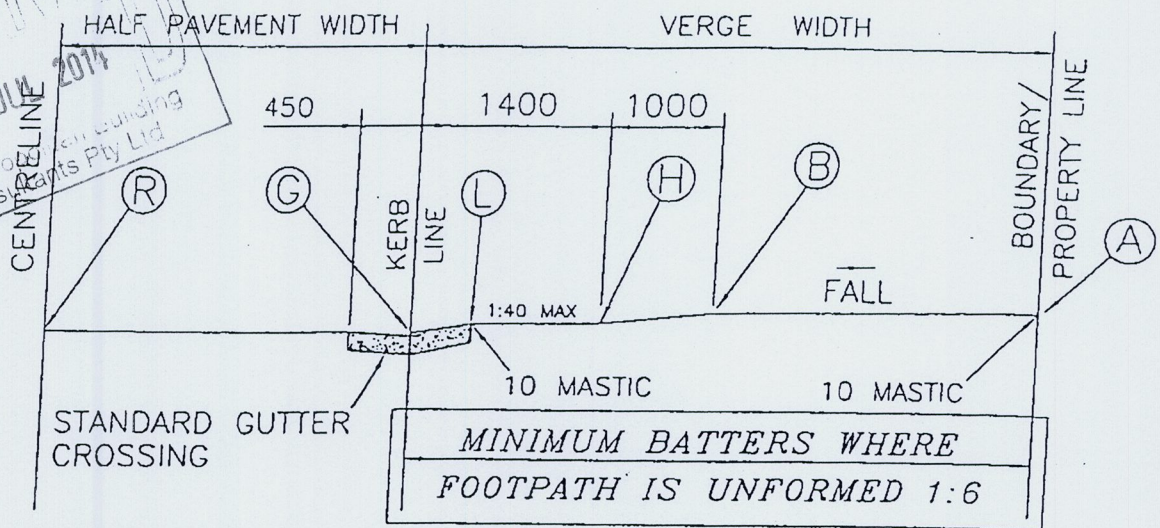
GARAGE
RIDGE LEVEL 21.62

PLAN SHOWING: DETAIL AND LEVELS OVER LOT16 IN DP 12204, BEING 1/4 PONDEROSA PARADE, WARRIEWOOD.		DRAWING No.: 7010/03/04	
		REVISION No.: 01	
		FIELD BOOK No.: N/A	
		SURVEY BY: A.S.	

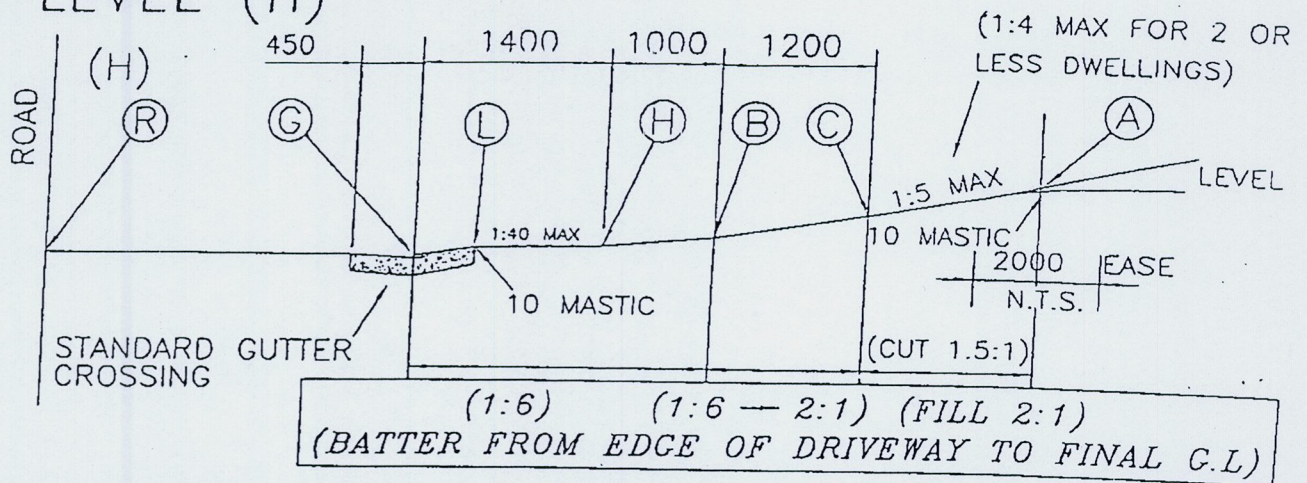
Spec for driveway crossing
from R. to H. road

NORMAL (N)

STANDARD DRIVEWAY PROFILES FOR ALL DEVELOPMENTS



HIGH LEVEL (H)



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE "G"
H	1000 FROM BACK OF LAYBACK	130 ABOVE "G"
B	2400 FROM KERB LINE	MAX 200 ABOVE "G"
C	3600 FROM KERB LINE	MAX 400 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

- All construction within the road reserve to be in plain uncoloured 20MPa concrete unless otherwise approved by Council.
- Single dwellings - 20MPa concrete 130mm thick.
- Dual occupancies where the crossing services both dwellings - 20MPa concrete 150mm thick with F72 reinforcement.
- The Vehicular crossing and the driveway to 2400 behind the kerblines is to be graded parallel with the road centre line grading.
- Driveway pavers to be laid on a 100mm concrete base.



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Standard Driveway Profiles

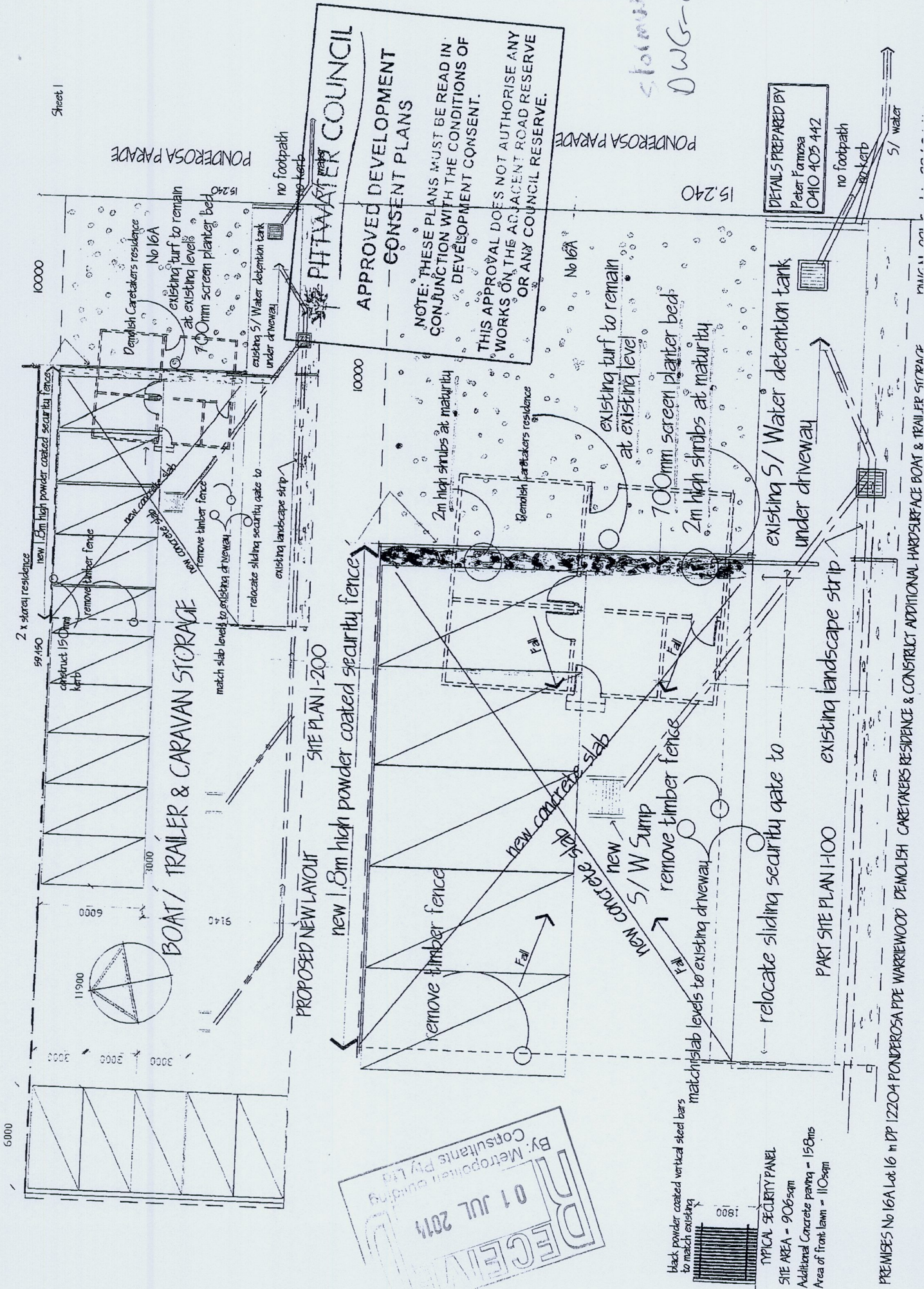
NORMAL TO HIGH

PLAN NO.

NH-1

SHEET NO. 1 OF 1 SHEETS

02401000
K. Johnson
DWG-001



RECEIVED
01 JUL 2014
By: Metropolitan Building Consultants Pty Ltd

black powder coated vertical steel bars
to match existing

1800

TYPICAL SECURITY PANEL

SITE AREA = 906 sqm

Additional Concrete paving = 158ms

Area of front lawn = 1105sqm

PITTWATER COUNCIL

RECEIVED MONA VALE

01 JUL 2014

CUSTOMER SERVICE

C14-046-

UEA311

Application for Section 139 Consent to Work in a Public Road Reserve (including Driveways)

PLEASE PRINT

Applicant / Owner: Michael Ambrosius

Company Name (if applicable): Mirrorbox Pty Ltd

Postal Address: P.O. Box 973 mona vale Postcode: 1660

Phone (Work): 9979 2000 Phone (Mobile): 0411 559 545

Applicant Name: Mirrorbox p/c Owners consent Name: _____

Signature: [Signature] Signature: _____

Date: 1-7-14 Date: _____

Property Address: 16 A Ponderosa pde Warriewood 2102

Development Application (DA) No. (where applicable): No 122/14

Nature of Work: ☒ Driveway ☐ Retaining wall (specify type) _____
☐ Road pavement ☐ Stairs ☐ Footpath paving ☐ Landscape treatment
☒ Kerb and gutter ☐ Other (please specify) _____

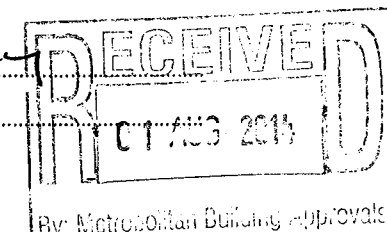
Plans are to be attached Yes / No

Description of works: Kerb & gutter and driveway

Note A: Where not associated with a Development Application/ Consent

Note B: Residential - single dwelling & dual occupancy in association with a Development Consent

Note C: Other than residential - single dwelling and dual occupancy in association with a Development Consent



FEES

	No DA (see Note A)	DA (see Note B)	DA (see Note C)
Access Driveway only across road reserve (boundary to pavement edge) and Landscape Treatment (includes 2 site inspections) per allotment.	\$277	<u>\$328</u>	<u>\$330</u>
Access Driveway and/or retaining structures / stair structures / special landscape treatment (includes 2 site inspections) per allotment	\$441	\$441	\$656
Fee per additional site inspection	\$277	\$277	\$277

Notes:

1. **This application will not be considered until the required fees have been paid.**
2. This application does **NOT** constitute an approval to commence or proceed with any work.
3. A Section 139 Consent is required under the Roads Act 1993.
4. Following payment of the required fees, the application will be assessed by Council's Urban Infrastructure Business Unit. If the application is approved, a written consent, including conditions, will be issued by the Road Authority (Council).
5. **WORK MAY ONLY COMMENCE FOLLOWING RECEIPT OF THE WRITTEN CONSENT FROM COUNCIL. THE CONSENT MUST BE KEPT ON SITE AT ALL TIMES DURING THE WORKS.**

Office Use Only: (1.7.14 - 30.6.15)

CODE: EREC

Late Fee: \$790 when work commenced prior to issue of Section 139 Consent

FEE: 330-00 RECEIPT NO: 362418 ISSUED BY: KS DATE: 1/2/14

Enquiries: - please contact Boondah Works Depot Ph: (02) 9970 1180

NOTE TO CUSTOMER SERVICE:

PHOTOCOPY APPLICATION FORM AND STAPLE WITH RECEIPT FOR CUSTOMER'S RECORD



PITTWATER COUNCIL

ABN61340837871

Telephone 02 9970 1111

Fax 02 9970 1200

Postal Address

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

Ross McWhirter, Project Leader – Road Reserve Management
8am to 4:30pm Mon - Fri
Phone 9970 1207 Mobile 0419 629 007

7 July 2013

Mirrorbox Pty Ltd
PO Box 973
MONA VALE NSW 1660

Dear Sir,

Re: 16A Ponderosa Parade, Warriewood - Section 139 Roads Act 1993

Reference is made to your application to undertake works in the road reserve in association with the industrial development at 16A Ponderosa Parade, Warriewood.

Kerb and gutter, footpath and driveway in the road reserve are associated with the construction of the development which has been approved under Consent No. N0122/14.

Condition C7 states that: -

"Applicants will be required to obtain prior to the issue of a Construction Certificate, a Section 139 Consent for Works on a Public Road Reserve issued by the Council under the provisions of Section 138 of the Roads Act 1993 for the design and construction of any works located on the road reserve including kerb and gutter, footpaths and driveway."

Condition C6 of Consent No. N0122/14 requires the submission of plans and details for the kerb and gutter and concrete footpath in accordance with Council's standards. The engineering details are required to be submitted by a qualified practicing civil engineer with corporate membership of the Institute of Engineers Australia and accepted by Council prior to the issuing of a Section 139 Consent. Upon approval of the engineering designs, engineering assessment fees are to be paid to Council in accordance with its adopted fees and charges. Council will issue the Section 139 consent upon the acceptance of the engineering plans and payment of the engineering assessment fees.

Please contact the abovementioned officer if you wish to discuss this matter.

Yours sincerely

Ross McWhirter
PROJECT LEADER – ROAD RESERVE MANAGEMENT

Email pittwater_council@pittwater.nsw.gov.au Web pittwater.nsw.gov.au

Mona Vale Customer Service Centre
Village Park 1 Park Street, Mona Vale

Avalon Customer Service Centre
59A Old Barrenjoey Road, Avalon

Support Services
Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

Boondah Depot
1 Boondah Road, Warriewood

Ross McWhirter, Project Leader – Road Reserve Management
8am to 4:30pm Mon - Fri
Phone 9970 1207 Mobile 0419 629 007

3 September 2014

Mirrorbox Pty Ltd
PO Box 973
MONA VALE NSW 1660

Dear Sir,

Re: SECTION 139 CONSENT (*Roads Act 1993*) – 16A Ponderosa Parade, Warriewood

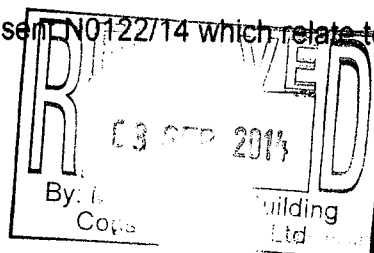
Council grants the applicant(s), Mirrorbox Pty Ltd, consent to construct road pavement, kerb and gutter and concrete footpath in the public road reserve at 16A Ponderosa Parade, Warriewood.

The following drawings are referenced in relation to this Section 139 consent: -

- Civil Engineering Drawings dated 15 July 2014 by Jack Hodgson Consultants Pty Ltd – Drawing Numbers 29531-C1 and 29531-C2.

This Section 139 Consent is granted subject to the following conditions: -

1. The Applicant(s) shall, at all times, keep indemnified Council from and against all actions, suits, proceedings, losses, costs, damages, changes, claims and demands in any way arising out of or by reason of anything done or omitted to be done by the Applicant(s) in respect of the work in question.
2. The Applicant(s), at all times for the duration of this Consent, will not interrupt or otherwise disturb the traffic flow on the road without first obtaining the consent of Council.
3. A copy of this Section 139 consent is to be provided to the civil contractor(s) and kept on site during construction.
4. In the event that the construction requires the use of a mobile concrete pump in the road reserve, separate approval must be obtained from Council for that activity. Form No UEA313 (*Application to Stand Construction Plant on a Public Road Reserve*) must be lodged with the applicable fees.
5. The Applicant(s) shall be responsible for the cost of all service and utility adjustments associated with the construction of the road works. Contact Dial Before You Dig (1100) at least two working days before the works are due to start for information on the location of underground pipes and cables.
6. Compliance with conditions of Development Consent N0122/14 which relate to the road reserve and hours of construction.



7. Council will oversee the road works. Council is to be contacted prior to works commencing to confirm inspections required and the hold points for construction. Council inspections are required for: -
 - Roller tests on pavement layers.
 - Formwork for concrete works, including kerb and gutter and footpath.
8. The Applicant(s) shall make good any damage caused to the property of any person or any property of Council by reason of the carrying out of any work by the Applicant(s) under the Conditions of this Consent.
9. Should the Applicant(s) fail to comply with any of these conditions or any requirement of Council as provided then this Consent shall permanently lapse and any part of the work remaining within the road at that time shall be deemed to be an obstruction or encroachment under *Section 107 of the Roads Act 1993*.
10. This Consent receipt must be held on the job and produced to any officer of Council when called upon.
11. The Applicant(s) shall accept all responsibility for public safety during the construction of the works.
12. COUNCIL IS TO BE ADVISED WHEN THE WORKS HAVE BEEN COMPLETED. Upon receipt of this advice, Council will inspect the works to determine if they are satisfactory. Any works deemed by Council to be unsatisfactory are to be rectified to Council's reasonable satisfaction.

Yours sincerely

R McWhirter

Ross McWhirter

PROJECT LEADER – ROAD RESERVE MANAGEMENT

Enclosures: - List of Council Authorised & Accredited Concrete Contractors for Vehicle Footpath Crossings and Associated Works

LIST OF COUNCIL AUTHORISED & ACCREDITED **CONCRETE CONTRACTORS** **FOR VEHICLE FOOTPATH CROSSINGS & ASSOCIATED WORKS**

- as at 1st September 2014 -

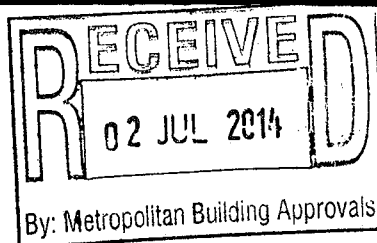
- The following Contractors are authorised to carry out the above construction within the road reserve in the Pittwater Council area. No other persons are permitted to carry out excavation or any other part of this work.
- Please note that the Contractors are specifically authorised as vehicle footpath crossing Contractors only and in some instances the Contractors may not hold a Builder's Licence or a Restricted Builder's Licence.

Company Name	Address	Address	Phone	Mobile
Action Concreting & Construction Pty Ltd	PO Box 521	Collaroy 2097	99822135	0414355772
Barrie Bree Contracting	29 Seaview Ave	Newport 2106	99978840	0415183146
Bellamy Concrete Pty Ltd	PO Box 225	Freshwater 2096		0414158482
C-Side Formwork Pty Ltd	29 Elanora Rd	Elanora 2101	99131653	0404872111
Freshwater Environmental Constructions	17 Binalong Ave	Allambie Heights 2100	99053770	0414543957
G C Concrete	50 Dryden Ave	Carlingford 2118	98723892	0418651431
Kelpie Concreting	15 Crummock St	Wheeler Heights 2097		0410514024
Masterform Services Pty Ltd	150 Alfred St	Narraweena 2099	99716309	0438227887
NBE Concreting	45 Brinawa St	Mona Vale 2103		0418244793
Northern Beaches Concreting	14 Ethie Rd	Beacon Hill 2100		0417640546
Northside Concreting Services Pty Ltd.	PO Box 168	Mona Vale 1660	99976363	0411529004
Pavecrete	PO Box 710	Avalon Beach 2107	99187948	0418772799
Performance Concrete Pty Ltd	104 Stella St	Collaroy Plateau 2097	99828451	0414182553
RFE Earthmoving Pty Ltd	6/9 Ponderosa Pde	Warriewood 2102	99996816	0414413877
S&E Cavalieri Pty Ltd	4/7-9 Quirk Rd	Manly Vale 2093		0411610715
Statewide Civil	36 Abbott Rd	Seven Hills 2147	96749997	
Supreme Concrete Australia Pty Ltd	96 Wilson Rd	Acacia Gardens 2763		0405464102
Universal Concrete Construction Pty Ltd	PO Box 410	Dee Why 2099	0418394395	0418225871
Wayne Duffy Building Services Pty Ltd	PO Box 1757	Warriewood 2102	99795521	0419273260

Attachment D

Development Consent Permit

PITTWATER COUNCIL



ABN 61 340 837 871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

Business Hours:

8.00am to 5.30pm, Monday to Thursday

8.00am to 5.00pm, Friday

DA No: N0122/14

24 June 2014

MIRRORBOX PTY LTD
C/- PO BOX 49
NEWPORT NSW 2106

Dear Sir/Madam

Development Application for an industrial development consisting of the addition of concrete paving for provision of further storage bays and demolition of the existing dwelling at 16A PONDEROSA PARADE WARRIEWOOD NSW 2102.

I am pleased to advise that this application has been approved and I attach for your assistance a copy of the Development Consent, the conditions of approval and a copy of the approved plans.

If building works are involved, prior to proceeding with the proposal, it will be necessary for you to lodge a Construction Certificate Application with either Council or an accredited Certifier.

I take this opportunity to direct your attention to Section C of the Consent which details the matters to be satisfied prior to issue of the Construction Certificate.

Additionally, for your reference, please find enclosed Information Sheets that will assist in providing information you will need to consider for the processes following on from receiving this consent.

If there are any matters relating to this approval which require further explanation, please contact me prior to commencing work on the site.

Enquiries relating to the Construction Certificate application should be directed to Council's Customer Service or your private certifier.

Yours faithfully

Angela Brown
PLANNER

pittwater_council@pittwater.nsw.gov.au

pittwater.nsw.gov.au

Village Park 1 Park Street, Mona Vale

59A Old Barrenjoey Road, Avalon

Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

1 Boondah Road, Warriewood

PITTWATER COUNCIL

ABN61340837871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

CONSENT NO: N0122/14
ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)
NOTICE TO APPLICANT OF DETERMINATION
OF A DEVELOPMENT APPLICATION

Applicant's Name and Address:

Mirrorbox Pty Ltd
C/- Vaughan Milligan Development Consulting
PO BOX 49
Newport
NSW 2106

Being the applicant in respect of Development Application No N0122/14

Pursuant to section 80(1) of the Act, notice is hereby given of the determination by Pittwater Council, as the consent authority, of Development Application No **N0122/14** for:

an industrial development consisting of the addition of concrete paving for provision of further storage bays and demolition of the existing dwelling

At: 16 A PONDEROSA PARADE, WARRIEWOOD NSW 2102 (Lot 16 DP 12240)

Decision:

The Development Application has been determined by the granting of consent based on information provided by the applicant in support of the application, including the Statement of Environmental Effects, and in accordance with

Architectural drawing 921-C, prepared by Peter Formosa, dated 28 April 2014.

as amended in red (shown clouded) or as modified by any conditions of this consent.

The reason for the imposition of the attached conditions is to ensure that the development consented to is carried out in such a manner as to achieve the objectives of the Environmental Planning and Assessment Act 1979 (as amended), pursuant to section 5(a) of the Act, having regard to the relevant matters for consideration contained in section 79C of the Act and the Environmental Planning Instruments applying to the land, as well as section 80A of the Act which authorises the imposing of the consent conditions.

Endorsement of date of consent 20-Jun-2014

Mark Ferguson
GENERAL MANAGER

Per:



pittwater_council@pittwater.nsw.gov.au

pittwater.nsw.gov.au

Village Park 1 Park Street, Mona Vale

59A Old Barrenjoey Road, Avalon

Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

1 Boondah Road, Warriewood

PITTWATER COUNCIL

ABN61340837871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

Conditions of Approval

This consent is not an approval to commence building work. The works associated with this consent can only commence following the issue of the Construction Certificate.

Note: Persons having the benefit of development consent may appoint either a council or an accredited certifier as the principal certifying authority for the development or for the purpose of issuing certificates under Part 4A of the Environmental Planning and Assessment Act. When considering engaging an accredited certifier a person should contact the relevant accreditation body to ensure that the person is appropriately certified and authorised to act in respect of the development.

A. Prescribed Conditions:

1. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
2. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, there is to be such a contract in force.
3. Critical stage inspections are to be carried out in accordance with clause 162A of the *Environmental Planning & Assessment Regulation 2000*. To allow a Principal Certifying Authority or another certifying authority time to carry out critical stage inspections required by the Principal Certifying Authority, the principal contractor for the building site or the owner-builder must notify the Principal Certifying Authority at least 48 hours before building work is commenced and prior to further work being undertaken.
4. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - a) showing the name, address and telephone number of the Principal Certifying Authority for the work, and
 - b) showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
 - c) stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

5. Residential building work within the meaning of the *Home Building Act 1989* must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the following information:
 - a) in the case of work for which a principal contractor is required to be appointed:
 - i) The name and licence number of the principal contractor, and
 - ii) The name of the insurer by which the work is insured under Part 6 of that Act.
 - b) in the case of work to be done by an owner-builder:
 - i) The name of the owner-builder, and
 - ii) If the owner-builder is required to hold an owner-builder permit under that Act, the number of the owner-builder permit.

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6. If arrangements for doing the residential building work are changed while the work is in progress so that the information notified under subclause (2) becomes out of date, further work must not be carried out unless the Principal Certifying Authority for the development to which the work relates (not being the Council) has given the Council written notice of the updated information.
7. The hours of construction are restricted to between the hours of 7.00am and 5.00pm Monday - Friday and 7.00am to 1.00pm on Saturdays. No works are to be carried out on Sundays or Public Holidays. Internal building work may be carried out at any time outside these hours, subject to noise emissions from the building or works not being audible at any adjoining boundary.

Note: This condition does not apply in relation to Crown building work that is certified, in accordance with Section 116G of the Act, to comply with the technical provisions of the States building laws.

B. Matters to be incorporated into the development and maintained over the life of the development:

1. This approval/consent relates only to the new work nominated on the approved consent plans and does not approve or regularise any existing buildings or structures within the property boundaries or within Council's road reserve.
2. Security lighting must be compliant with Australian Standard AS4282 *The control of the obtrusive effects of outdoor lighting*.
3. If any Aboriginal Engravings or Relics are unearthed all work is to cease immediately and the Aboriginal Heritage Office (AHO) and Office of Environment and Heritage (OEH) are to be notified.
4. Prior to the completion of works, all declared noxious weeds are to be removed/controlled in accordance with the Noxious Weeds Act 1993. Environmental weeds are to be removed and controlled. Refer to Pittwater Council website http://www.pittwater.nsw.gov.au/environment/noxious_weeds for noxious/environmental weed lists.
5. No environmental weeds are to be planted on the site. Refer to Pittwater Council website http://www.pittwater.nsw.gov.au/environment/noxious_weeds for environmental weed lists.
6. Domestic pet animals are to be kept from entering wildlife habitat areas at all times. Dogs and cats are to be kept in an enclosed area or on a leash such that they cannot enter areas of bushland or foreshore, unrestrained, on the site or on surrounding properties or reserves. Ferrets and rabbits are to be kept in a locked hutch/run at all times.
7. Any vegetation planted onsite outside approved landscape zones is to be consistent with:
 - a) Species listed in the Ecological Sustainability Plan or Bushland Management Plan (if applicable)
 - b) Species listed from the Endangered Ecological Community
 - c) Locally native species growing onsite and/or selected from the list pertaining to the vegetation community growing in the locality as per the vegetation mapping and Native

pittwater_council@pittwater.nsw.gov.au

pittwater.nsw.gov.au

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Mona Vale NSW 1660

DX 9018, Mona Vale

Plants for Your Garden available on the Pittwater Council website
http://www.pittwater.nsw.gov.au/environment/species_lists

8. No building materials or other materials are to be placed on Bushland vegetation. Sediment is not to leave the site or enter areas of Bushland vegetation, and the appropriate sediment fencing is to be installed.
9. As part of the integrated stormwater management plan, suitably positioned stormwater quality improvement devices shall be installed and operated in accordance with Manufacturer's Specifications and associated operational guidelines.
10. Development and business operations must comply with the Protection of the Environment Operations Act, 1997, and any relevant legislation.
11. No water pollution shall result from the operation of any plant or equipment or activity carried out.
12. Noise from the operation of any plant or equipment at the premises shall not exceed amenity criteria listed in the NSW Industrial Noise Policy, January 2000.
13. No odour nuisance to the public or any adjoining premises, shall be created by the operation of any plant or equipment or any procedure carried out at the premises.
14. No emissions of air pollution shall be created by the operation of any plant or equipment or any procedure carried out at the premises.
15. The operation of any plant or equipment or any procedure carried out at the premises shall not cause land pollution.
16. Materials and colour schemes are to be in accordance with the samples submitted to Council with the application.

C. Matters to be satisfied prior to the issue of the Construction Certificate:

Note: All outstanding matters referred to in this section are to be submitted to the accredited certifier together. Incomplete Construction Certificate applications / details cannot be accepted.

1. Submission of construction plans and specifications and documentation which are consistent with the approved Development Consent plans, the requirements of Building Code of Australia and satisfy all conditions shown in Part B above are to be submitted to the Principal Certifying Authority. ✓
2. Structural Engineering details relating to the alterations and additions are to be submitted to the Accredited Certifier or Council prior to release of the Construction Certificate. Each plan/sheet is to be signed by a qualified practising Structural Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field. ✓

pittwater_council@pittwater.nsw.gov.au

pittwater.nsw.gov.au

Village Park 1 Park Street, Mona Vale

59A Old Barrenjoey Road, Avalon

Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

1 Boondah Road, Warriewood

3. Written owners consent must be obtained to remove tree located on neighbouring property (14C Ponderosa PaArade, Warriewood). If owners consent is not granted then the tree must be safely retained and any works within 5 metres of the tree to be retained including pruning, demolition, excavation, civil works, fencing and the like must be carried out by hand under the supervision of an experienced and qualified Arborist. Should roots larger than 50mm be encountered all excavation works are to cease immediately and a qualified Arborist is to advise on the impacts of the roots removal on the tree's survival and report to the Principal Certifying Authority prior to works recommencing. If tree roots are present a pier and beam method of footing construction is to be adopted so as to bridge/span any identified lateral roots.

4. Engineering plans including specifications and details of the on-site stormwater detention system, are to be submitted to the Accredited Certifier or Council with the Construction Certificate application. Such details are to be accompanied by a certification by a qualified experienced practicing Civil Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, confirming that the plans/details comply with B5.7 of Pittwater 21 DCP.

Note: Where Council is the Principal Certifying Authority, 3 sets of engineering plans are to be submitted.

5. Drainage plans including specifications and details showing the site stormwater management are to be submitted to the Accredited Certifier with the Construction Certificate application. Such details are to be accompanied by a certificate from (as appropriate) either a Licensed plumber or qualified practicing Civil Engineer with corporate membership of the Institute of Engineers Australia (M.I.E), or who is eligible to become a Corporate member and has appropriate experience and competence in the related field, that the stormwater management system complies with the requirements of section 3.1.2 Drainage of the Building Code of Australia Housing Provision and AS/NZS 3500.3.2 - Stormwater Drainage. The details shall include disposal of site stormwater (if the site is in a known slip area the stormwater disposal system must comply with the recommendations of a Geotechnical Engineers Report).

Note: Where Council is the Principal Certifying Authority 3 sets of plans/specifications are to be submitted.

6. Plans and details demonstrating that the following issues have been addressed are to be submitted to the Accredited Certifier with the Construction Certificate application.

- a) Kerb and gutter and concrete footpath construction for the length of the sites frontage in accordance with Councils standards
- b) All construction in the road reserve must be undertaken by a Council authorised contractor.

7. Applicants will be required to obtain prior to the issue of a Construction Certificate, a Section 139 Consent for Works on a Public Road Reserve issued by the Council under the provisions of Section 138 of the Roads Act 1993 for the design and construction of any works located on the road reserve including kerb and gutter, footpaths and driveway.

D. Matters to be satisfied prior to the commencement of works and maintained during the works:

Note: It is an offence to commence works prior to issue of a Construction Certificate.

PITTWATER COUNCIL

ABN61 340837871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

1. Any proposed demolition works shall be carried out in accordance with the requirements of AS2601-2001 *The Demolition of Structures*.

Amongst others, precautions to be taken shall include compliance with the requirements of the WorkCover Authority of New South Wales, including but not limited to:

- a) Protection of site workers and the general public.
- b) Erection of hoardings where appropriate.
- c) Asbestos handling and disposal where applicable.
- d) Any disused service connections shall be capped off.

Council is to be given 48 hours written notice of the destination/s of any excavation or demolition material. The disposal of refuse is to be to an approved waste disposal depot.

2. A stamped copy of the approved plans is to be kept on the site at all times, during construction.
3. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
4. Sedimentation and erosion controls are to be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the Principal Certifying Authority's satisfaction.
5. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
6. No skip bins or materials are to be stored on Council's Road Reserve.
7. A clearly legible *Site Management Sign* is to be erected and maintained throughout the course of the works. The sign is to be centrally located on the main street frontage of the site and is to clearly state in legible lettering the following:
 - a) The builder's name, builder's telephone contact number both during work hours and after hours.
 - b) That no works are to be carried out in Council's Road Reserve without the written approval of the Council.
 - c) That a Road Opening Permit issued by Council must be obtained for any road openings or excavation within Council's Road Reserve associated with development of the site, including stormwater drainage, water, sewer, electricity, gas and communication connections. During the course of the road opening works the Road Opening Permit must be visibly displayed at the site.
 - d) That no skip bins or materials are to be stored on Council's Road Reserve.
 - e) That the contact number for Pittwater Council for permits is 9970 1111.

PITTWATER COUNCIL

ABN 61 340 837 871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

8. Demolition works must be carried out in compliance with WorkCovers *Short Guide to Working with Asbestos Cement* and Australian Standard AS 2601 2001 *The Demolition of Structures*.

The site must be provided with a sign containing the words **DANGER ASBESTOS REMOVAL IN PROGRESS** measuring not less than 400mm x 300mm and be erected in a prominent visible position on the site. The sign is to be erected prior to demolition work commencing and is to remain in place until such time as all asbestos cement has been removed from the site and disposed to a lawful waste disposal facility.

All asbestos laden waste, including flat, corrugated or profiled asbestos cement sheets must be disposed of at a lawful waste disposal facility. Upon completion of tipping operations the applicant must lodge to the Principal Certifying Authority, all receipts issued by the receiving tip as evidence of proper disposal.

E. Matters to be satisfied prior to the issue of Occupation Certificate:

Note: Prior to the issue of an Occupation Certificate the principal certifying authority is to ensure that Council's assets, including road, kerb and gutter and drainage facilities adjacent or near to the site have not been damaged as a result of the works. Where such damage has occurred, it is to be repaired to Council's written satisfaction prior to the issue of an Occupation Certificate or suitable arrangements put in place to effect those repairs at a future date to Council's written satisfaction. Should this process not be followed, Council will pursue action against the principal accredited certifier in relation to the recovery of costs to effect such works.

Note: It is an offence to occupy the building or part thereof to which this consent relates prior to the issue of an Occupation Certificate.

1. An Occupation Certificate application stating that the development complies with the Development Consent, the requirements of the Building Code of Australia and that a Construction Certificate has been issued must be obtained before the building is occupied or on completion of the construction work approved by this Development Consent.
2. Certification is to be provided to Private Certifying Authority by a qualified experienced practicing Civil Engineer with corporate membership of the Institute of Engineers Australia (M.I.E.), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, that the on-site detention system has been completed in accordance with the engineering plans and specifications required under this consent.
3. Certification is to be provided to the Principal Certifying Authority by a qualified experienced practicing Civil Engineer, with corporate membership of the Institute of Engineers Australia (M.I.E.), or who is eligible to become a corporate member and has appropriate experience and competence in the related field, that the drainage/stormwater management system has been installed to the manufacturer's specification (where applicable) and completed in accordance with the engineering plans and specifications required under this consent.
4. A certificate submitted by a Chartered Professional Engineer/Registered Surveyor confirming to the satisfaction of the Principal Certifying Authority that the works in the public road reserve comply with Council requirements is to be provided with the Occupation Certificate application.
5. Restoration of all damaged public infrastructure caused as a result of the development to Council's satisfaction. Council's written approval that all restorations have been completed satisfactorily must be obtained and provided to the Private Certifying Authority with the

pittwater_council@pittwater.nsw.gov.au

pittwater.nsw.gov.au

PITTWATER COUNCIL

ABN61 340837871

02 9970 1111

02 9970 1200

PO Box 882

Mona Vale NSW 1660

DX 9018, Mona Vale

6. Street numbers are to be affixed to the site prior to occupation.

G. Advice:

1. Failure to comply with the relevant provisions of the *Environmental Planning and Assessment Act, 1979* (as amended) and/or the conditions of this Development Consent may result in the serving of penalty notices (on-the-spot fines) under the summary offences provisions of the above legislation or legal action through the Land and Environment Court, again pursuant to the above legislation.
2. The applicant is also advised to contact the various supply and utility authorities, i.e. Sydney Water, Sydney Electricity, Telstra etc. to enquire whether there are any underground utility services within the proposed excavation area.
3. It is the Project Managers responsibility to ensure that all of the Component Certificates/certification issued during the course of the project are lodged with the Principal Certifying Authority. Failure to comply with the conditions of approval or lodge the Component Certificates/certification will prevent the Principal Certifying Authority issuing an Occupation Certificate.
4. In accordance with Section 95(1) of the Act, this consent will lapse if the development, the subject of this consent, is not physically commenced within 5 years after the date from which this consent operates.
5. To ascertain the date upon which the determination becomes effective and operates, refer to Section 83 of the *Environmental Planning and Assessment Act, 1979* (as amended).
6. Should any of the determination not be acceptable, you are entitled to request reconsideration under Section 82A of the *Environmental Planning and Assessment Act, 1979*. Such request to Council must be made in writing, together with appropriate fees as advised at the time of lodgement of such request, within 1 year from the date of determination.
7. If you are dissatisfied with this decision, Section 97 of the *Environmental Planning and Assessment Act, 1979*, gives you a right of appeal to the Land and Environment Court within 6 months of the date of endorsement of this Consent.
8. The approved plans must be submitted to a Sydney Water Quick Check agent or Customer Centre to determine whether the development will affect Sydney Waters sewer and water mains, stormwater drains and/or easements, and if further requirements need to be met. The approved plans will be appropriately stamped. For Quick Check agent details please refer to the web site at www.sydneywater.com.au then see Building Developing and Plumbing then Quick Check, or telephone 13 20 92.

pittwater_council@pittwater.nsw.gov.au

pittwater.nsw.gov.au

Village Park 1 Park Street, Mona Vale

59A Old Barrenjoey Road, Avalon

Units 11, 12, 13 + 16/5 Vuko Place, Warriewood

1 Boondah Road, Warriewood

Attachment E

BCA Summary

Building Code of Australia – Compliance Details

(Building Code of Australia 2014)

<i>Classification</i>	10b
<i>Rise in Storeys</i>	-
<i>3.1 – Site Preparation</i>	Covered by architectural & engineer’s details
<i>3.2 - Footing and Slabs</i>	Details on plans endorsed and certified by the structural Engineers.
<i>3.3 - Masonry</i>	Notation in specification
<i>3.4 – Framing</i>	Notation in specification
<i>3.5 – Roof & wall cladding</i>	Notation in specification
<i>3.6 - Glazing</i>	Notation in specification
<i>3.7 – Fire Safety</i>	-
<i>3.9 - Health & amenity</i>	-
<i>3.9 – Safe Movement and Access</i>	Notation in specification
<i>Other issues which are highlighted</i>	-

GENERAL NOTES:

GENERAL

- G1. The drawings are to be read together with all Architects drawings and specifications.
- G2. Dimensions shall not be obtained by scaling from the drawings. All setting out dimensions shall be verified and discrepancies shall be referred to the Engineer prior to commencement of work.
- G3. Care is required during construction so that structural elements are not over stressed and that the works and excavations required therefore are kept stable at all times.
- G4. Design, materials and workmanship are to be in accordance with current S.A.A standards and statutory authority regulations except where varied by these documents.
- G5. Design live loads for floors are as follows:- Generally = 1.5 kPa.
Balcony = 3.0 kPa.

FOOTINGS

- F1. Footings to be constructed and back filled as soon as possible following excavation to avoid softening by rain or drying out by exposure.
- F2. Footings must bear 250 mm (minimum) into natural ground clear of organic material.
- F3. If rock or variable bearing strata is encountered during excavation of the footings, all footings/shafts are to be excavated to similar material. The Engineer is to be contacted for approval or review.
- F4. Footings to be cast in approved material having an allowable capacity as follows:
- Sand Foundations:
- SA1. Required bearing capacity 100 kPa.
- SA2. Trenches must be cleared of all debris and hand compacted prior to placement of reinforcement.
- Clay Foundations:
- CA1. Required bearing capacity 150 kPa.
- CA2. Trenches must be cleared of all debris. Soft spots must be cut out and filled as per compacted fill notes, prior to placement of reinforcement.

Shale Foundations:

- SH1. Required bearing capacity 400 kPa.
- SH2. Excavation for footings into shale must be cast or capped with plain concrete on the same day as excavation.

Sandstone Foundations:

- SS1. Required bearing capacity 650 kPa.
- SS2. Scarpe weathered surface to remove cleaned sandstone under footings.

COMPACTED FILL

- CF1. Clear organic material and topsoil under proposed slabs/footings.
- CF2. Filling shall be granular material compacted in not more than 200 mm layers to a minimum dry density ratio (AS 1289/E4.2 1982) of 98 percent. A Geotechnical Engineer must verify the compaction.
- CF3. During clearing and excavation for slabs and footings cut out soft spots and fill as above.

STEEL

- S1. All steel work to be grade 300 steel. Hollow sections to be grade 250 or 350 as appropriate. Design, fabrication and erection to be in accordance with AS 4100.
- S2. Steel work shall have one of the following grades of corrosion protection:-
- a. Thoroughly cleaned wire brushing, followed by two coats of zinc phosphate primer equivalent to Dulux Luxaprima applied by hand using brushes to achieve a total dry film thickness of 70 microns.
- b. Preparation Blast clean to a minimum standard Class 2.5 in accordance with AS 1627 Part 4.
- Primer 2-pack epoxy phosphate at dft 75 microns
(Dulux Durepon P14).
- Barrier Coat 2-pack epoxy micaeous iron oxide, dft 100 microns
Finish Coat 2-pack epoxy high gloss acrylic to dft 75 microns
(e.g. Dulux Acrathane 1 F) in an approved colour.
- c. Hot dipped galvanized to AS 4680
- Where galvanized coating is broken on site make good Interzinc 52 Primer, two pack Interzinc 420 and top coat with Interthane 990 by International Paints and apply the following surface coating:

Galmet Keltie Etch Primer, one coat 10 microns DFT
Galmet Keyfile Steel Primer, 1 to 2 coats 25 microns DFT
Galmet Cold Gal, 2 coats 30 microns DFT
Galmet Roof Paint, two coats 30 microns DFT

ELEMENT	SURFACE TREATMENT
INTERNAL ELEMENTS	A
EXTERNAL ELEMENTS AND ELEMENTS WITHIN EITHER SKIN OF EXTERNAL WALLS	C

- SS3. All bolts to be grade 4.6/8 unless noted otherwise.
All bolts to be M16 bolts unless noted otherwise.
All bolts, nuts and washers are to be hot dip galvanized to AS 4680.
- SS4. All welds to be 6 mm continuous fillet welds unless noted otherwise.
- SS5. All steel and base plates are to be 10 mm thick unless noted otherwise.
- SS6. Workshop drawings shall be prepared and two copies submitted to the engineer for review prior to fabrication commencement.

CONCRETE

- C1. All workmanship and materials shall be in accordance with AS 3600.
- C2. Concrete quality shall be as follows and shall be verified by tests.

ELEMENT	STRENGTH	SLUMP	MAX. AGG. SIZE
FOOTINGS	20 MPa	80 mm	20 mm
SLAB ON GROUND	25 MPa	80 mm	20 mm
INTERNAL SUSPENDED SLABS	32 MPa	80 mm	20 mm
EXTERNAL SUSPENDED SLABS	32 MPa	80 mm	20 mm
Greater than 1 km from sea			
EXTERNAL SUSPENDED SLABS	40 MPa	80 mm	20 mm
Less than 1 km from sea			
BLOCK INFILL	20 MPa	230 mm	10 mm

- C3. Clear concrete cover to reinforcement shall be as follows unless otherwise shown-

ELEMENT	EXPOSURE CLASSIFICATION TO AS 3600	CLEAR COVER
FOOTINGS	N.A.	65 mm
SLABS - INTERNAL	A1	25 mm
SLABS - EXTERNAL	B1	40 mm
Greater than 1 km from sea		
SLABS - EXTERNAL	B2	45 mm
Less than 1 km from sea		
BEAMS & COLUMNS - INTERNAL	A1	30 mm
BEAMS & COLUMNS - EXTERNAL	B2	45 mm

- C4. Sizes of concrete elements do not include thickness of applied finishes.
- C5. Construction joints where not shown shall be to the approval of the engineer.
- C6. Beam depths are written first and include slab thickness, if any.
- C7. No holes or chases other than those shown on the structural drawings shall be made in concrete elements without the prior approval of the engineer.
- C8. Reinforcement is represented diagrammatically it is not necessarily shown in true projection.
- C9. Splices in reinforcement are not to be located in positions of maximum moment, any laps other than that shown shall be subject to the approval of the engineer. Where the lap length is not shown it shall be sufficient to develop the full strength of the reinforcement.
- C10. Welding of reinforcement shall not be permitted unless shown on the structural drawings.
- C11. Pipes or conduits shall not be placed within the concrete cover to reinforcement without the approval of the engineer.
- C12. All reinforcing bars shall comply with AS 1302. All fabric shall comply with AS 1303 and AS 1304 and shall be supplied in flat sheets.

- C13. Reinforcement symbols:
- S - Grade 230S Deformed bar
 - C - Grade 410C Cold worked deformed bar
 - Y - Grade 400Y Deformed bar
 - R - Grade 230R Plain bar
 - F - Grade 450F Welded plain wire fabric
 - RF - Grade 500RW Welded ribbed wire fabric
- The number immediately following these symbols is the number of millimeters in the bar diameter.

- C14. Fabric reinforcement to be lapped 225 minimum at the ends and sides unless noted otherwise.

- C15. All reinforcement shall be firmly supported on plastic chairs spaced at a maximum of 900 and 800 centres both ways under rod and fabric reinforcement, respectively. Rods shall be tied at alternate intersections.

- C16. Formwork must be cleaned of all debris prior to casting of concrete.

- C17. Minimum stripping times for form work shall be as recommended in AS 1509 or as directed by the engineer.

- C18. The finished concrete shall be a dense homogeneous mass, completely filling the form work, thoroughly embedding the reinforcement and free of air pockets. All concrete elements including slabs on ground and footings shall be compacted with mechanical vibrations.

- C19. Curing of all concrete is to be achieved by keeping surfaces continuously wet for a period of 3 days, followed by prevention of loss of moisture for seven days followed by a gradual drying out. Approved sprayed on curing compounds may be used where no floor finishes are proposed. Polythene sheeting or wet hessian may be used if protected from wind and traffic.

- C20. Shrinkage reducing admixtures such as 'Eclipse' or approved equivalent, if specified, must be added to mix prior to pour.

- C21. Water reducing agents, if specified, must be added to mix prior to pour. No extra water to be added.

- C22. Where vertical slab/beam surfaces are formed against a masonry (or other) wall, provide 10 mm (Abellex) or styrene separation material.

BRICKWORK

- BR1. Brickwork is to be constructed with mortar in the ratio 1:1:6, Cement:Lime:Sand and to be adequately cured prior to being loaded. Sand is to be clean with no clay content.
- Masonry to be constructed to AS 3700.

- BR2. Two layers of approved greased metal based slip material shall be used over all load bearing walls that support concrete slabs and placed on smooth brickwork or trowelled mortar finish. Non load-bearing walls shall have 10 mm compressible material and ties to the slab soffit.

- BR3. No brickwork or blockwork shall be constructed on suspended slabs until all propping has been removed from the underside of the slab and the concrete has the specified 28 day cylinder strength verified by tests.

- BR4. Control joints to be placed at a maximum of 8 m centres.

- BR5. Exposure grade bricks to be used below damp proof course.

- BR6. Separation control joint material between slabs and brick walls shall be: 10 mm Spandex External UNO.

Bitumastic fibreboard internal UNO.

- BR7. Provide 316 stainless steel wall ties below DPC to AS 3700.

Ensure the following minimum standards are complied with:

Within 1km of breaking surf or 100m of still water provide

stainless steel wall ties above DPC to AS 3700.

In areas of heavy industrial pollution provide

stainless steel wall ties above DPC to AS 3700.

All other areas provide galvanized wall ties above DPC to AS 3700.

BLOCKWORK

- BL1. Concrete blocks shall have a minimum compressive strength of 15 MPa and conform to AS 1500. Mortar is to be 1:1/2:3, Cement:Lime:Sand. Masonry to be constructed to AS 3700.

- BL2. Where cores of hollow blocks are to be filled, properly compacted concrete with 10 mm aggregate and 230 mm slump shall be used. Clean out openings must be utilized for all cores.

- BL3. Location of actual starters is critical to suit block cores, allow 55 mm cover from the outside of blockwork. All reinforcement lap lengths to conform to AS 3600.

- BL4. Control joints to be placed at a maximum of 8m centres.

- BL5. Separation control joint material between slabs and blockwork walls shall be: 10 mm Spandex External UNO.

- BL6. Retaining walls or any reinforced and concrete core filled block walls to be of Double U Block Construction.
- Bitumastic fibreboard internal UNO.
- BL6a. Retaining walls or any reinforced and concrete core filled block walls to be of Double U Block Construction.

TIMBER

- T1. All timber design and construction to be to AS 1720. AS 1684 is relevant to domestic construction in sheltered locations. All Oregon to be grade F7 unless noted otherwise. All hardwood to be minimum grade F14. Exposed timber to be CCA treated radiata pine (to AS 1604) treated after full impregnation, or hardwood durability class 1 or 2.

- T2. All joists to have blocking over support bearers and at maximum 3m centres.

- T3. Roof trusses to be designed by the manufacturer to AS 1720. Pile camber to be an amount equal to dead load deflection u.n.o. Three copies of shop details to be submitted for review prior to commencing construction.

- T4. All holes for bolts to be exact size. Washers to be used under all heads and nuts to be at least 2.5 times the bolt diameter. Bolts to be M16 grade 4.6 unless noted otherwise.

- T5. Provide timber filled over door openings of similar size to floor joists where required for spans up to 1800 mm.

- T6. Treat all exposed cut ends with Xu Clear by Prolim or approved equivalent.

INSPECTIONS BY ENGINEER

- 24 HOURS NOTICE IS REQUIRED BEFORE ANY SITE INSPECTION
- Bearing strata of all footings prior to concrete pour.
 - Any reinforcement prior to concrete pour.
 - Timber and Steel framing prior to cladding.
 - Steel lintels after installation.

WARNING

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the Applicants responsibility to obtain approval from Sydney Water or other utilities prior to the commencement of any works.

Dial Before You Dig 1100

INSIGHT DEVELOPMENT CONSULTANTS PTY LTD

Structural Details C.C. No. **2004/405**

PLEASE NOTE: The stamping of this plan by Insight Development Consultants Pty Ltd does not relieve the **Metropolitan** Engineers of their responsibility to **VERIFY** the structural adequacy of this **PROPOSED** COMMENCING WITH WORK

Metropolitan Building Approvals

This Document, Drawing / Detail forms part of
Certificate No. **C14-046**
FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

Note: Nothing is implied to authorise structural or architectural elements that is not part of the DCA consent.

03.09.14

Date: Rev: Amendment:

Date: Rev: Amendment:

Date: Rev: Amendment:

Date: Rev: Amendment:

Date: Rev: Amendment:

Date: Rev: Amendment:

Date: Rev: Amendment:

Date: Rev: Amendment:

DOCUMENT CERTIFICATION

I am a qualified Structural/Civil Engineer.

I hold the following qualifications:

B.E.(Civil), MIEAust, C.P.Eng

Institute of Engineers Membership No. 642185

I hereby state that this drawing is in compliance with the conditions of the development consent, the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.

Michael Kelett

(For MK Consulting)

con consulting
Structural, Civil, Stormwater
ABN 58 605 578 841
PO Box 703
DEE WHY NSW 2099
Ph: (02) 9699 6922 Fax: (02) 9679 1617
e-mail : mke@mkconsulting.com.au

PROPOSED WORKS
at: 16a PONDEROSA PARADE
WARRIEWOOD

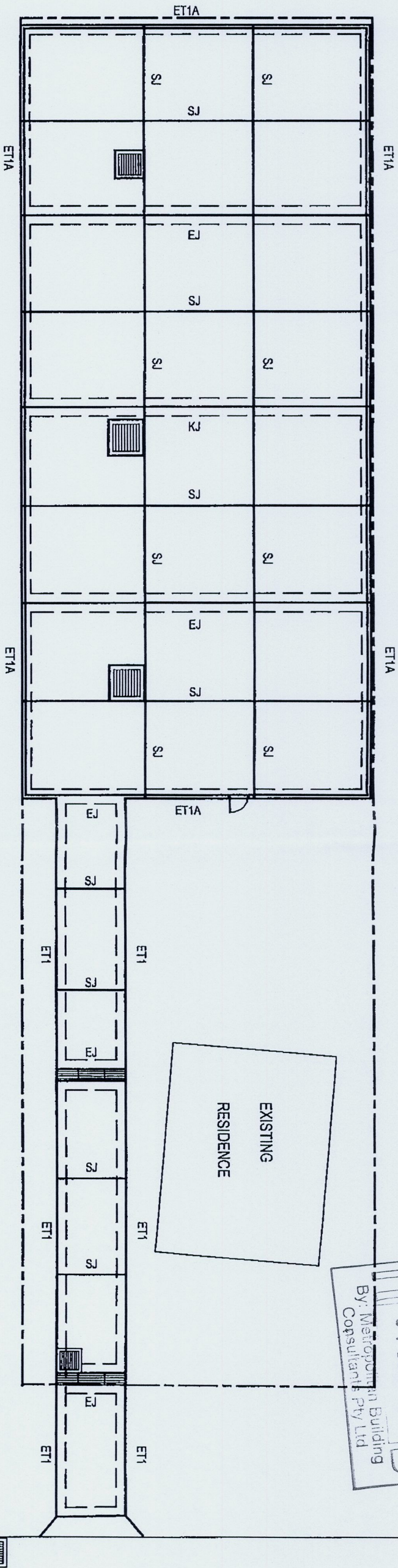
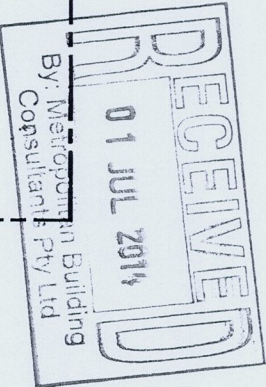
GENERAL NOTES

The copyright of this drawing remains with MK Consulting.

Job No: 41101

Drawing No: S01

Rev: -



DRIVEWAY & PARKING SLAB PLAN

SCALE = 1:200

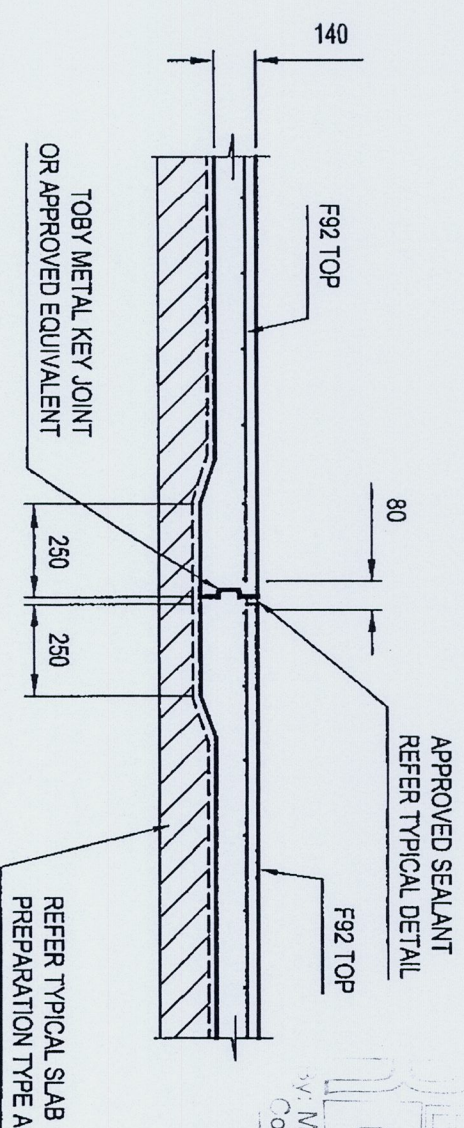
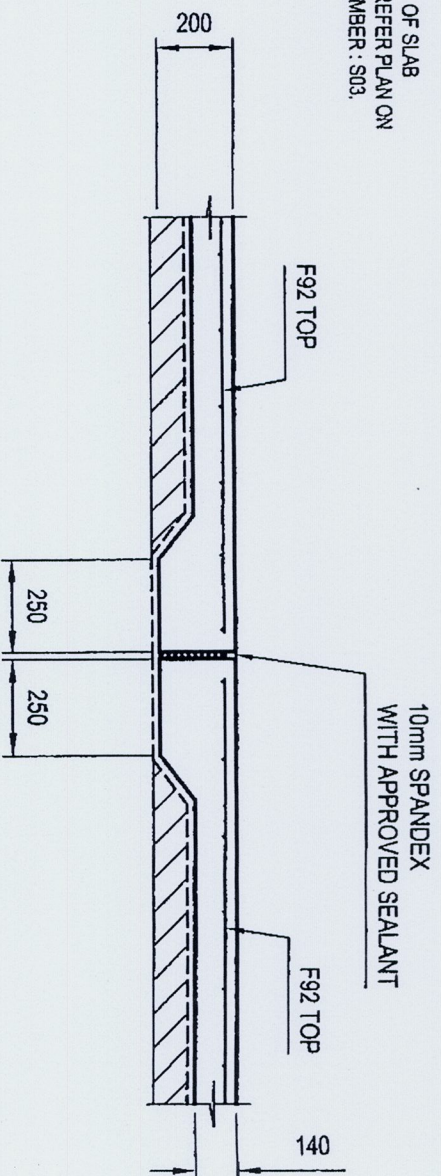
PROVIDE 140mm SLAB WITH F92 MESH TOP ONO BACKFILLING AROUND PITS TO BE COMPACTED AS PER NOTES REFER TO DRAWING S03 AND S04 FOR DETAILS PITS, HOBS LOCATIONS, LEVELS AND FALLS TO ARCHITECTURAL AND STORMWATER DOCUMENTATION. ADVISE ENGINEER IMMEDIATELY FOR INSPECTION WHERE GROUND CONDITIONS VARY TO DETAILS.

03.09.14
NOTES:
ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK
Metropolitan Building Approvals
This Document, Drawing / Detail forms part of Certificate No. C14-046
Note: Nothing is implied to authorise structural or architectural elements that is not part of the DA or DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

A3

DOCUMENT CERTIFICATION		I am a qualified Structural/Civil Engineer, I hold the following qualifications: B.E.(Civil), MIEAust, C.P. Eng Institute of Engineers Membership No. 642185 I hereby state that this drawing is in compliance with the conditions of the development consent, the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.		 Structural, Civil, Stormwater ABN 58 605 578 841 PO Box 703 DEE WHY NSW 2099 Ph: (02) 9999 6922 Fax: (02) 9979 1677 e-mail: mk@mkconsulting.com.au		Project: PROPOSED WORKS at: 16a PONDEROSA PARADE WARRIEWOOD		Drawing Title: SLAB & DRIVEWAY PLAN		The copyright of this drawing remains with MK Consulting.	
Date: 3/11/2004 Michael Kelety (For MK Consulting)											
Date: NOV 2004		Desgn: M.K.		Drawn: F.P.		Job No: 41101		Drawing No: S02		Rev: -	
Date:		Rev:		Amendment							

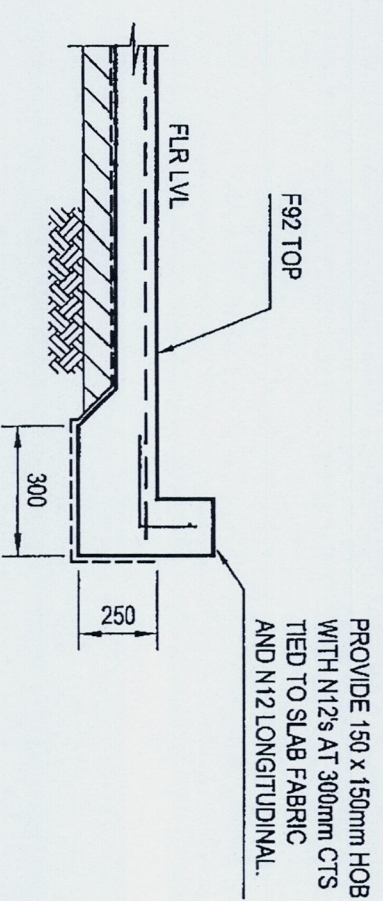
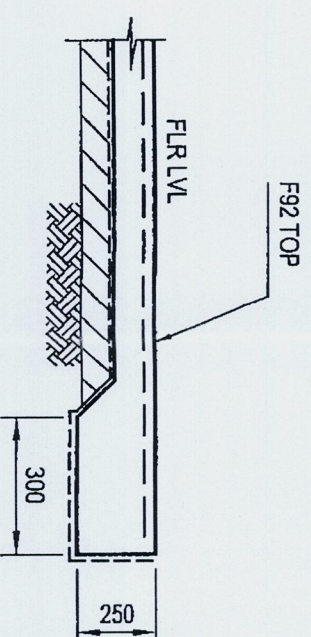
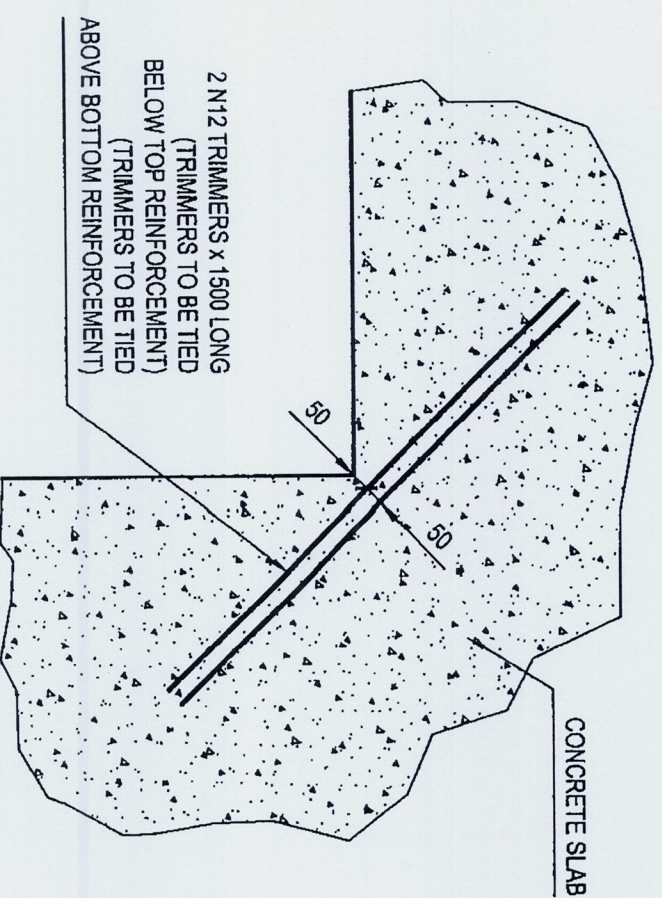
NOTE:
FOR DETAILS OF SLAB
THICKNESS REFER PLAN ON
DRAWING NUMBER : S03.



RECEIVED
01 JUL 2001
BY: Metropoli
Consultants

EXPANSION JOINT DETAIL
DENOTED E.J. ON PLAN

SCALE = 1 : 20



PROVIDE 150 x 150mm HOB WITH N12s AT 300mm CTS TIED TO SLAB FABRIC AND N12 LONGITUDINAL.

TYPE 'ET1' BEAM

SCALE = 1:20

TYPE 'ET1A' BEAM

03.05.14

NOTES:
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.

2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

TYPICAL TRIMMER DETAIL AROUND PITS

SCALE = 1 : 20

DOCUMENT CERTIFICATION

Date: 5/17/2014
I have the following qualification is:
BE (Civil) MIE and C.B.E.m

[Signature]
Michael Kelett.....
FRC (NRC Consulting)

I hereby state that this drawing is in compliance with the conditions of the development consent, the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.

A3

MTK
Consulting
Structural, Civil, Stormwater
ABN 58 605 578 841

PO Box 703
DEE WHY NSW 2099
Ph: (02) 9959 6922 Fax (02) 9979 1617
e-mail: mik@mikconsulting.com.au

Project:

PROPOSED WORKS
at: 16a PONDEROSA PARADE
WARRIEWOOD

Drawing Title:

FOOTING DETAILS
SHEET ONE

Date: NOV 2004

Job No:

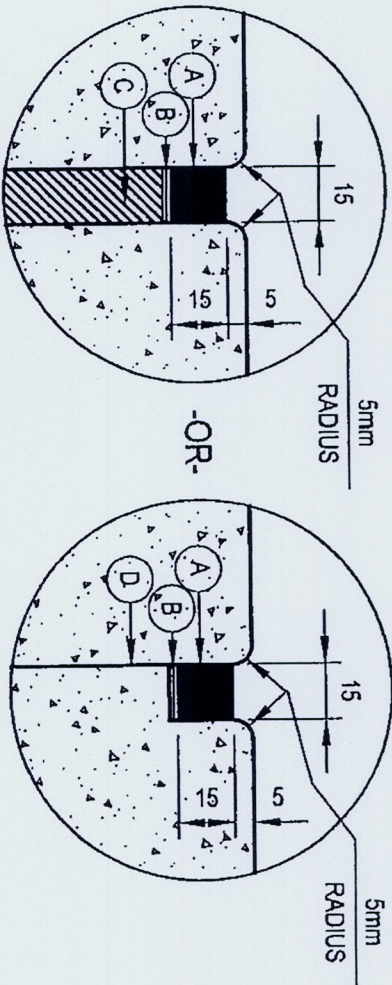
Design:	Drawn:
M.K.	F.P.

Drawing No:

41101

503

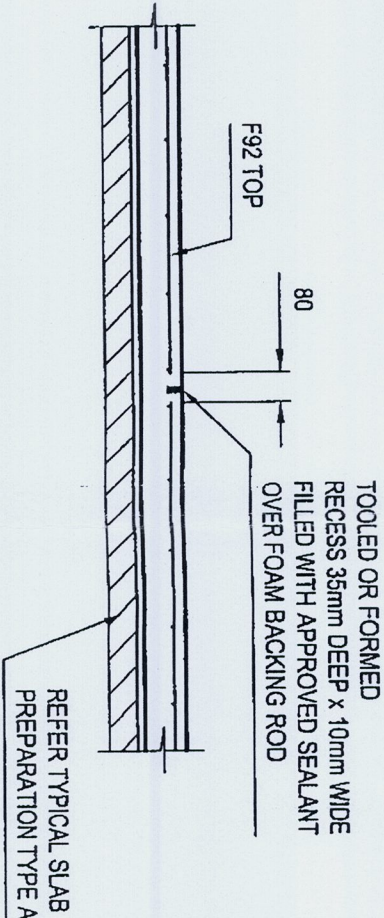
Rev.



- A) THIOFLEX 600 POURING OR GUN GRADE SEALANT BY FOSROC OR APPROVED EQUIVALENT.
- B) POLYETHYLENE TAPE BOND BREAKER
- C) FLEXIBLE FOAM OR SELF EXPANDING CORK REFER DETAILS
- D) KEYED JOINT OR SAW CUT JOINT

NOTE:
THIOFLEX 600 POURING GRADE IS SUITABLE ONLY FOR HORIZONTAL JOINTS WITH SOUND BACKING. FOR INCLINED OR VERTICAL JOINTS THIOFLEX 600 GUN GRADE SHOULD BE USED. BOTH GRADES OF THIOFLEX 600 SHALL BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS.

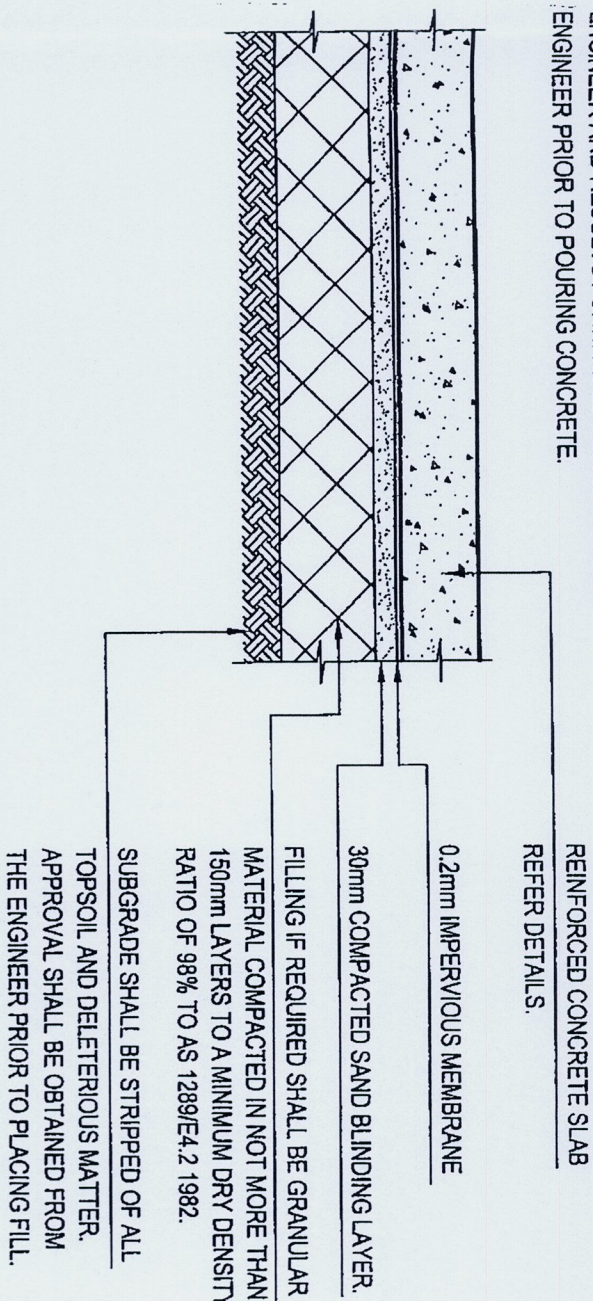
TYPICAL JOINT SEALANT DETAILS



TOOLED JOINT DETAIL DENOTED S.J. ON PLAN

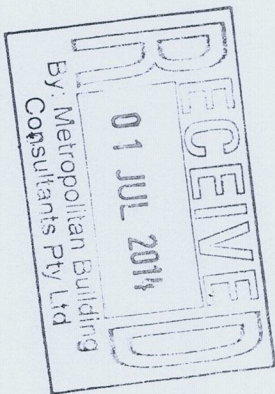
SCALE = 1 : 20

NOTE:
SAND BLINDING, SUB-BASE, FILLING AND SUB GRADE TO BE MECHANICALLY COMPACTED TO A DRY DENSITY RATIO OF NOT LESS THAN 98% MAXIMUM DRY DENSITY TO A.S. 1289/E4.2 1982. ALL AREAS TO BE TESTED BY GEOTECHNICAL ENGINEER AND RESULTS FORWARDED TO STRUCTURAL ENGINEER PRIOR TO POURING CONCRETE.



TYPICAL SLAB PREPARATION TYPE A SLAB ON GRADE

N.T.S.



Metropolitan Building Approvals	
This Document, Drawing / Detail forms part of	
Certificate No: C134-046	
Note: Nothing is implied to authorise structural or architectural elements that is not part of the DA consent	
2 FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.	

03.09.14
NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.

2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

A3			
DOCUMENT CERTIFICATION			
Date: 31/11/2004	I am a qualified Structural/Civil Engineer.		
	I hold the following qualifications:		
	B.E.(Civil), MIEAust, C.P. Eng		
	Institute of Engineers Membership No. 642185		
	Thereby state that this drawing is in compliance with the conditions of the development consent, the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.		
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Project			
PROPOSED WORKS			
at: 16a PONDEROSA PARADE			
WARRIEWOOD			
Drawing Title:			
FOOTING DETAILS			
SHEET TWO			
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