

10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 - DEVELOPMENT APPLICATION

CONSULTANT TEAM:

ARCHITECT:	QS:	GEOTECH ENGINEER:	BIODIVERSITY:	ARBORIST:	DA602.2
EOIN ARCHITECTS	QS PROJECT MANAGER PTY	WHITES GEO TECH.	LANDECO CONSULTING	COMPLETE ARBORCARE	DA603.1
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					DA604.2
SURVEYOR:	PLANNING:	CIVIL / HYDRAULIC ENGINEERING:	BCA CONSULTANT:	BASIX / NATHERS:	DA605
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T: 02 9971 4802	T: 0425232018	1.0400740100	1. 02 0 100 2000	1. 1300 443 074	DA608
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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANN

ISS	SUE	DATE	DESCRIPTION					PROJECT: CONCER	PT DESIGN - LOT 39	DP204996			NORTH	SHEET TITLE
	A 10	0.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE		10 KOOK		OSE BAY	VIEW NSV	N 2104		COVE
1	B 15	5.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE		CLIENTS			·	12104		0016
	C 24	.05.24	WORK IN PROGRESS ISSUE				Architects 743 STUNET HU, BALGOWLAN NSW 2093 ADSTRALIA							
	D 29	0.05.24	WORK IN PROGRESS / COSTING					GEORGE A	ND KATHY C	ASHA				
1	E 03	8.06.24	WIP GARAGE SIZE				FOIN ABCHITECTS ABN 25 673 855 645	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMB
	F 22	2.06.24	WIP ISSUE				NOMINATED ARCHITECT S ABIN 22 673 855 645 NOMINATED ARCHITECT EQIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261							
	G 01	.07.24	WIP ISSUE				THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT							
1	H 01	.08.24	WIP ISSUE				AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.	2401		LOS / EH	EH		A3	
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Certificate No. 0009808551

Close, BAYVIEW

NSW,2104

Assessor name Jamie Bonnefin

Property Address Unit Sec, 10 Kookaburra

Accreditation No. 10056

hstar.com.au/QR/Generate?p=PUoafCUDf

Scan QR code or follow website link for rating details

HOUS

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FOR PLANNI	ING OR CONSTRUCTION PURPOSES	

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GENERAL NOTATION

1. All materials, components, equipment and workmanship shall comply with all Statutory Authority codes and regulations, the current National Construction Code (NCC), Australian Standards, and any other regulations, rules or by-laws applicable to both design and execution.

2. Where necessary, provide Shop Drawings and technical information to demonstrate compliance with the Design Drawings and Specification, and comply with the approvals process specified.

3. Obtain and submit all approvals, certificates and any other documents required by the Statutory Authorities to permit use and/or occupation of the Works.

4. Comply with any approval conditions imposed by Statutory Authorities to which the works are subject.

5. At the appropriate time provide the Architect with Contract samples as listed in the Component Specification. These samples shall be kept as a record of materials incorporated into the Works and used as references for controlling consistency.

6. The Contractor is responsible for obtaining the Certificate of Occupancy as well as meeting any other regulatory requirements associated with the Certificate of Occupancy.

7. All Architectural drawings to be read in conjunction with all consultants and all suppliers drawings.

8. Prototypes & samples to be presented and approved by Architect, Structural Engineer (where required) & Client prior to approval and fabrication. Required prototypes are set out in Component Specification.

PERFORMANCE SPECIFICATION - STEELWORK:

General: The Main Contractor must ensure all member sizes, fixings and details are designed to sustain all relevant loads. The Main Contractor must notify both the Architect and Structural Engineer of any proposed amendments to such details and seek approval prior to commencement of any work.

CAM: All steel work and connections to be designed, 3D CAD modelled, computer numerically controlled (CNC) set out and computer aided manufactured (CAM). Galvanisation: All associated bolts screws hold down bolts and threaded rods to be hot dipped galvanised to AS 1214. Refer to Structural Engineer's drawings and specification for all connection details and member sizes.

Separation: Ensure appropriate separation / isolation between dissimilar metals in accordance with AS 1562.1D Shop Drawings: A complete set of steel fabrication shop drawings for all steel work elements & connections to be issued to and approved by Architect, Structural Engineer & Client prior to approval & fabrication.

Prototypes: Connection prototypes to be fabricated & approved by Architect, Structural Engineer & Client prior to fabrication process commencing. Connection prototypes required.

STAGED INSPECTIONS - HOLD POINTS

Note: Main Contractor to notify the Architect 7 business days in advance of any of the following stages, in order to organise the relevant party to carry out their inspections.

A) After excavation for and prior to placement of any footings.

- B) Prior to pouring any in-situ reinforced concrete building element.
- C) Prior to covering of the framework for any floor, wall, roof or other building element.
- D) Prior to covering waterproofing in any wet areas.
- F) Prior to covering any storm water drainage connections. relation to the building.- Inspection by PCA.

ISSUE	DATE	DESCRIPTION					PROJECT: CONCE	PT DESIGN - LOT 39	DP204996			INORTH	SHEELL
Α	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE				LOSE. BAY	VIEW NSV	N 2104		NOT
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С	24.05.24	WORK IN PROGRESS ISSUE				Architects 2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA							
D	29.05.24	WORK IN PROGRESS / COSTING					GEORGE A	ND KATHY (ASHA				
E	03.06.24	WIP GARAGE SIZE					PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET N
F	22.06.24	WIP ISSUE				EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261							
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J	09.08.24	WIP ISSUE				construction. contribution this browning is vested in coin.	2401					A3	



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BASIX Certificate number:A1762493

Insulation requirements

Construction

BASIX Certificate Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1762493

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Monday, 02 September 2024 To be valid, this certificate must be lodged within 3 months of the date of issue.



BASIX Certificate number:A1762493

Duciest edduces					
Project address					
Project name	10 kookaburra Close, Bayview NSW				
Street address	10 KOOKABURRA - BAYVIEW 2104				
Local Government Area	Northern Beaches Council				
Plan type and number	Deposited Plan DP204996				
Lot number	39				
Section number	-				
Project type					
Dwelling type	Dwelling house (attached)				
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).				
N/A	N/A				
Certificate Prepared by (please	complete before submitting to Council or PCA)				
Name / Company Name: BONNEFIN CO	ONSULTING PTY LTD				
ABN (if applicable): 95164564210					

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Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light- emitting-diode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		~	~
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		~	~
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		~	

HOUSE Scan QR co	de or follow website link for rat	ting details.
Assessor name	Jamie Bonnefin	
Accreditation No.	10056	
Property Address	Unit Sec, 10 Kookaburra Close,BAYVIEW NSW,2104	

ISSUE	DATE	DESCRIPTION				
Α	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	ĸ	21.08.24	WIP ISSUE	
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С	24.05.24	WORK IN PROGRESS ISSUE				
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F	22.06.24	WIP ISSUE				
G	01.07.24	WIP ISSUE				
н	01.08.24	WIP ISSUE				
J	09.08.24	WIP ISSUE				

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suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)
floor above existing dwelling or building.	nil
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)
internal wall shared with garage: plasterboard (R0.36)	nil
flat ceiling, flat roof: framed	ceiling: R0.25 (up), roof: 50 mm foil backed polystyrene board

The applicant must construct the new or altered construction (floor(s), walls, and ceiling listed in the table below, except that a) additional insulation is not required where the a insulation specified is not required for parts of altered construction where insulation alre

Planning Industry And Environmen

BASIX Certificate number:A1762493

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordanc below. Relevant overshadowing specifications must be satisfied for each window and gl The following requirements must also be satisfied in relation to each window and glazed Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air

must have a U-value and a Solar Heat Gain Coefficient (SHGC) or greater than that list and SHGCs must be calculated in accordance with National Fenestration Rating Council provided for information only. Alternative systems with complying U-value and SHGC ma For projections described in millimetres, the leading edge of each eave, pergola, verand 500 mm above the head of the window or glazed door and no more than 2400 mm abov Pergolas with polycarbonate roof or similar translucent material must have a shading coe

Pergolas with fixed battens must have battens parallel to the window or glazed door abo also shades a perpendicular window. The spacing between battens must not be more th

Overshadowing buildings or vegetation must be of the height and distance from the cent door, as specified in the 'overshadowing' column in the table below.

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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 GEORGE AND KATHY CASHA SHEET NUMBER OJECT NUMBER PLOT DATE CHECKED SHEET SCALE SHEET SIZE DA003.1 2401 LOS/EH EH A3

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		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
area	oofs) in accordance with the specifications a of new construction is less than 2m2, b) dy exists.	~	~	~
	Other specifications			
	N/A			
	N/A			
	light (solar absorptance < 0.475)			

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	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
ce with the specifications listed in the table glazed door.	~	~	•
d door:		~	~
gap/clear glazing, or toned/air gap/clear glazing sted in the table below. Total system U-values cil (NFRC) conditions. The description is nay be substituted.		~	~
dah, balcony or awning must be no more than ove the sill.	~	~	~
pefficient of less than 0.35.		~	~
ove which they are situated, unless the pergola than 50 mm.		~	~
tre and the base of the window and glazed	~	~	~

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ISSUE

BASIX REQUIREMENTS 'MAIN HOUSE'_ SHEET 1 OF 2

Glazing requirements	
BASIX Certificate number:A1762493	

Window/c number

upper bed

retreat

office

living

living

Windows and glazed doors glazing requirements

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Area of glass including frame (m2)

16.42

9.63

12.78

25.75

5.4

0

0

0

0

0

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Frame and glass type

aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)

aluminium:

thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)

aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)

aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)

timber or uPVC, double Lo-Tsol/air

gap/clear, (U-value: 2.3, SHGC: 0.19)

Building S

Shading device

eave/ verandah/ pergola/balcony >=900 mm

eave/ verandah/ pergola/balcony >=900 mm

eave/ verandah/

pergola/balcony >=900 mm

eave/ verandah/ pergola/balcony >=900 mm

none

VISAS	Certificate	numbor:	A1762402
JUSIV	Certilluate	number.	MI/02490

Glazing requirements

Windows and glazed doors glazing requirements

Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
dining N	N	16.5	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)
lining E	E	8.1	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)

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lazing requir	ements						Show on DA Plans	Show on CC/CDC Plans & specs	Certi Chec
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
owder	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
robes	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
ensuite	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
foyer E	E	4.8	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
foyer W	w	6.9	3	2.5	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			

BASIX Certificate number:A1762493

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a v in the "Show on DA plans" column must be shown on the plans accompanying the dev development application is to be lodged for the proposed development).
Commitments identified with a V in the "Show on CC/CDC plans & specs" column must be shown in the plans and spec certificate / complying development certificate for the proposed development.
Commitments identified with a V in the "Certifier check" column must be certified by a certifying authority as having been may be issued.

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ISSUE	DATE	DESCRIPTION					
Α	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE	11	
В	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE	1 -	/
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D	29.05.24	WORK IN PROGRESS / COSTING				1 -	
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н	01.08.24	WIP ISSUE					ND DF
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GEORGE A						
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NU
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2401		LU3/EH	сп		A3	



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INING OR CONSTRUCTION PURPOSES SIX REQUIREMENTS 'MAIN HOUSE'_ SHEET 2 OF 2

NUMBER

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en fulfilled, before a final occupation certificate for the development

ecifications accompanying the application for a construction

velopment application for the proposed development (if a

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Certifier Check

Show on Show on CC/CDC DA Plans Plans & specs

Commitments Table

124 DRAFT ISSUE. WORK IN PROGRESS K 21.08.24 WIP ISSUE 24 WORK IN PROGRESS ISSUE L 02.09.24 ISSUE 24 WORK IN PROGRESS ISSUE L 02.09.24 ISSUE 24 WORK IN PROGRESS / COSTING L 16.12 8005 6975 I. M 0449 121 346 I E info@eoinarchitects.com 24 WIP GARAGE SIZE L COIN ARCHITECTS ABN 25 673 855 645 COIN ARCHITECTS ABN 25 673 855 645 24 WIP ISSUE L DOINNATED ARCHITECT SAM 25 673 855 645 COIN ARCHITECTS ABN 25 673 855 645	2 9	Proposed: Single Dwelling		Address:	10 Kookaburra Close, Bayview NSW 2104			
Intelling Specialization Interview start of balance Interview start of balance Interview start of	▲ △	Lot Number: 39		DP NUMBER:	DP 204996			
Approximation 4 start / 45 sec 4 Units Approximation 3 start Approximation 4 start		Fixtures		Specification	BASIX Certificate Number: 1777652S			
					t <= 6 L/min)			
Note: Name: Name: Amazine last sing ing 9.500 Amazine last sing ing 1000000000000000000000000000000000000								
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Lands No Approx 1000 Monther: HEAD MONTH: Requirements CONSIDERSE Introduction Group Mile List Unit Versite CONSIDERSE Introduction Group Mile Construction Construction Introduction Group Mile Construction Construction Introduction No inclusion Construction Construction Introduction No inclusion Construction Construction Introduction No inclusion Construction Construction Introduction (USF ALGOY Thermal Proceed States of the State Of the Stat								
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Provide the product for product of any product			Ground Floor	Light colour	R2.0 Bulk + Anti-glare foil			
			Ground Floor	No insulation				
Provide letting - Plastebood Instruction Instructin Instructin Instructin								
Note Notice Internal celling - Postschoold Notice Main Notice				No include				
Notion Noticulation Main Approved Firegrood Convellation Convellation Main Noticulation M		-						
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Photovoltaic System (Minimum) N/A E DESCRIPTION	-	Individual systems - bedroom areas Lighting Refer to NatHERS Certificate Appliances Cooktop/oven Private outdoor clothes drying line	ne	Induction cookt Yes				
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24 WORK IN PROGRESS ISSUE Z/343 SYDIRLY RD, BALEGUWLAH NSW 2005 AUX IHALLAS. T+612 8005 6975 I M 040W 121 346 1E info@eoinarchitedts.com 24 WORK IN PROGRESS / COSTING T+612 8005 6975 I M 040W 121 346 1E info@eoinarchitedts.com 24 WIP GARAGE SIZE EOIN ARCHITECTS ABN 25 673 855 645 24 WIP ISSUE NOMINATED ARCHITECT COIN PATRICK HEALY 11133 / CLASS 2. REGISTERED PRACTITIONER. E 24 WIP ISSUE THIS DRAWINGS. DUDT SCHE DRAWINGS. DUMENSIONS OF DRAWINGS. SOLUTEN, VEHICY ALL DIMENSIONS OF DRAWINGS. DUDT SCHE DRAWINGS. DIMENSIONS OF DRAWINGS. DUMENSIONS OF DRAWINGS. DIMENSIONS OF DRAWINGS. DI		Individual systems - bedroom areas Lighting Refer to NatHERS Certificate Appliances Cooktop/oven Private outdoor clothes drying line Private Indoor or sheltered clothes drying lin Alternative Energy Photovoltaic System (Minimum)	ne	Induction cookt Yes No Peak kW				
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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES PROJECT CONCEPT DESIGN - LOT 29 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 BASIX REQUIREMENTS 'GRANNY FLAT' RGE AND KATHY CASHA SHEET SCALE SHEET SIZE

A3

CHECKED

DRAWN

LOS/EH EH

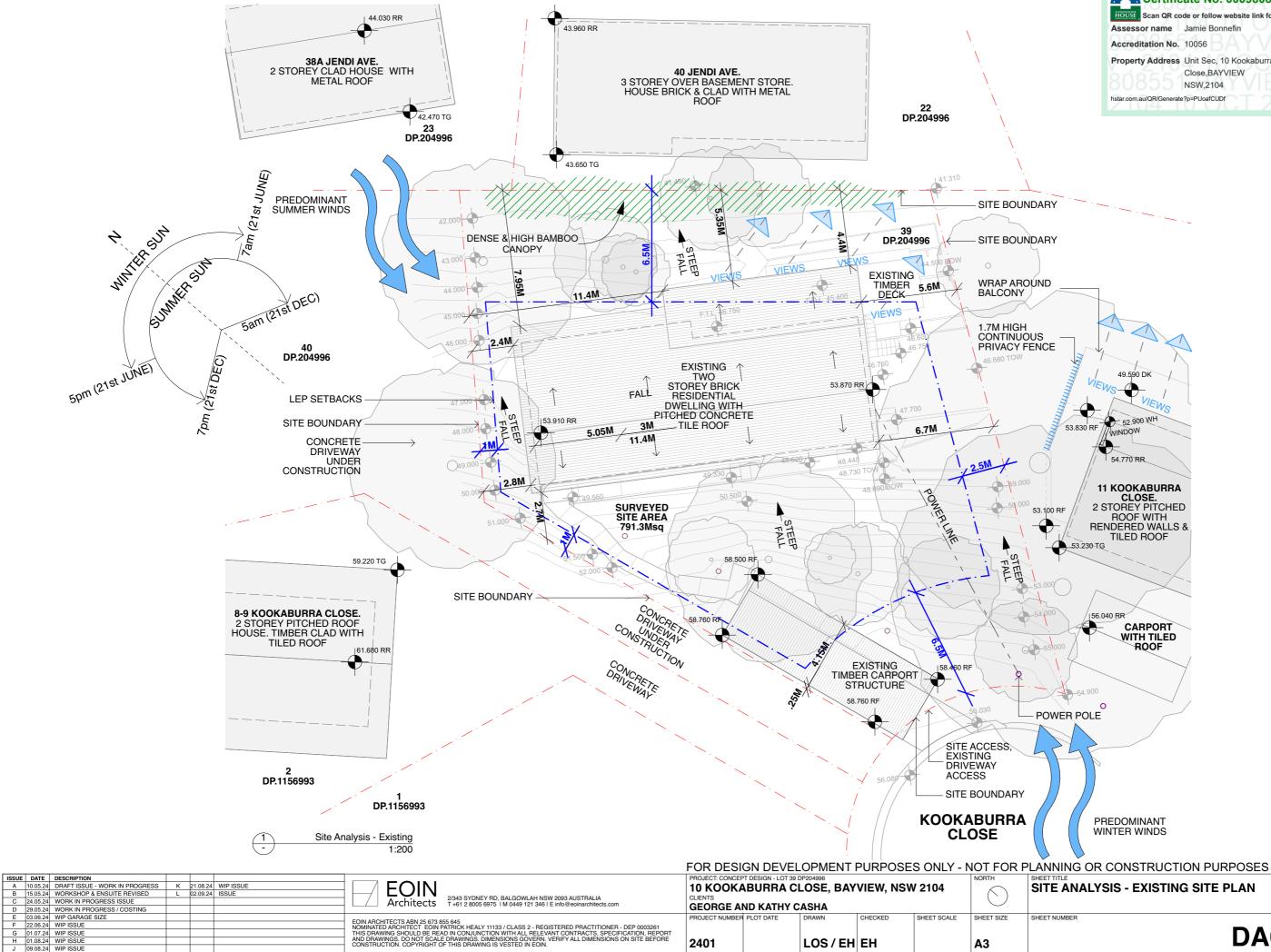
 Architecte 2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA		_
	PROJECT NUMBER	PLOT DATE
EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261		
THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT		
AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EQIN.	2401	

ISSUE



ISSUE

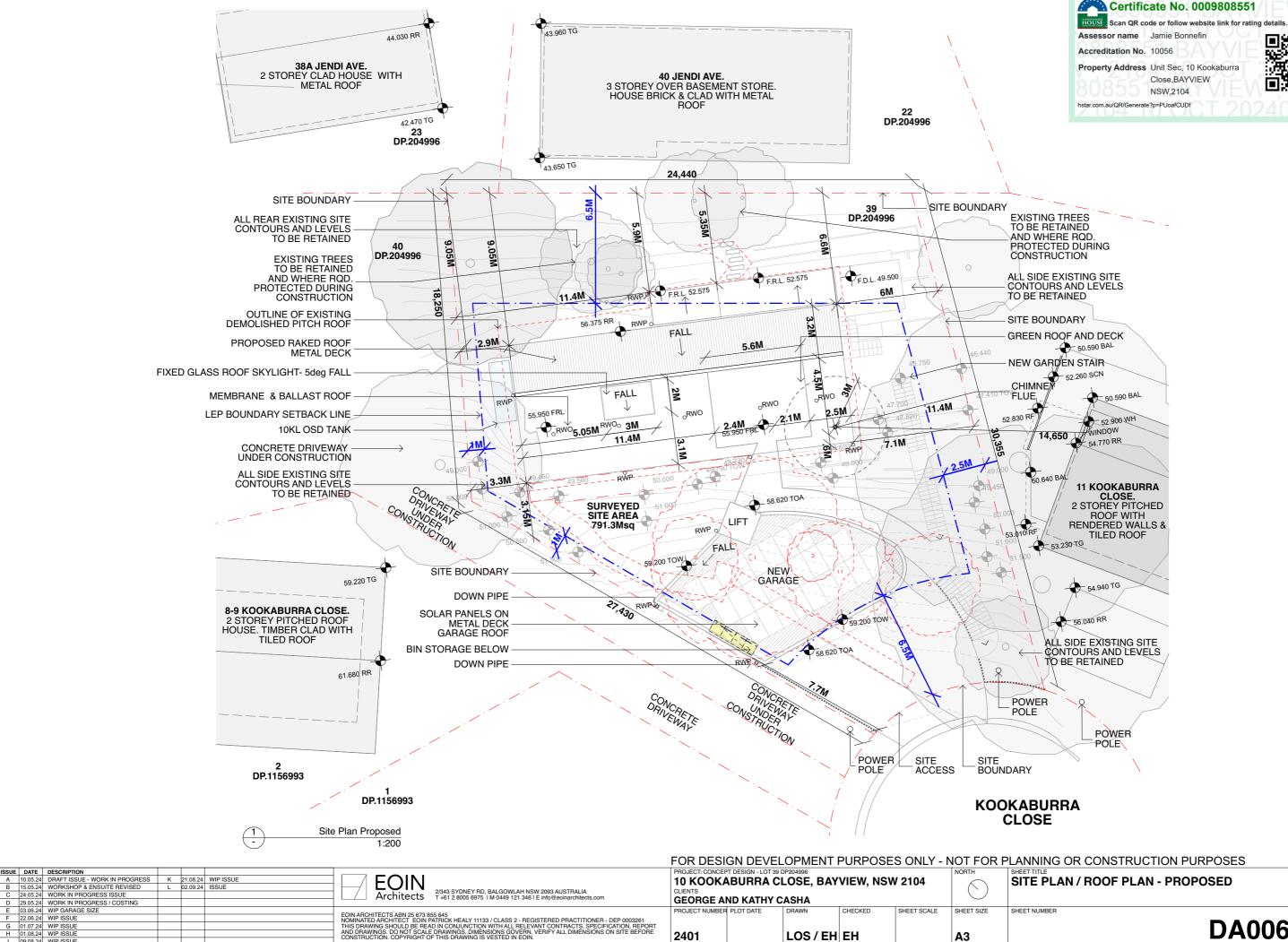
SHEET NUMBER





ISSUE

DA005



ISSUE DATE DESCRIPTION

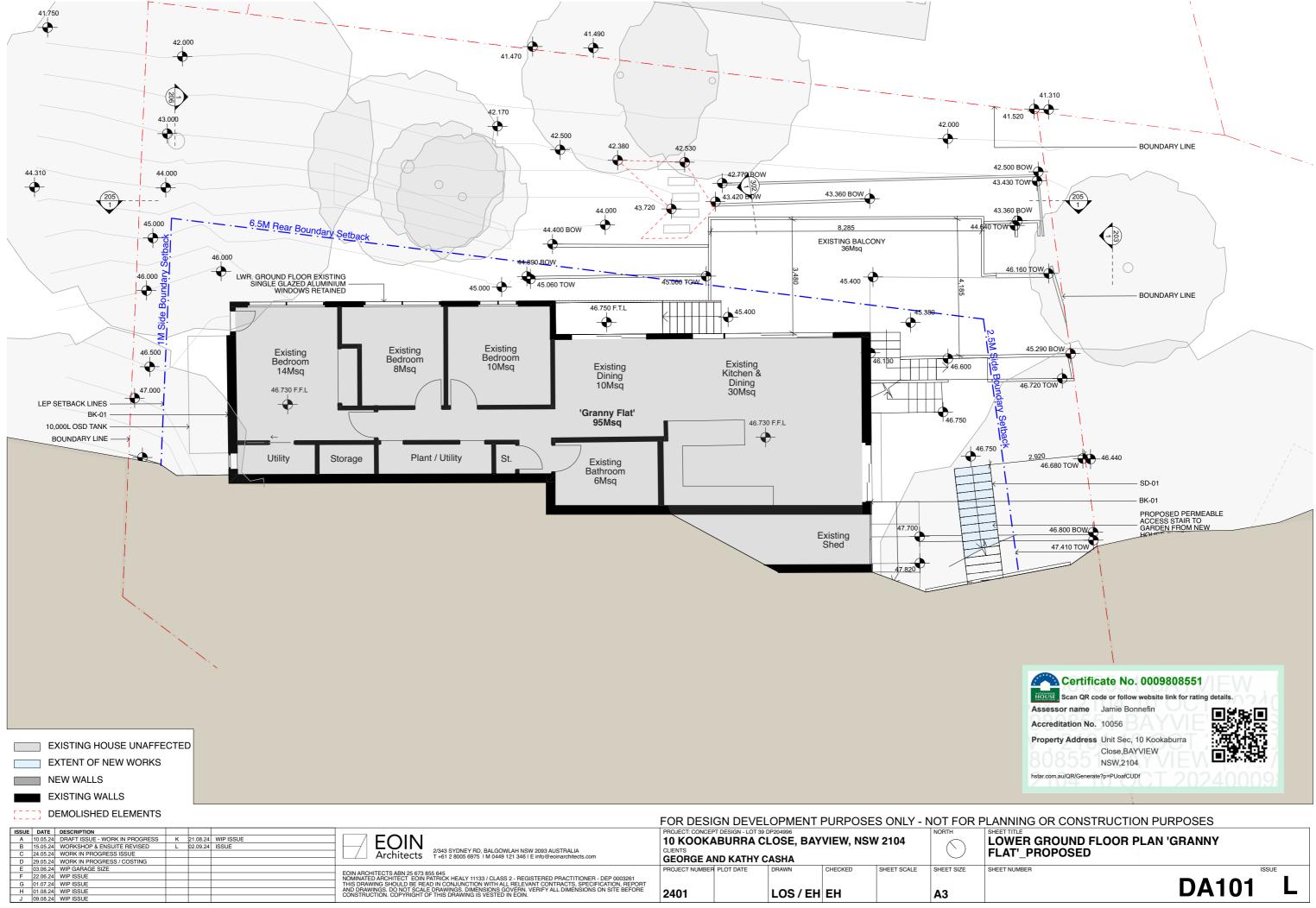
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A3

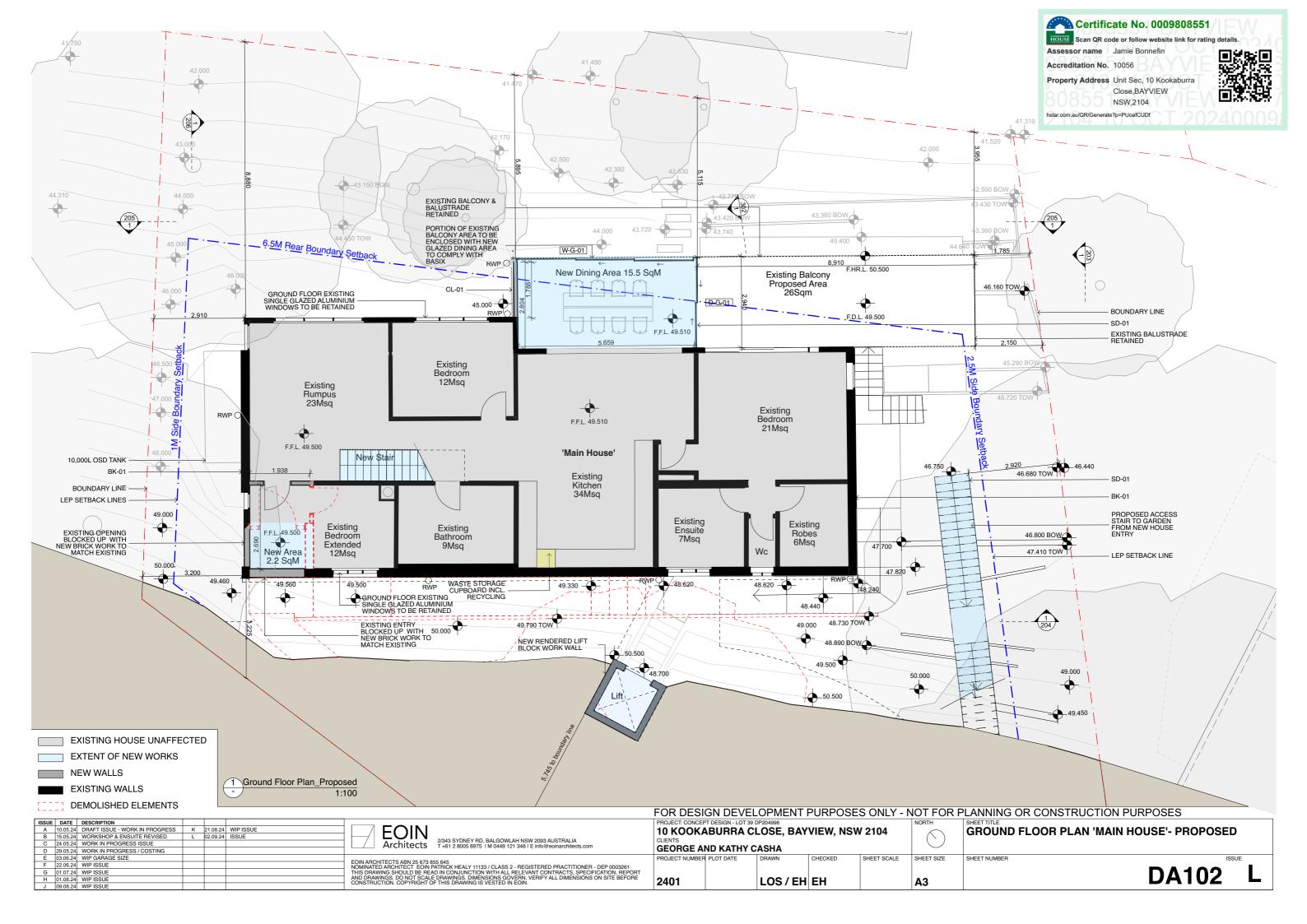
SITE PLAN / ROOF PLAN - PROPOSED

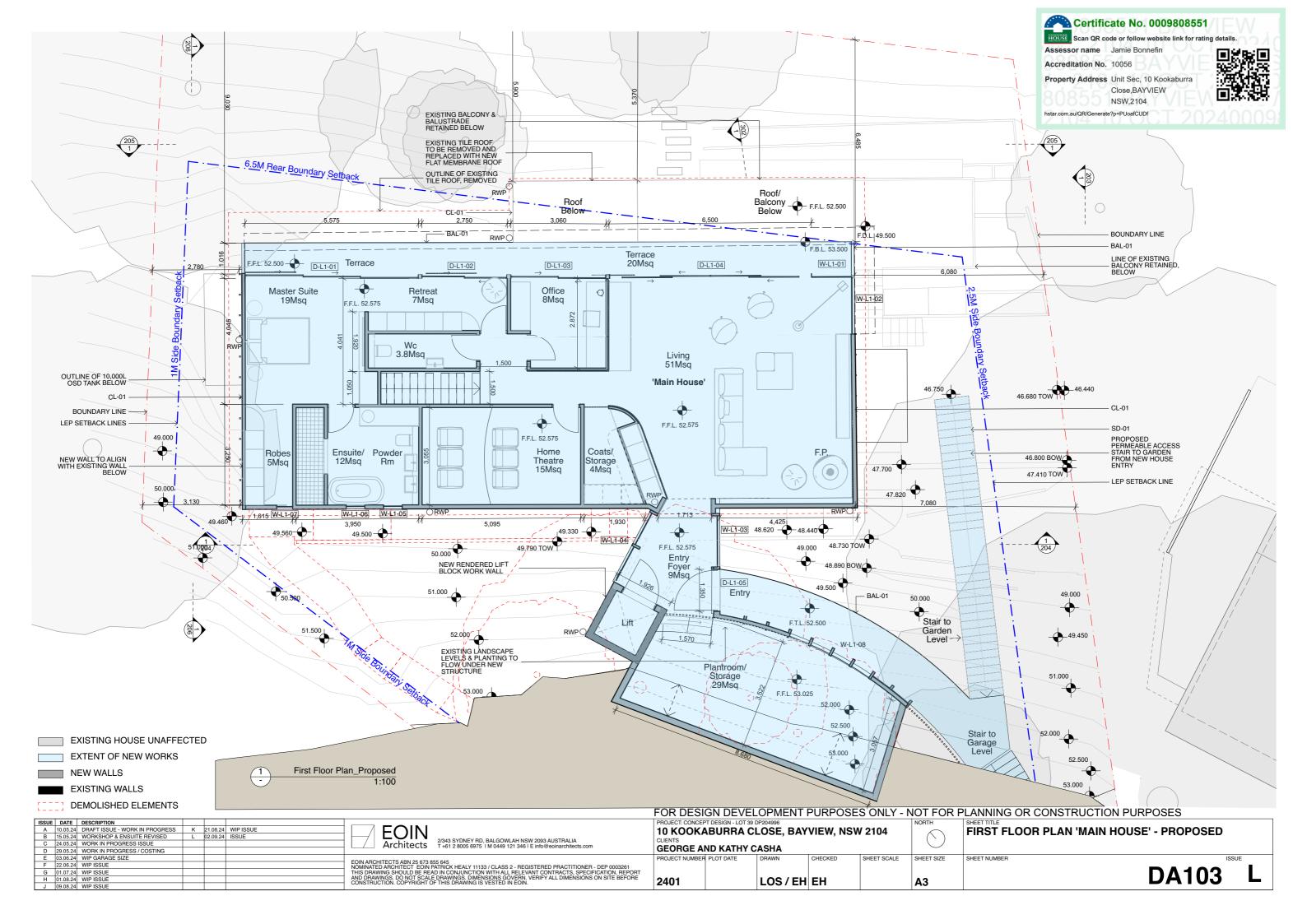


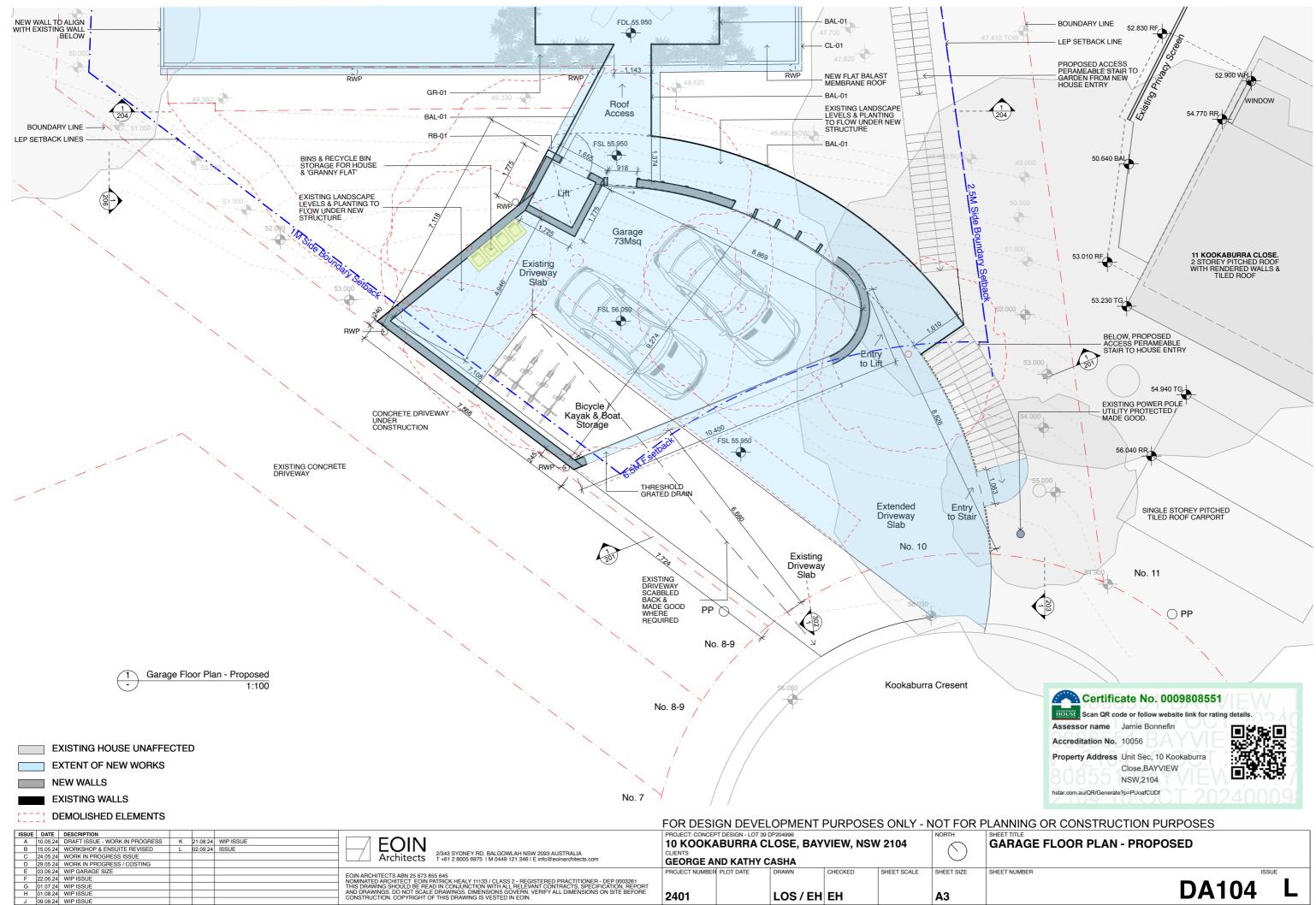


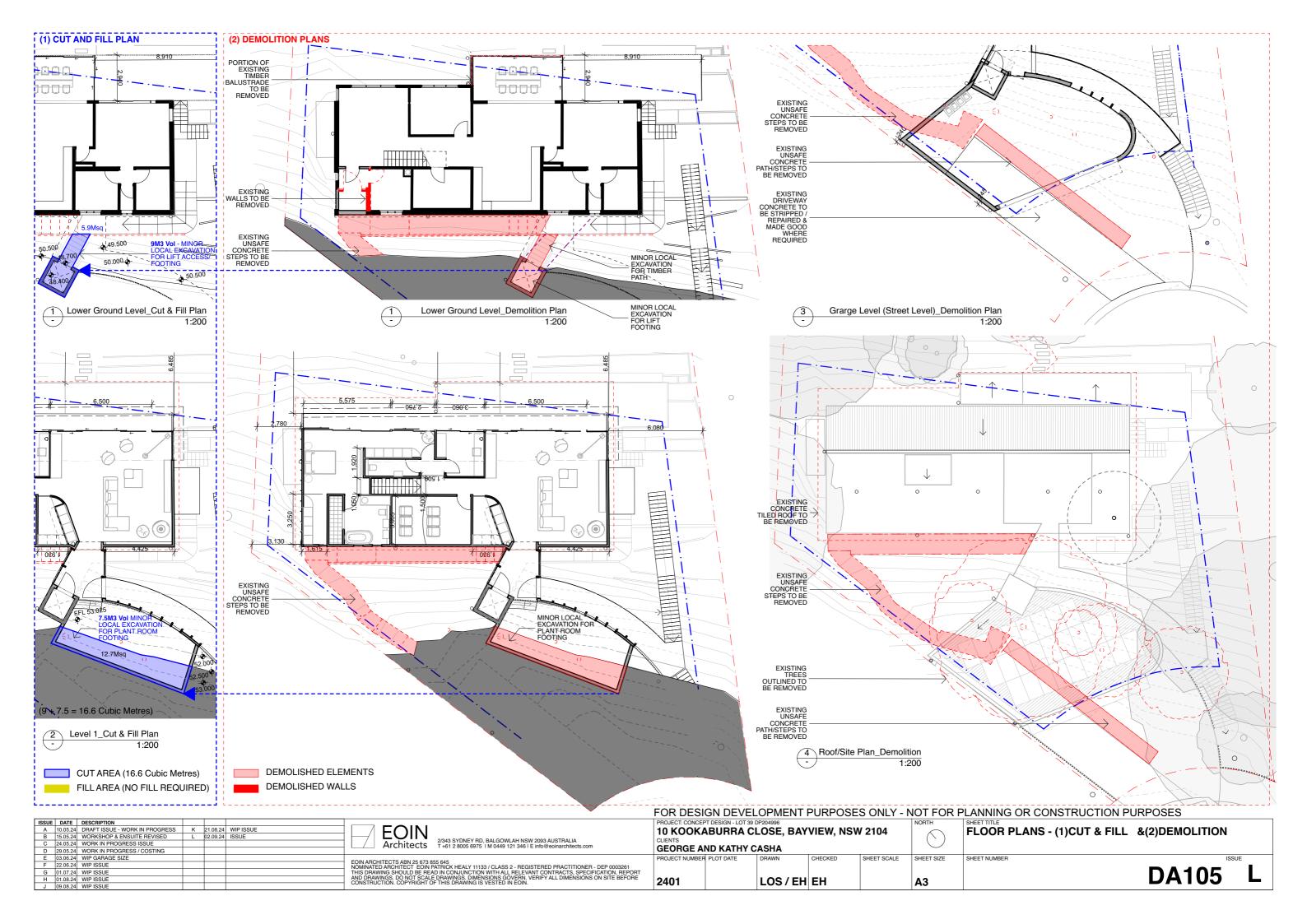
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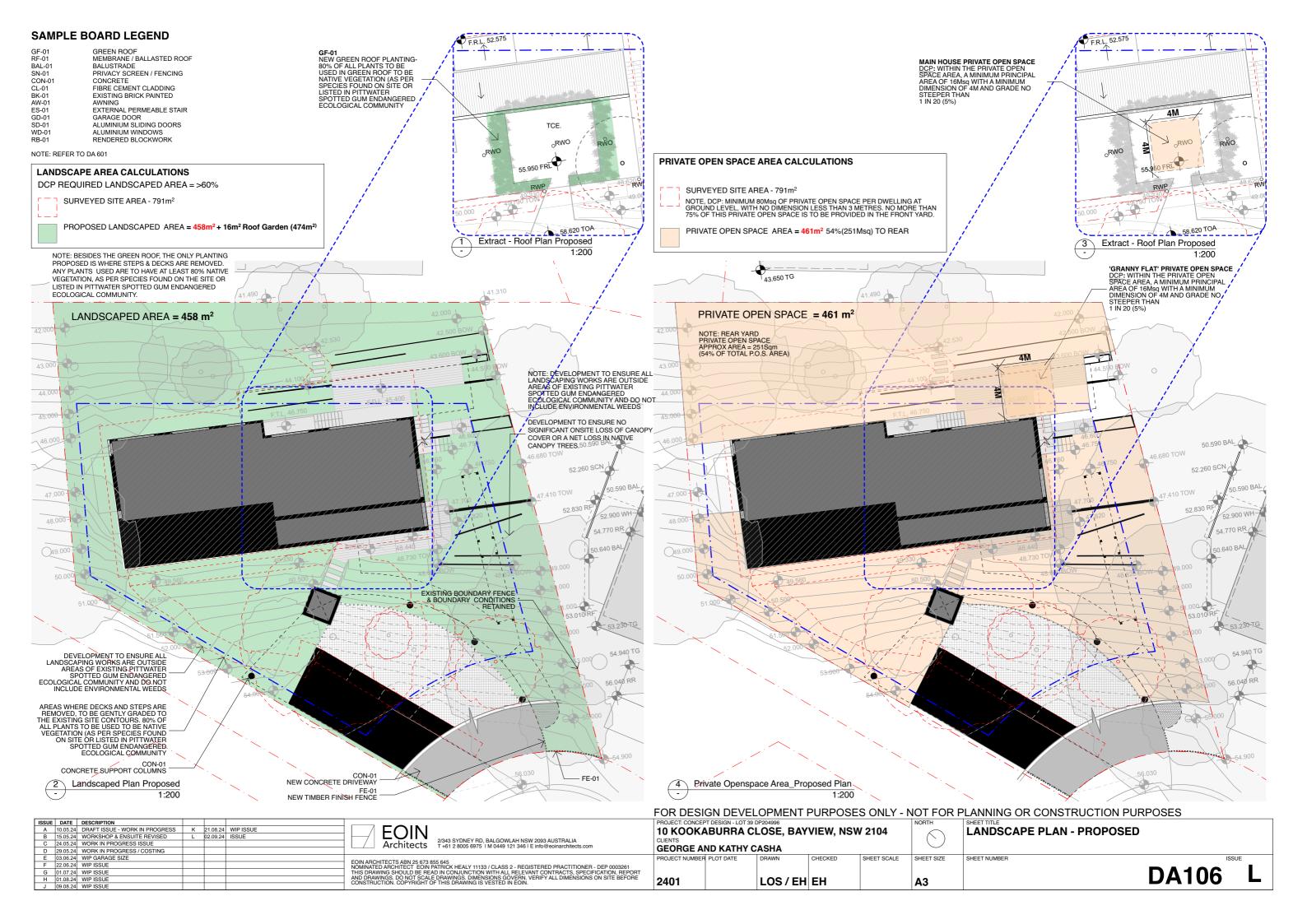
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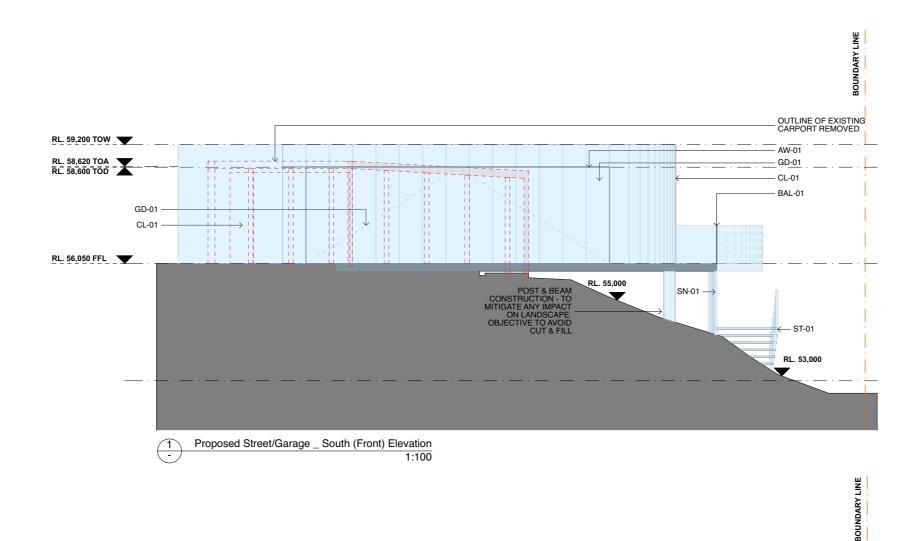


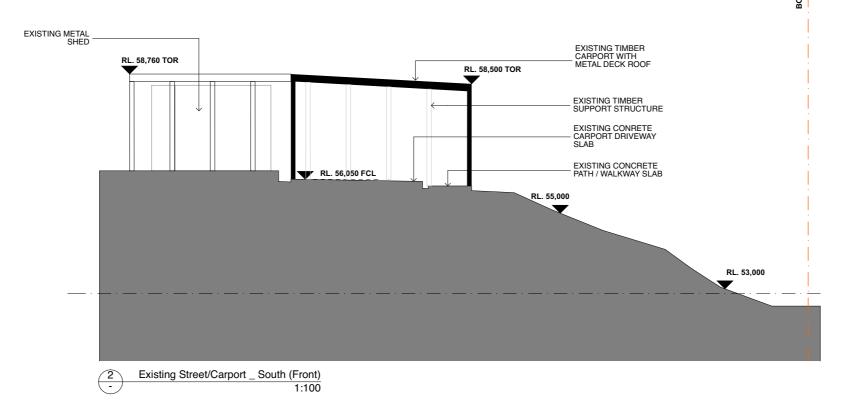


SAMPLE BOARD LEGEND

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS





	133UE DATE	DESCRIPTION				PROJECT. CONCEPT DESIGN - ECT 39 DF 204990	NOHIII	JULLI
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	B 15.05.	24 WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE			
	C 24.05.	24 WORK IN PROGRESS ISSUE				Architocto		
	D 29.05.	24 WORK IN PROGRESS / COSTING				AICHILECUS 1461 2 8005 6975 1M 0449 121 3461 E into@eoinarchitects.com GEORGE AND KATHY CASHA		
	E 03.06.	24 WIP GARAGE SIZE				FOIN ABCHITECTS ABN 25 673 855 645 CHECKED SHEET SCALE	SHEET SIZE	SHEET N
	F 22.06.	24 WIP ISSUE				EOIRAHCHI LEUTS ABN 29 6/3 630 649 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261		
	G 01.07.	24 WIP ISSUE				THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT		
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 PROJECT: CONCEPT DESIGN - LOT 39 DP204996

 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104

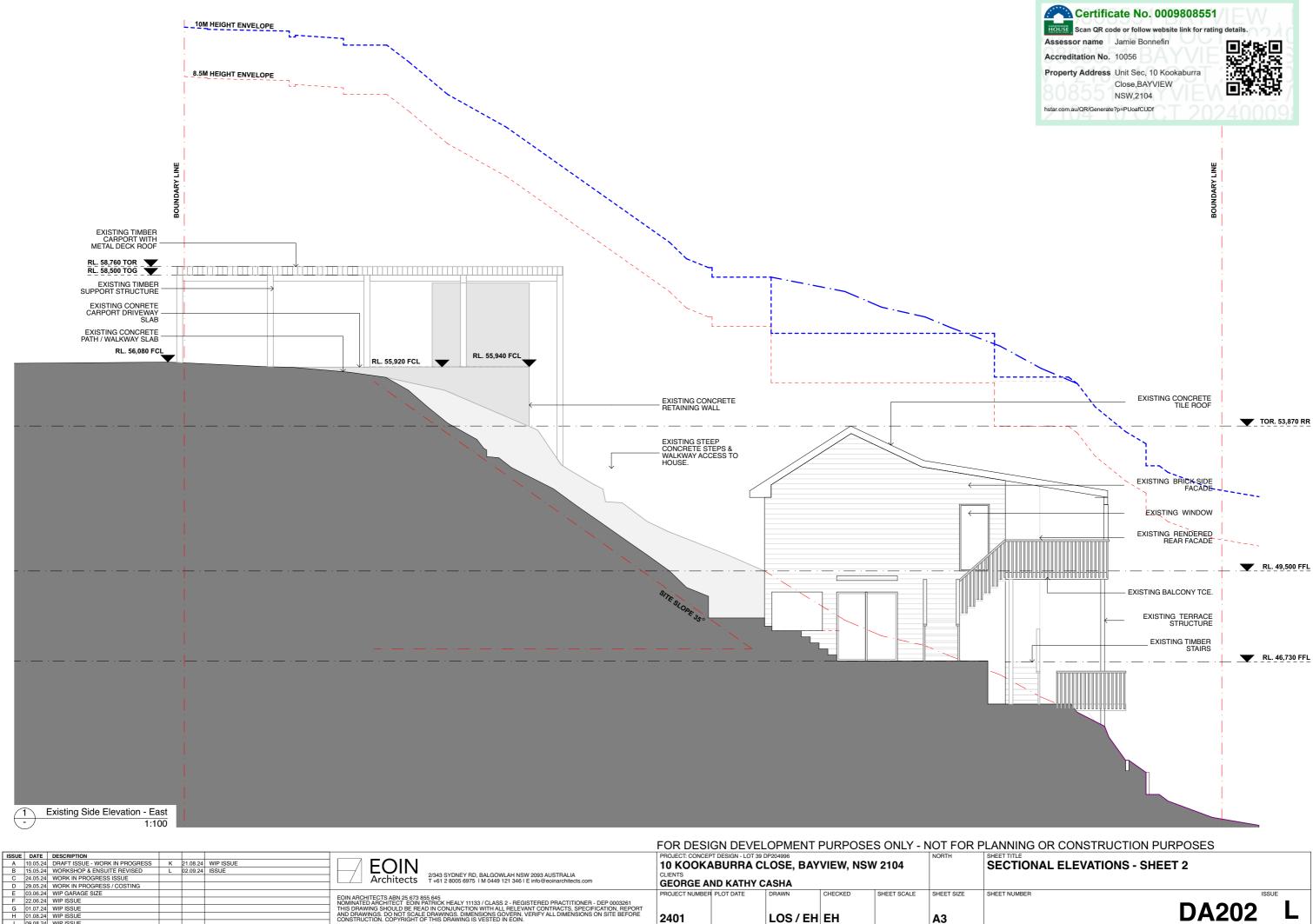
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 SHEET TITLE

 SECTIONAL ELEVATIONS - SHEET 1

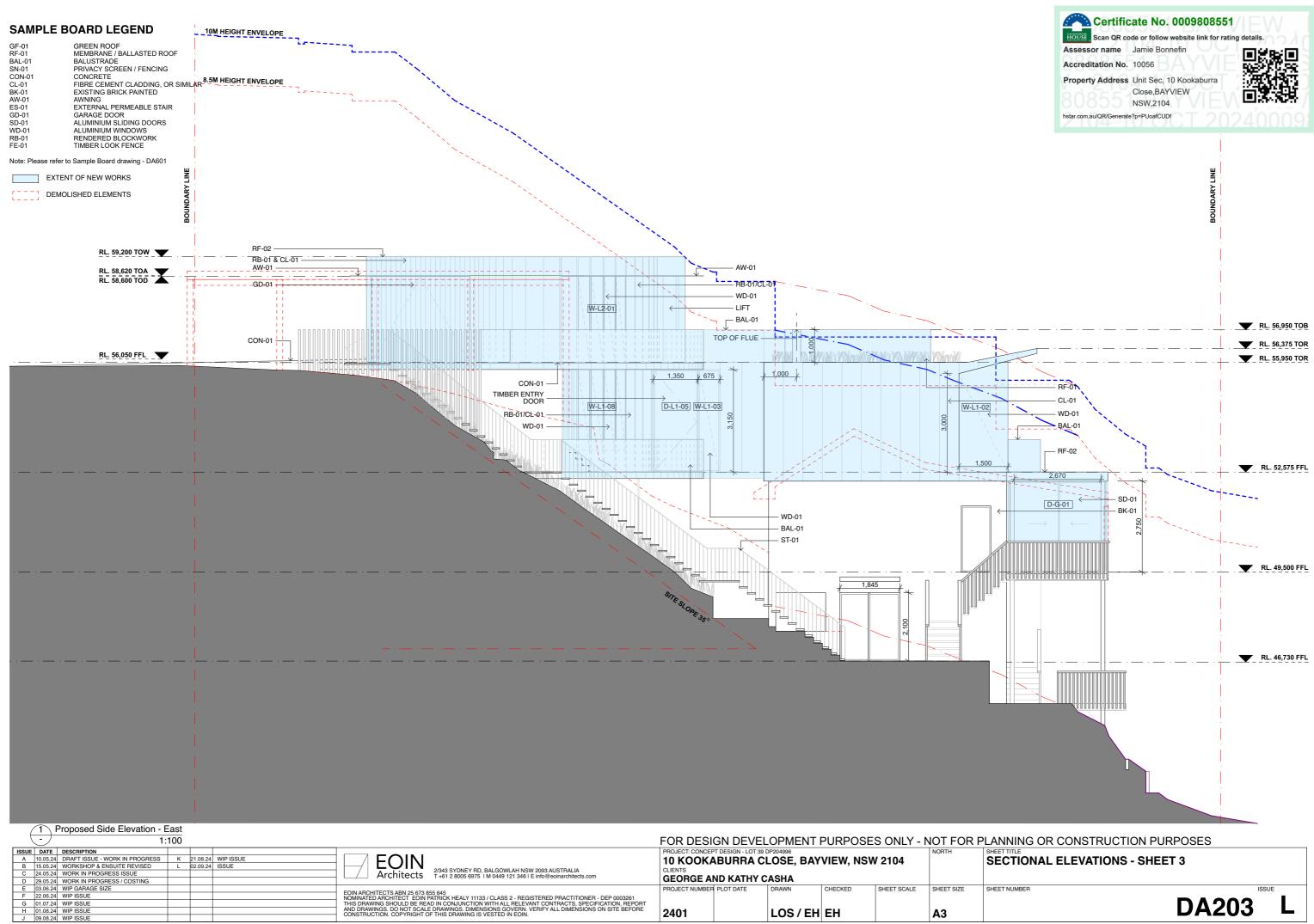
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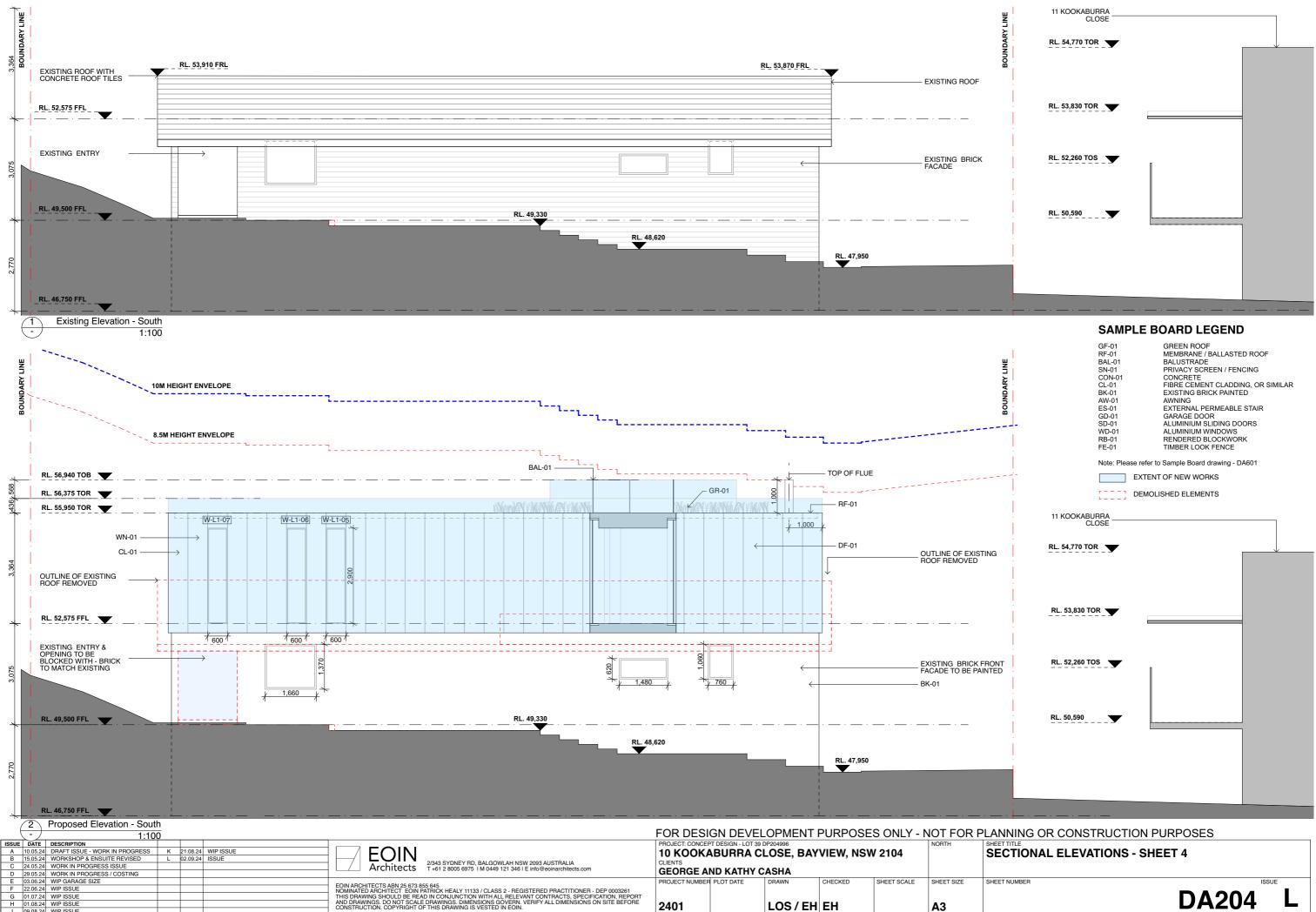
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A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE	
В	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE	
С	24.05.24	WORK IN PROGRESS ISSUE				
D	29.05.24	WORK IN PROGRESS / COSTING				
E	03.06.24	WIP GARAGE SIZE				5000 400000
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н	01.08.24	WIP ISSUE				AND DRAWIN CONSTRUCT
J	09.08.24	WIP ISSUE				

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	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUM
2093 AUSTRALIA info@eoinarchitects.com	10 KOOKA CLIENTS		LOSE, BAY	VIEW, NSW	/ 2104	NORTH	SECTI
	DDO IFOT CONOFE	PT DESIGN - LOT 39 D	0004000			NORTH	SHEET TITLE



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	ISSUE	DATE	DESCRIPTION			
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	В	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
	С	24.05.24	WORK IN PROGRESS ISSUE			
	D	29.05.24	WORK IN PROGRESS / COSTING			
	E	03.06.24	WIP GARAGE SIZE			
	F	22.06.24	WIP ISSUE			
	G	01.07.24	WIP ISSUE			
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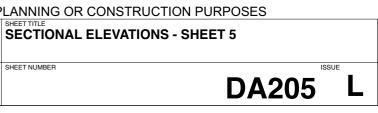
Architects 2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T +61 2 8005 6975 I M 0449 121 346 I E info@eoinarchitects.com	10 KOOKA CLIENTS	ABURRA CI	LOSE, BAY	VIEW, NSW	/ 2104	NORTH	SECTI
IN ARCHITECTS ABN 25 673 855 645 MINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 IS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT ID DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN-VERIFY ALL DIMENSIONS ON SITE BEFORE INSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.	PROJECT NUMBER	PLOT DATE	DRAWN		SHEET SCALE	SHEET SIZE	SHEET NUMB

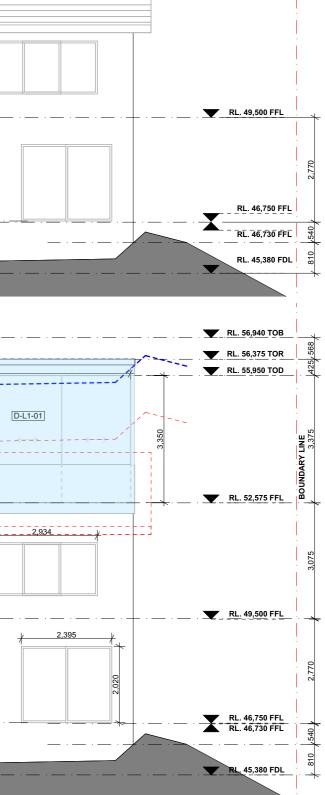


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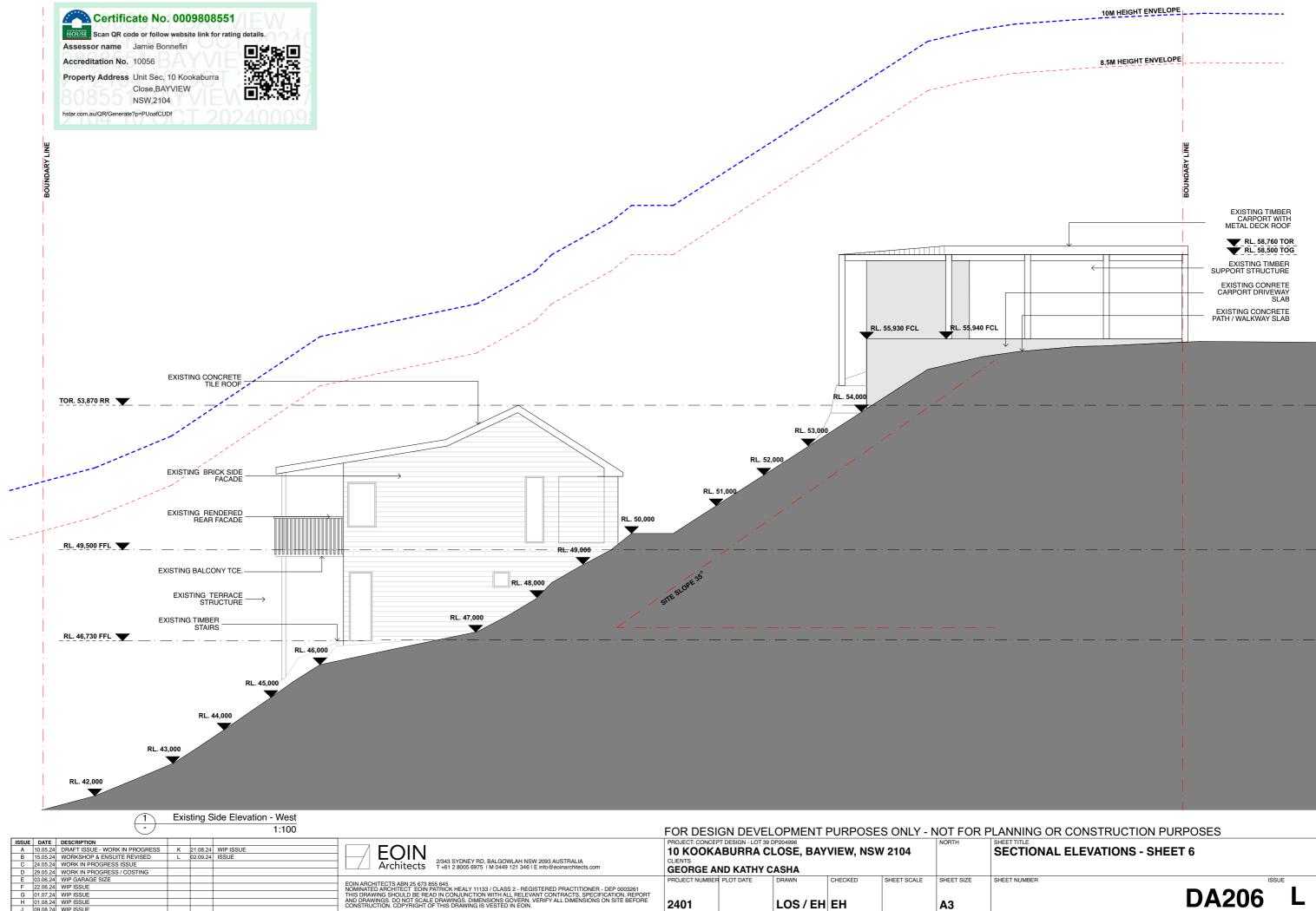
11 KOOKABURRA CLOSE	10M HEIGHT ENVELOPE			··
T _RL. 54,770 TOR	EXISTING CONCRETE			
	TILE ROOF	RL_53,870 FRL		<u>- R</u> L <u>- 53</u> 910 FI
▼_ RL. 53,830 TOR	EXISTING BRICK SIDE			
RL. 52,260 TOS	EXISTING RENDERED			
RL. 50,590				
RL 50,590				
	EXISTING BALCONY TCE. EXISTING TERRACE			
		RL. 45,380 FDL		· ·
	2 Existing Elevation - North - 1:100	1		
		↓ 1,000 ↓ TOP OF FLUE		_ · _ · _ · _ · _ · _ · _ · _ · _
11 KOOKABURRA		RF-01	19,450	
11 KOOKABURRA CLOSE	10M HEIGHT ENVELOPE SD-1			
RL. 54,770 TOR		$\begin{array}{c c} \hline W-L1-06 \\ \hline \\ \hline \\ \\ \hline \\ \\ \hline \\ \\ \\ \\ \\ \\ \\ \\ \\ $	$- \longleftrightarrow \longleftrightarrow \longleftrightarrow \longleftrightarrow = - + + + + + + + + + + + + + + + + + +$	
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RL. 53,830 TOR				
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	PROPOSED TERRACE GALAZED ENCLOSURE EXISTING BALUSTRADE RETAINED/		BAL-01	
RL. 50,590			н н н н 	
	EXISTING BALCONY TCE.			<u>195</u> / <u>/ 2,395</u> /
	EXISTING TCE.		042	020
	STRUCTURE RETAINED/ → REINFORCED IF RQD.	4.370		Ŭ
	EXISTING TIMBER STAIRS			╘────┘────└────┘ϡ
		RL. 45.380 FDL		
	Proposed Elevation - North			
ISSUE DATE DESCRIPTION	- 1:100	FOR DESIC PROJECT: CONCEP	CON DEVELOPMENT PURPOSES ONLY - NOT	FOR PLANNING OR CONSTRUC
A 10.05.24 DRAFT ISSUE - WORK IN PROGRESS K 21.08.24 WIP ISSUE B 15.05.24 WORKSHOP & ENSUITE REVUSED I 02.09.24 ISSUE		10 KOOKA	DESIGN - LOT 39 DP204996 NORTH BURRA CLOSE, BAYVIEW, NSW 2104	SHEET TITLE SECTIONAL ELEVATIO

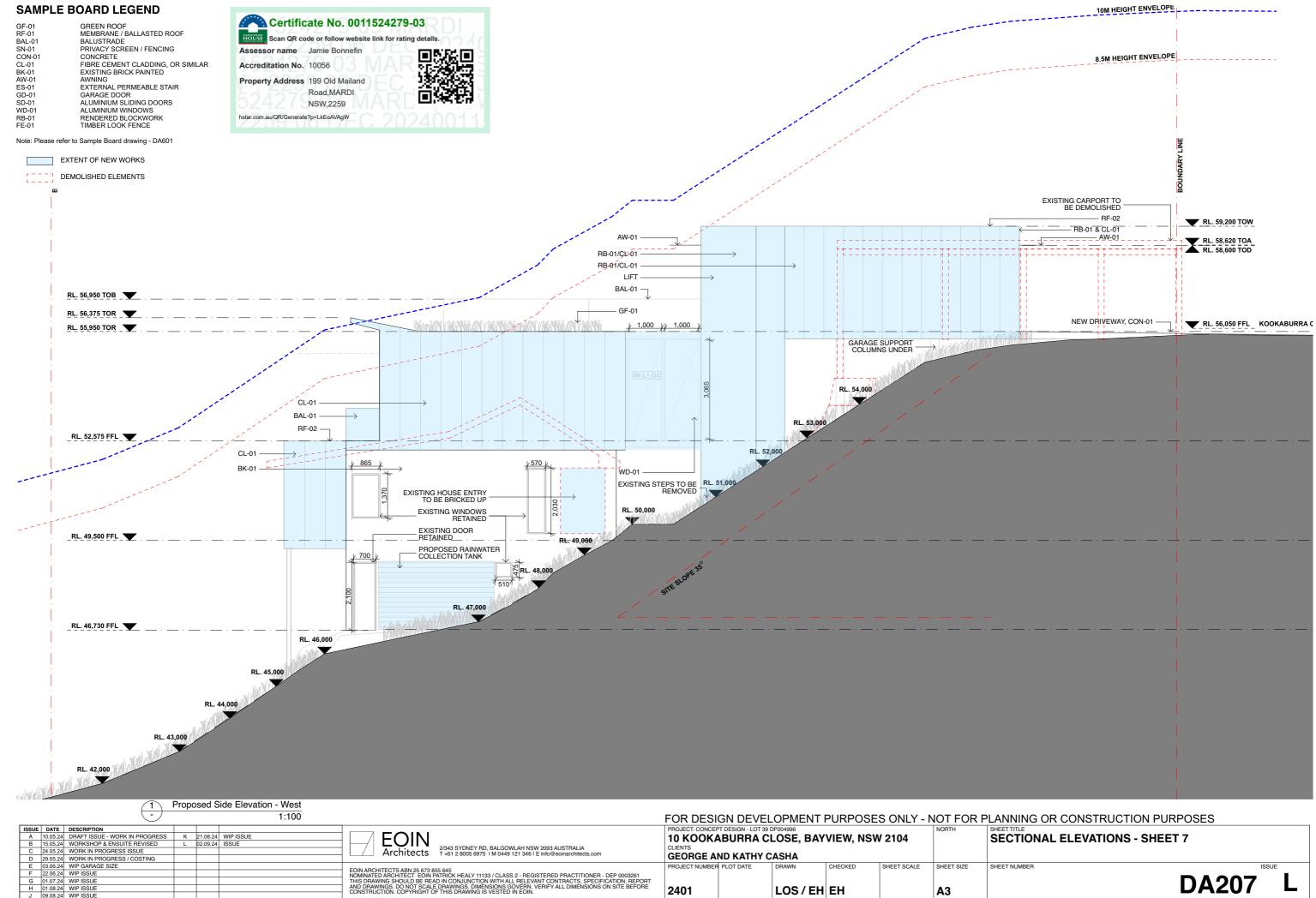
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE		10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104					
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE	2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA CLIENTS	, ,					
C	24.05.24	WORK IN PROGRESS ISSUE					GEORGE AND KATHY CASHA					
D	29.05.24	WORK IN PROGRESS / COSTING					GEORGE A	ND KATHY C	ASHA			
E (03.06.24	WIP GARAGE SIZE					PROJECT NUMBER	R PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
F 2	22.06.24	WIP ISSUE				EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261						
G	01.07.24	WIP ISSUE				THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS, DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN, VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION, COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.						
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-----RL: <u>53</u>,910-FRL





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2401

EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS, DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.

9.08.24 WIP ISSU

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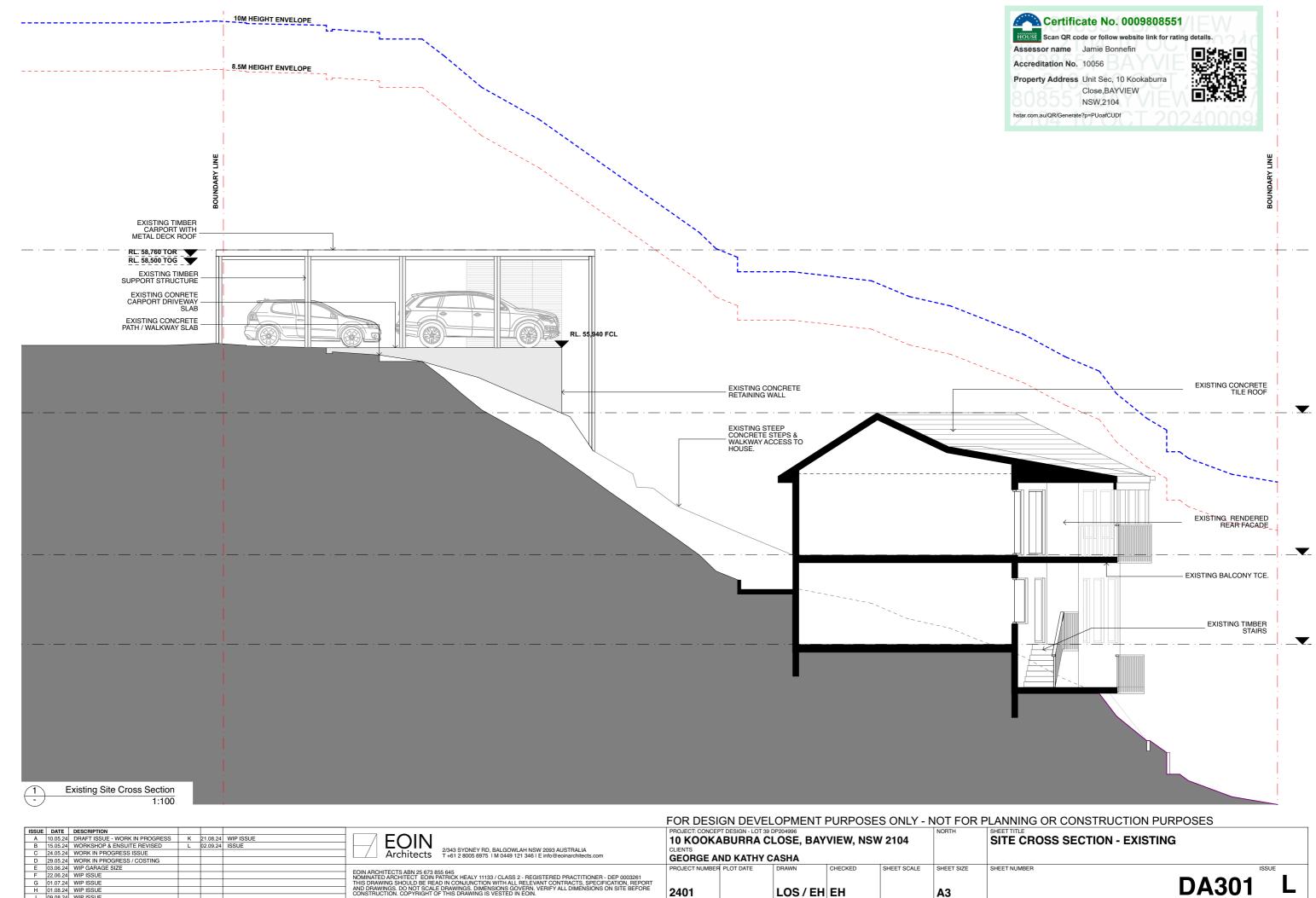
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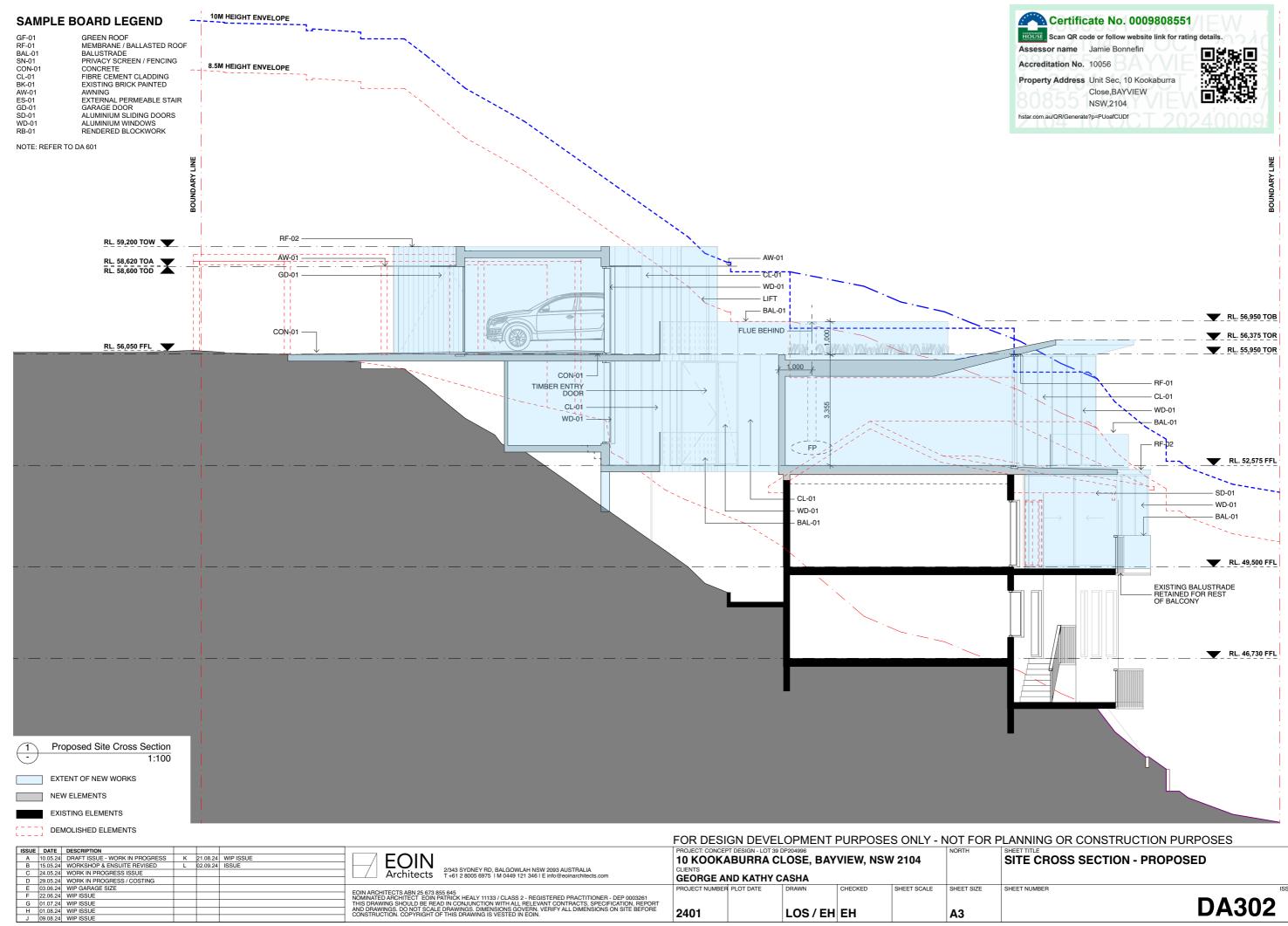
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Α	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE	
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С	24.05.24	WORK IN PROGRESS ISSUE				
D	29.05.24	WORK IN PROGRESS / COSTING				
E	03.06.24	WIP GARAGE SIZE				
F	22.06.24	WIP ISSUE				
G	01.07.24	WIP ISSUE				Ť
н	01.08.24	WIP ISSUE				A
J	09.08.24	WIP ISSUE				, c

2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA	10 KOOKA CLIENTS GEORGE AI	 LOSE, BAY ASHA	VIEW, NSW	2104		
IN 25 673 855 645 CT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 ID BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT VOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE YRIGHT OF THIS DRAWING IS VESTED IN EOIN.	PROJECT NUMBER	 DRAWN		SHEET SCALE	SHEET SIZE	s



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CLIENTS GEORGE AI PROJECT NUMBER	ND KATHY C	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET
2401		LOS / EH	EH		A3	





SAMPLE BOARD LEGEND

	GREEN ROOF
	MEMBRANE / BALLASTED ROOF
1	BALUSTRADE
	PRIVACY SCREEN / FENCING
)1	CONCRETE
	FIBRE CEMENT CLADDING, OR SIMILAR
	EXISTING BRICK PAINTED
	AWNING
	EXTERNAL PERMEABLE STAIR
	GARAGE DOOR
	ALUMINIUM SLIDING DOORS
	ALUMINIUM WINDOWS
	RENDERED BLOCKWORK
	TIMBER LOOK FENCE
	1)1





GF-01 - GREEN ROOF



CON-01 - CONCRETE



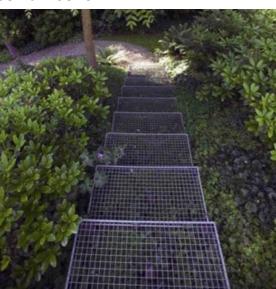
FE-01 - TIMBER LOOK FENCE

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WORK IN 9.05.24 WORK IN F 3.06.24 WIP GARA 2.06.24 WIP ISSUE



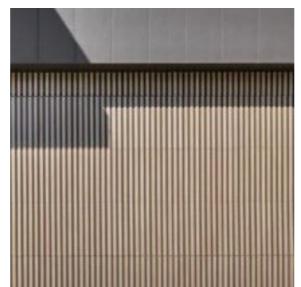
ES-01 - EXTERNAL PERMEABLE STAIRS



RF-01 - MEMBRANE / BALLASTED ROOF

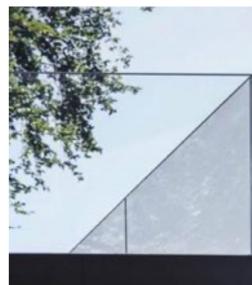


CL-01 - FIBRE CEMENT CLADDING / OR SIM.



2401

GD-01 - GARAGE DOOR



BAL-01 - GLASS BALUSTRADE



BK-01 - EXISTING BRICK PAINTED



SD-01 - ALUMINIUM SLIDING DOORS

A3

TION				
SSUE - WORK IN PROGRESS	ĸ	21.08.24	WIP ISSUE	
IOP & ENSUITE REVISED	L	02.09.24	ISSUE	
I PROGRESS ISSUE				Architects 2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T+61 2 8005 6975 M 0449 121 346 E info@eoinarchitects.com
PROGRESS / COSTING				
AGE SIZE				EOIN ARCHITECTS ABN 25 673 855 645
JE				EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
JE				THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT
JE				AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN FOIN.
JE				CONSTRUCTION. COPTRIGHT OF THIS DRAWING IS VESTED IN COIN.

10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 GEORGE AND KATHY CASHA SHEET SCALE SHEET SIZE SHEET NUMBER ROJECT NUMBER PLOT DATE CHECKED

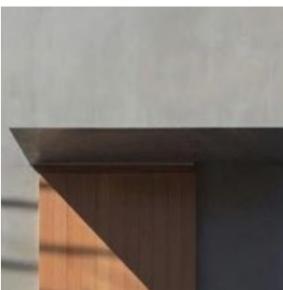
LOS / EH EH



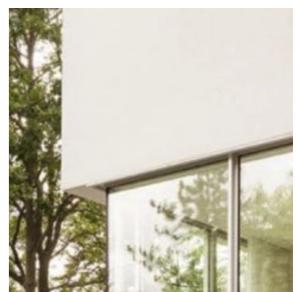


SN-01 - SCREEN / FENCE - TIMBER LOOK





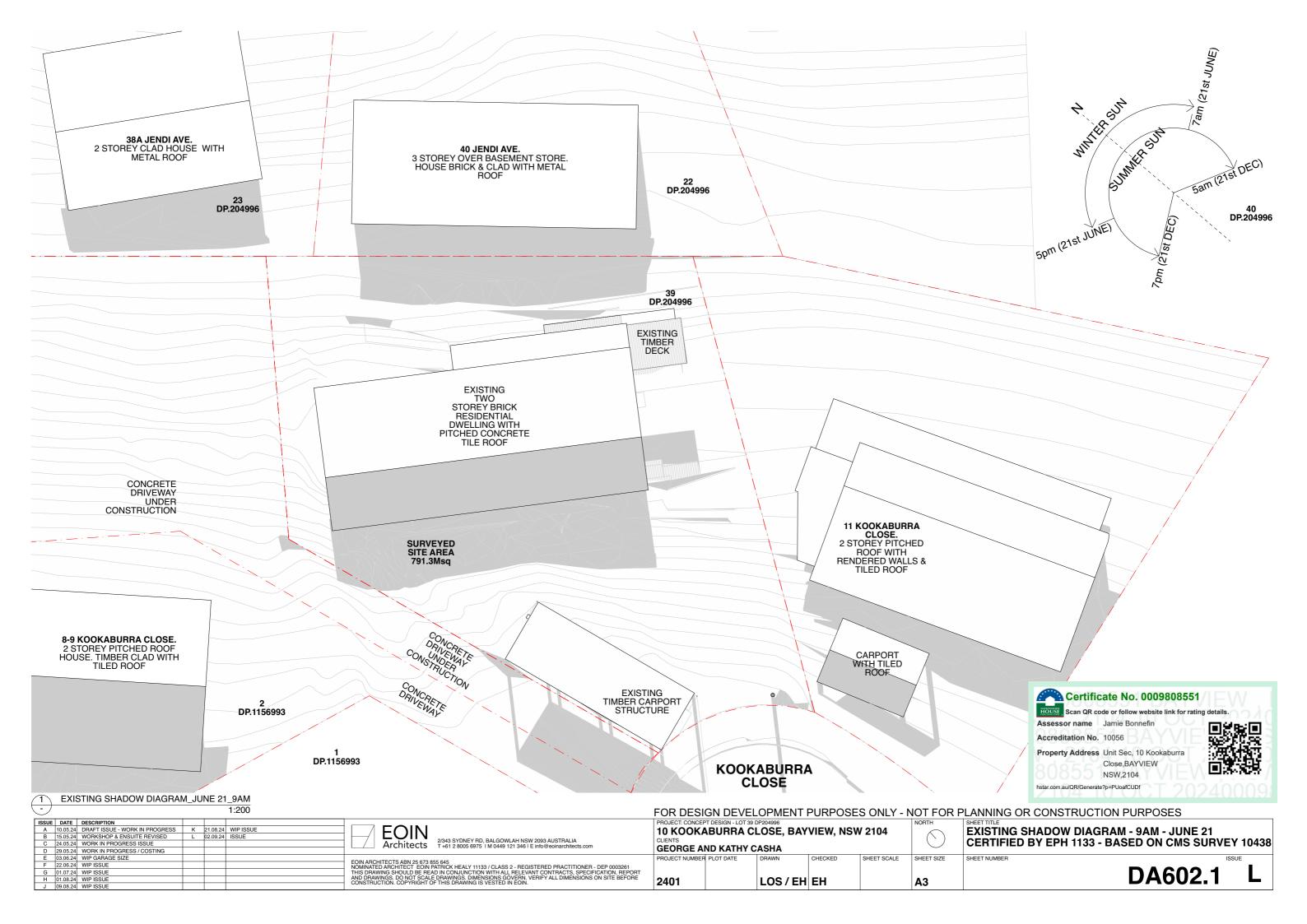
AW-01 - SOLAR / WEATHER AWNING

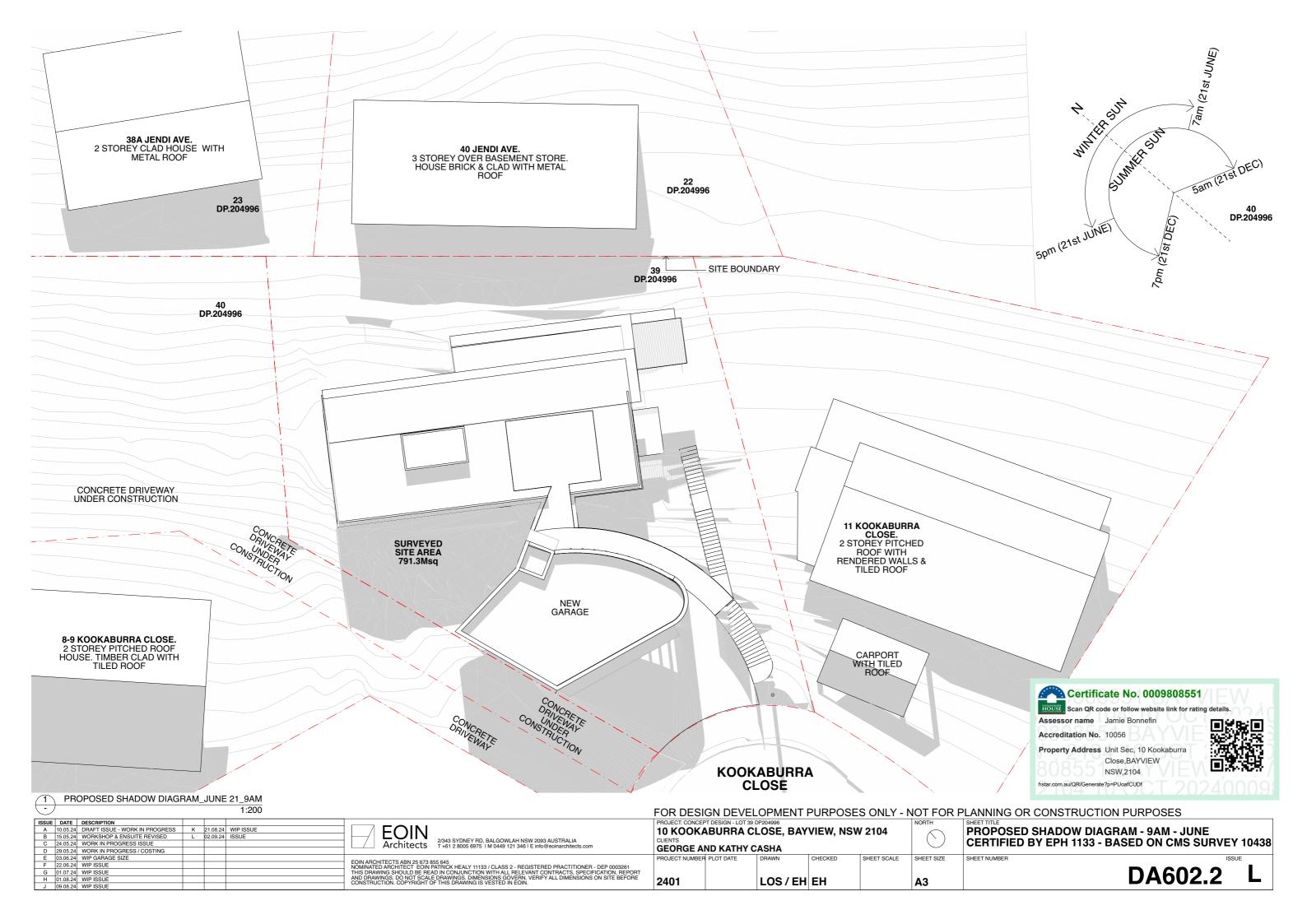


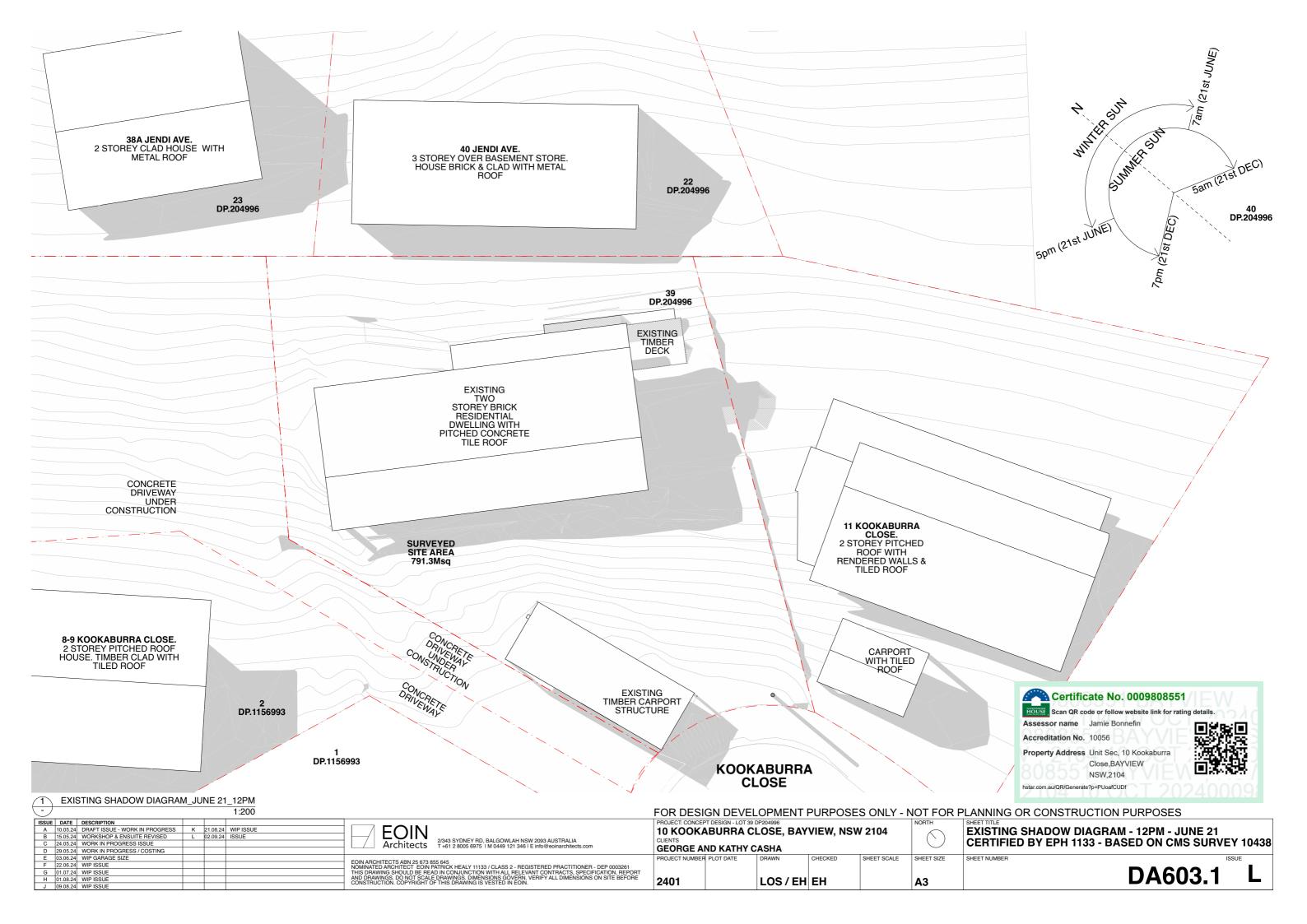
WD-01 - ALUMINIUM WINDOWS **RB-01 - RENDERED CONCRETE BLOCK** FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

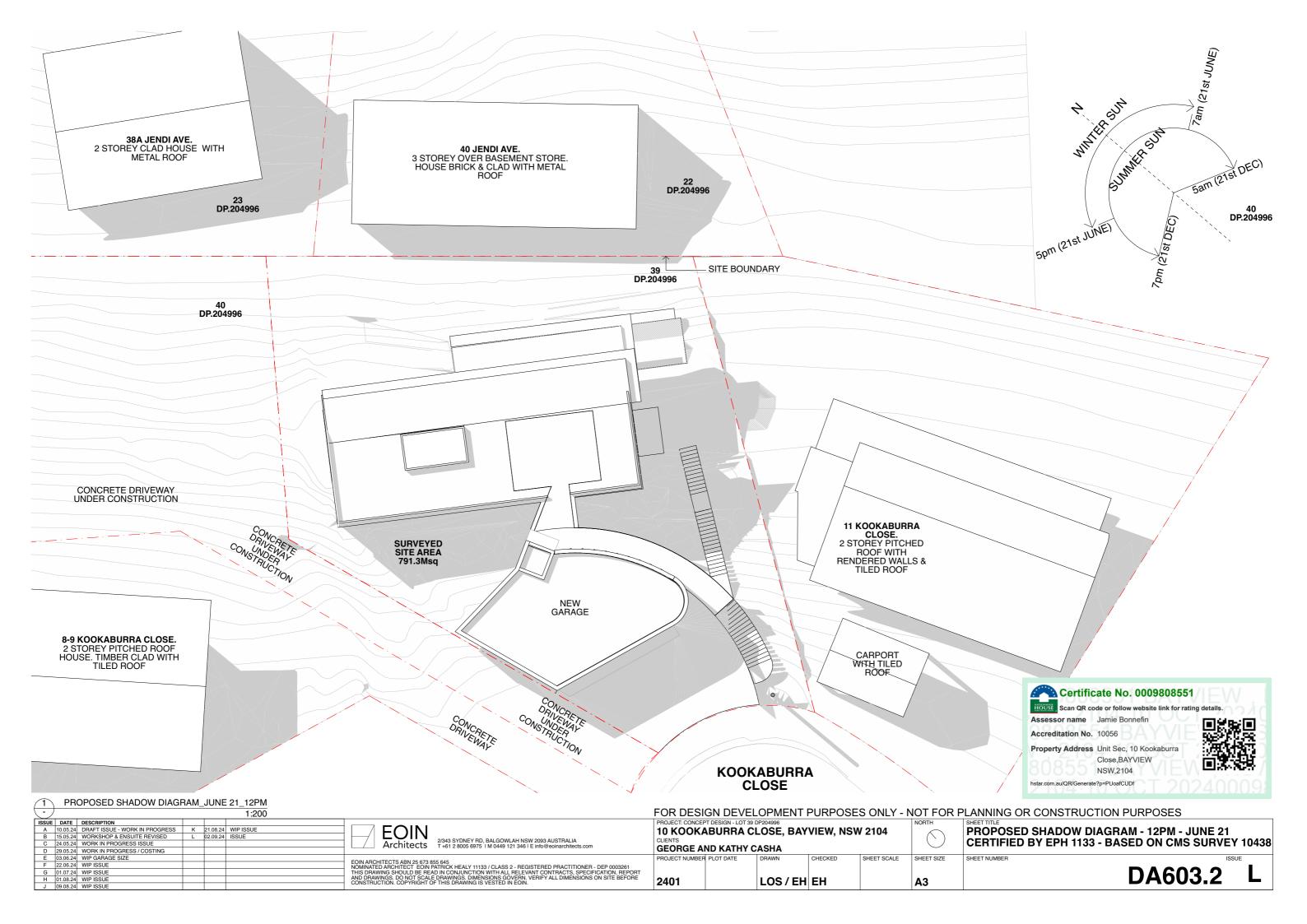
FINISHES SCHEDULE

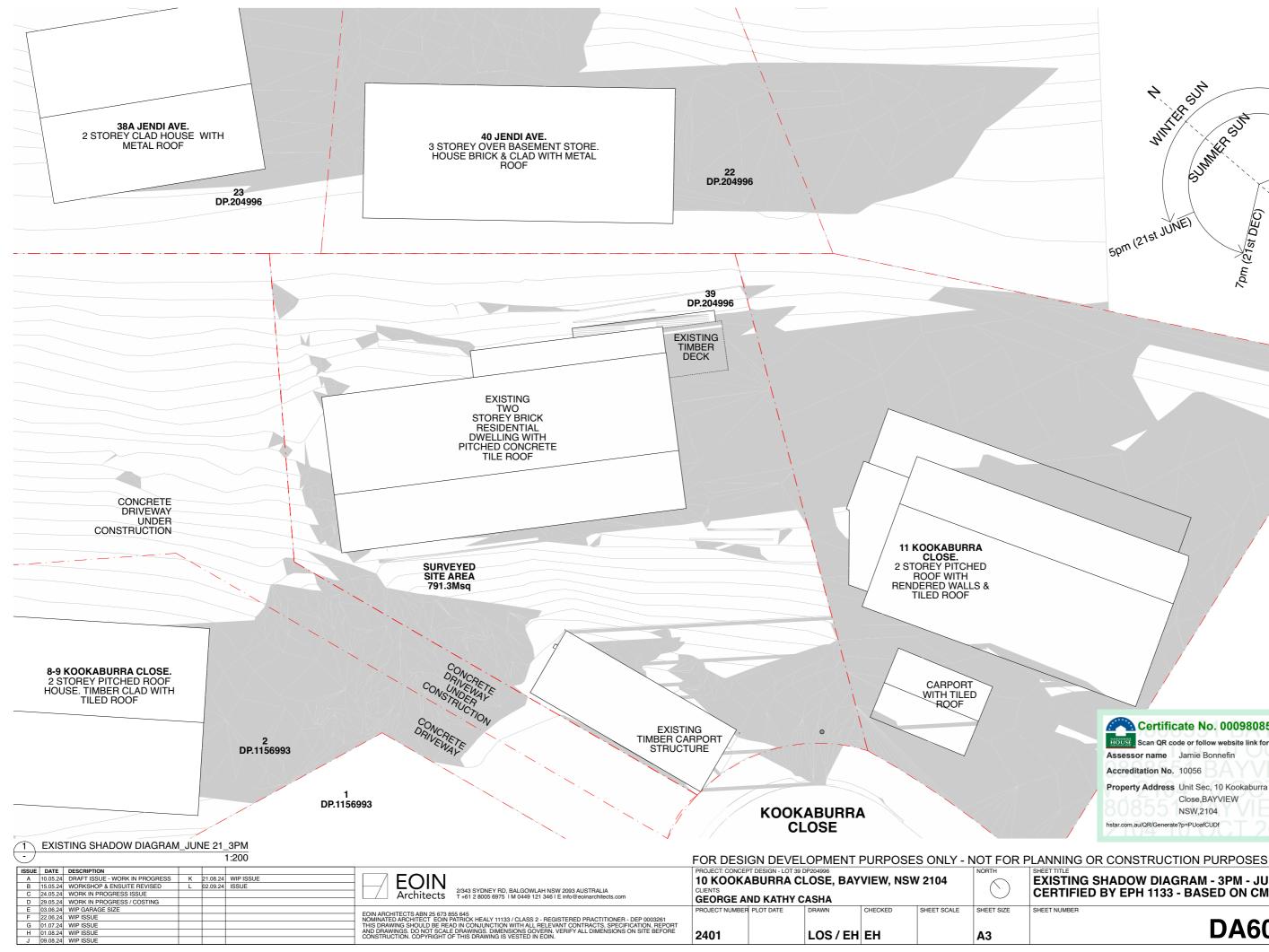


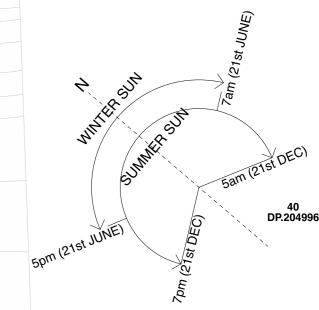














Assessor name Jamie Bonnefin Accreditation No. 10056

Property Address Unit Sec, 10 Kookaburra Close, BAYVIEW NSW,2104

hstar.com.au/QR/Generate?p=PUoafCUDf

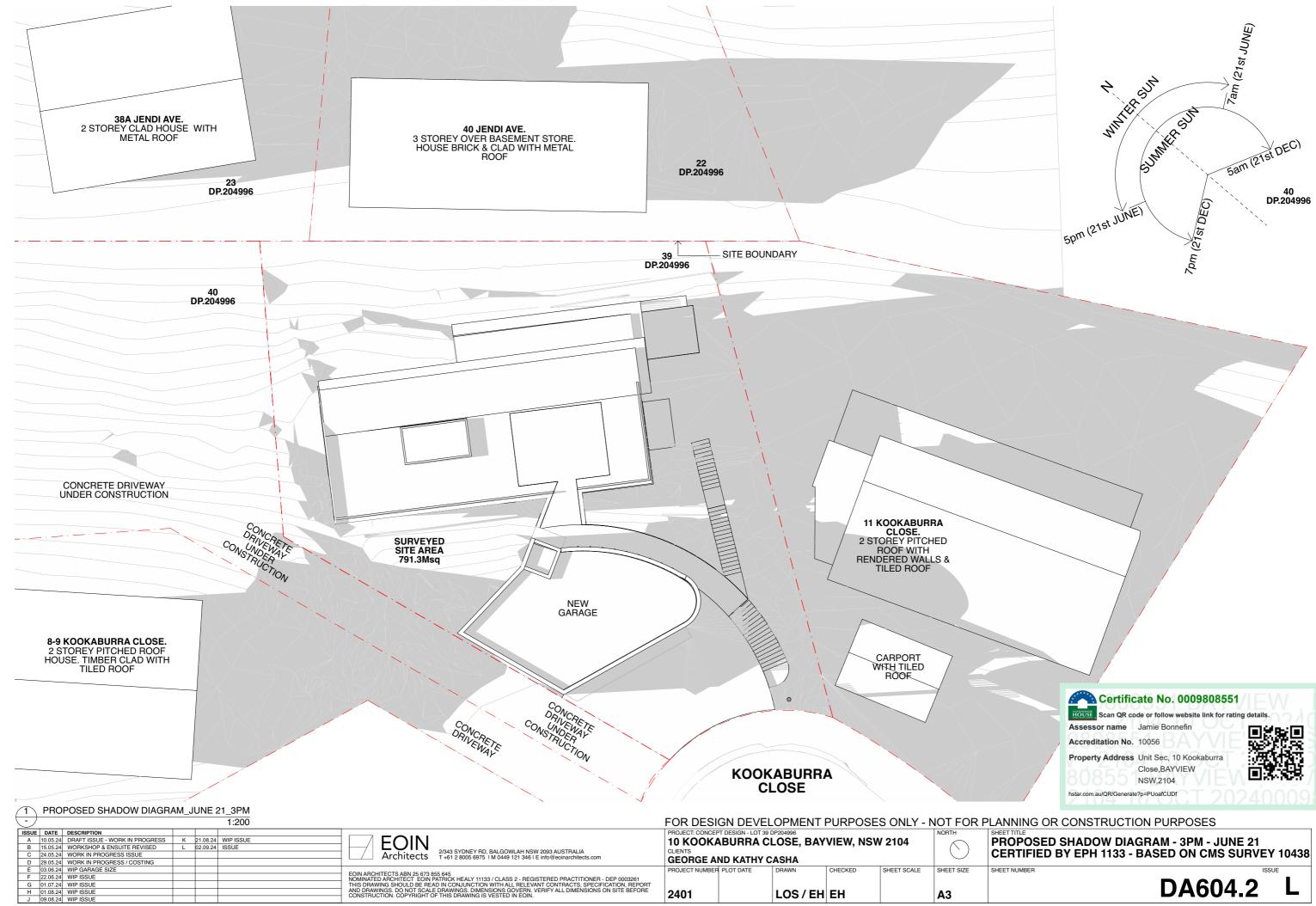
EXISTING SHADOW DIAGRAM - 3PM - JUNE 21 CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438



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ISSUE

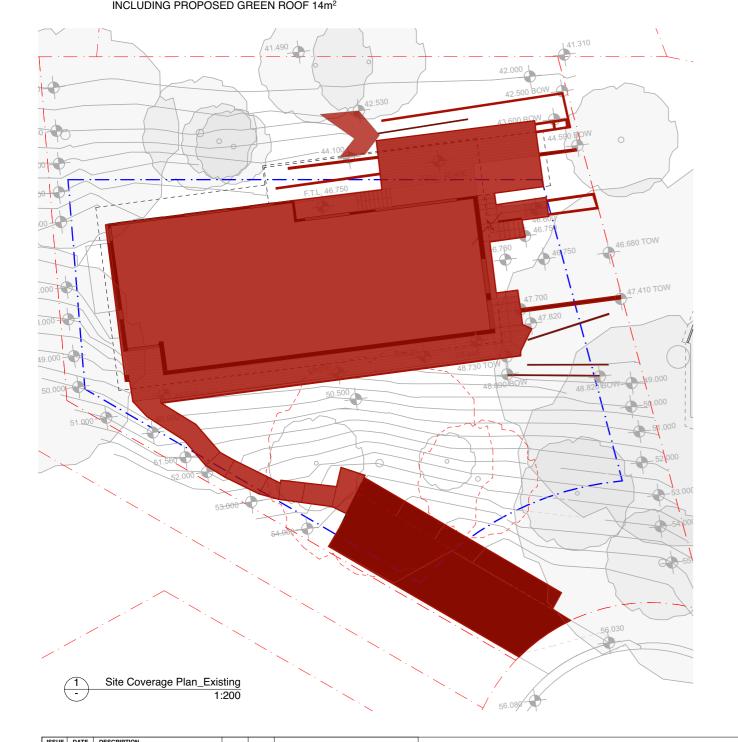


BUILT UPON AREA CALCULATIONS

SURVEYED SITE AREA - 791.3 m²

EXISTING BUILT UPON AREA - 301m² (38%)

PROPOSED BUILT UPON AREA - 339m² (42.8%) PROPOSED INCREASE OF 38m² (4.8%) NOTE: PROPOSED REDUCTION NOT INCLUDING PROPOSED GREEN ROOF 14m²



42.000	φ	41.490	42.530
43.000		F.T.L. 46.750	
46.000			
049.000 50.000 51.000	50.500A	49-330 	
	61.500 52.000 53.000	BADOR OF	
1 Site Coverage F	Plan_Proposed 1:200		

- 1	ISSUE	DATE	DESCRIPTION				i.
	Α	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE	Ĺ
	В	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE	Ĺ
	С	24.05.24	WORK IN PROGRESS ISSUE				Ĺ
	D	29.05.24	WORK IN PROGRESS / COSTING				Ĺ
	E	03.06.24	WIP GARAGE SIZE				ĺ
	F	22.06.24	WIP ISSUE				Ĺ
	G	01.07.24	WIP ISSUE				Ĺ
	н	01.08.24	WIP ISSUE				Ĺ
	J	09.08.24	WIP ISSUE				Ĺ

EOIN Architects	2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T +61 2 8005 6975 I M 0449 121 346 I E info@eoinarchitects.com	
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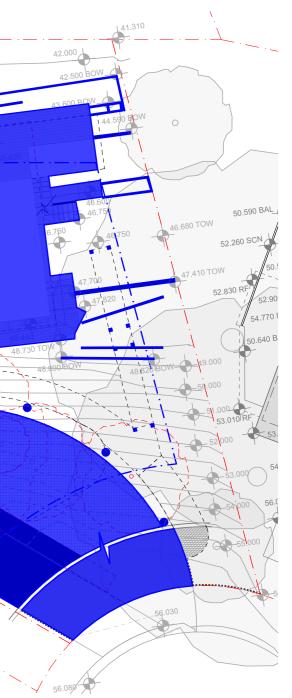
EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 THIS DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE ORAWINGS DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING SI VESTED IN EOIN.

FOR DESI	GN DEVEL	OPMENT I	PURPOSE	S ONLY - N	IOT FOR P	LANN
PROJECT: CONCEP	T DESIGN - LOT 39 D	DP204996			NORTH	SHEET TI
CLIENTS	ABURRA CI ND KATHY C	LOSE, BAY ASHA	VIEW, NSW	/ 2104	\bigcirc	BUIL
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET N

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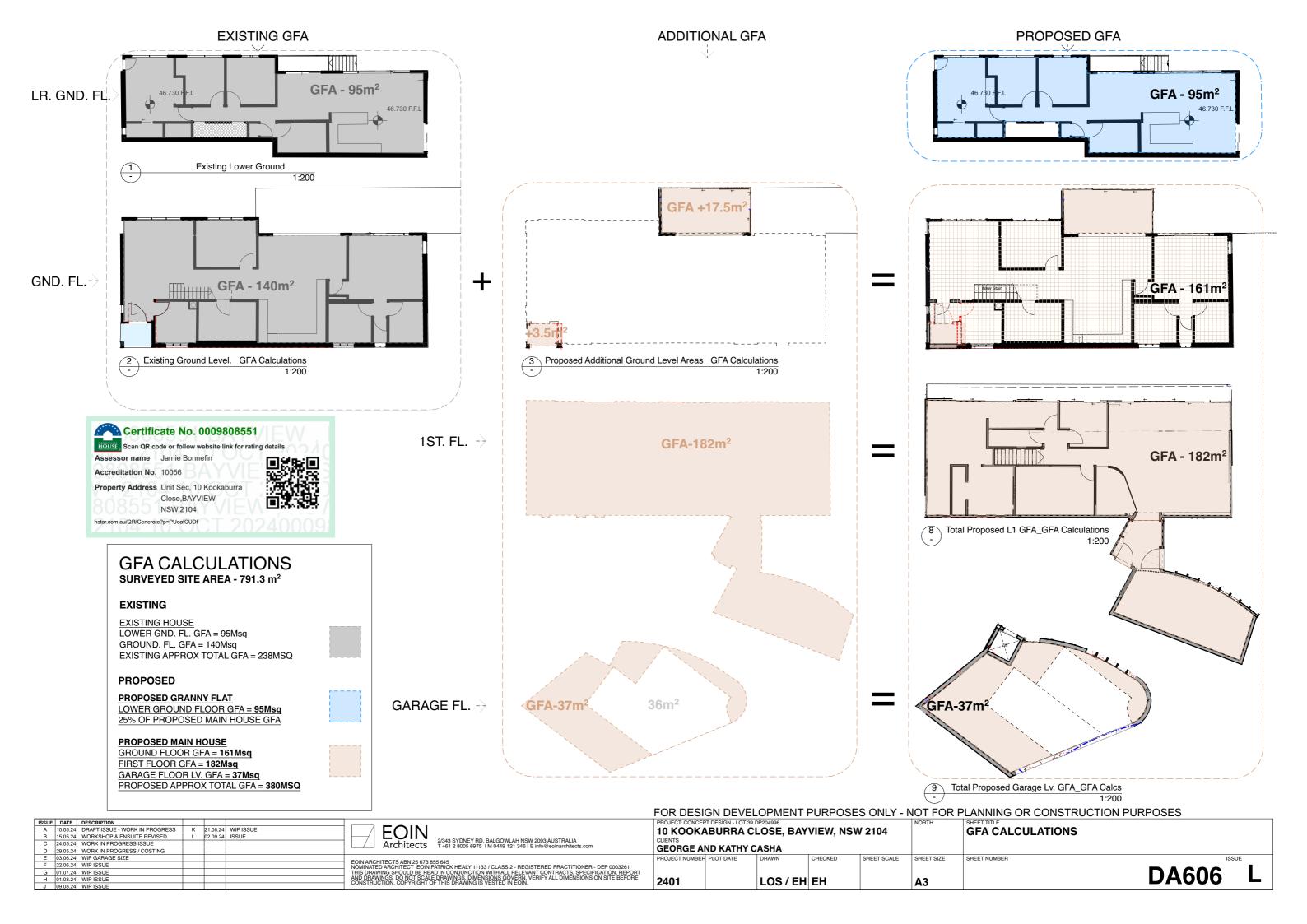
INING OR CONSTRUCTION PURPOSES

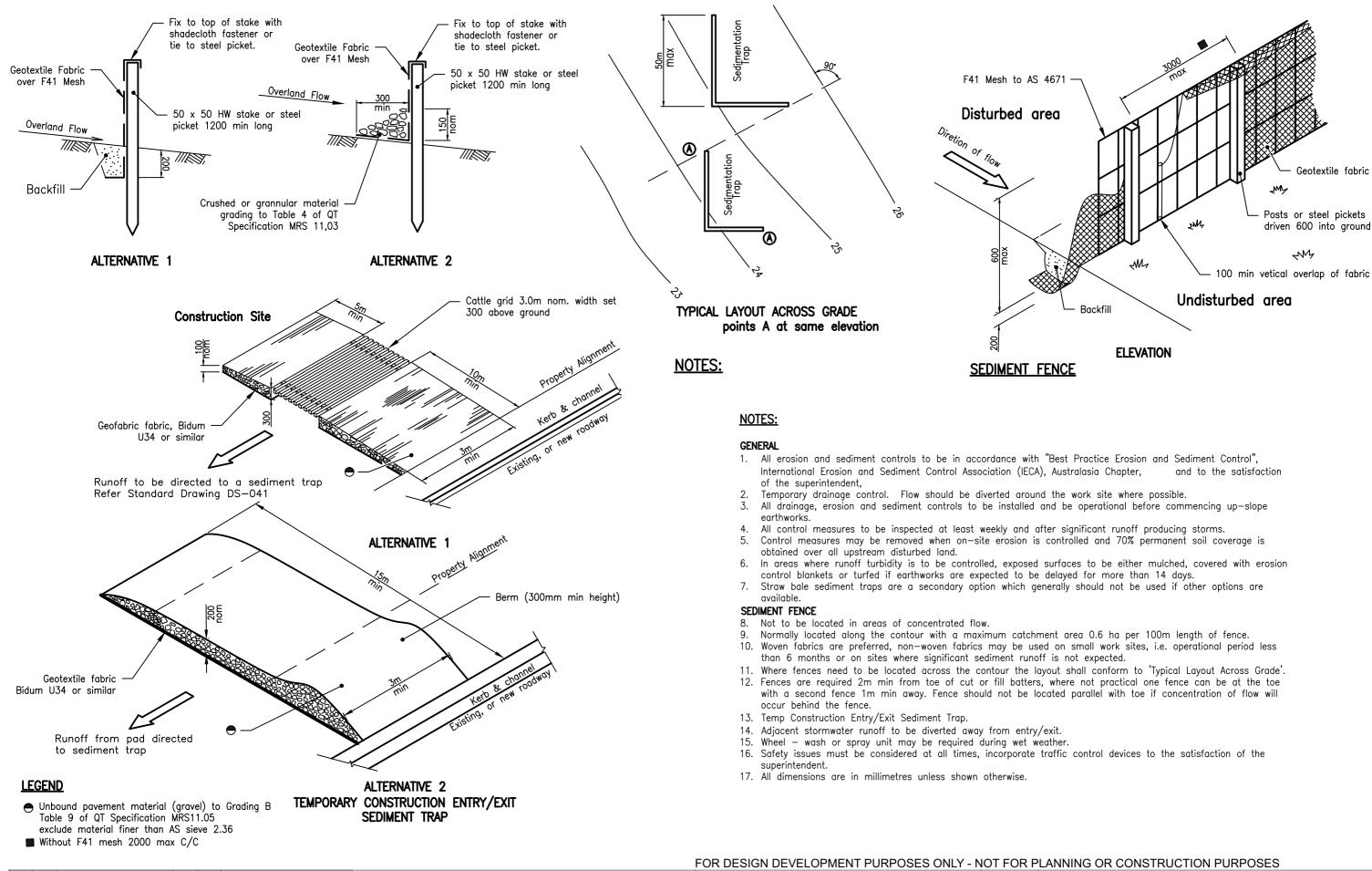
TITLE UPON AREA CALCULATIONS

ISSUE

DA605

NUMBER





ISSUE	DATE	DESCRIPTION				Ι.	
Α	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	К	21.08.24	WIP ISSUE		
В	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE		
С	24.05.24	WORK IN PROGRESS ISSUE					/
D	29.05.24	WORK IN PROGRESS / COSTING				1.	
E	03.06.24	WIP GARAGE SIZE					
F	22.06.24	WIP ISSUE					EOIN NOMI
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н	01.08.24	WIP ISSUE					AND I
J	09.08.24	WIP ISSUE				1	JUNS

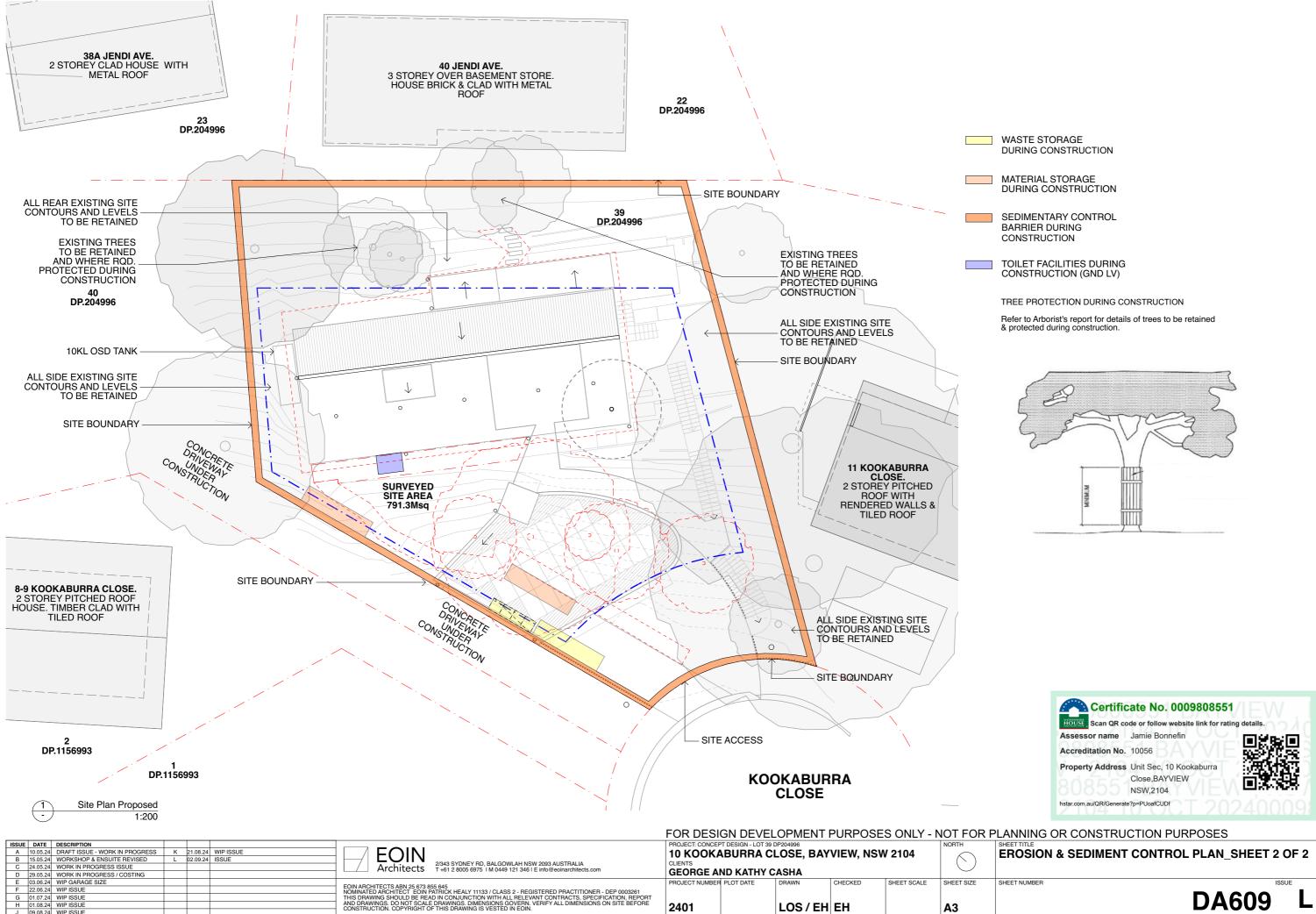
	EOIN Architects	2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T +61 2 8005 6975 I M 0449 121 346 I E info@eoinarchitects.com	
DMINATED	ING SHOULD BE REA	55.645 ATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 DIN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT DRAWINGS, DIMENSIONS GOVERN, VERIFY ALL DIMENSIONS ON SITE BEFORE F THIS DRAWING IS VESTED IN EOIN.	

E	2401		LOS / EH	EH		A3	
RT	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBE
	10 KOOKA	ABURRA CI	LOSE, BAY	VIEW, NSW	/ 2104	NORTH	SHEET TITLE

ION & SEDIMENT CONTROL PLAN SHEET 1 OF 2

DA608

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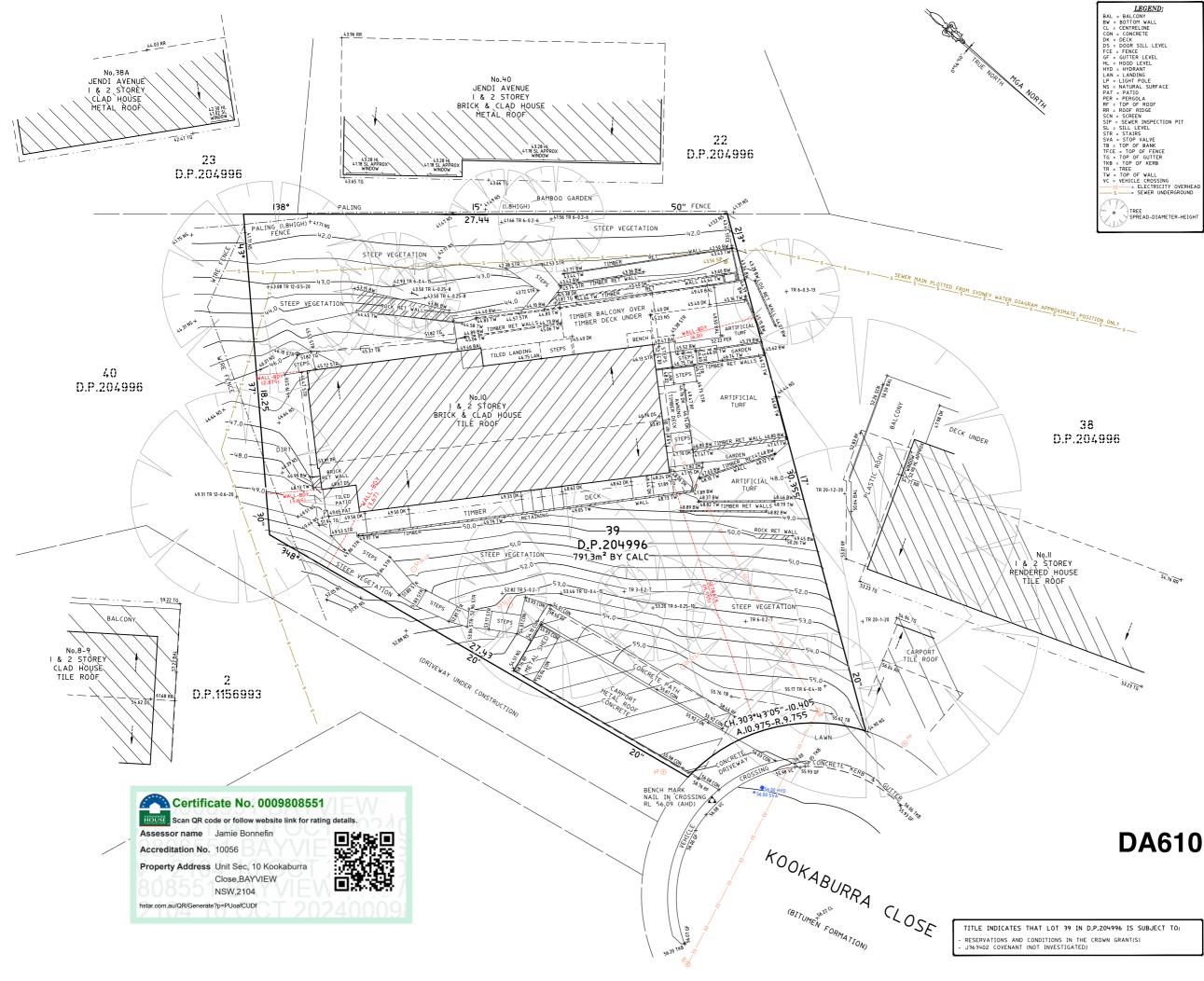
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EOIN ARCHITECTS ABN 25 673 855 645 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS, DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN, VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING SI VESTED IN EOIN.

09.08.24 WIP ISSU

DA609





BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.

WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.

IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.

THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY
THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR
CONSTRUCTION SETOUT.

TREE SIZES ARE ESTIMATES ONLY.

THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF GEORGE CASHA.

RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.

• EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY. Next CF 0 GOODMAND DE ALCONTED UNDERGROUND SERVICES HAVE NOT BEEN LOCATED BEROPE YOU DIG AUSTRALIA (www.byda.com.au). SHOULD BE USGO AND A FULU UTLITY INVESTIGATION. INCLUDING A UTLITY LOCATION SURVEY. SHOULD BE UNDERTIAKE BEFORE CARPYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.

 SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM.
LOCATION SHOULD BE MARKED ON SITE IF CRITICAL. CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR

CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.

CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.

 POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE) • THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 100.

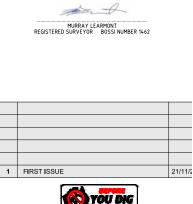
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HORIZONTAL DATUM: CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM: DATUM: AUSTRALIAN HEIGHT DATUM (AHD) B.M. ADOPTED: PM 27883 R.L. 16.307 SOURCE: CORSNET OBSERVATIONS

CLIENT:

GEORGE CASHA

LGA: NORTHERN BEACHES

BOUNDARY IDENTIFICATION AND DETAIL & LEVEL SURVEY OVER LOT 39 IN DP204996 No.10 KOOKABURRA CLOSE BAYVIEW, NSW, 2104

CMS SURVEYORS PTY LTD ACN 096 240 201 PO Box 463 Dee Why, NSW, 2099 2/99A South Creek Road, Dee Why, NSW, 2099 27 (02) 9971 4802 info@cmssurveyors.com.au S www.cmssurveyors.com.au

 ABS
 OFFICIENCE
 APPROVEL

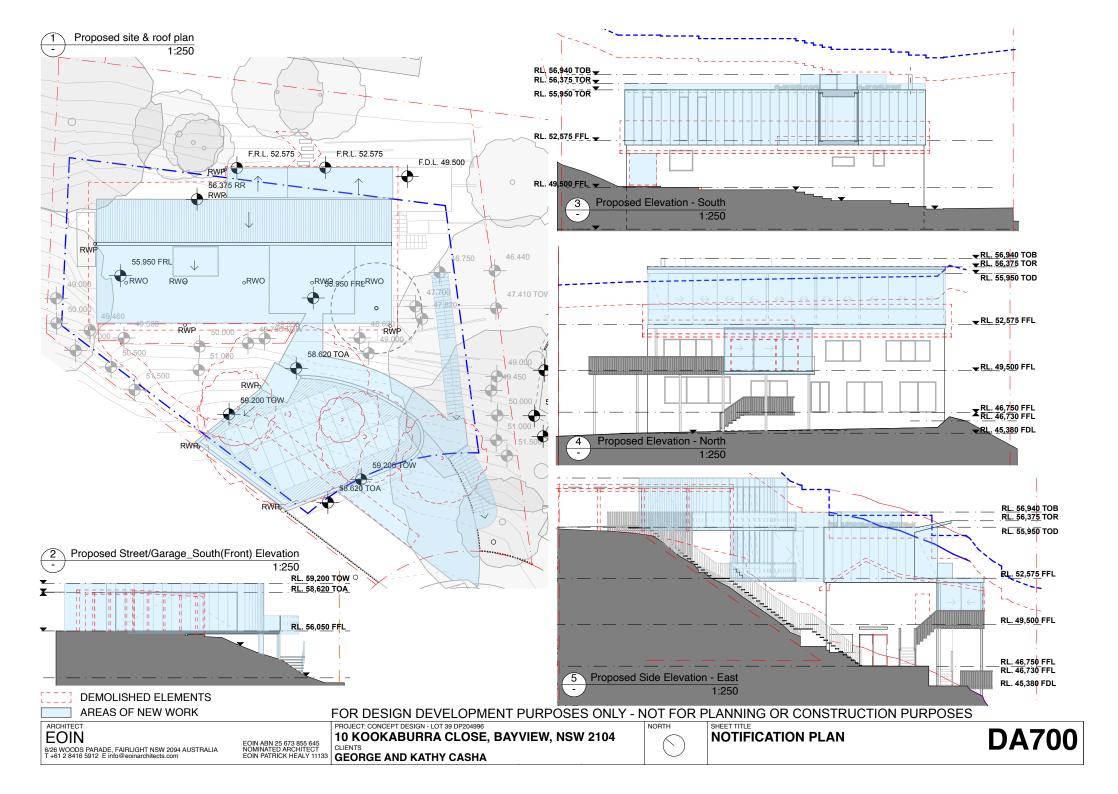
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 SURVEY INSTRUCTION
 SCALE
 DATE OF SURVEY

 10438A
 1:100@A1
 14/11/2023

 DRAWING NAME
 1042021
 14/11/2023
 SURVEYED DRAWN CHECKED APPROVED DRAWING NAME 10438Adetail SHEET / ISS

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Commitments Table

ct Is					
tai Je	Proposed: Single Dwelling		Address:	10 Kookabu	rra Close, Bayview NSW 2104
Project Details	Lot Number: 39		DP NUMBER:	DP 204996	
					BASIX Certificate Number: 1777652S
	Fixtures Shower head rating		Specification 4 star (> 4.5 but	<= 61/min)	
	Toilet rating		3 star	<= 0 L/ IIIII)	
	Kitchen taps rating		3 star		
e	Bathroom taps rating		3 star		
Water					
3	Alternative water details				
	Rainwater tank size	Individual	5000L		
	Connected to: Garden and lawn areas		Yes		
	All toilets		No		
	Laundry		No		
	Accreditation Number:	HERA 10056			NatHERS Certificate Number: 0009808551
	External walls		Requirements		
	Brick veneer	Ground Floor	Light colour	R2.0	Bulk + Anti-glare foil
	Internal walls				
	Cavity wall, direct fix plasterboard	Ground Floor	No insulation		
	Ceiling				
	External ceiling - Plasterboard		No insulation		
	Internal ceiling - Plasterboard		No insulation		
	-				
	Roof				
	N/A				
			No insulation		
	Floors				
ť	Concrete slab on ground		No insulation		
Thermal Comfort	concrete siab on ground		NO INSUIATION		
Ε	Windows	(NSW BASIX Thermal	Protocol allows fo	or ± 10% tole	rance of SHGC Value & U Value =< than which overrides NatHERS Certificate)
8	Aluminium frame HASWS-070-056-001				
Ĕ.	Aluminium frame HASWS-070-056-001		Single Clear gia.	ing with 0-v	alue 6.66 and SHGC 0.54
na	Aluminium frame HASDS-065-056-001		Single Clear gla:	ing with U-v	alue 6.37 and SHGC 0.56
2					
Å					
F	Ceiling Penetrations				
	Downlight Covers		Approved firepre	oof downligh	t covers must be installed to all downlights in ceilings where insulation is installed.
	Lighting specification		Dwelling is rate	d without do	wnlight
	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		0.000		
	Ceiling fans		No ceiling fans i	need to be in:	stalled
	Overshadowing details		Adjoining units	alculated int	to model calculations
	-				
	Site				
	Orientation of nominal north elevation		As shown on pla	ns	
	* Approved fireproof downlight covers HAVE	been specified, which can be ful	lv covered by insu	lation. Ceiline	g penetrations for exhaust dampers have been allowed (to all
	bathrooms, ensuites and internal laundry's				
	Hot water		Specification		Rating
	Individual system		Solar (electric b	posted)	26 to 30 STCs
	Ventilation				
	Bathroom exhaust		Individual fan, d	ucted to faca	ide or roof
	Control switch		Manual switch o		
	Kitchen exhaust		Individual fan, d		ide or roof
	Control switch		Manual switch o		
	Laundry		Individual fan, d		ide er roef
	Control switch		Manual switch o		
	Control switch		Ivianual switch o	ny orr	
	Cooling				
	Individual systems - living areas		no active cooling	system	
20	Individual systems - bedroom areas		no active cooling		
5			• • • • • •	, . ,	
Energy	Heating				
-	Individual systems - living areas		no active heatin	g system	
	Individual systems - bedroom areas		no active heatin		
	Lighting				
	Refer to NatHERS Certificate		Light-emitting d	iode (LED)	
	Appliances				
	Cooktop/oven		Induction cookto	p & electric o	oven
	Cooktop/oven Private outdoor clothes drying line		Yes	p & electric o	oven
	Cooktop/oven	e		p & electric (oven
	Cooktop/oven Private outdoor clothes drying line	ie	Yes	p & electric o	oven