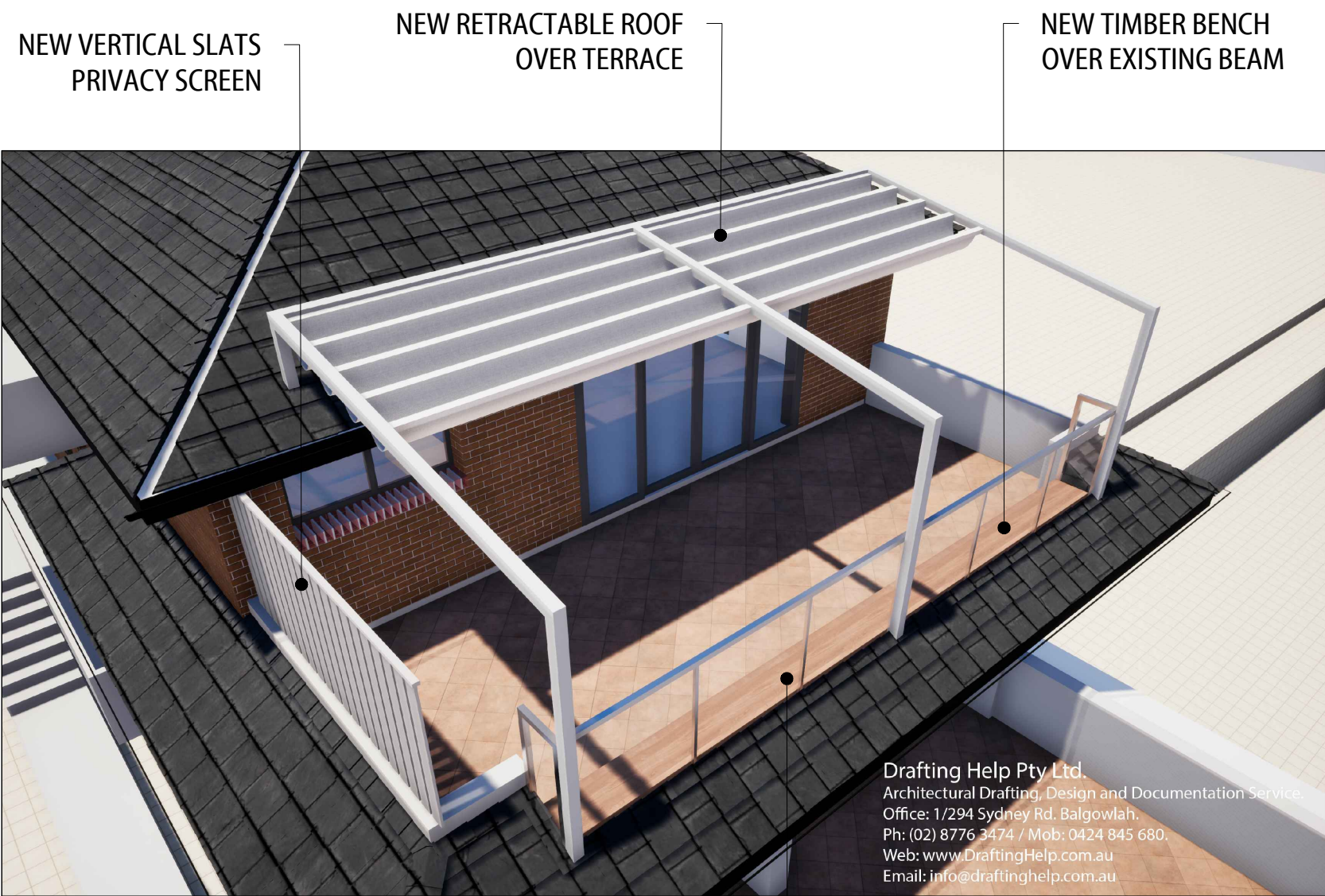


DEVELOPMENT PROPOSAL

ADDRESS: 1 / 31 FAIRLIGHT ST, FAIRLIGHT, NSW. 2011.
WORK: ADDITIONS & ALTERNATIONS TO EXISTING DWELLING.
PROPOSED WORKS: RETRACTABLE ROOF OVER EXISTING TERRACE.
NEW GLASS BALLSUTRADE AND VERTICAL PRIVACY SCREEN.
TIMBER SEAT OF EXISTING BEAM.
S.P 20172.



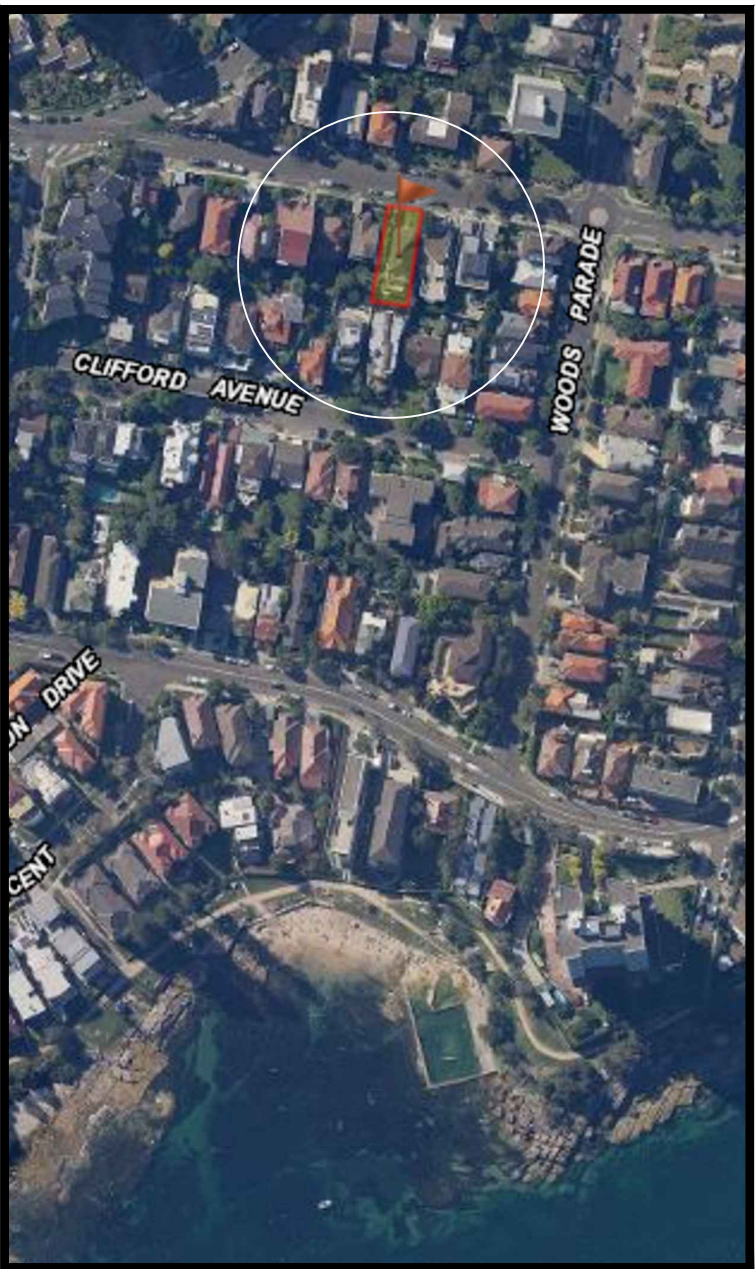
ABOVE: LOOKING NORTH OVER THE PROPOSED RETRACTABLE ROOF



ABOVE: LOOKING WEST FROM THE TERRACE

LOCATION

1 / 31 FAIRLIGHT ST,
FAIRLIGHT. NSW.



ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND
MAY NOT BE COPIED, USED OR REPRODUCED IN ANY
WAY WITHOUT THE EXPRESS PERMISSION OF
[DRAFTING HELP]. ALL DIMENSIONS AND AREAS
INDICATED ON DRAWINGS ARE APPROXIMATE ONLY
AND ARE SUBJECT TO SURVEY CONFORMATION. THE
DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS
NOT INTENDED TO BE USED FOR CONSTRUCTION
PURPOSES.

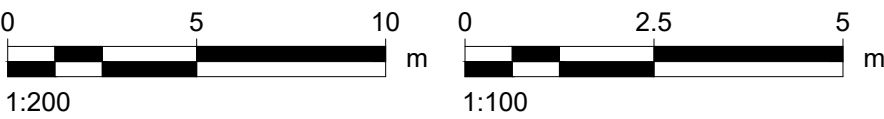
Project ADDITONS AND ALTERATIONS	Sheet
Date 08/10/2019	CV
Scale NTS	
DP No. S.P 20172	
LOT No.	
No.	Revision/Issue
Date	

dhDRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPs TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

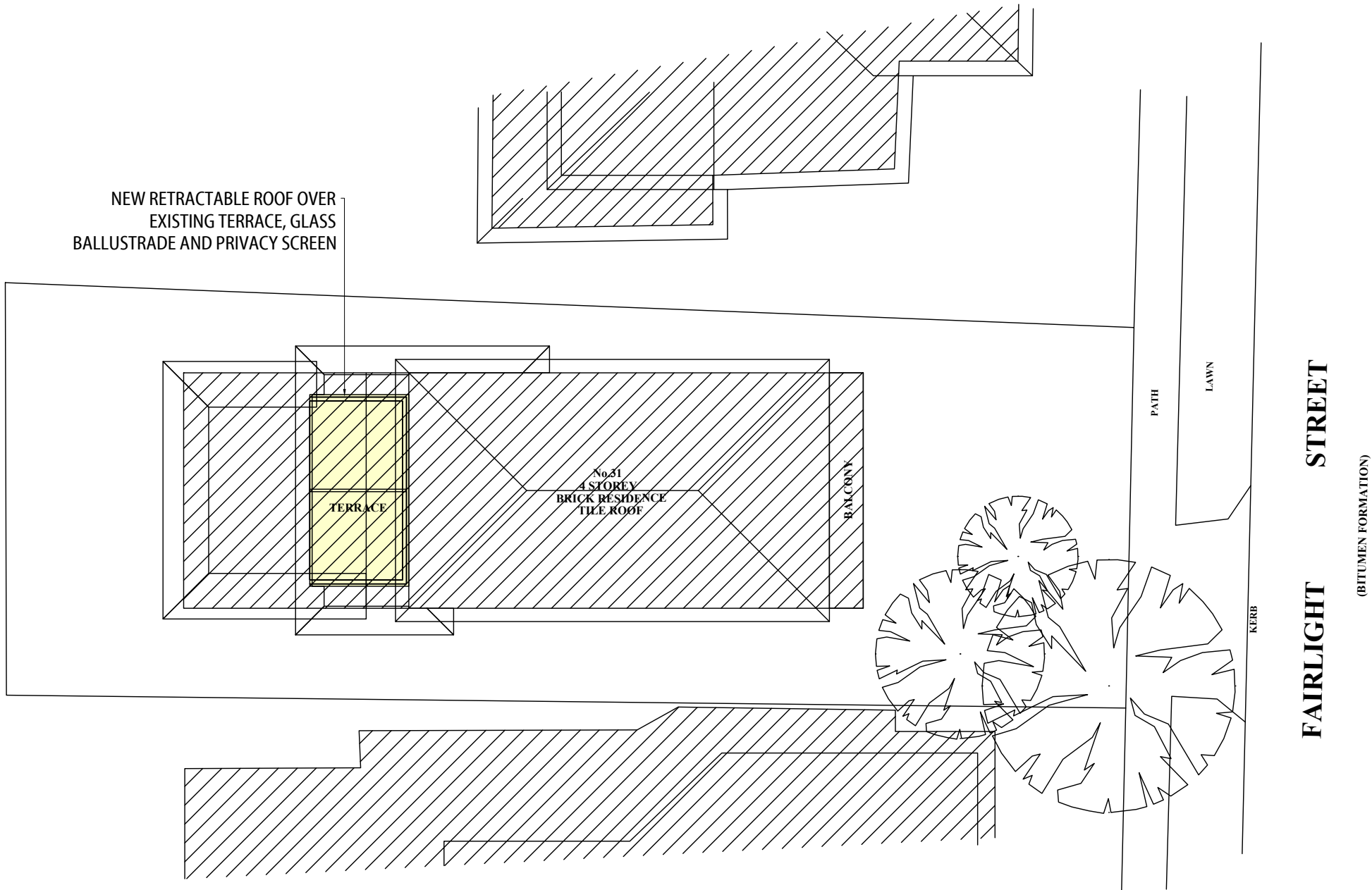
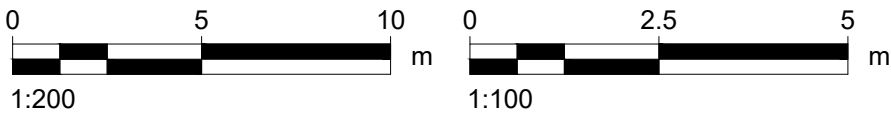


NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



1 SITE PLAN
Scale 1:200

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF (DRAFTING HELP). ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 08/10/2019	SP
Scale 1:200	

DP No. **S.P 20172**

LOT No.

No.	Revision/Issue	Date

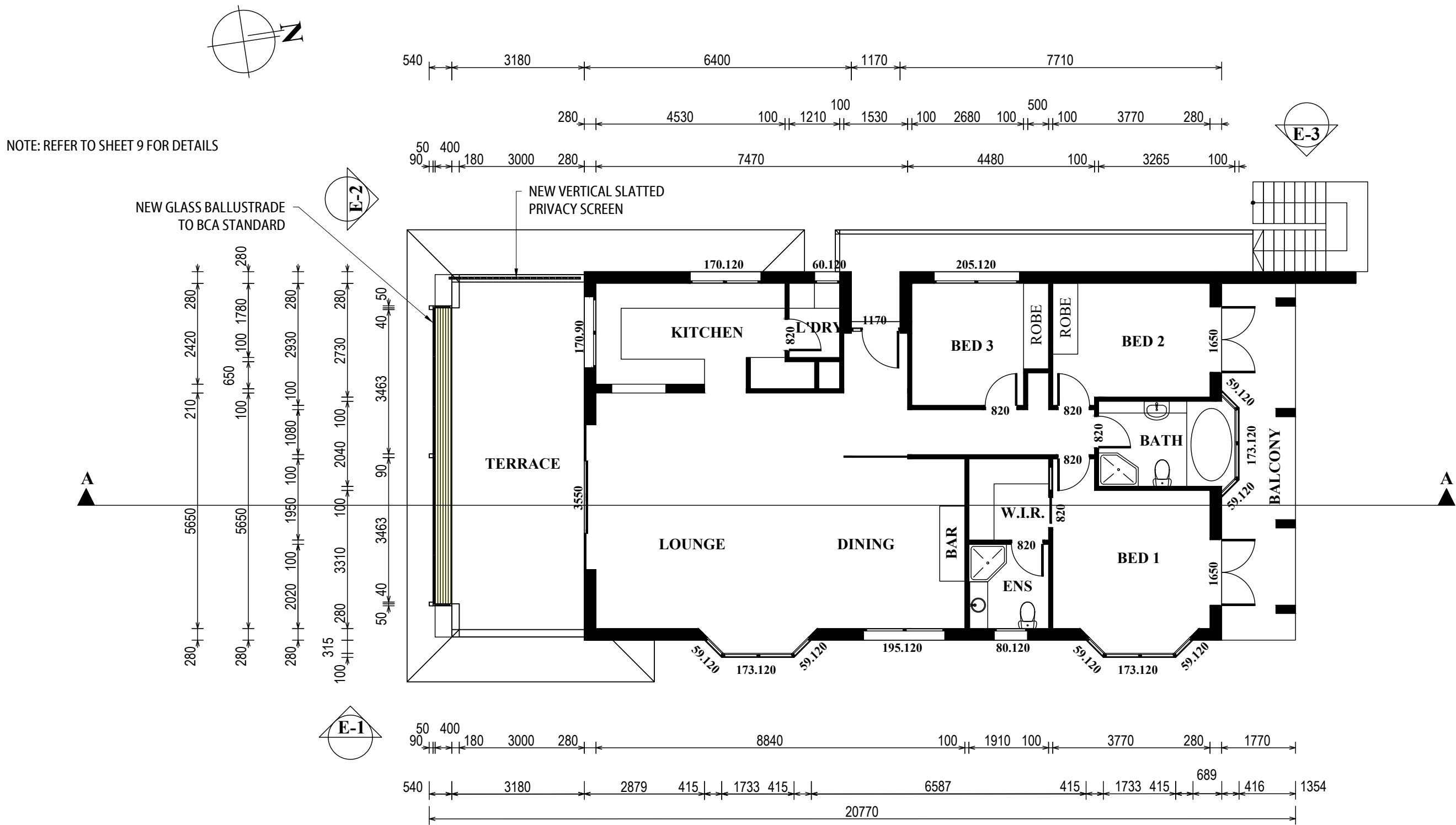
dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Belgowah, 2063 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

FNAME

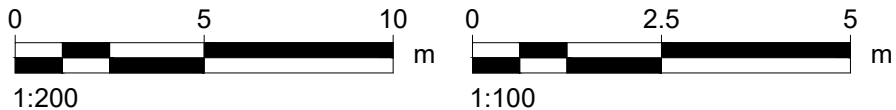
REVDATE

USER



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CORRECTION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet 1
Date 08/10/2019	
Scale 1:100	

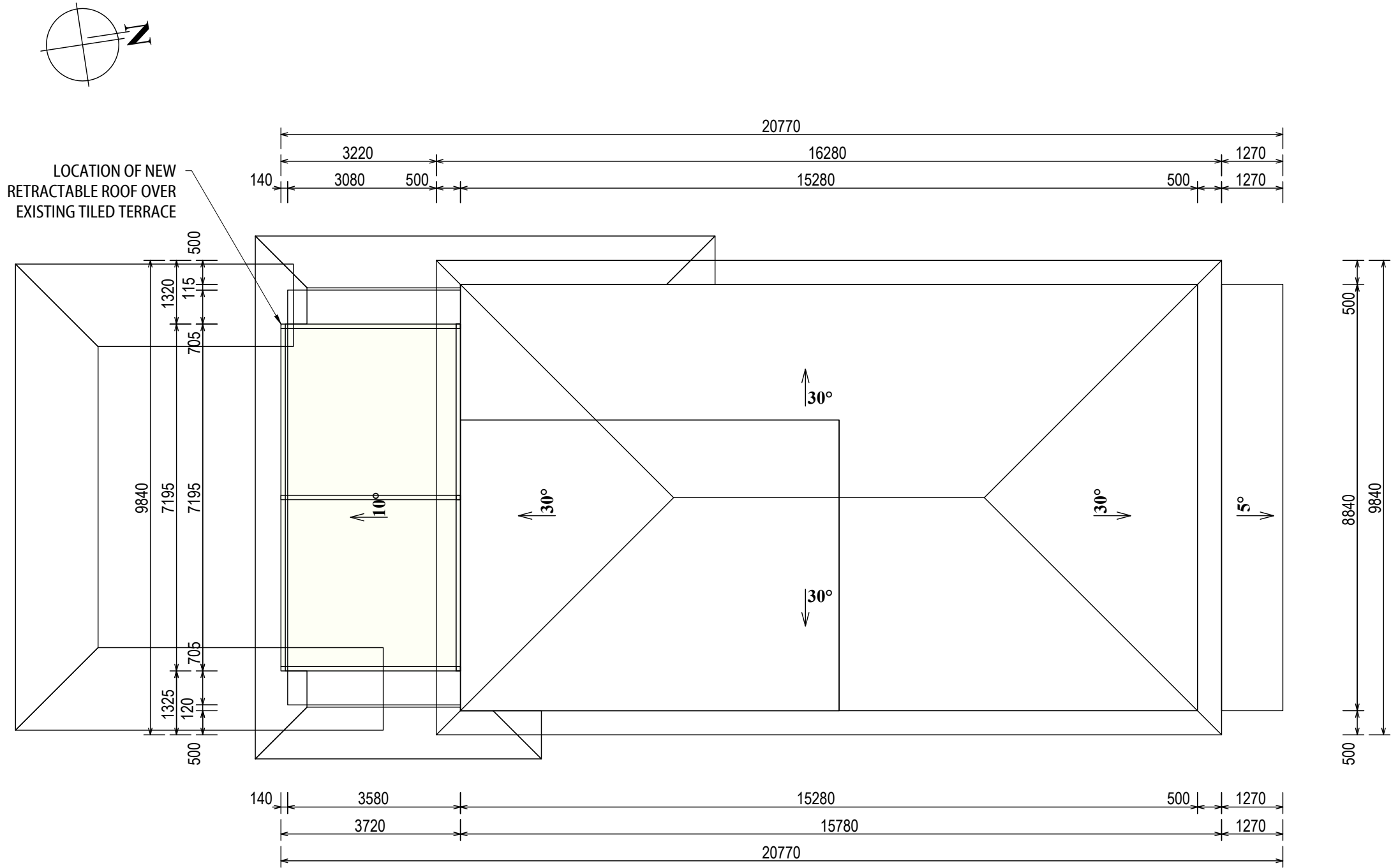
DP No. **S.P 20172**

LOT No.

No.	Revision/Issue	Date
-----	----------------	------

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 67763474

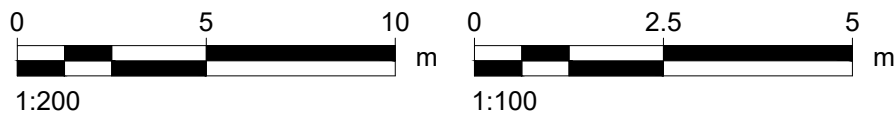
Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW



1 ROOFPLAN – PROPOSED
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF (DRAFTING HELP). ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFORMANCE. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project	Sheet	
AUDITORS AND ALTERATIONS	2	
Date		
08/10/2019		
Scale		
1:100		

DP No. S.P 20172

LOT No.

No.	Revision/Issue	Date

dh DRAFTING HELP

ARCHITECTURAL DRAFTING & DESIGN SERVICES

5/470 Sydney Rd

Balgowlah 2083 NSW

www.draftinghelp.com.au

02 87763474

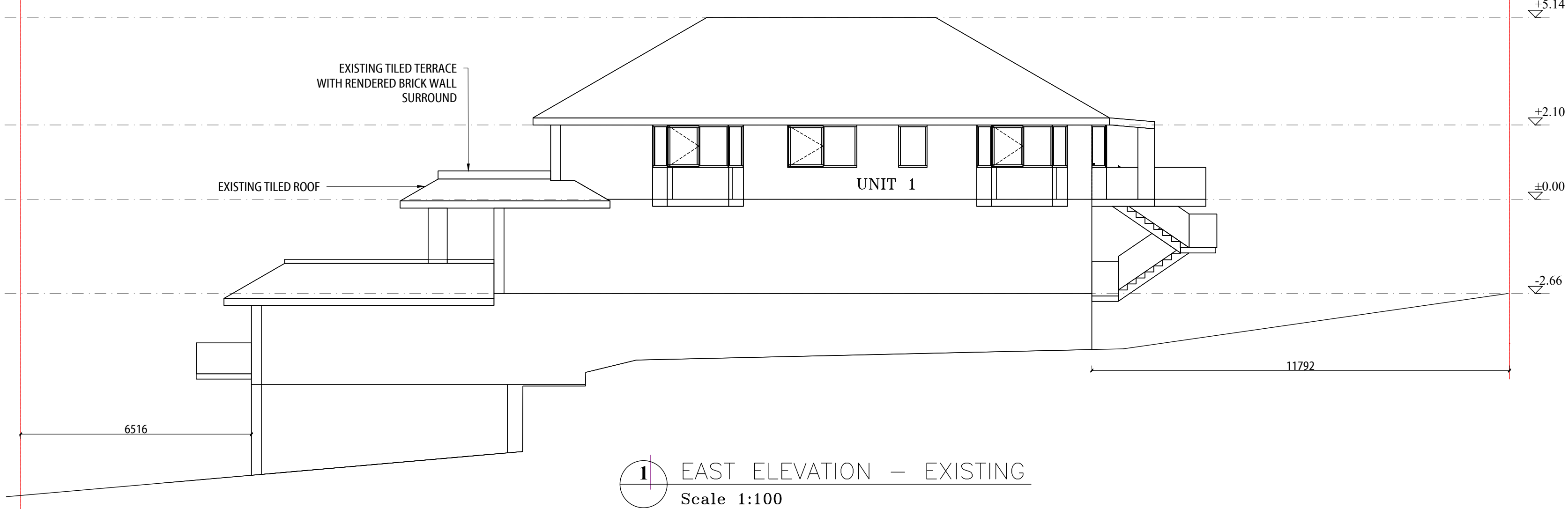
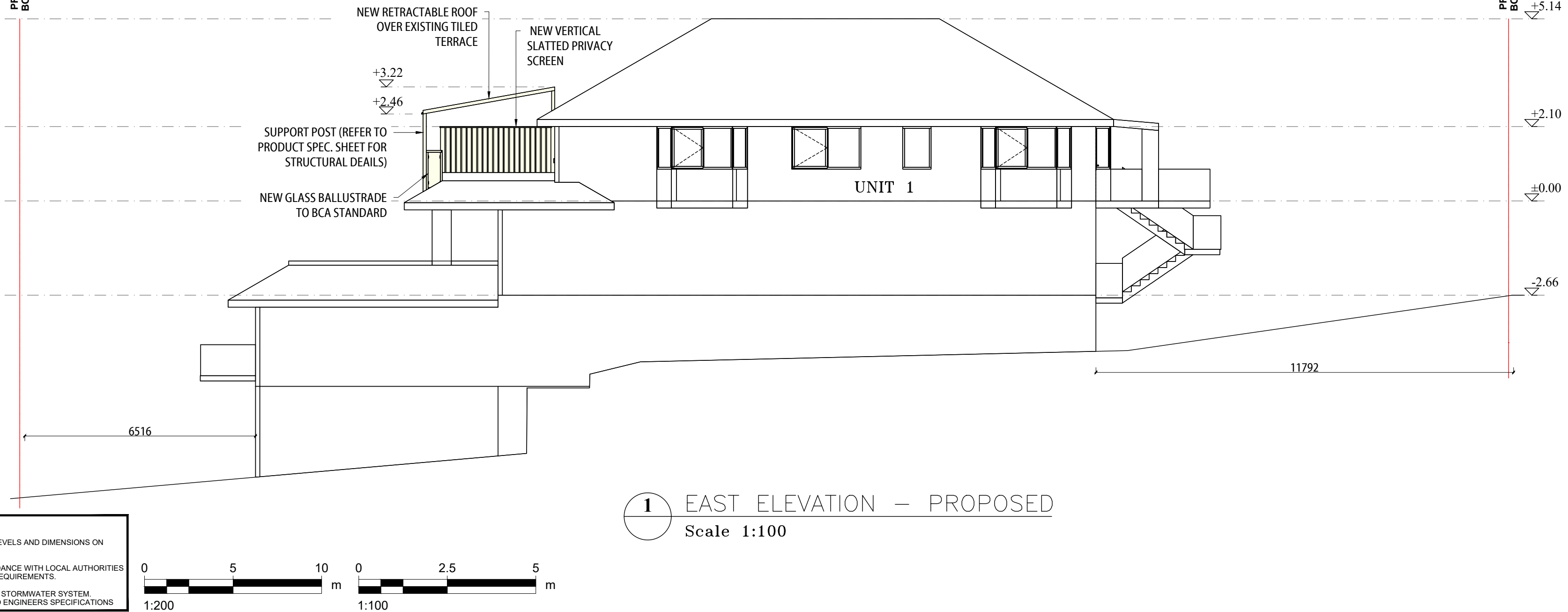
Project Name and Address

JOHNN & TRISH HANLON

1/31 FAIRLIGHT ST

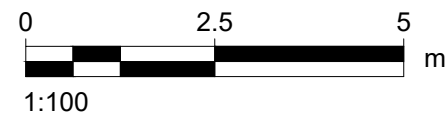
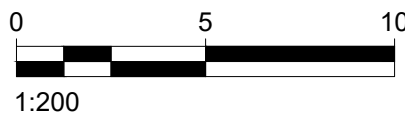
FAIRLIGHT

NSW

PROPERTY
BOUNDARYPROPERTY
BOUNDARYPROPERTY
BOUNDARYPROPERTY
BOUNDARY

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED
WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND
MAY NOT BE COPIED, USED OR REPRODUCED IN ANY
WAY WITHOUT THE EXPRESS PERMISSION OF
DRAFTING HELP. ALL DIMENSIONS AND AREAS
INDICATED ON DRAWINGS ARE APPROXIMATE ONLY
AND ARE SUBJECT TO SURVEY CONFIRMATION. THE
DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS
NOT INTENDED TO BE USED FOR CONSTRUCTION
PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 08/10/2019	3
Scale 1:100	

DP No. **S.P 20172**

LOT No.

No.	Revision/Issue	Date
-----	----------------	------

dhDRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgownie NSW 2093
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

LEGEND:

PROPOSED
WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND
MAY NOT BE COPIED, USED OR REPRODUCED IN ANY
WAY WITHOUT THE EXPRESS PERMISSION OF
[DRAFTING HELP]. ALL DIMENSIONS AND AREAS
INDICATED ON DRAWINGS ARE APPROXIMATE ONLY
AND ARE SUBJECT TO SURVEY CONFIRMATION. THE
DESIGN IS SUBJECT TO AUTHORITY APPROVALS AND IS
NOT INTENDED TO BE USED FOR CONSTRUCTION
PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 08/10/2019	4
Scale 1:100	

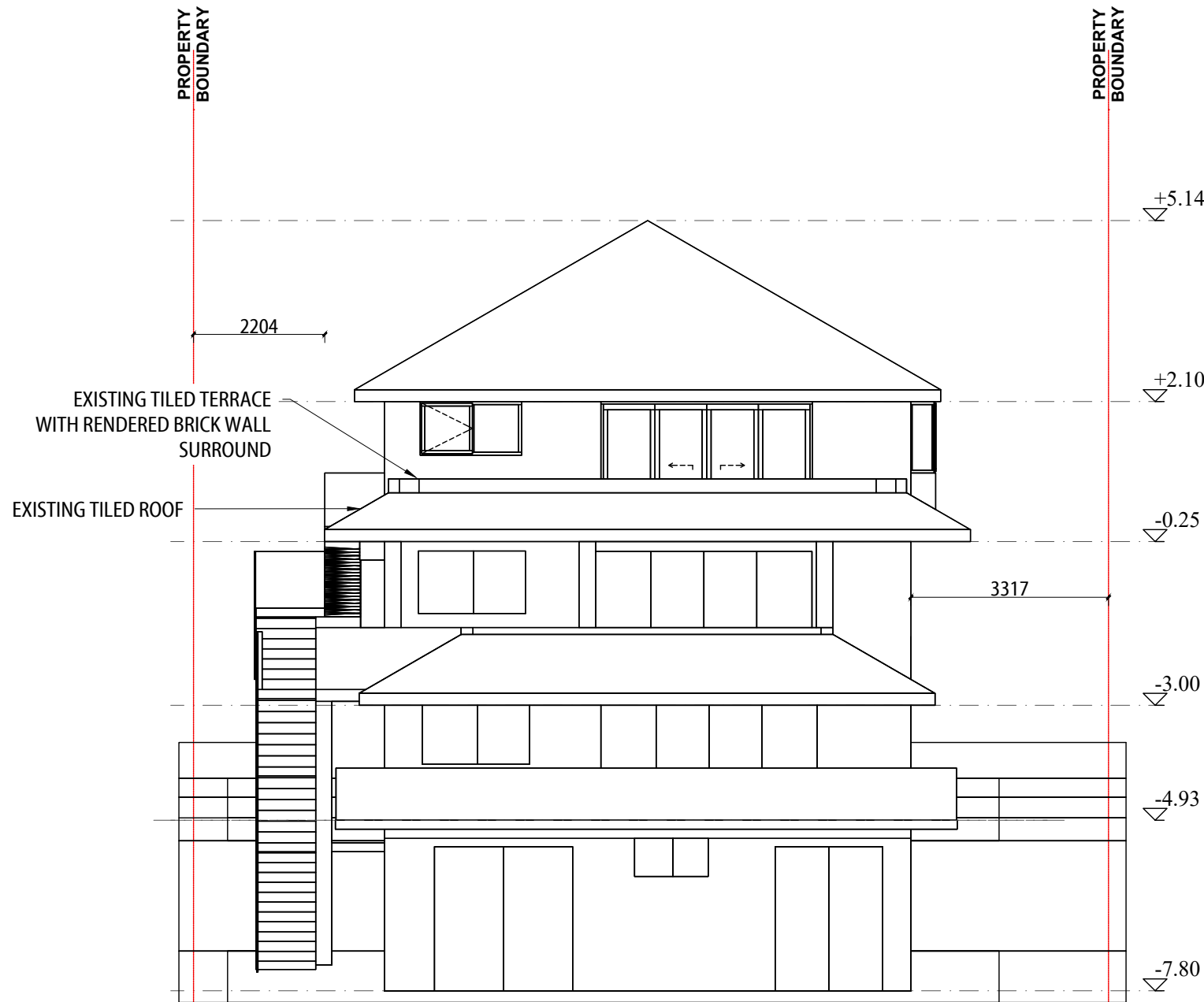
DP No. S.P 20172

LOT No.

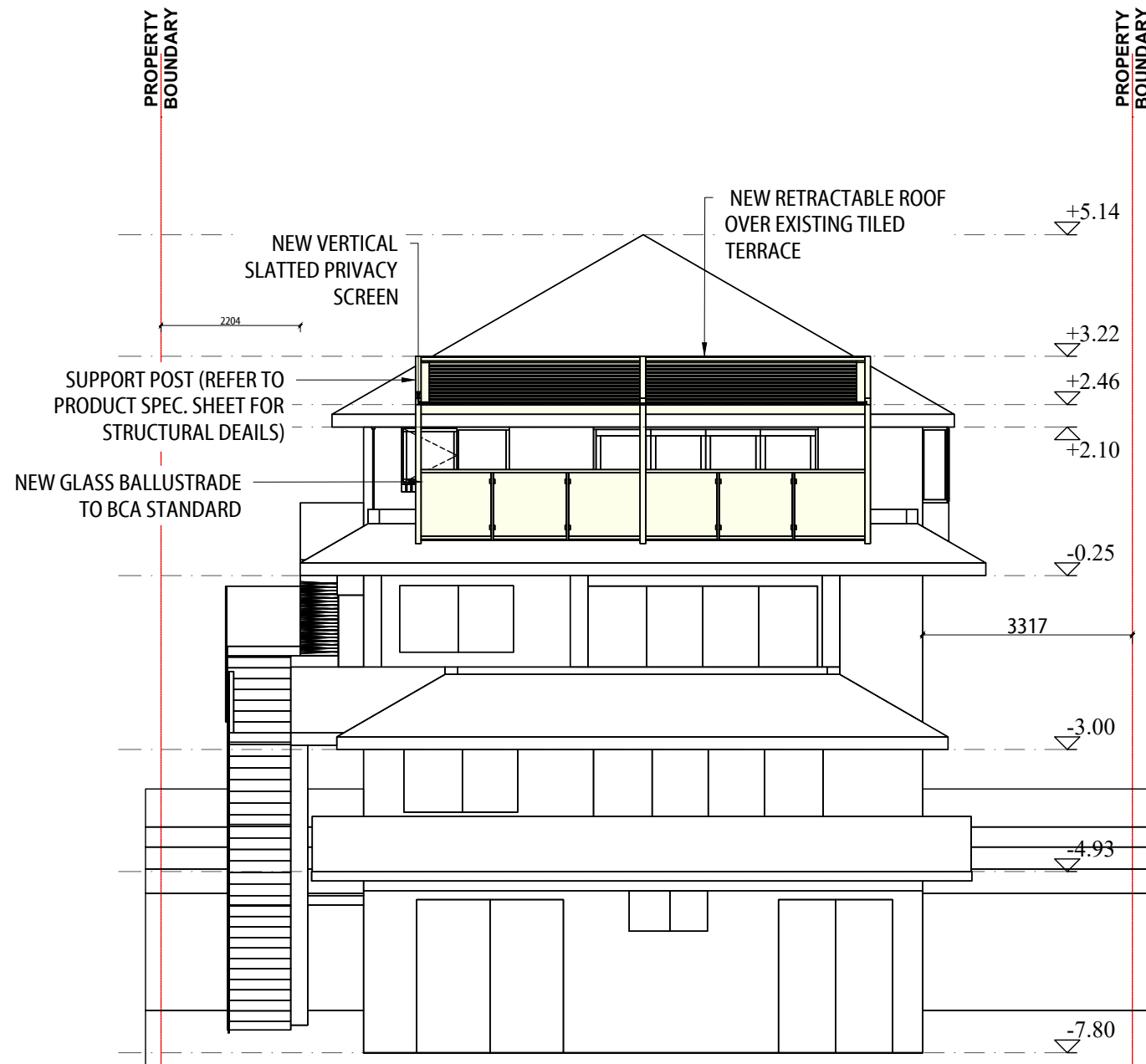
No.	Revision/Issue	Date
-----	----------------	------

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
51470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW



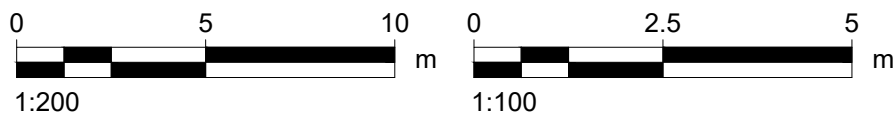
1 SOUTH ELEVATION – EXISTING
Scale 1:100



1 SOUTH ELEVATION – PROPOSED
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

FINAME

REVDATE

USER



1 WEST ELEVATION – EXISTING
Scale 1:100



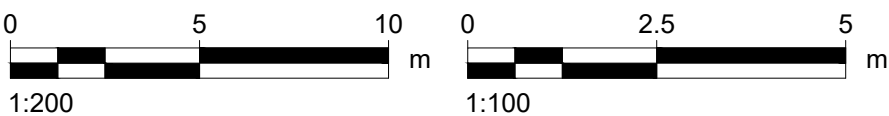
1 WEST ELEVATION – PROPOSED
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:

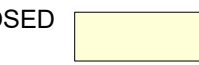
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED
WORK



General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF (DRAFTING HELP). ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project AUDITORS AND ALTERATIONS	Sheet
Date 08/10/2019	5
Scale 1:100	

DP No. S.P 20172

LOT No.

No.	Revision/Issue	Date
-----	----------------	------

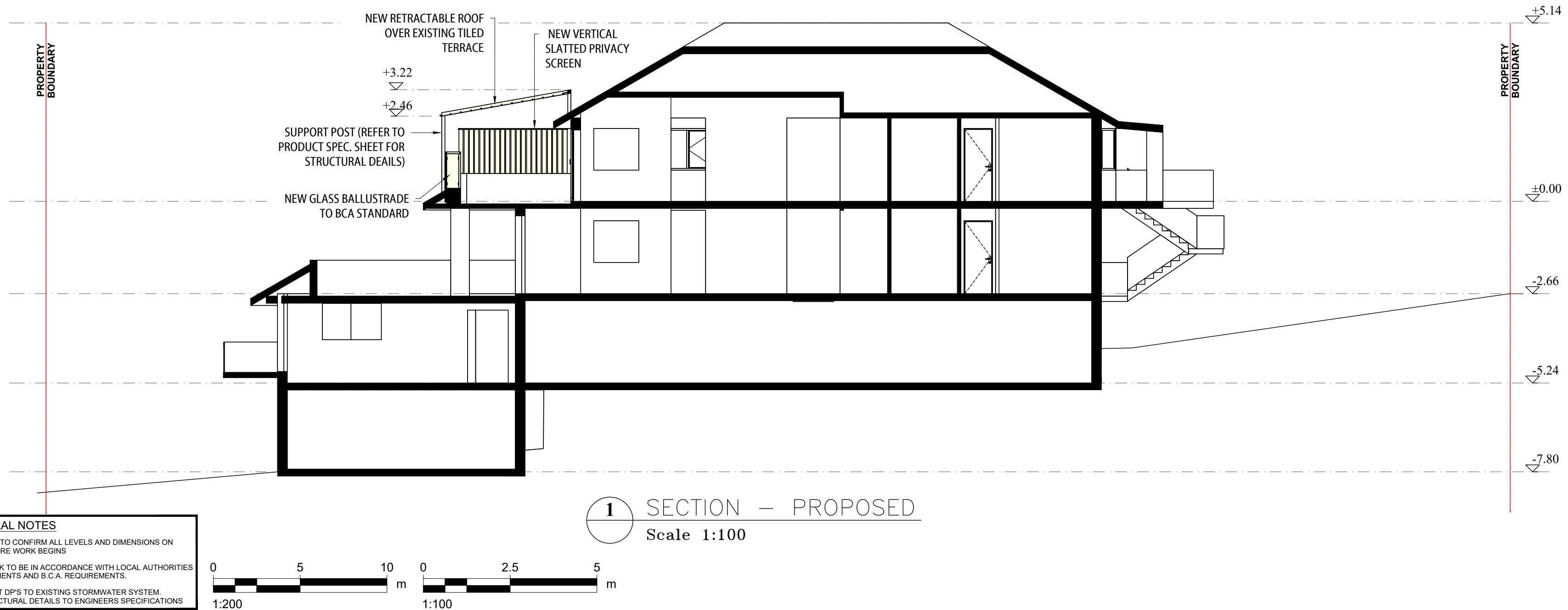
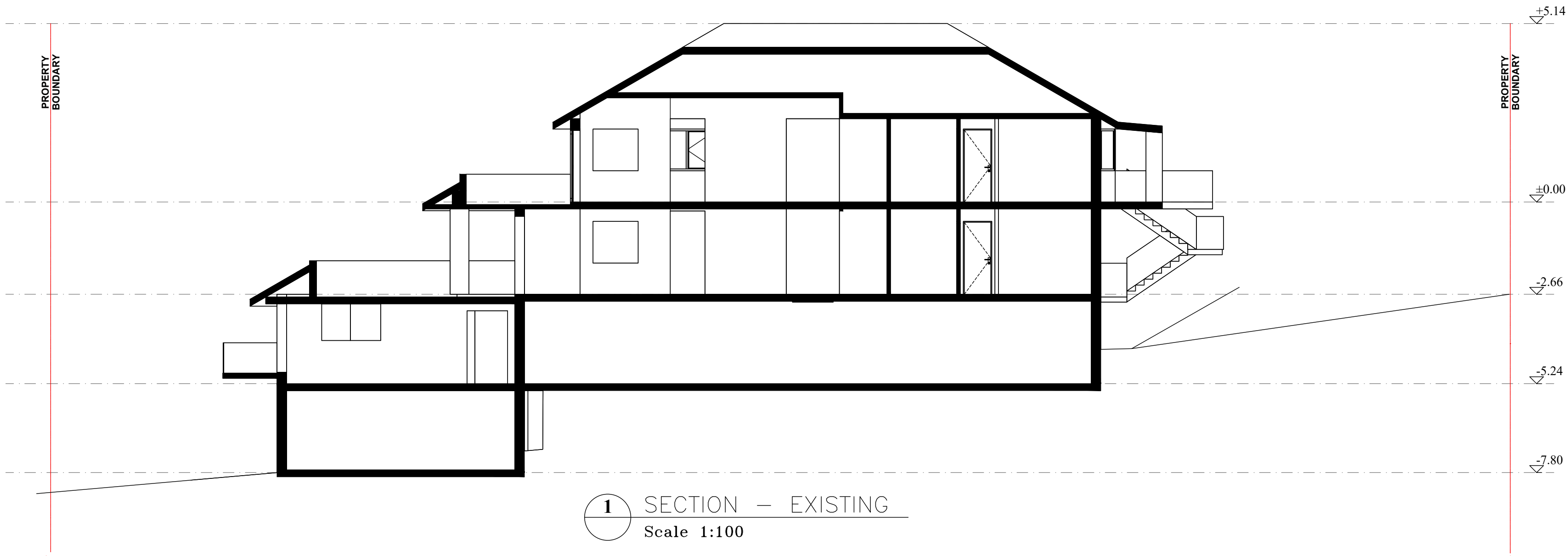
dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2083 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

FNAME

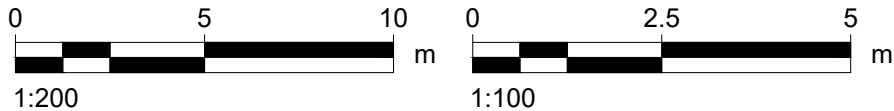
REVDATE

USER



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT TO SURVEY CONFIRMATION AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date	6
Scale	
1:100	

DP No. S.P 20172

LOT No.

No.	Revision/Issue	Date
-----	----------------	------

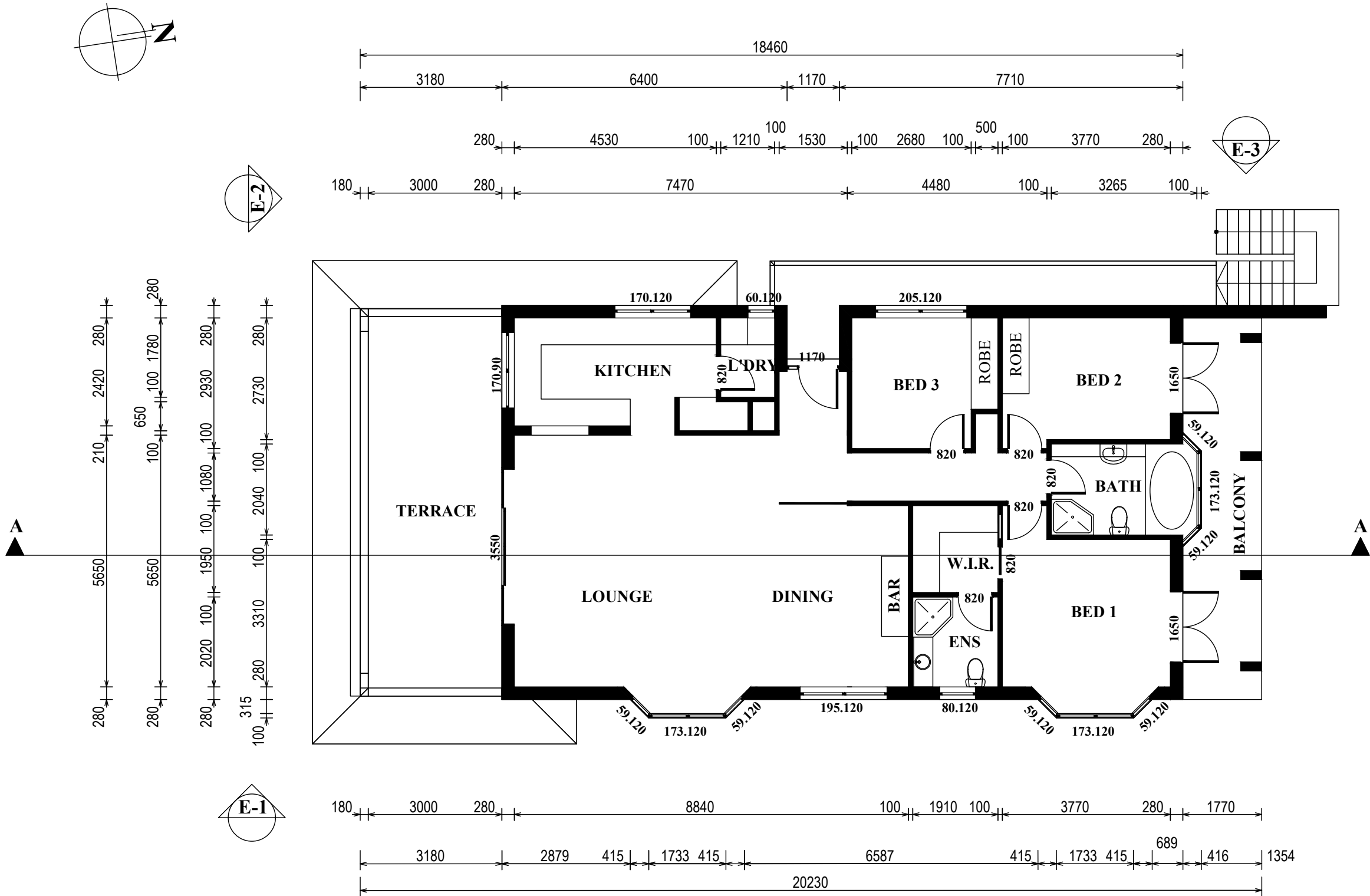
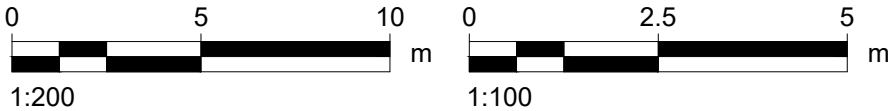
dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 97763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



1 FLOORPLAN – EXISTING
Scale 1:100

UNIT 1

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF (DRAFTING HELP). ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITONS AND ALTERATIONS	Sheet
Date 08/10/2019	7
Scale 1:100	

DP No. S.P 20172		
LOT No.		
No.	Revision/Issue	Date

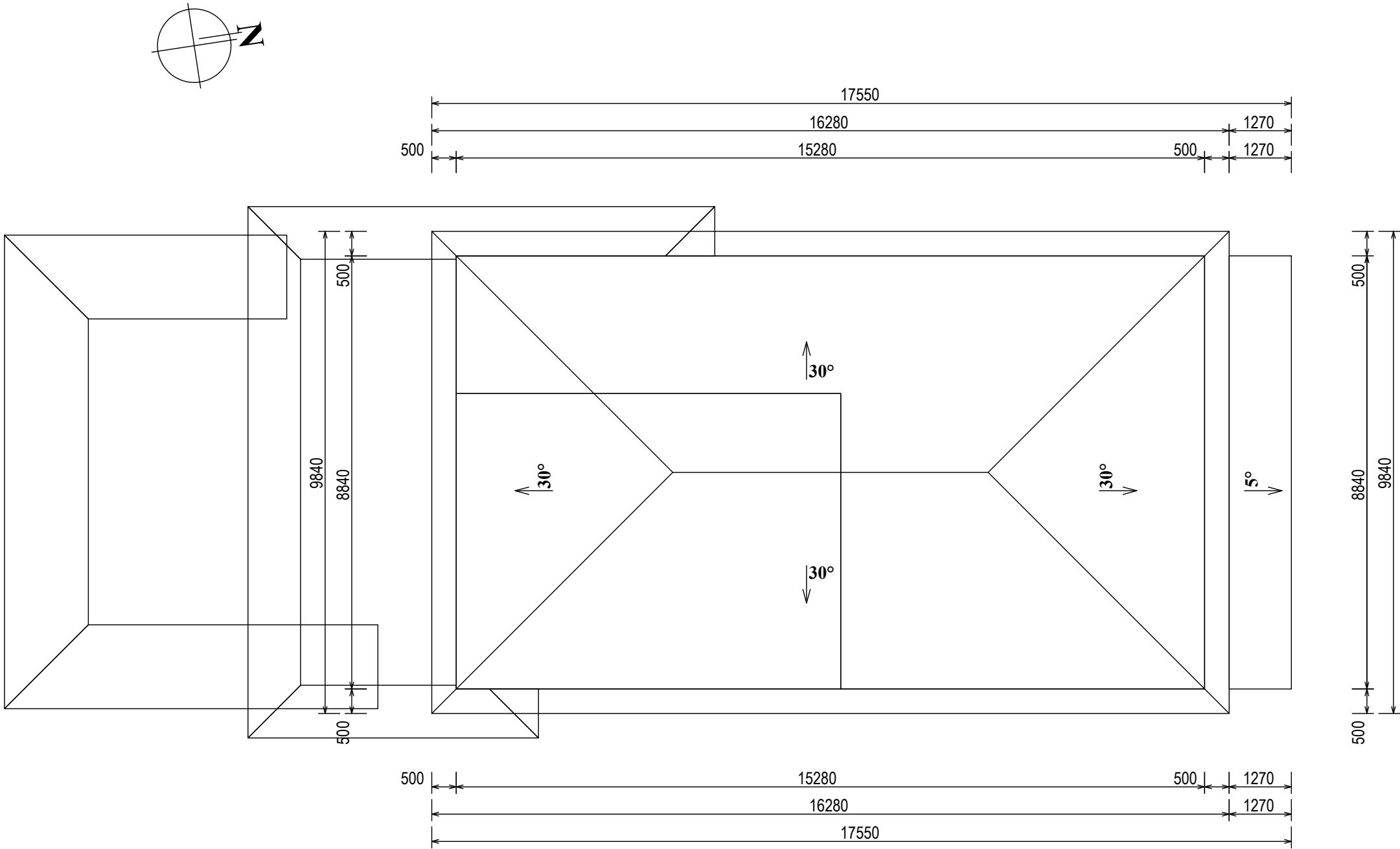
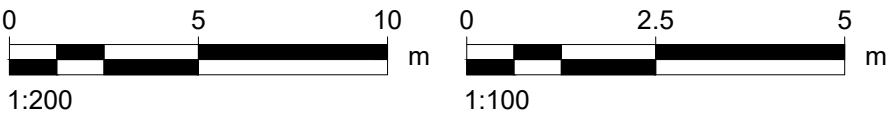
dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



1 ROOF PLAN – EXISTING
Scale 1:100

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF [DRAFTING HELP]. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 08/10/2019	8
Scale 1:100	

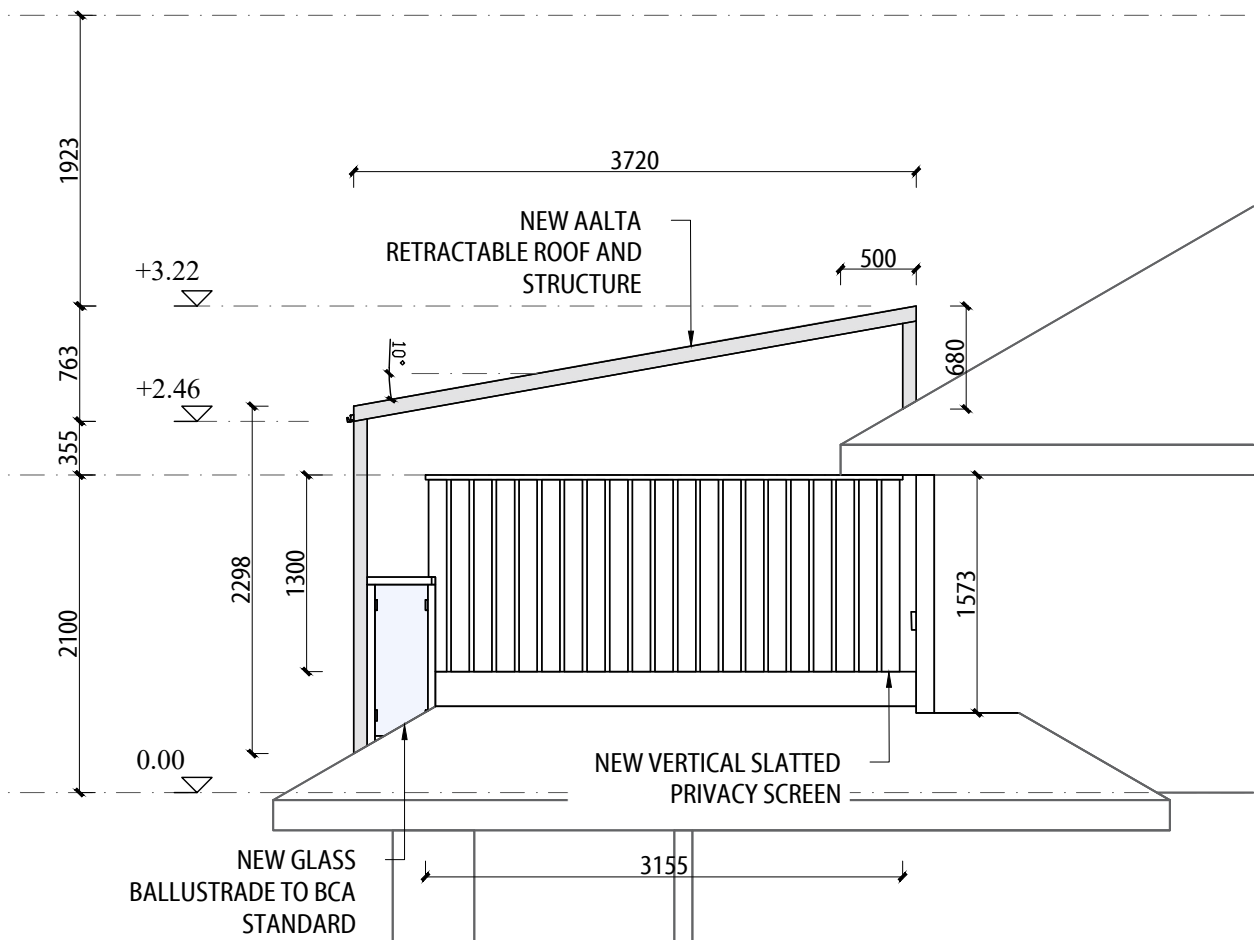
DP No.	S.P 20172	
LOT No.		
No.	Revision/Issue	Date

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES

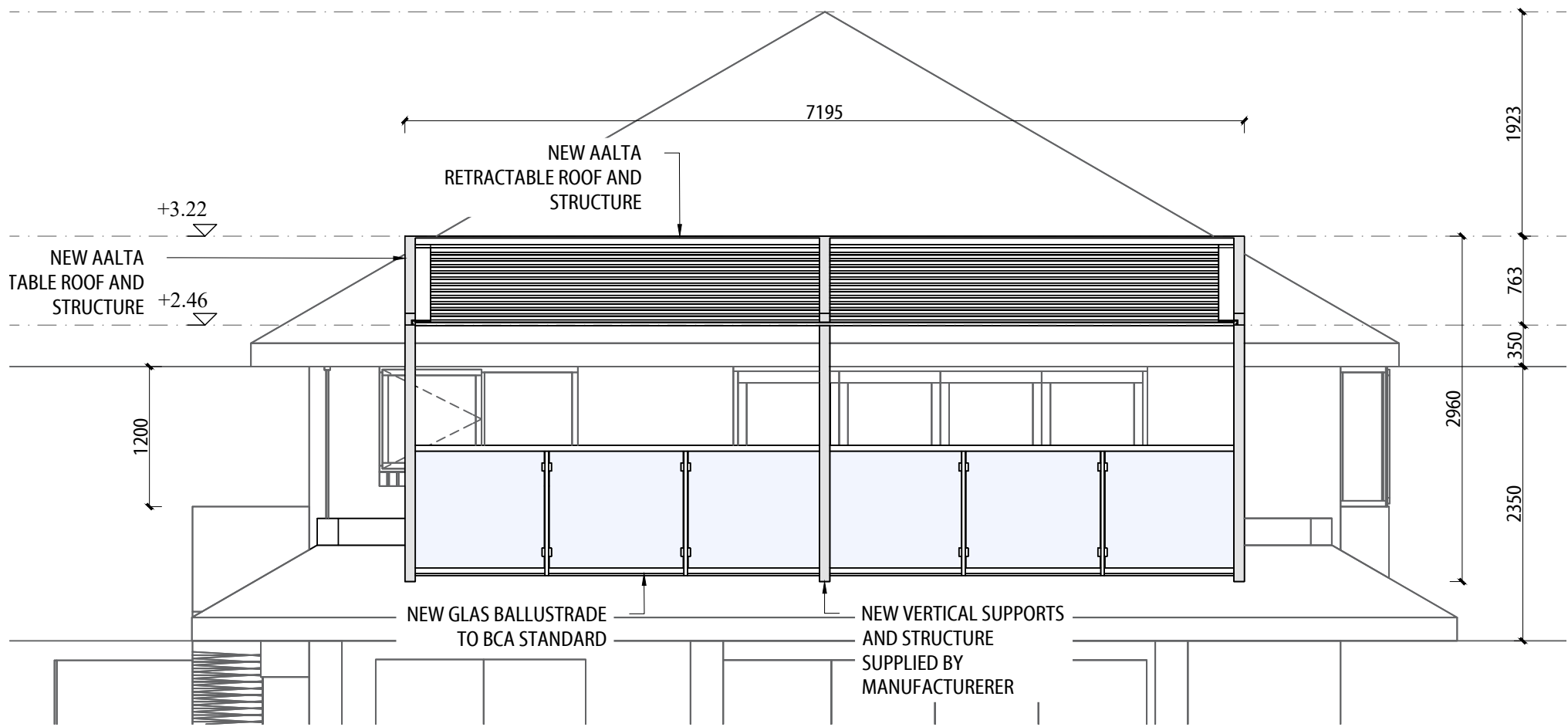
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

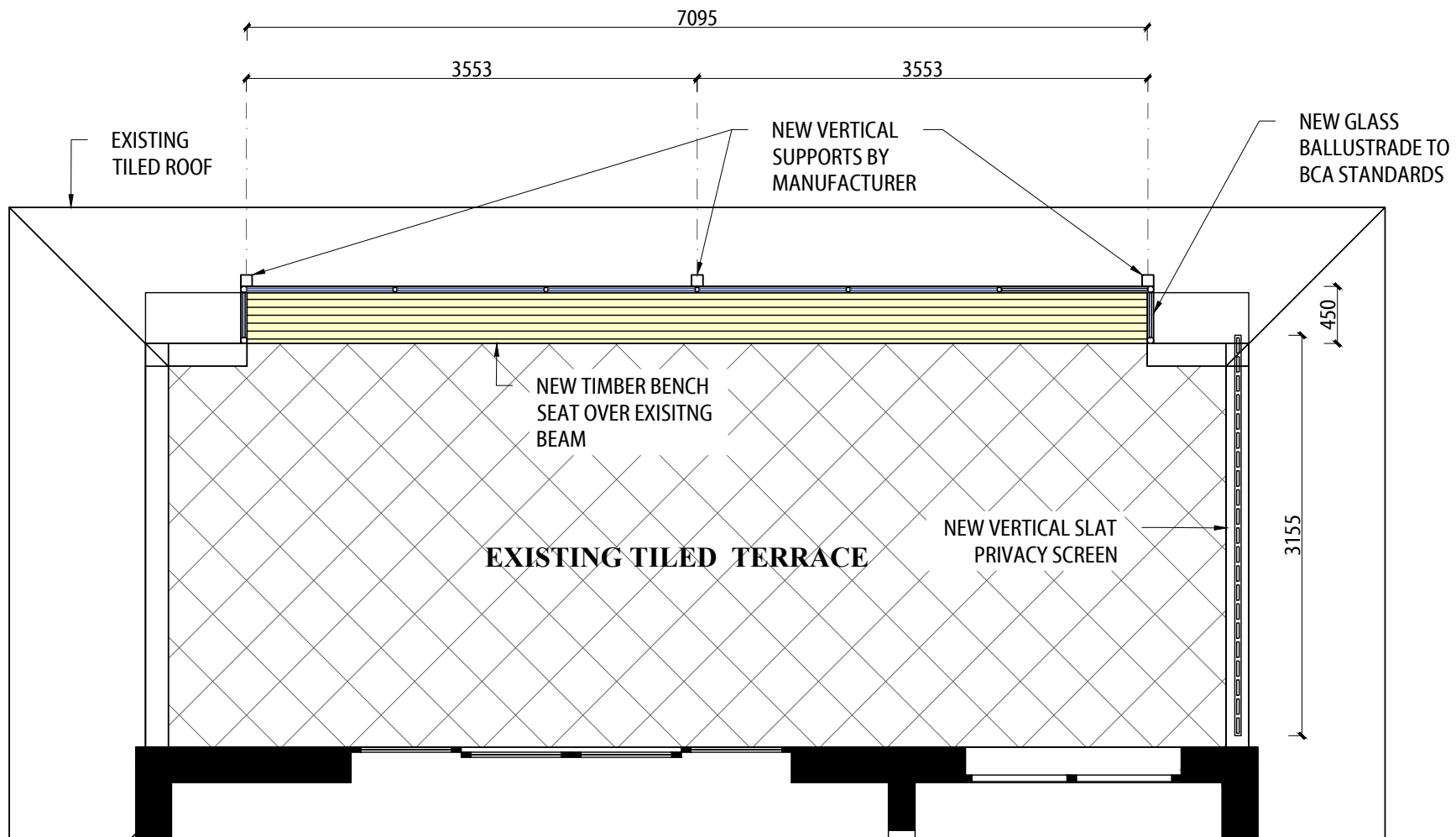
NOTE: REFER TO PRODUCT SPEC. SHEET FOR EXACT DIMENSIONS AND FINISHES



1 EAST ELEVATION – PROPOSED
Scale 1:50



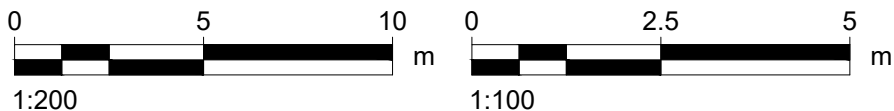
1 SOUTH ELEVATION – PROPOSED
Scale 1:50



1 PLAN VIEW – PROPOSED
Scale 1:50

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

LEGEND:

PROPOSED WORK

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF [DRAFTING HELP]. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT TO AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date	9
08/10/2019	
Scale	
1:50	

DP No. S.P 20172

LOT No.

No. Revision/Issue Date

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

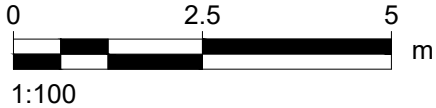
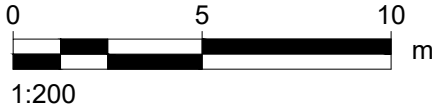
SCHEDULES

Window Schedule								
Renovation Status								Existing
W x H Size / ID	1700×1200	1700×900	1733×1200	1950×1200	2050×1200	590×1200	600×1200	800×1200
Quantity	1	1	3	1	1	6	1	1
Sill Height	900	1200	900	900	900	900	900	900
2D Symbol								
3D View								

Door Schedule				
Renovation Status	Existing			
ID	820	1170	1650	3550
Quantity	7	1	2	1
W x H Size	820×2100	1170×2100	1650×2100	3550×2100
2D Symbol				
3D View				

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project
ADDITIONS AND
ALTERATIONS
Date
08/10/2019
Scale
NA

Sheet

10

DP No.

S.P 20172

LOT No.

No.

Revision/Issue

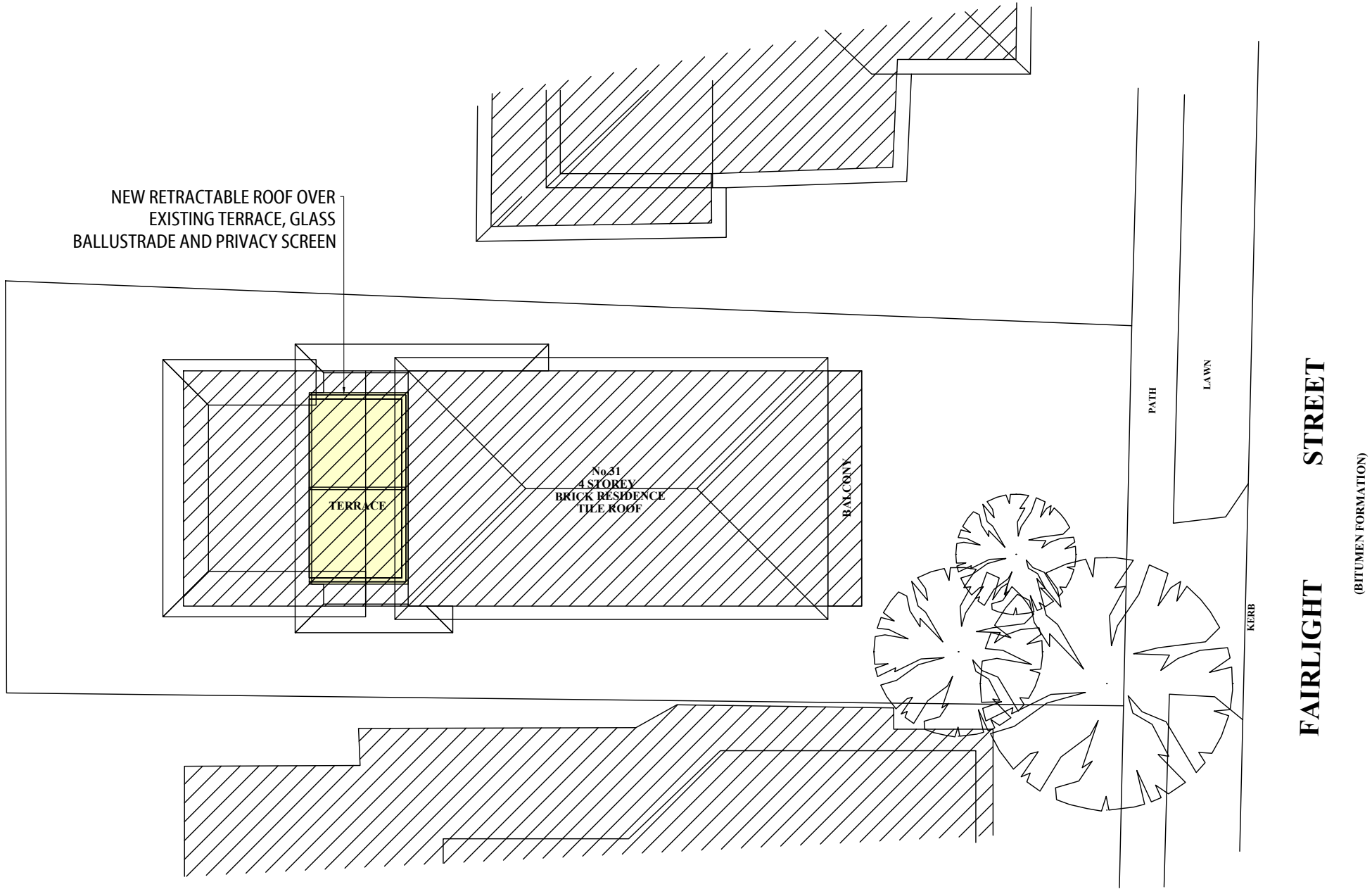
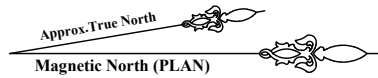
Date

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 81763474

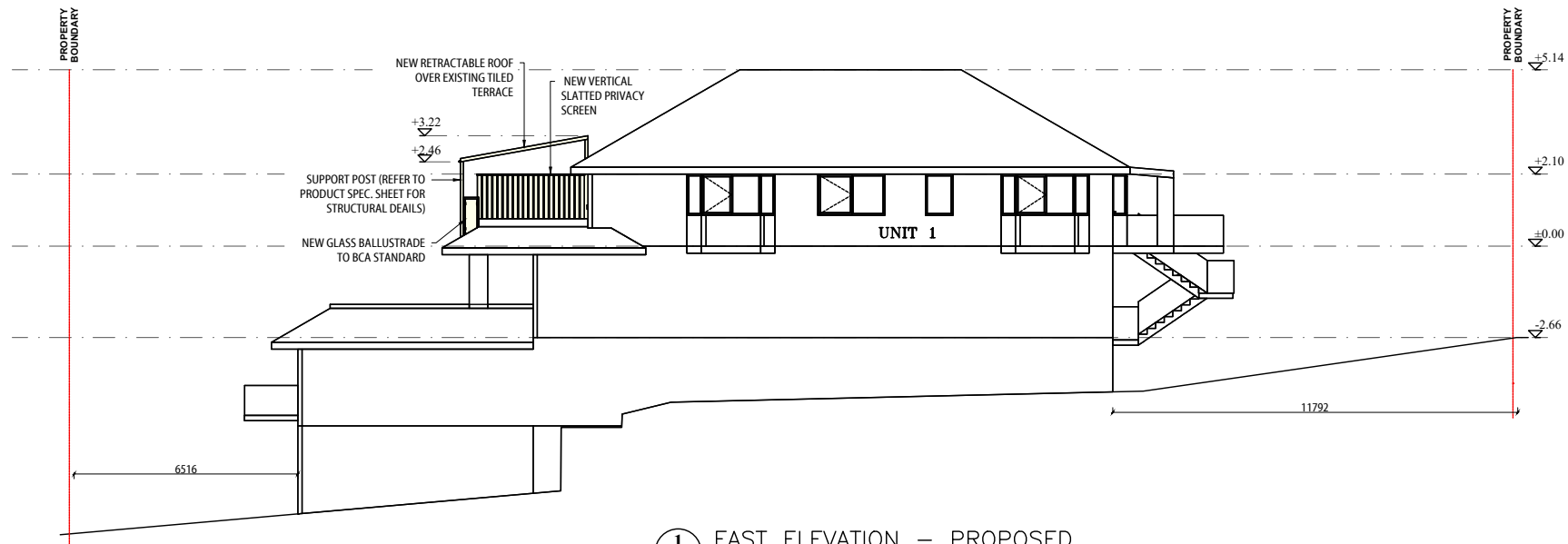
Project Name and Address

JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

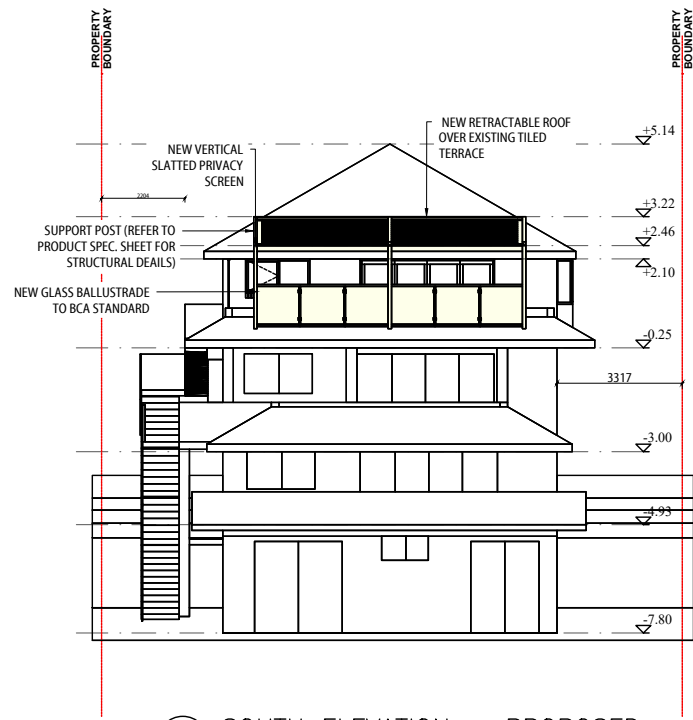
NOTOFICATION PLAN



1 SITE PLAN
Scale 1:200



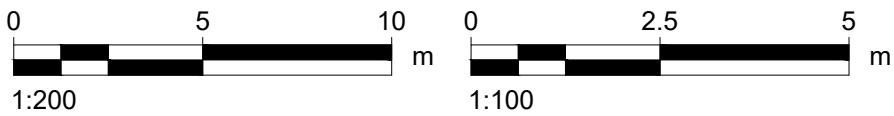
1 EAST ELEVATION – PROPOSED
Scale 1:100



1 SOUTH ELEVATION – PROPOSED
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT TO SURVEY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS
Date 08/10/2019
Scale NTS
Sheet NP

DP No. S.P 20172

LOT No.

No. Revision/Issue Date

dh DRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF (DRAFTING HELP). ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT TO SURVEY AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

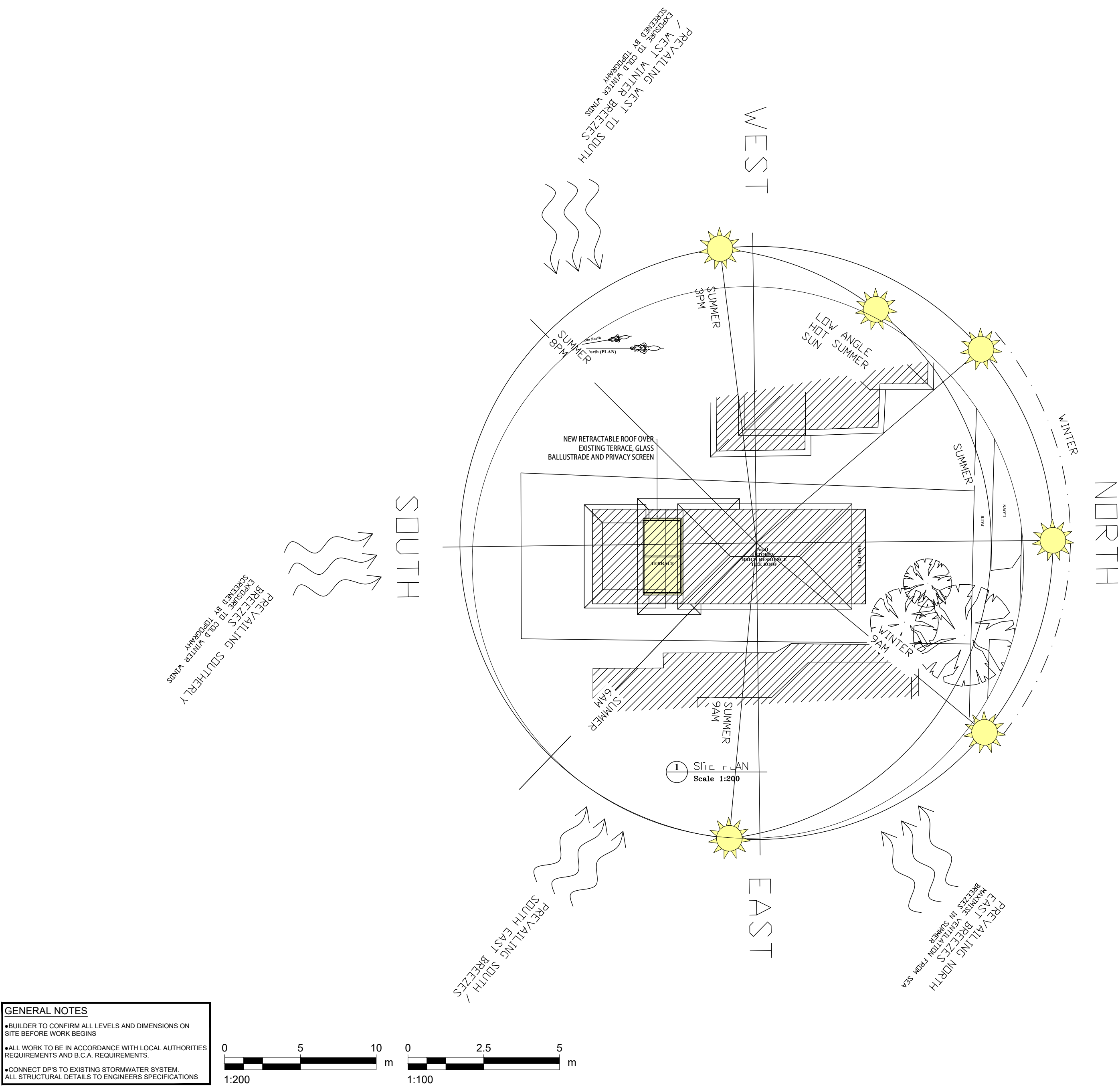
Project ADDITONS AND ALTERATIONS	Sheet
Date 08/10/2019	SA
Scale NTS	

DP No. S.P 20172		
LOT No.		
No.	Revision/Issue	Date

dhDRAFTING HELP

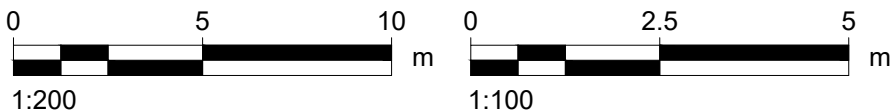
ARCHITECTURAL DRAFTING & DESIGN SERVICES
5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address		
JOHNN & TRISH HANLON		
1/31 FAIRLIGHT ST		
FAIRLIGHT		
NSW		



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

**ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS**

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF DRAFTING HELP. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CORRECTIONS. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITONS AND ALTERATIONS	Sheet
Date 08/10/2019	N1
Scale NTS	

LOT No.		
No.	Revision/Issue	Date

Project Name and Address

JOHNN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Dimensions and Setout
Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

Termite protection to AS3660.1.
Use a physical barrier system installed by licensed installers to manufacturer's specification.
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

Groundworks for slabs and footings to AS2870.
Demolition to AS2601.

Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

All vapour barriers to AS2870.
Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film.
Provide anti-caps between any brick or stone piers and sub walls and timber bearers.

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

Concrete structures generally to AS3600.
Ground slabs and footings to AS2870.
Ready-mixed concrete to AS1379.
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required.
Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

All timber framing and flooring to AS1684, AS1720.1 where relevant.
Structural steelwork to AS4100.
Preparation of metal surfaces to AS1627.
Flashing and damp-proof courses to AS2904.

All doors and windows generally to AS2047.1 as per door and window schedule.

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.
 All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets.
 All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable.
 Provide recessed edge sheets and finish lush with perforated reinforcing tape.
 Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling plane

All waterproofing to AS3740. All liquid and sheet membrane systems to be specified for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

All files to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging file faces. Return files into sills, reveals, and opening. Built up returns, frames, fittings and other finishes. Distribute variations in hue, color and pattern uniformly by mixing files or file batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out files from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Both cavities to be ventilated with min. 2 ventilation points..

Polished concrete slab to be helicoptered burnish finish to Proprietor's specification.

Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m² / litre should be observed. Application to manufacturers specification.

All painting AS2311 and paint manufacturer's specifications.
Clean off marks, paint spots and stains progressively.
Touch up damaged paintwork with original paint batch where possible.
Refer to finishes schedule for details of painted finishes.

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All propriety fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

Strip flooring to AS1684.
Particleboard sheet flooring to AS1859.1, installed to AS1860.
Fibre-cement flooring to AS2908.2.
New timber decking to AS2796.
Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

Provide additional noggings etc. where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

Masonry generally to A\$3700 and masonry units to A\$4455.
Provide ant-caps between any brick or stone piers sub walls and timber bearers.

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.

All bulk insulation to AS3742, installed to AS3999.

All sarking material to AS4200.1.

Fit all batts tightly between framing members, and support securely.

Provide vapour-permeable sarking under cladding which does not provide a permanent weathertproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints.

Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and top min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking at least 50mm clear of ridges.

new 150mm half-round guttering throughout with matching support brackets as selected
new 90mm dia downpipes as shown
new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications
existing roof tiles to be carefully removed for reuse to front extended roof

All roof plumbing to AS2179.1 and AS2180.
All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 BMT sheet steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be in single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Sds and sheet metal manufacturer's recommendation.

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.

Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alignment.

All plumbing and drainage work strictly in accordance with AS3500.
All gas installations to AS5601.
Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

Stormwater and Wastewater
Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

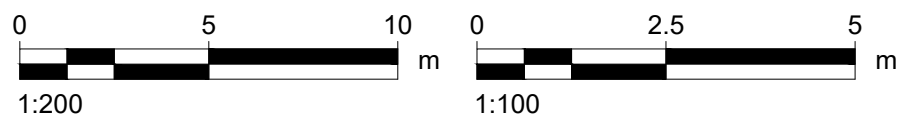
Rainwater Storage
All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.
First flush devices to be fitted to all downpipes. All inlets and outlets to be protected with suitable mosquito barrier.

Gas
Gas supply to be installed to Local Authority Requirements. On completion of installation and testing, turn on isolation and control valves and purge and charge the installation.

All domestic electrical works to AS3018.
All mechanical installations to AS1668.
All telecommunications installations to AS1501.8.
Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Standards and BCA.
Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.

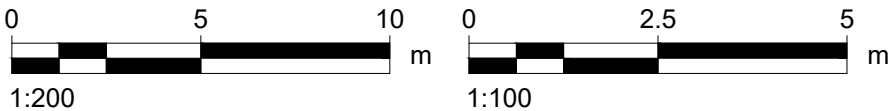
- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.



GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



NOTE:
THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

Drafting Help Terms and Conditions

In these terms and conditions (**Terms**), **Drafting Help** means Drafting Help ACN: 621 017 007 and **You** means the person listed in the **Quote** (being the quote to which this document is attached) as the client of Drafting Help (and **Your** has a similar meaning).

You agree to, and will be bound by, these Terms upon the earlier of: Your written or oral confirmation to Drafting Help to commence the **Services** (being the services specifically set out in the Quote, subject to any exclusions or assumptions in the Quote); and You making any payment to Drafting Help in connection with the Services. You agree that you have been given the opportunity to read and understand these Terms.

- You have engaged Drafting Help to perform the Services and agree to pay Drafting Help the **Fee** (being the fee set out in, or calculated in accordance with, the Quote and these Terms) in accordance with these Terms. If, at any time, You seek to end or cancel these Terms prior to the completion of the Services, without limiting Drafting Help's rights, Drafting Help may suspend the performance of the Services, and You must pay Drafting Help the balance of the Fee, immediately.
- Subject to these Terms, Drafting Help will perform the Services with due care and skill.
- You will pay the Fee in the manner, and at the times, set out in the Quote. If You do not comply with this paragraph, Drafting Help may immediately suspend the performance of the Services until such time as You have complied with this paragraph.
- You will pay a default interest rate on any overdue payments at the rate of 18% per annum (calculated and compounding daily). This paragraph 4 survives termination of these Terms.
- You will provide Drafting Help with all assistance, documentation, information and instructions requested by Drafting Help to enable Drafting Help to perform the Services (**Input**). If You do not comply with this paragraph, Drafting Help may itself carry out those activities at Your cost (calculated in accordance with the rates and prices set out in the Quote).
- Drafting Help will not be held responsible for any error, defect, omission, fault, inconsistency, discrepancy or ambiguity in or between the designs or documents prepared by or on behalf of Drafting Help in (or incidental to) the performance of the Services (**Deliverables**), to the extent caused by Your failure to comply with, or any Input provided by or on behalf of You for the purpose of, paragraph 5. This paragraph 6 survives termination of these Terms.
- If Drafting Help is asked to, or is required to perform:
 - services or activities which are different, or in addition, to the Services, You will pay Drafting Help for those services and activities; and
 - the Services in an order or sequence, or within a period of time, which is different to what Drafting Help had originally planned to perform those Services, You will pay Drafting Help the additional costs it suffers or incurs as a result of complying with the revised order, sequence or timing,in accordance with the rates and prices set out in the Quote (or, where those rates or prices are not applicable, in accordance with reasonable rates and prices determined by Drafting Help).
- You acknowledge and agree that the Fee is subject to change (and may be increased) where any fee, contribution, charge or third party cost increases (or a new fee, contribution, charge or third party cost is introduced) after the date Drafting Help issued the Quote.
- Despite anything to the contrary (to the maximum extent permitted by law):
 - Drafting Help excludes all terms implied by statute, in fact, at law or on any other basis;
 - You acknowledge and agree that Drafting Help and its employees and consultants are not registered architects, engineers or surveyors;
 - You acknowledge and agree that the Services are performed solely for Your benefit, and that no third party will be permitted to use or rely upon the Deliverables, and Drafting Help will not be liable or responsible for any use, reliance or adaptation of the Deliverables;
 - You acknowledge and agree that the Services and the Deliverables are subject to inherent limitations having regard to the nature and the scope of the Services, and the circumstances in which they have been commissioned and are to be delivered (and, specifically, the Deliverables are not, and are not intended to be, plans or drawings for construction and should not be used or

relied upon for this purpose);

- You acknowledge and agree that Drafting Help is not liable or responsible for any work or services carried out or performed by any third party, including in relation to any survey, report, plan or drawing which Drafting Help relied upon, used, adopted or modified (directly or indirectly) in the performance of the Services;
 - Drafting Help is entitled to include limitation and disclaimer wording in all of the Deliverables to the foregoing effect;
 - in no event will Drafting Help be liable or responsible for any claim (or cost, expense, liability, loss or damage) caused or contributed to by any act or omission of You or any third party;
 - in no event will Drafting Help be liable or responsible for economic loss, loss of contract or goodwill, loss of profit or revenue, loss of business opportunity, loss of use, loss of reputation, loss of data, loss of production or production stoppage, financing or holding costs, increased expenses of operation or any indirect or consequential loss; and
 - Drafting Help's total liability arising out of or in connection with the Quote, these Terms, the Services and the Deliverables will not exceed the Fee (in aggregate),
- and these limitations and exclusions will apply whether the claim is based on breach of contract, tort (including negligence), under any warranty, under any indemnity, under statute, in equity or otherwise. This paragraph 9 survives termination of these Terms.
- Drafting Help will retain ownership in all intellectual property rights (including moral rights and copyright) in or arising from the Services and the Deliverables, and You (and any of Your contractors or consultants) must not do anything which may infringe any of those intellectual property rights or the intellectual property rights of third parties (and, if any infringement does arise, You will indemnify Drafting Help for any loss or liability it suffers or incurs as a result). This paragraph 10 survives termination of these Terms.
 - If:
 - You are in breach of these Terms, and You fail to rectify the breach within 14 days after being notified by Drafting Help; or
 - the Services are not completed by **[insert date]** as a result or consequence of (directly or indirectly) any event or circumstance which is beyond Drafting Help's reasonable control,Drafting Help may (without limiting its rights at law) terminate these Terms and You will be obliged to pay the balance of the Fee to Drafting Help immediately. This paragraph 11 survives termination of these Terms.
 - If You have any issue or concern in relation to the Services or Deliverables, You must raise those issues or concerns to Drafting Help in writing within 7 days of first becoming aware of the issue or concern. If You do not comply with this paragraph, to the maximum extent permitted by law, You will have no claim against Drafting Help (and You release and discharge Drafting Help from any such claim). This paragraph 12 survives termination of these Terms.
 - No provision of these Terms will be construed adversely to Drafting Help because Drafting Help was responsible for the preparation of these Terms.
 - The Quote and these Terms constitute the entire agreement between Drafting Help and You in connection with the Services and the Deliverables, and prevail over and supersede all other communications or documentation entered into or exchanged between the parties.
 - These Terms are governed by the law in New South Wales, and each party irrevocably submits to the non-exclusive jurisdiction of courts exercising jurisdiction in New South Wales.

ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
MANAGEMENT
COUNCIL COMPLIANT PLANS

General Notes

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT AND MAY NOT BE COPIED, USED OR REPRODUCED IN ANY WAY WITHOUT THE EXPRESS PERMISSION OF [DRAFTING HELP]. ALL DIMENSIONS AND AREAS INDICATED ON DRAWINGS ARE APPROXIMATE ONLY AND ARE SUBJECT TO SURVEY CONFIRMATION. THE DESIGN IS SUBJECT AUTHORITY APPROVALS AND IS NOT INTENDED TO BE USED FOR CONSTRUCTION PURPOSES.

Project ADDITIONS AND ALTERATIONS	Sheet
Date 08/10/2019	N2
Scale NTS	

DP No.	S.P 20172	
LOT No.		
No.	Revision/Issue	Date

dhDRAFTING HELP
ARCHITECTURAL DRAFTING & DESIGN SERVICES

5/470 Sydney Rd
Balgowlah 2093 NSW
www.draftinghelp.com.au
02 87763474

Project Name and Address
JOHN & TRISH HANLON
1/31 FAIRLIGHT ST
FAIRLIGHT
NSW