



# 18 ALEXANDER STREET COLLAROY

DEMOLITION, ALTERATIONS AND ADDITIONS, NEW DWELLINGS AND BOUNDARY RE-ALIGNMENTS

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COVER PAGE & DRAWING LIST

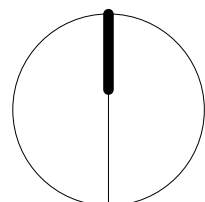
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DA000

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1 DCP SETBACK REQUIREMENTS  
DA005 1:100 @ A1

	DCP SETBACK	PROPOSED SETBACK
FRONT SETBACK	6.5m	6.7-7.1m
SIDE SETBACK (EAST)	0.9m	0.9 m
SIDE SETBACK (WEST)	0.9m	3.3m
REAR SETBACK	6.0m	7-7.9m

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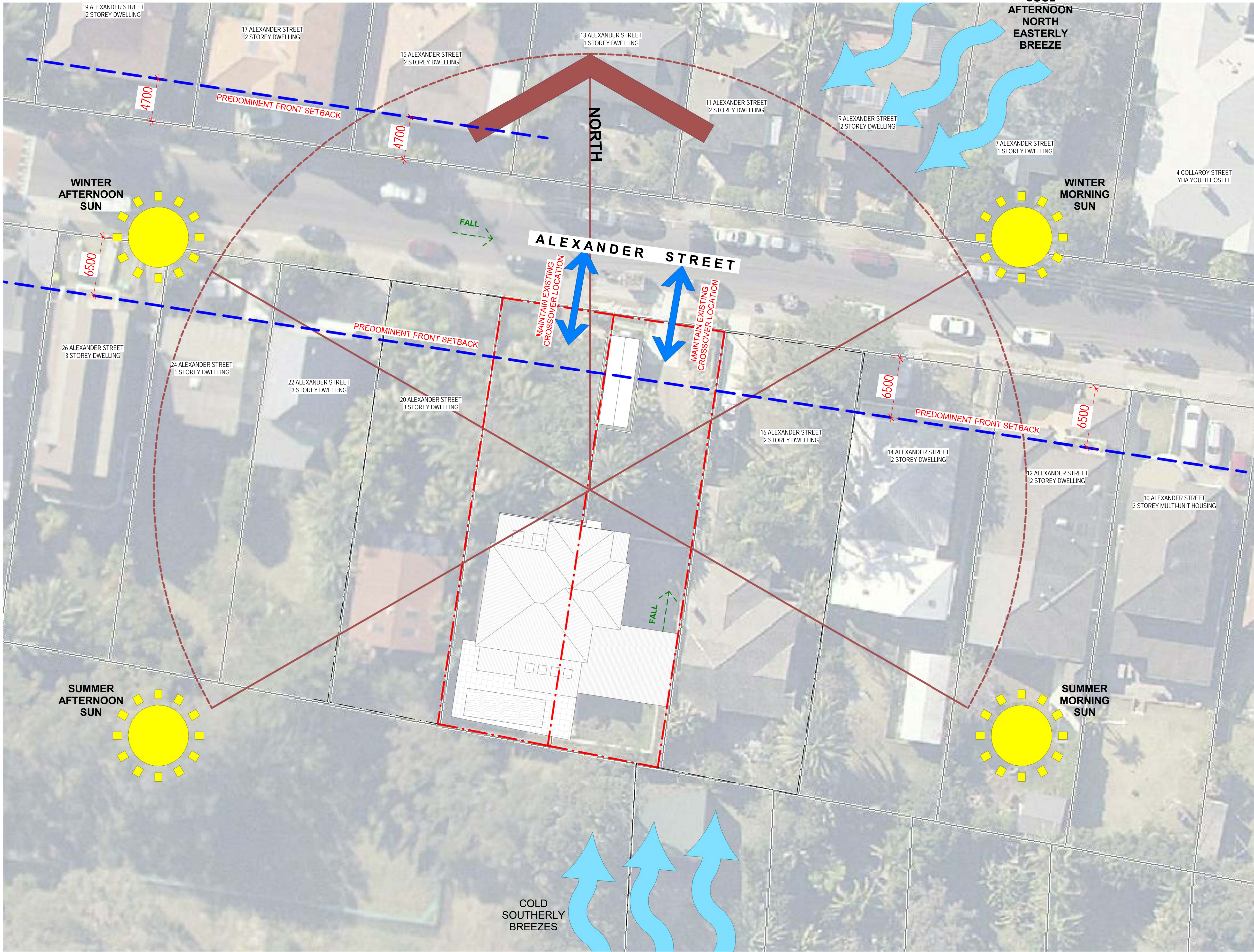
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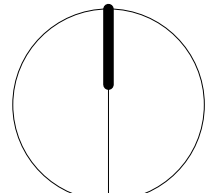
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DA010

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BASIX and Thermal Comfort Inclusions	
Floors	Concrete slab on ground no insulation required to basement level floors Suspended concrete with a minimum R2.5 insulation (insulation only value) to ground level of both dwellings in lot 8 Timber between ground and first level, no insulation required Suspended timber floor with R2.5 (insulation only value) to lot 9
Walls	<b>External walls:</b> Lightweight cladding on framed walls with R2.5 insulation (insulation only value) Lightweight cladding on framed walls with R2.7 insulation to Main House lot 8 (insulation only value) Concrete Block walls no insulation required to garage levels <b>External colour:</b> Default Colour modelled <b>Walls with-in dwellings:</b> Plasterboard on studs - R2.5 to walls shared with garage and sub floor, and to unconditioned zones (bathrooms).
Windows	Aluminium framed performance glazing; glazed doors <b>A</b> -Awning + bi-fold + casement + hinged glazed doors U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (≤10%) <b>B</b> - Sliding doors/windows + louvre windows + fixed glazing U-Value: 4.80 (equal to or lower than) SHGC: 0.59(≤18%) Aluminium framed double clear glazing in Main dwelling lot 8 to glazing in teenagers wing, teenagers retreat, library and rampas excluding louvre windows: <b>A</b> -Awning + bi-fold + casement + hinged glazed doors U-Value: 3.10 (equal to or lower than) SHGC: 0.49 (≤10%) <b>B</b> - Sliding doors/windows + louvre windows + fixed glazing U-Value: 3.10 (equal to or lower than) SHGC: 0.49(≤18%) Given values are AFRC, total window system values (glass and frame)
Skylights	None
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) where roof above Plasterboard ceiling with R2.5 insulation to garage ceiling where habitable rooms above Plasterboard ceiling with R3.0insulation (insulation only value) where balconies/trafficable areas above No insulation required to plant/garage ceilings where roof above Assumed sealed LED downlights - one every 5m²
Roof	Metal roof with foil backed blanket (Rat.3 and Rd1.3) <b>External colour</b> Light (SA < 0.75)
Floor Coverings	Default floor coverings
Shading	External shading added to Main dwelling lot 8 East Facing glazing in teenage retreat, teenage wing and teenage bedroom
Hot water system	Gas instantaneous 4 star
Alternative water	\$500L rainwater system to main dwelling lot 8 be used for laundry and irrigation of all landscaping connected to 150m² roof space.

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SITE PLAN

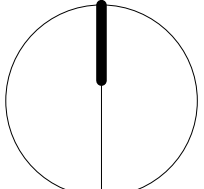
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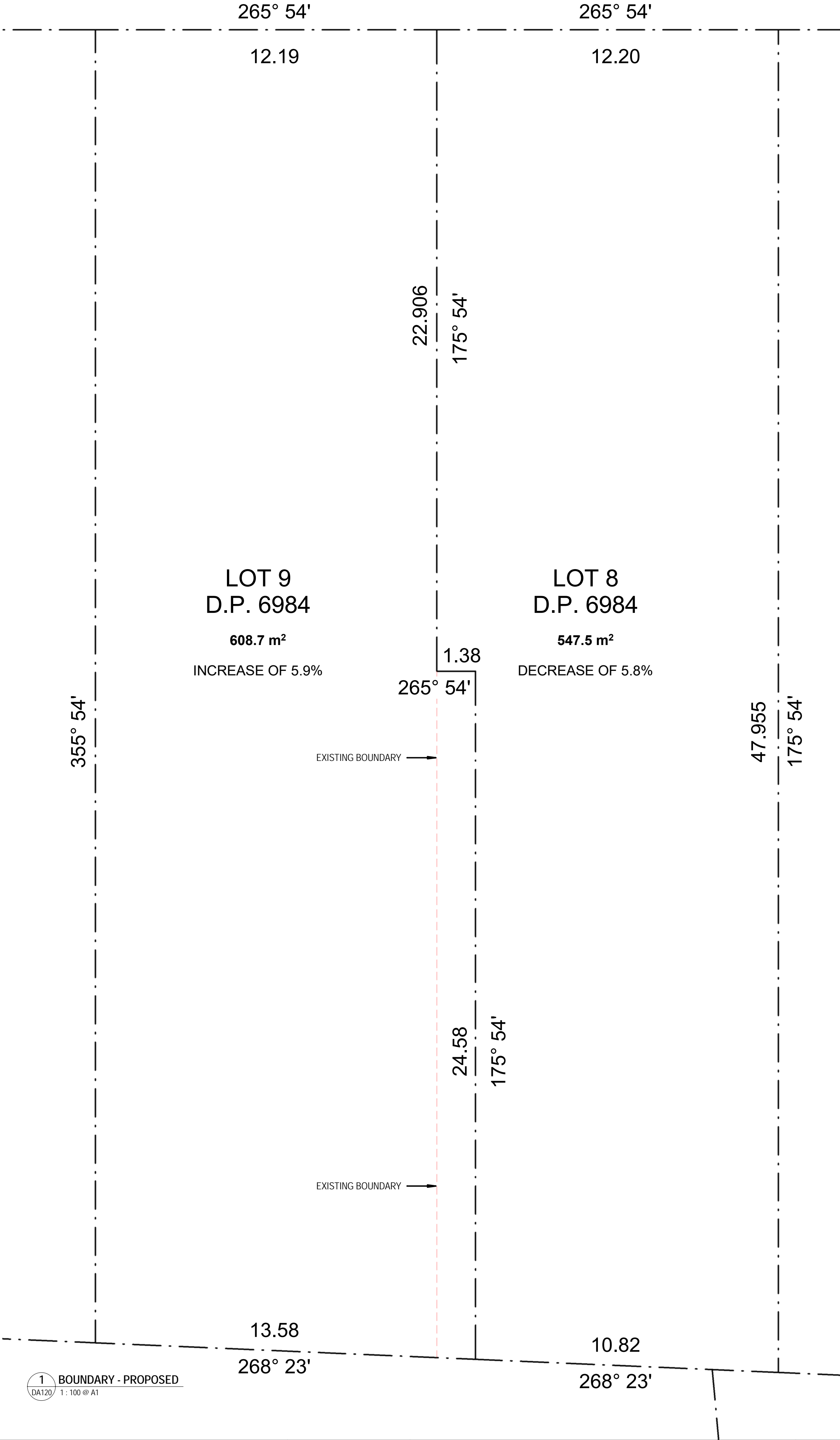
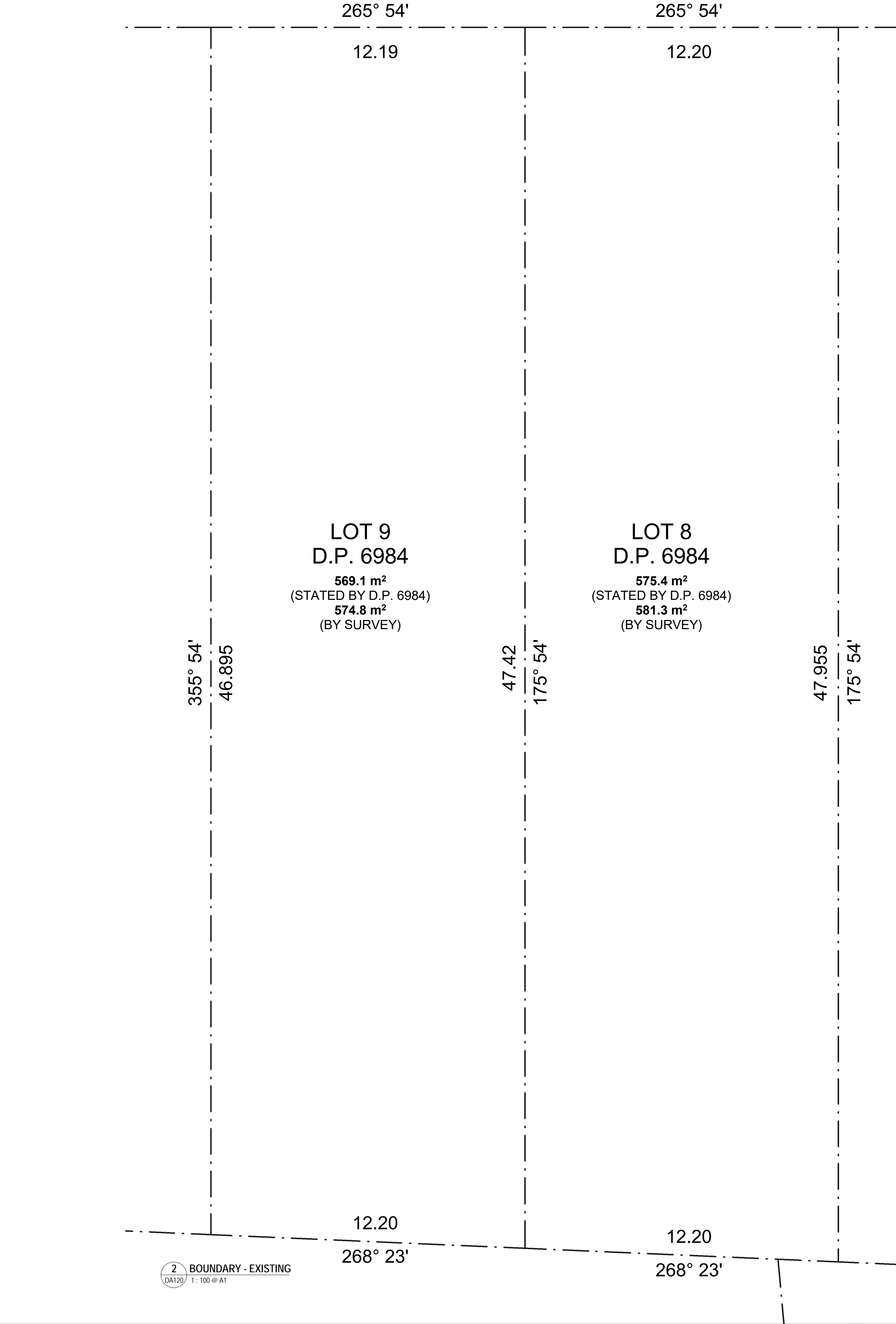
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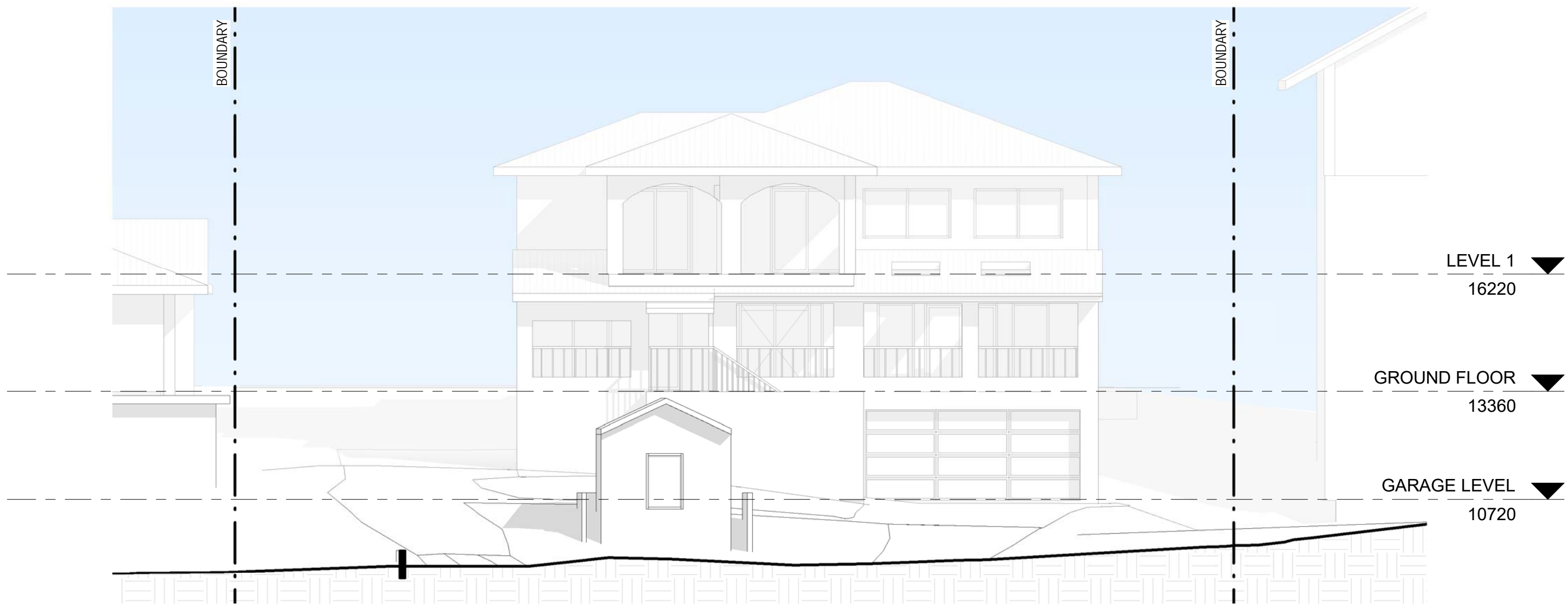
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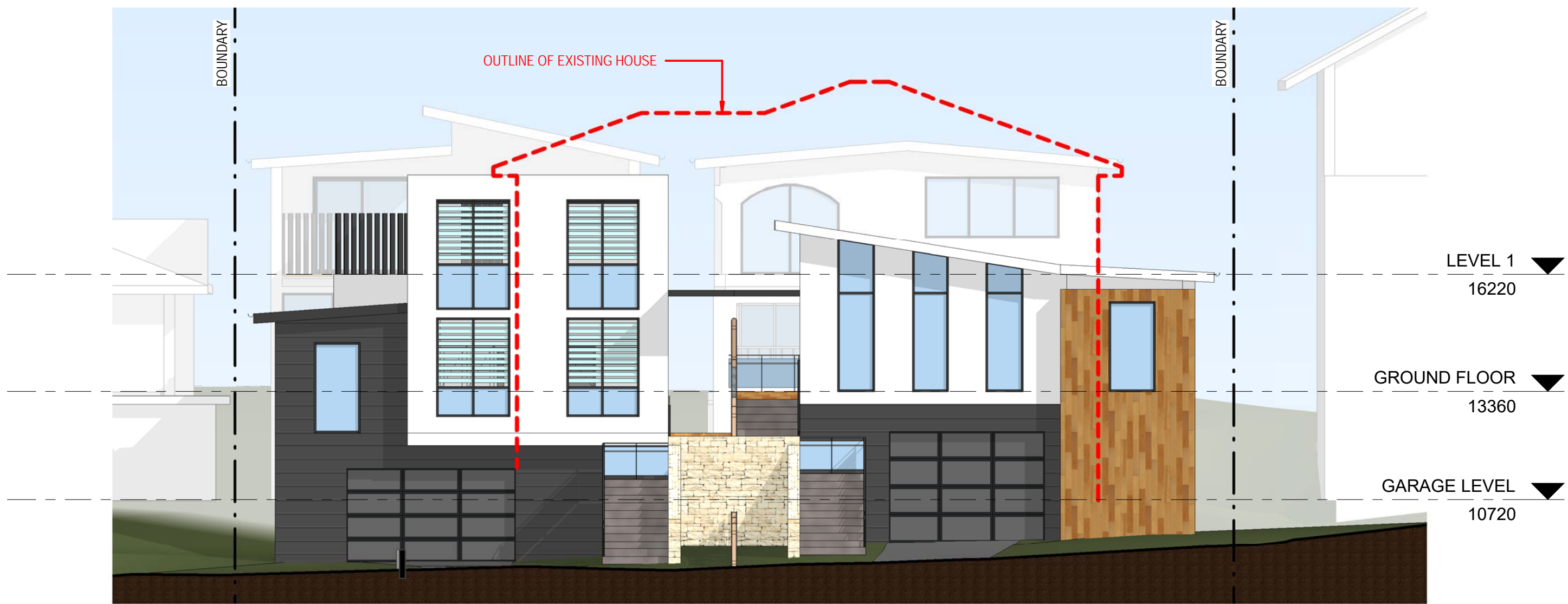




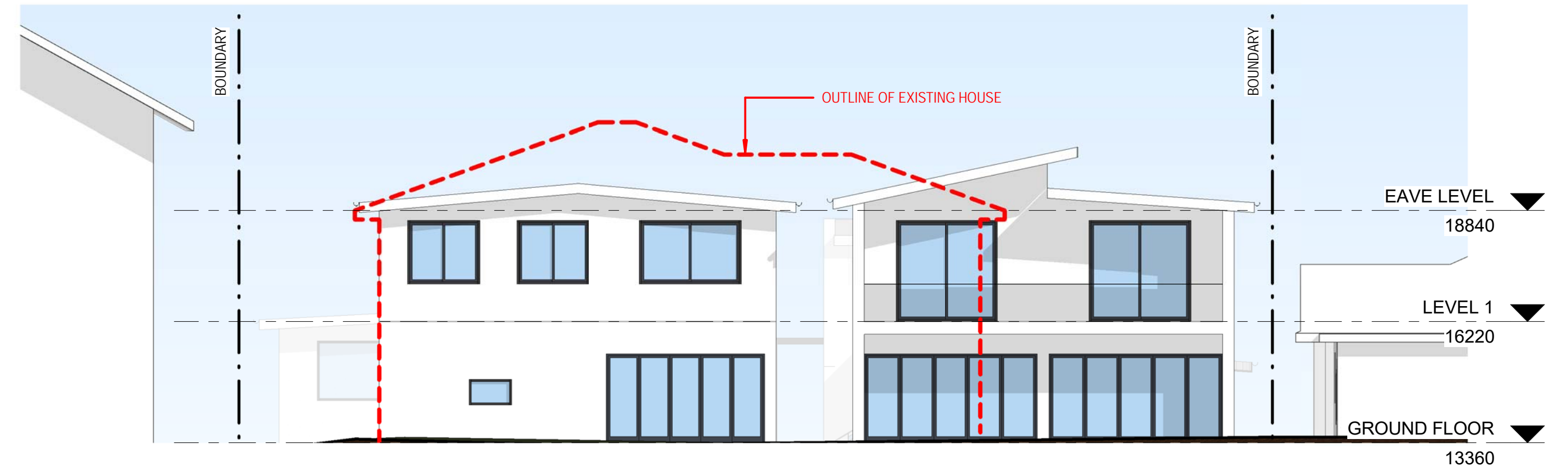
1 EXISTING NORTH ELEVATION  
DA300/ 1:100 @ A1



3 EXISTING SOUTH ELEVATION  
DA300/ 1:100 @ A1



2 PROPOSED NORTH ELEVATION  
DA300/ 1:100 @ A1



4 PROPOSED SOUTH ELEVATION  
DA300/ 1:100 @ A1

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NORTH & SOUTH ELEVATIONS

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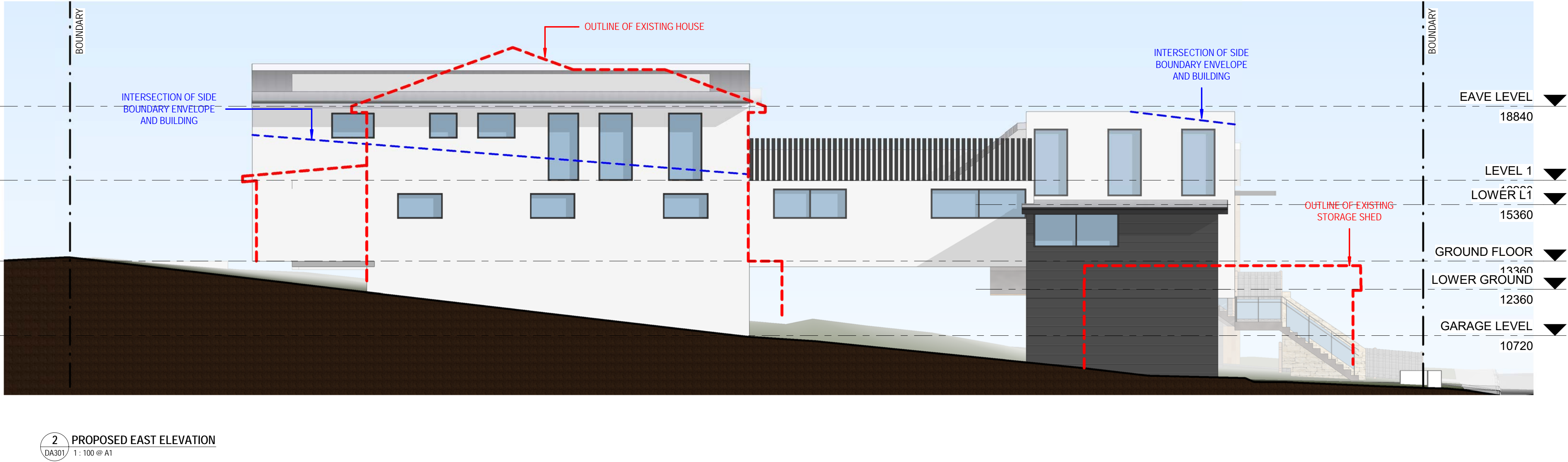
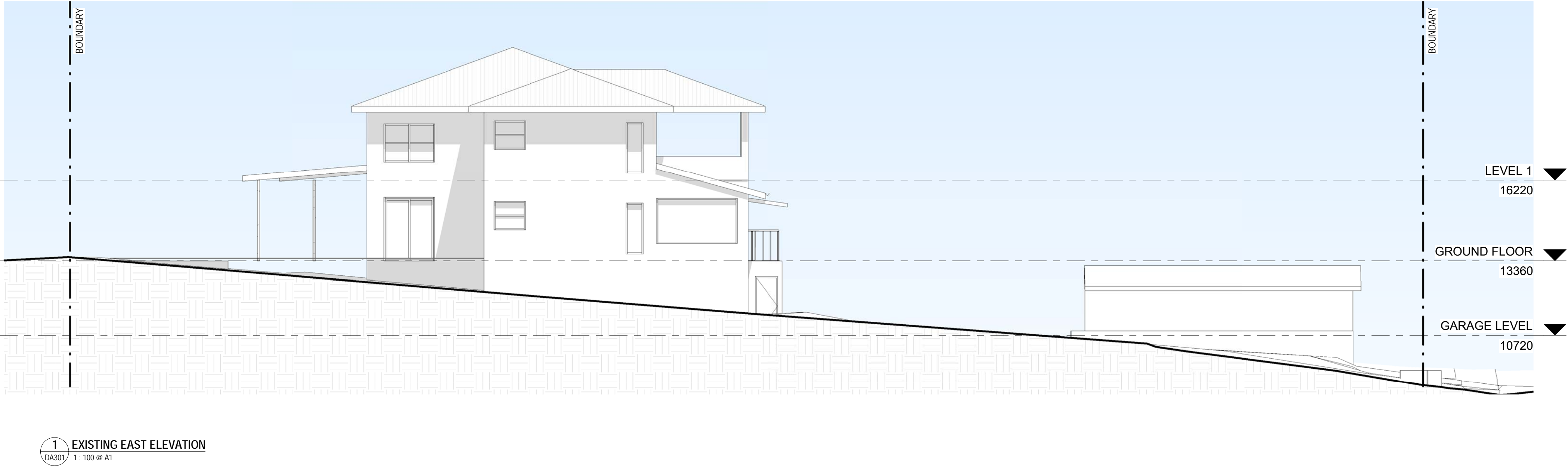
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EAST ELEVATIONS  
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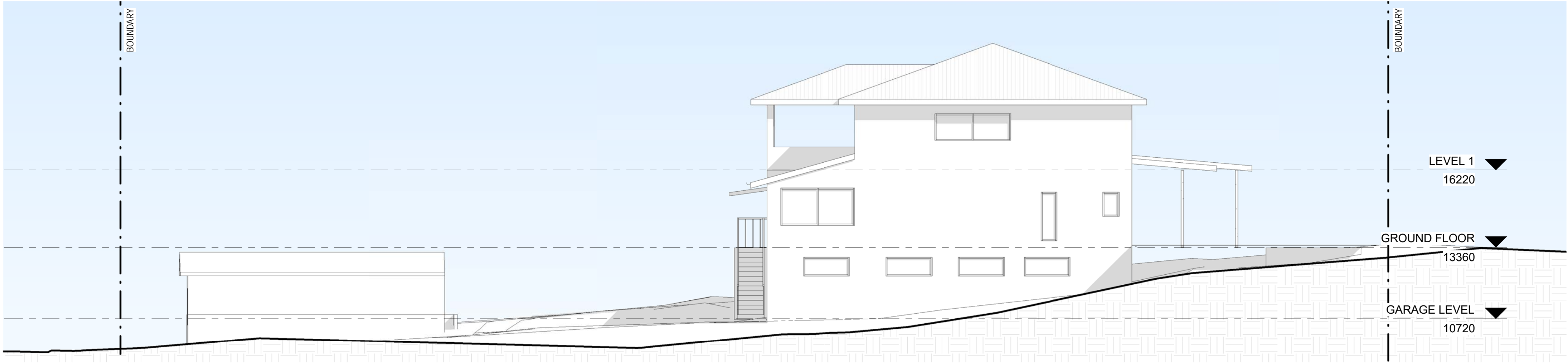
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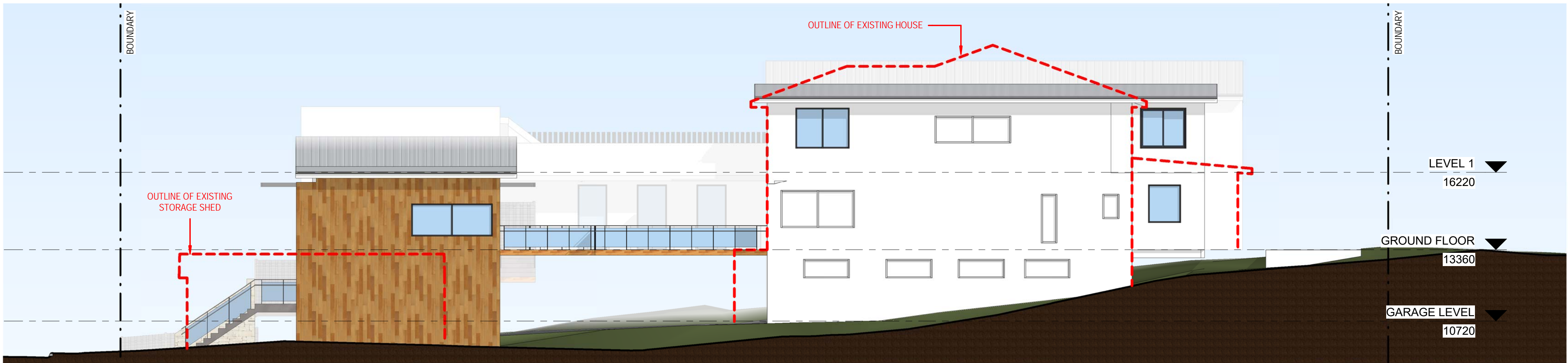
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1 EXISTING WEST ELEVATION  
DA302 1:100 @ A1



2 PROPOSED WEST ELEVATION  
DA302 1:100 @ A1

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WEST ELEVATIONS

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1 EXISTING SHADOW DIAGRAM - 9AM JUNE 21ST  
DA500/ 1:200 @ A1



2 PROPOSED SHADOW DIAGRAM - 9AM JUNE 21ST  
DA500/ 1:200 @ A1

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SHADOW DIAGRAMS - 9AM JUNE 21ST

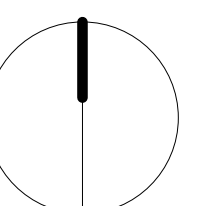
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1 EXISTING SHADOW DIAGRAM - 12PM JUNE 21ST  
DA502/ 1:200 @ A1



2 PROPOSED SHADOW DIAGRAM - 12PM JUNE 21ST  
DA502/ 1:200 @ A1

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SHADOW DIAGRAMS - 12PM JUNE 21ST

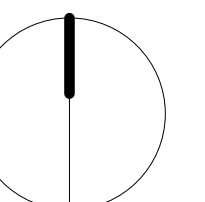
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1 EXISTING SHADOW DIAGRAM - 3PM JUNE 21ST  
DA503 / 1 : 200 @ A1



2 PROPOSED SHADOW DIAGRAM - 3PM JUNE 21ST  
DA503 / 1 : 200 @ A1

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SHADOW DIAGRAMS - 3PM JUNE 21ST

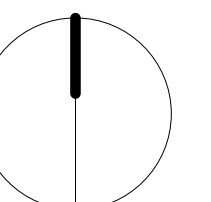
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**1. WHITE - FACADE - PAINTED EASYLAP FC**

CONTRAST AGAINST THE DARKER MATERIALS. RESIDENTIAL MATERIAL.



**2. TIMBER LOOK BOARDS - FACADE TBC ON SELECTION OF CERTIFIER**

GIVES AN EARTHINESS TO THE PROPERTY. ALSO A MATERIAL THAT AGES MEANING IT CHANGES COLOUR OVER TIME



**3. EITHER TIMBER WEATHERBOARDS PAINTED MONUMENT OR LYSAGHT DOMINION MONUMENT MATTE (IF COMBUSTABLE MATERIALS NOT ALLOWED BNY CERTIFIER)**

CRISP MODERN COLOUR AND MATERIAL



**4. SANDSTONE - ENTRY STAIRS AND RETAINING WALLS**

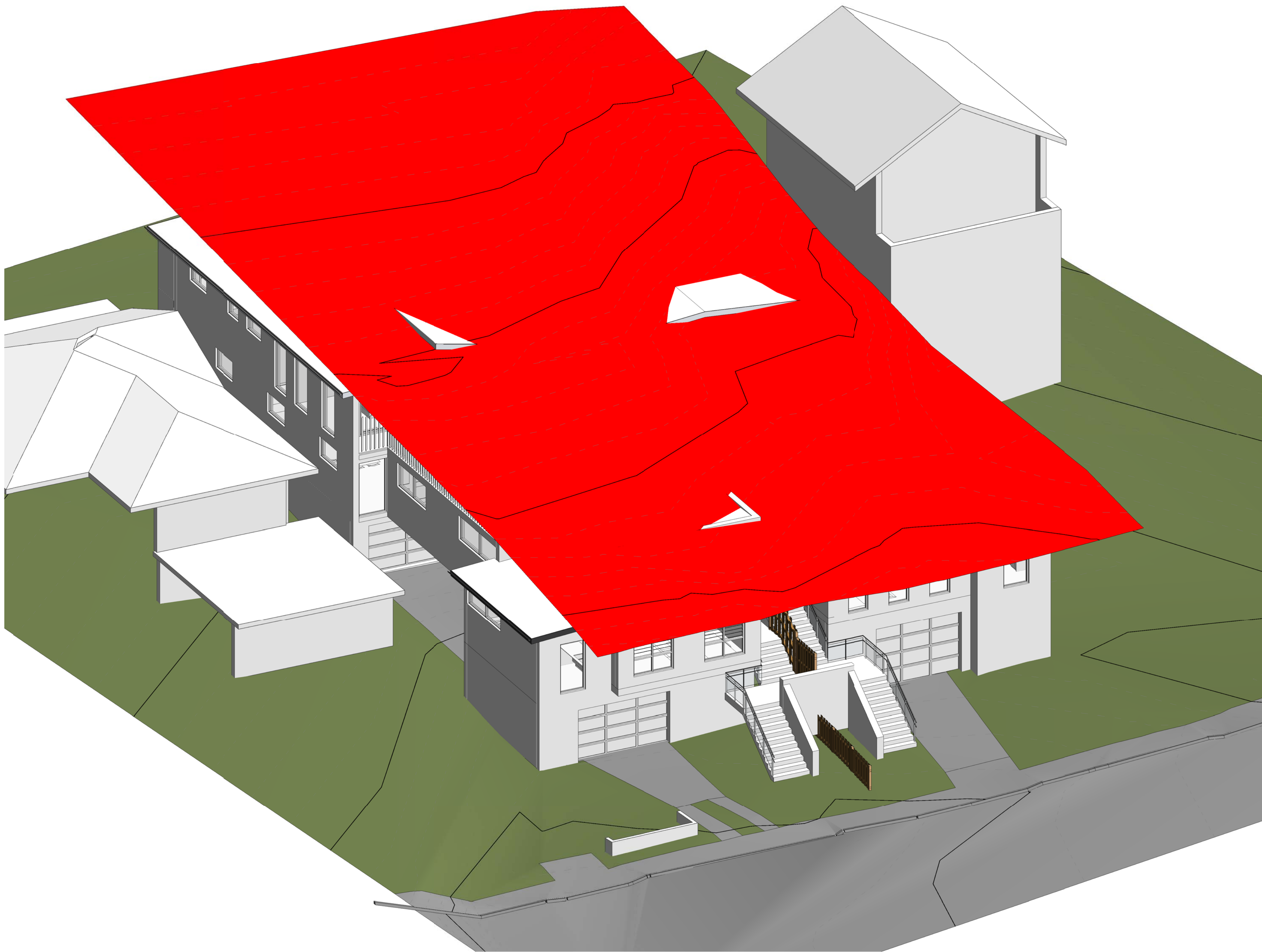
TEXTURAL ELEMENT THAT TIES TO THE LOCAL CHARACTER



**5. METALWORK - FLASHINGS, FENCES ETC POWDERCOATED MONUMENT**

TO TIE IN WITH PROFILED CLADDING





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Sheet Name  
3D HEIGHT PLANE - 8.5m  
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DA901

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