



10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 - DEVELOPMENT APPLICATION

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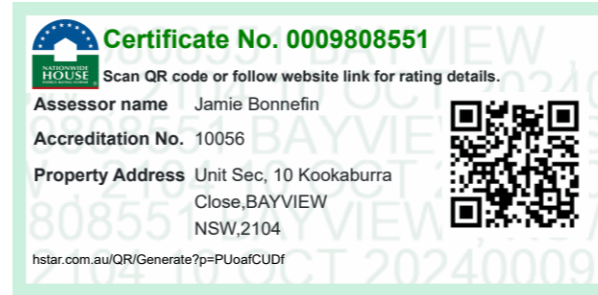
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CERTIFIED ENERGY
CERTIFICATION Svs-241356
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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

ISSUE	DATE	DESCRIPTION	ISSUE	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE						
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE						
C	24.05.24	WORK IN PROGRESS ISSUE									
D	29.05.24	WORK IN PROGRESS / COSTING									
E	03.06.24	WIP GARAGE SIZE									
F	22.06.24	WIP ISSUE									
G	01.07.24	WIP ISSUE									
H	01.08.24	WIP ISSUE									
J	09.08.24	WIP ISSUE									



EOIN ARCHITECTS ABN 25 673 855 845
NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
THIS DRAWINGS SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.

PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER: **2401** | DRAWN: **LOS / EH** | CHECKED: **EH** | SHEET SCALE: **A3**

NORTH

SHEET TITLE
COVER PAGE

SHEET NUMBER
DA001

ISSUE
L

NOTES:

BCA REQUIREMENTS - PLEASE REFER TO THE ACCOMPANYING BCA REPORT

GENERAL NOTATION

1. All materials, components, equipment and workmanship shall comply with all Statutory Authority codes and regulations, the current National Construction Code (NCC), Australian Standards, and any other regulations, rules or by-laws applicable to both design and execution.
2. Where necessary, provide Shop Drawings and technical information to demonstrate compliance with the Design Drawings and Specification, and comply with the approvals process specified.
3. Obtain and submit all approvals, certificates and any other documents required by the Statutory Authorities to permit use and/or occupation of the Works.
4. Comply with any approval conditions imposed by Statutory Authorities to which the works are subject.
5. At the appropriate time provide the Architect with Contract samples as listed in the Component Specification. These samples shall be kept as a record of materials incorporated into the Works and used as references for controlling consistency.
6. The Contractor is responsible for obtaining the Certificate of Occupancy as well as meeting any other regulatory requirements associated with the Certificate of Occupancy.
7. All Architectural drawings to be read in conjunction with all consultants and all suppliers drawings.
8. Prototypes & samples to be presented and approved by Architect, Structural Engineer (where required) & Client prior to approval and fabrication. Required prototypes are set out in Component Specification.

PERFORMANCE SPECIFICATION - STEELWORK:

General: The Main Contractor must ensure all member sizes, fixings and details are designed to sustain all relevant loads. The Main Contractor must notify both the Architect and Structural Engineer of any proposed amendments to such details and seek approval prior to commencement of any work.

CAM: All steel work and connections to be designed, 3D CAD modelled, computer numerically controlled (CNC) set out and computer aided manufactured (CAM).

Galvanisation: All associated bolts screws hold down bolts and threaded rods to be hot dipped galvanised to AS 1214. Refer to Structural Engineer's drawings and specification for all connection details and member sizes.

Separation: Ensure appropriate separation / isolation between dissimilar metals in accordance with AS 1562.1D

Shop Drawings: A complete set of steel fabrication shop drawings for all steel work elements & connections to be issued to and approved by Architect, Structural Engineer & Client prior to approval & fabrication.

Prototypes: Connection prototypes to be fabricated & approved by Architect, Structural Engineer & Client prior to fabrication process commencing. Connection prototypes required.

STAGED INSPECTIONS - HOLD POINTS

Note: Main Contractor to notify the Architect 7 business days in advance of any of the following stages, in order to organise the relevant party to carry out their inspections.

- A) After excavation for and prior to placement of any footings.
- B) Prior to pouring any in-situ reinforced concrete building element.
- C) Prior to covering of the framework for any floor, wall, roof or other building element.
- D) Prior to covering waterproofing in any wet areas.
- F) Prior to covering any storm water drainage connections.
relation to the building.- Inspection by PCA.



Certificate No. 0011524279-03

Scan QR code or follow website link for rating details.

Assessor name: Jamie Bonnefin

Accreditation No. 10056


Property Address: 199 Old Mailand Road, MARDI NSW, 2259



hstar.com.au/QR/Generate?p=LkEoAVAgW

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10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104

CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER: **2401**

PLOT DATE: []

DRAWN: **LOS / EH**

CHECKED: **EH**

SHEET SCALE: []

SHEET SIZE: **A3**

NORTH

SHEET TITLE: **NOTES**

SHEET NUMBER: **DA002**

ISSUE: **L**

EOIN ARCHITECTS ABN 25 673 855 845
NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
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BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A1762493

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 02 September 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	10 kookaburra Close, Bayview NSW
Street address	10 KOOKABURRA - BAYVIEW 2104
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP204996
Lot number	39
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	BONNEFIN CONSULTING PTY LTD
ABN (if applicable)	95164564210

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.			
	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A	
floor above existing dwelling or building.	nil	N/A	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: plasterboard (R0.36)	nil		
flat ceiling, flat roof: framed	ceiling: R0.25 (up), roof: 50 mm foil backed polystyrene board	light (solar absorptance < 0.475)	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			
The following requirements must also be satisfied in relation to each window and glazed door:			
	✓	✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

Certificate No. 0009808551

Scan QR code or follow website link for rating details.

Assessor name: Jamie Bonnefin
Accreditation No. 10056
Property Address: Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104

Building Sustainability Index www.basix.nsw.gov.au




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<table border="1"> <thead> <tr> <th>ISSUE</th> <th>DATE</th> <th>DESCRIPTION</th> <th></th> <th></th> <th></th> </tr> </thead> <tbody> <tr> <td>A</td> <td>10.05.24</td> <td>DRAFT ISSUE - WORK IN PROGRESS</td> <td>K</td> <td>21.08.24</td> <td>WIP ISSUE</td> </tr> <tr> <td>B</td> <td>15.05.24</td> <td>WORKSHOP & ENSUITE REVISED</td> <td>L</td> <td>02.09.24</td> <td>ISSUE</td> </tr> <tr> <td>C</td> <td>24.05.24</td> <td>WORK IN PROGRESS ISSUE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>D</td> <td>29.05.24</td> <td>WORK IN PROGRESS / COSTING</td> <td></td> <td></td> <td></td> </tr> <tr> <td>E</td> <td>03.06.24</td> <td>WIP GARAGE SIZE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>F</td> <td>22.06.24</td> <td>WIP ISSUE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>G</td> <td>01.07.24</td> <td>WIP ISSUE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>H</td> <td>01.08.24</td> <td>WIP ISSUE</td> <td></td> <td></td> <td></td> </tr> <tr> <td>J</td> <td>09.08.24</td> <td>WIP ISSUE</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	ISSUE	DATE	DESCRIPTION				A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE	B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE	C	24.05.24	WORK IN PROGRESS ISSUE				D	29.05.24	WORK IN PROGRESS / COSTING				E	03.06.24	WIP GARAGE SIZE				F	22.06.24	WIP ISSUE				G	01.07.24	WIP ISSUE				H	01.08.24	WIP ISSUE				J	09.08.24	WIP ISSUE				<p>EOIN Architects 2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T +61 2 8005 8975 M 0449 121 346 E info@eoinarchitects.com</p> <p>EOIN ARCHITECTS ABN 25 673 855 845 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.</p>	<p>PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 CLIENTS GEORGE AND KATHY CASHA</p>	<p>NORTH</p>	<p>SHEET TITLE BASIX REQUIREMENTS 'MAIN HOUSE'_ SHEET 1 OF 2</p>	<p>PROJECT NUMBER: 2401</p>	<p>PLOT DATE</p>	<p>DRAWN: LOS / EH EH</p>	<p>CHECKED</p>	<p>SHEET SCALE</p>	<p>SHEET SIZE: A3</p>	<p>SHEET NUMBER</p>	<p>ISSUE: DA003.1 L</p>
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
Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
upper bed	N	16.42	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
retreat	N	9.63	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
office	N	12.78	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
living	N	25.75	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
living	E	5.4	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
dining N	N	16.5	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
dining E	E	8.1	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
owder	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
robes	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
ensuite	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
foyer E	E	4.8	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
foyer W	W	6.9	3	2.5	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104						BASIX REQUIREMENTS 'MAIN HOUSE' _ SHEET 2 OF 2	
CLIENTS GEORGE AND KATHY CASHA							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2401		LOS / EH EH			A3		DA003.2 L

Commitments Table

Project Details	Proposed: Single Dwelling Lot Number: 39			Address: 10 Kookaburra Close, Bayview NSW 2104 DP NUMBER: DP 204996		
Water	BASIX Certificate Number: 17776525					
	Fixtures			Specification		
	Shower head rating			4 star (> 4.5 but <= 6 L/min)		
	Toilet rating			3 star		
Kitchen taps rating			3 star			
Bathroom taps rating			3 star			
Alternative water details						
Rainwater tank size			Individual 5000L			
Connected to:			Yes			
Garden and lawn areas			No			
All toilets			No			
Laundry			No			
Thermal Comfort	Accreditation Number: HERA 10056		NatHERS Certificate Number: 0009808551			
	External walls		Requirements			
	Brick veneer		Ground Floor		Light colour R2.0 Bulk + Anti-glare foil	
	Internal walls					
	Cavity wall, direct fix plasterboard		Ground Floor No insulation			
	Ceiling					
	External ceiling - Plasterboard		No insulation			
	Internal ceiling - Plasterboard		No insulation			
	Roof					
	N/A		No insulation			
	Floors					
	Concrete slab on ground		No insulation			
	Windows		(NSW BASIX Thermal Protocol allows for ± 10% tolerance of SHGC Value & U Value =< than which overrides NatHERS Certificate)			
	Aluminium frame HASWS-070-056-001		Single Clear glazing with U-value 6.66 and SHGC 0.54			
	Aluminium frame HASDS-065-056-001		Single Clear glazing with U-value 6.37 and SHGC 0.56			
	Ceiling Penetrations					
	Downlight Covers		Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.			
	Lighting specification		Dwelling is rated without downlight			
Ceiling fans		No ceiling fans need to be installed				
Overshadowing details		Adjoining units calculated into model calculations				
Site						
Orientation of nominal north elevation		As shown on plans				
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.						
Energy	Hot water		Specification		Rating	
	Individual system		Solar (electric boosted)		26 to 30 STCs	
	Ventilation					
	Bathroom exhaust		Individual fan, ducted to façade or roof			
	Control switch		Manual switch on/off			
	Kitchen exhaust		Individual fan, ducted to façade or roof			
	Control switch		Manual switch on/off			
	Laundry		Individual fan, ducted to façade or roof			
	Control switch		Manual switch on/off			
	Cooling					
	Individual systems - living areas		no active cooling system			
	Individual systems - bedroom areas		no active cooling system			
	Heating					
	Individual systems - living areas		no active heating system			
Individual systems - bedroom areas		no active heating system				
Lighting						
Refer to NatHERS Certificate		Light-emitting diode (LED)				
Appliances						
Cooktop/oven		Induction cooktop & electric oven				
Private outdoor clothes drying line		Yes				
Private Indoor or sheltered clothes drying line		No				
Alternative Energy						
Photovoltaic System (Minimum)		Peak kW				
		N/A				

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E	03.06.24	WIP GARAGE SIZE				
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G	01.07.24	WIP ISSUE				
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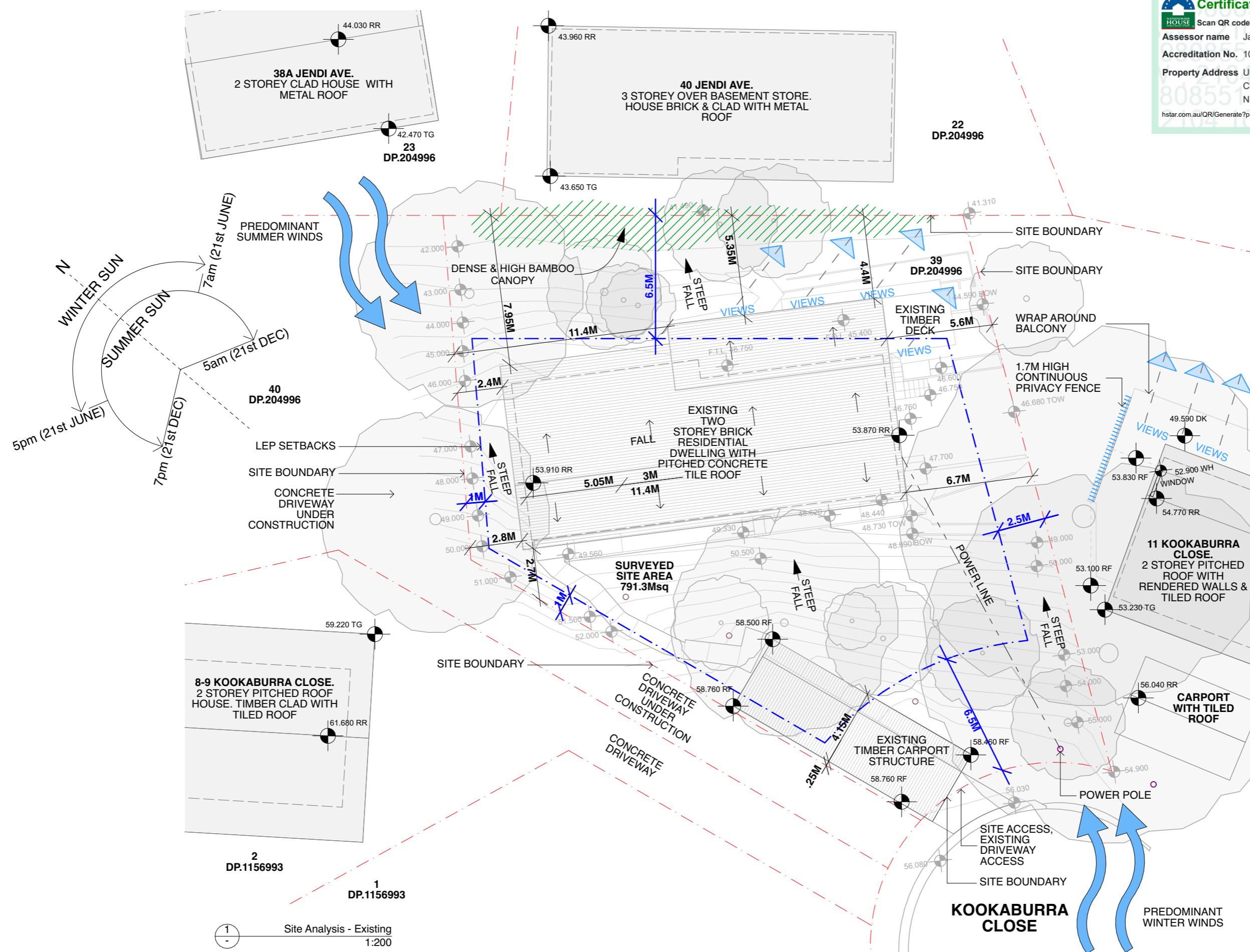
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE BASIX REQUIREMENTS 'GRANNY FLAT'	
CLIENTS GEORGE AND KATHY CASHA							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2401		LOS / EH	EH		A3		DA004.1 L

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 Assessor name Jamie Bonnefin
 Accreditation No. 10056
 Property Address Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104
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1 - Site Analysis - Existing
 1:200

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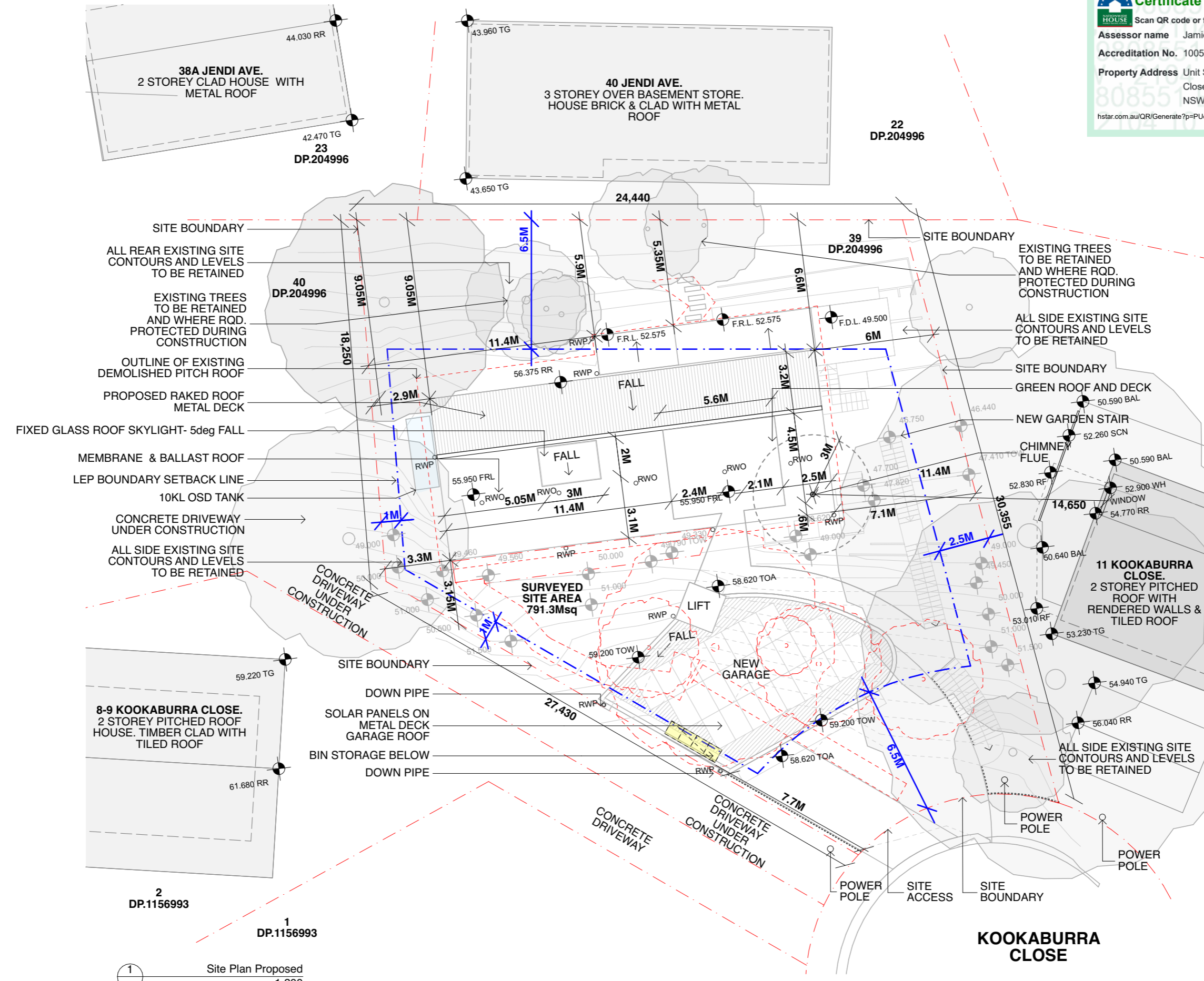
PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
 CLIENTS: **GEORGE AND KATHY CASHA**

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH		A3	

SHEET TITLE: **SITE ANALYSIS - EXISTING SITE PLAN**

ISSUE: **DA005 L**

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 Accreditation No. 10056
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1 - Site Plan Proposed
 1:200

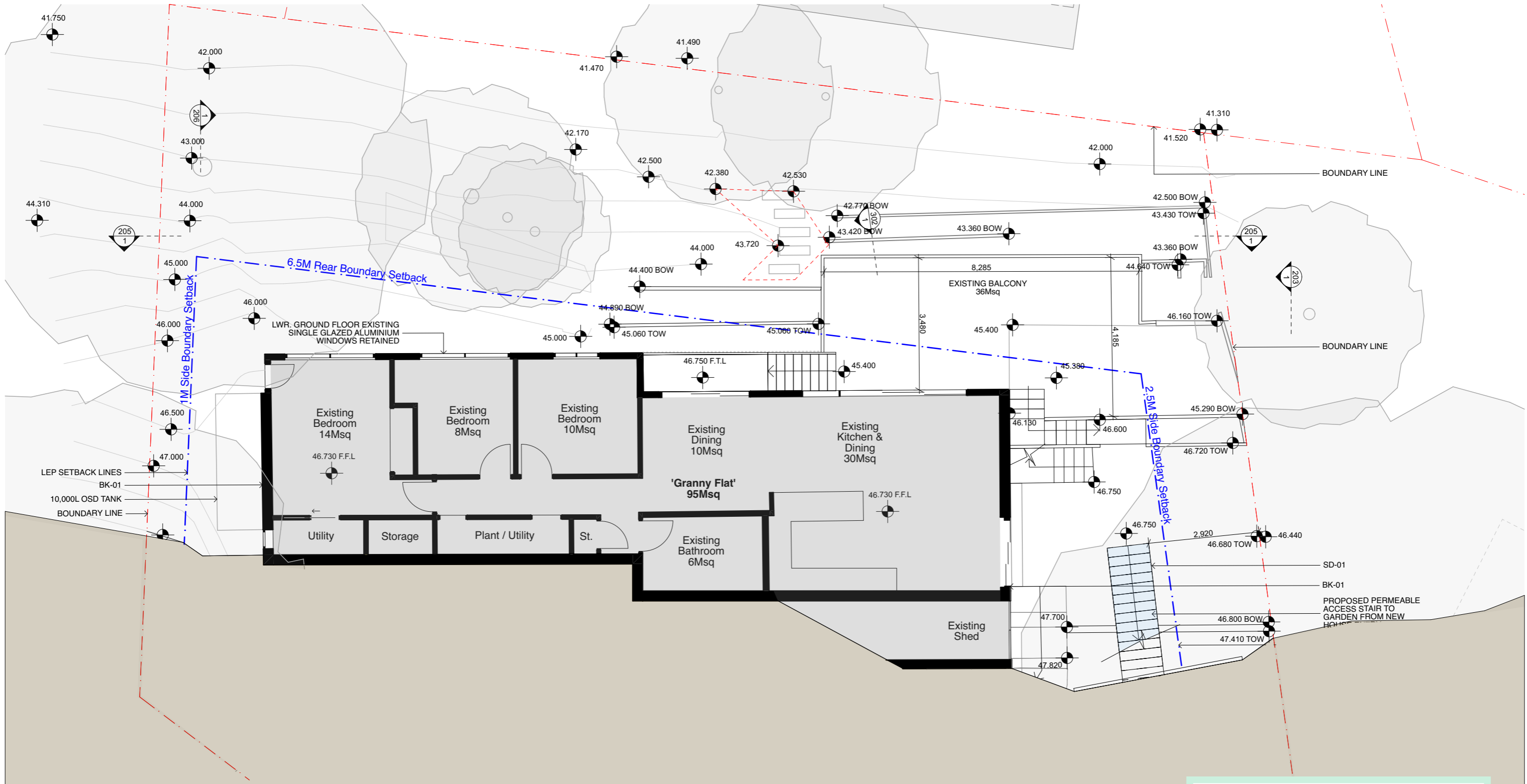
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SITE PLAN / ROOF PLAN - PROPOSED	
CLIENTS: GEORGE AND KATHY CASHA		PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		2401	
DRAWN: LOS / EH EH		CHECKED:		SHEET SCALE	
				A3	
				SHEET SIZE	
				ISSUE	
				DA006 L	



- EXISTING HOUSE UNAFFECTED
- EXTENT OF NEW WORKS
- NEW WALLS
- EXISTING WALLS
- DEMOLISHED ELEMENTS

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 Accreditation No.: 10056
 Property Address: Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104




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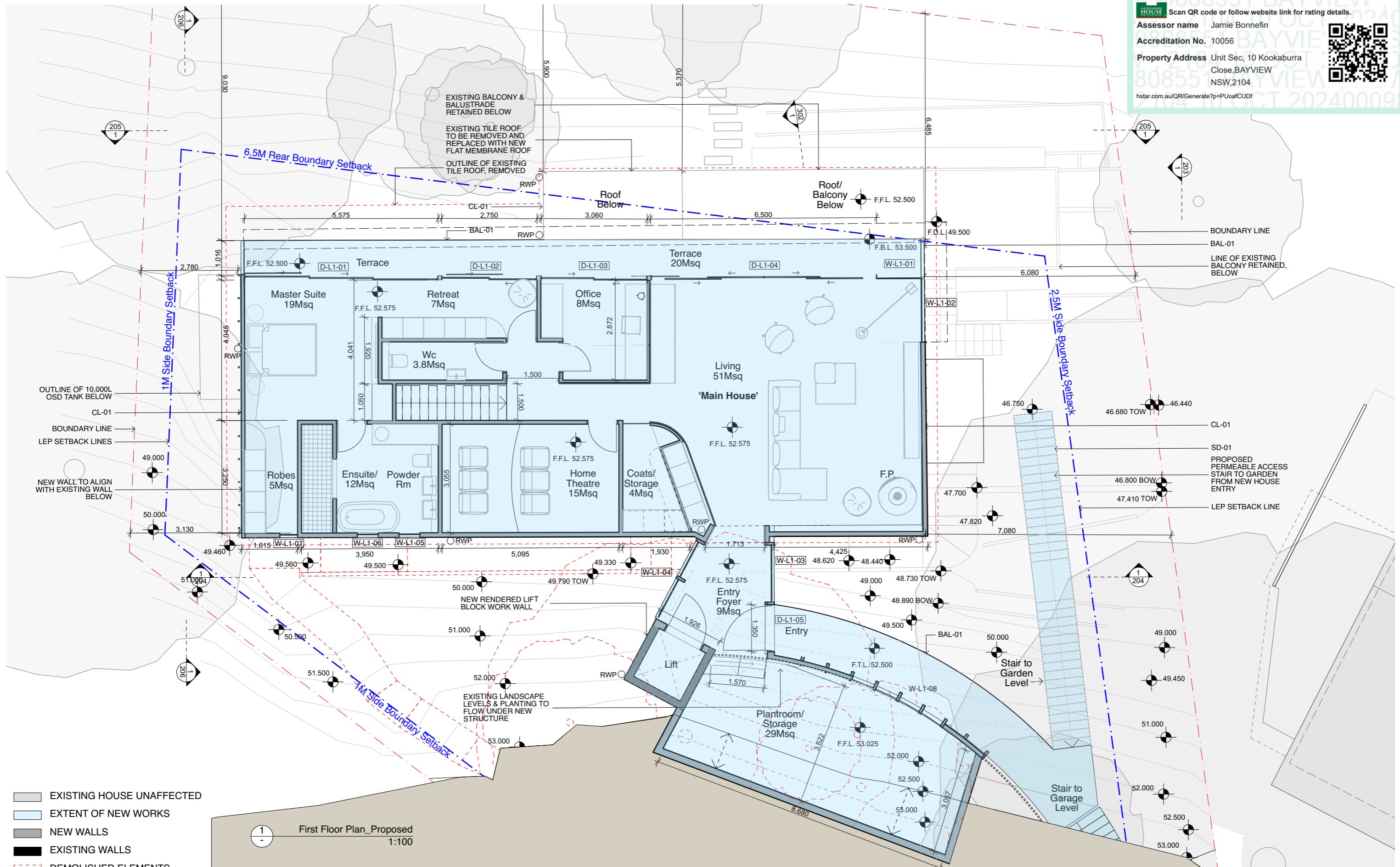
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE	
CLIENTS GEORGE AND KATHY CASHA						LOWER GROUND FLOOR PLAN 'GRANNY FLAT'_PROPOSED	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	
2401		LOS / EH	EH		A3	DA101 L	

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- EXISTING HOUSE UNAFFECTED
- EXTENT OF NEW WORKS
- NEW WALLS
- EXISTING WALLS
- DEMOLISHED ELEMENTS

First Floor Plan_Proposed
1:100

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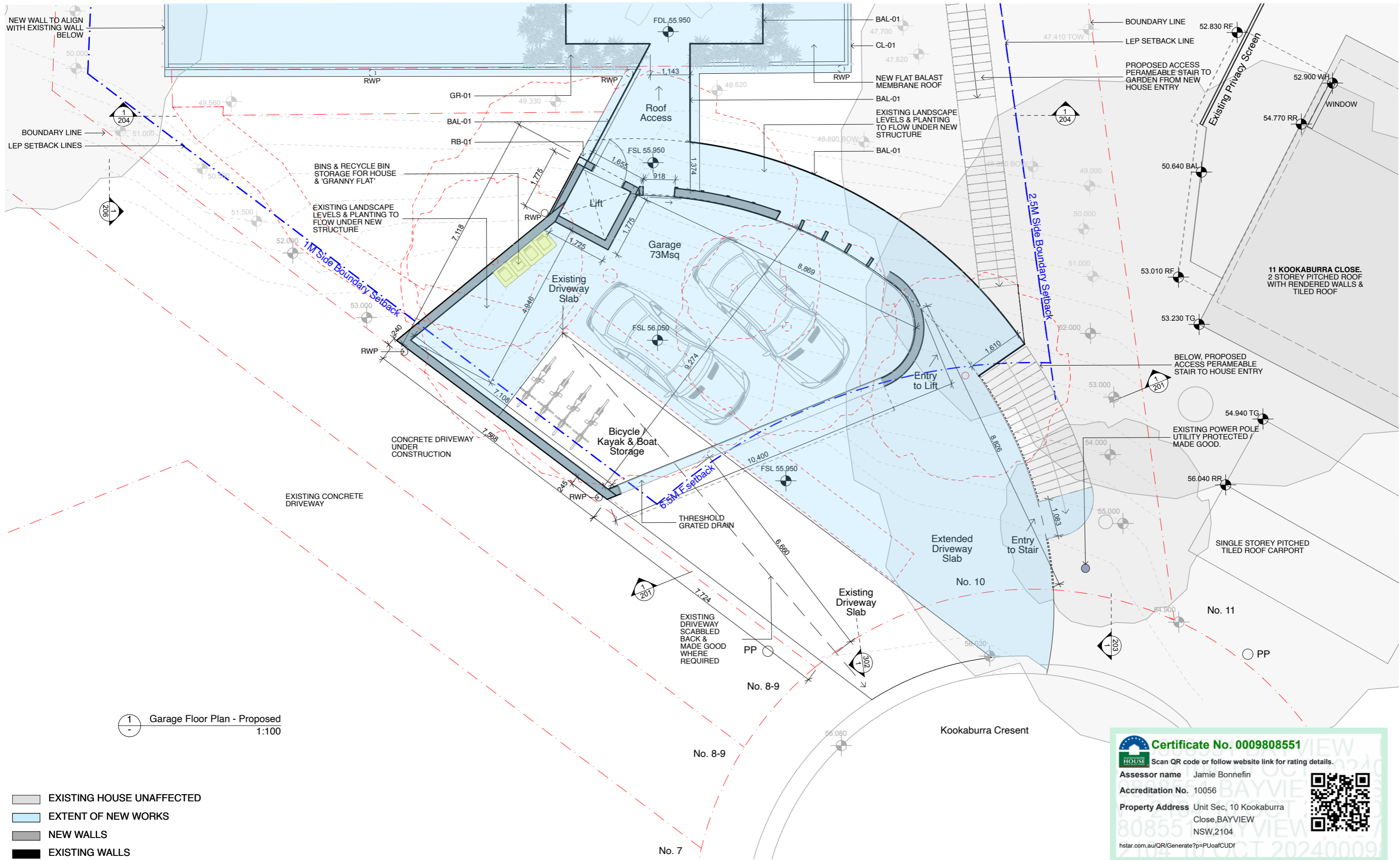
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
 CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH	A3		

SHEET TITLE
FIRST FLOOR PLAN 'MAIN HOUSE' - PROPOSED


ISSUE
DA103 L



1 Garage Floor Plan - Proposed
1:100

- EXISTING HOUSE UNAFFECTED
- EXTENT OF NEW WORKS
- NEW WALLS
- EXISTING WALLS
- DEMOLISHED ELEMENTS

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



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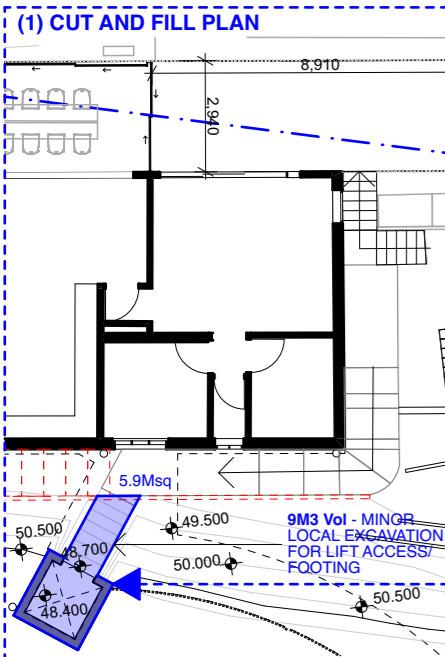
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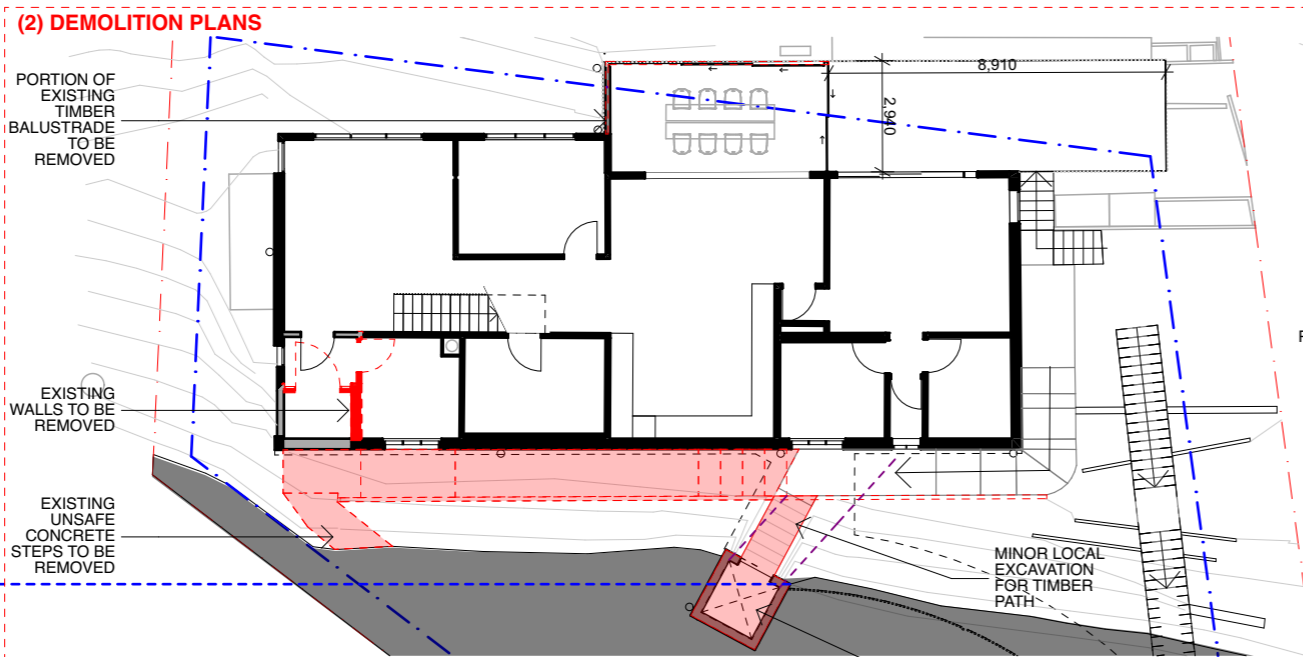
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				GARAGE FLOOR PLAN - PROPOSED	
CLIENTS: GEORGE AND KATHY CASHA		PROJECT NUMBER		SHEET NUMBER	
2401	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	ISSUE
		LOS / EH	EH	A3	DA104 L

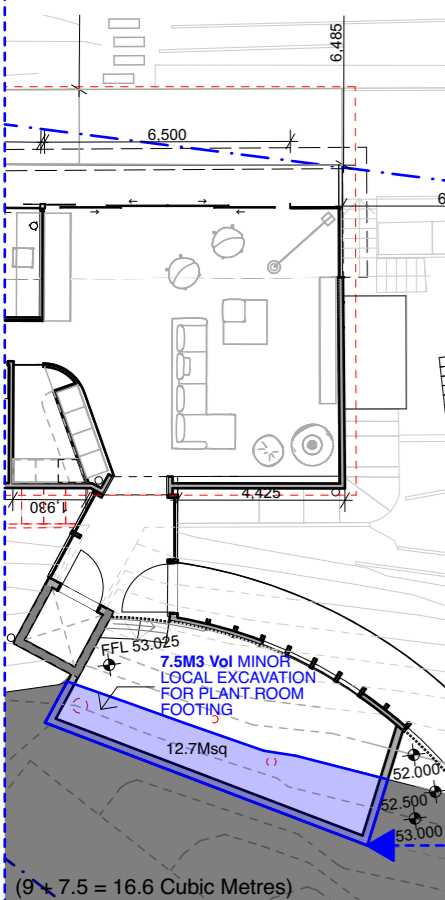
PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				GARAGE FLOOR PLAN - PROPOSED	
CLIENTS: GEORGE AND KATHY CASHA		PROJECT NUMBER		SHEET NUMBER	
2401	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	ISSUE
		LOS / EH	EH	A3	DA104 L



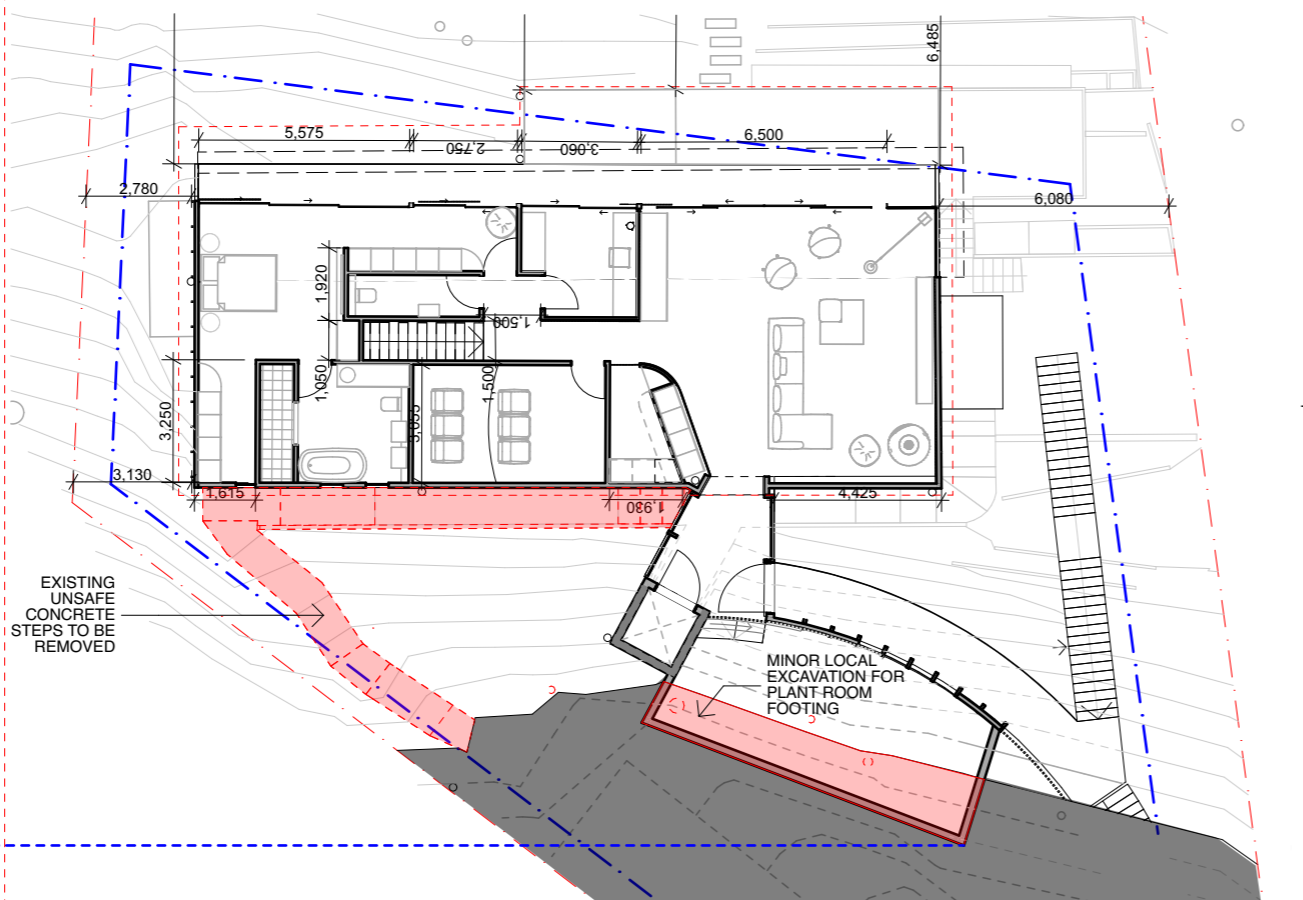
1 Lower Ground Level_Cut & Fill Plan
1:200



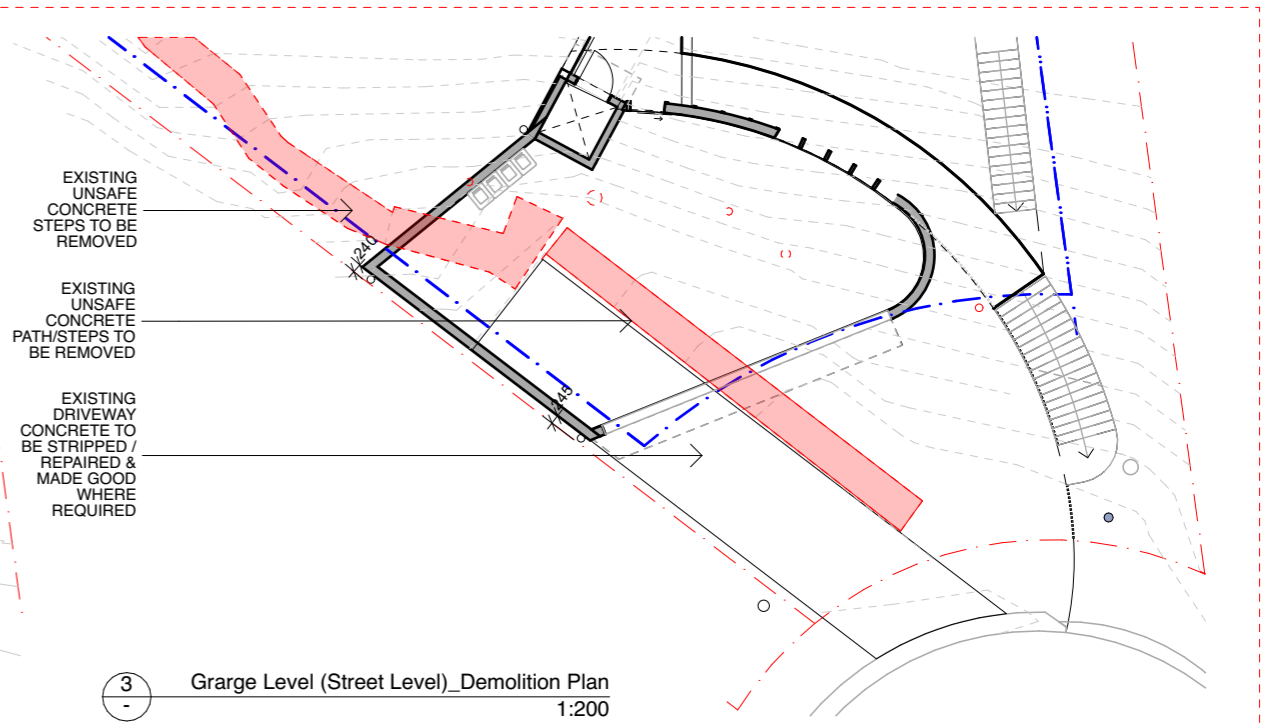
1 Lower Ground Level_Demolition Plan
1:200



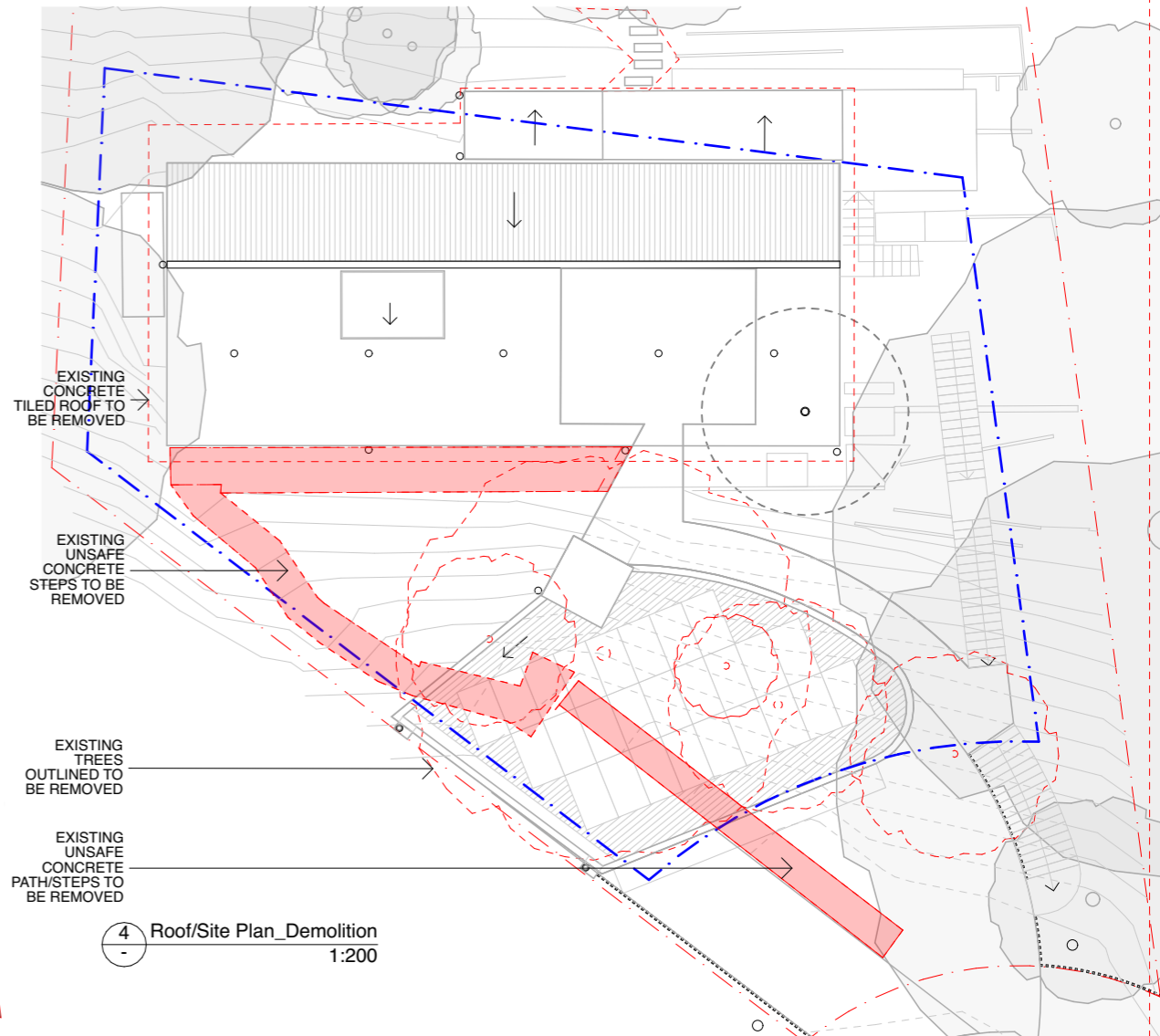
2 Level 1_Cut & Fill Plan
1:200



2 Level 1_Demolition Plan
1:200



3 Garage Level (Street Level)_Demolition Plan
1:200



4 Roof/Site Plan_Demolition
1:200

- CUT AREA (16.6 Cubic Metres)
- FILL AREA (NO FILL REQUIRED)
- DEMOLISHED ELEMENTS
- DEMOLISHED WALLS

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				FLOOR PLANS - (1)CUT & FILL &(2)DEMOLITION	
CLIENTS GEORGE AND KATHY CASHA				SHEET NUMBER	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3

ISSUE
DA105 L

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK

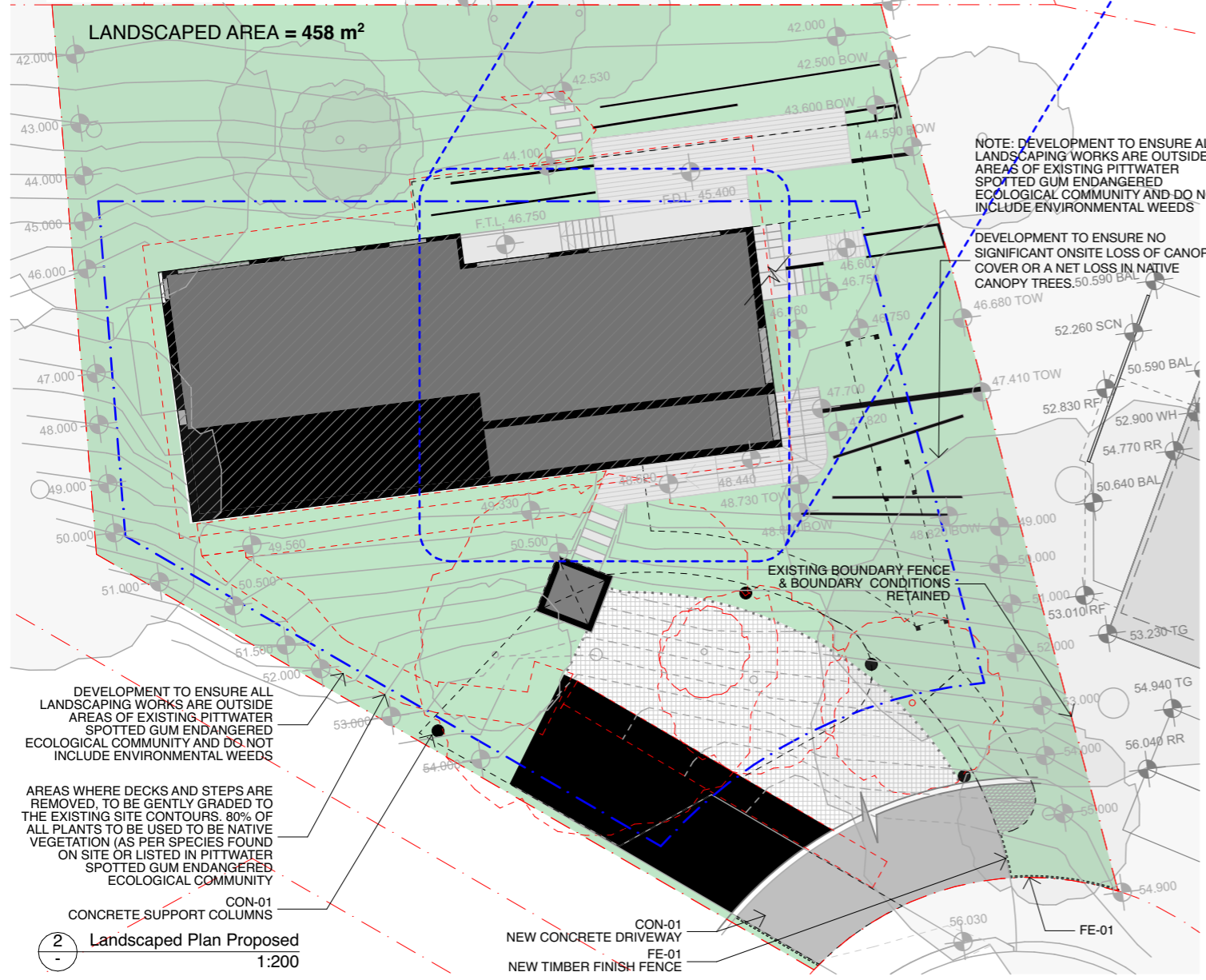
NOTE: REFER TO DA 601

LANDSCAPE AREA CALCULATIONS
 DCP REQUIRED LANDSCAPED AREA = >60%

SURVEYED SITE AREA - 791m²

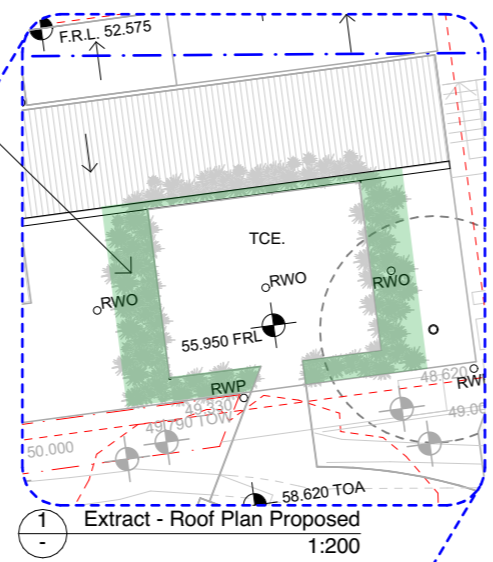
PROPOSED LANDSCAPED AREA = 458m² + 16m² Roof Garden (474m²)

NOTE: BESIDES THE GREEN ROOF, THE ONLY PLANTING PROPOSED IS WHERE STEPS & DECKS ARE REMOVED. ANY PLANTS USED ARE TO HAVE AT LEAST 80% NATIVE VEGETATION, AS PER SPECIES FOUND ON THE SITE OR LISTED IN PITTWATER SPOTTED GUM ENDANGERED ECOLOGICAL COMMUNITY.



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GF-01
 NEW GREEN ROOF PLANTING- 80% OF ALL PLANTS TO BE USED IN GREEN ROOF TO BE NATIVE VEGETATION (AS PER SPECIES FOUND ON SITE OR LISTED IN PITTWATER SPOTTED GUM ENDANGERED ECOLOGICAL COMMUNITY)

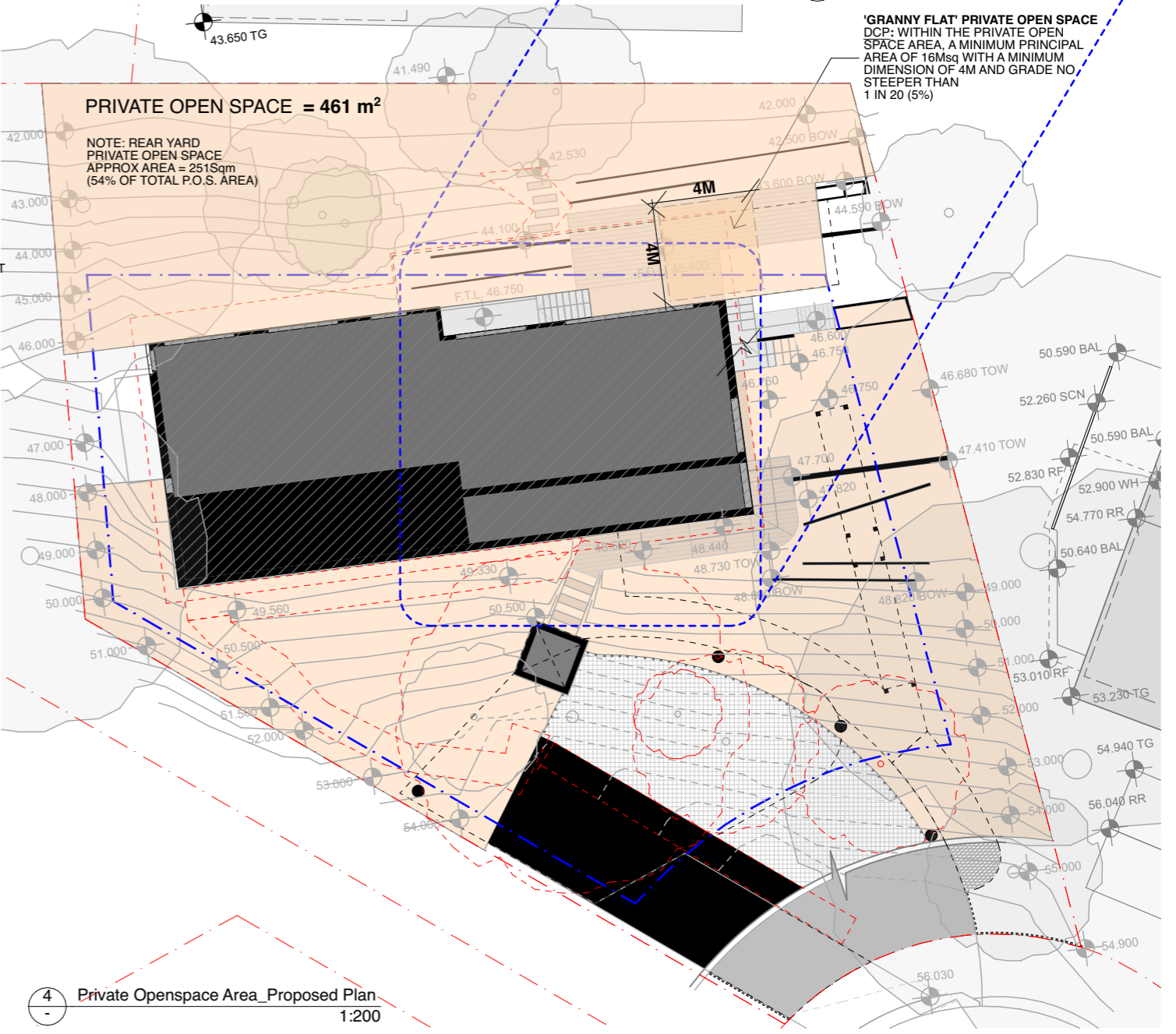


PRIVATE OPEN SPACE AREA CALCULATIONS

SURVEYED SITE AREA - 791m²

NOTE: DCP: MINIMUM 80M² OF PRIVATE OPEN SPACE PER DWELLING AT GROUND LEVEL, WITH NO DIMENSION LESS THAN 3 METRES. NO MORE THAN 75% OF THIS PRIVATE OPEN SPACE IS TO BE PROVIDED IN THE FRONT YARD.

PRIVATE OPEN SPACE AREA = 461m² 54%(251M²) TO REAR



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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104

CLIENTS
GEORGE AND KATHY CASHA

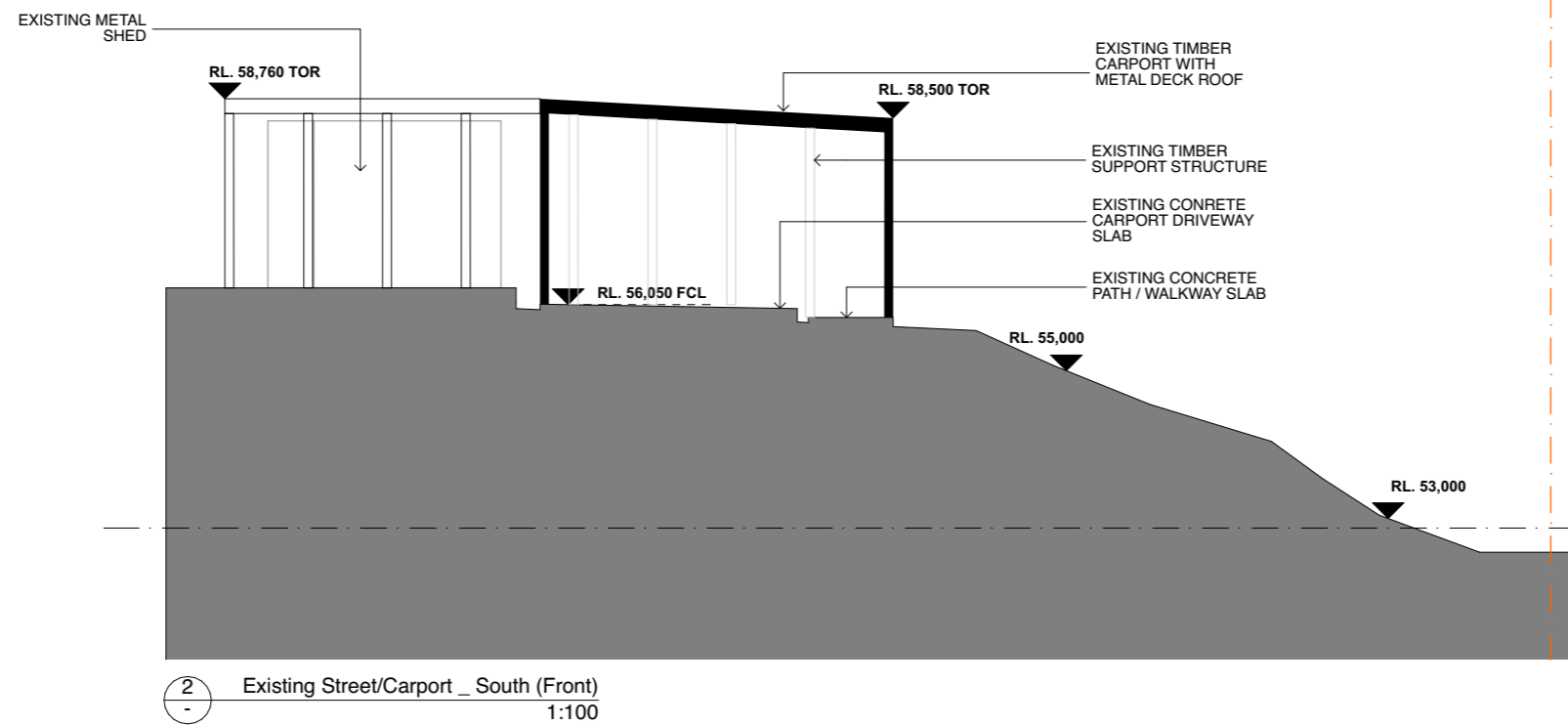
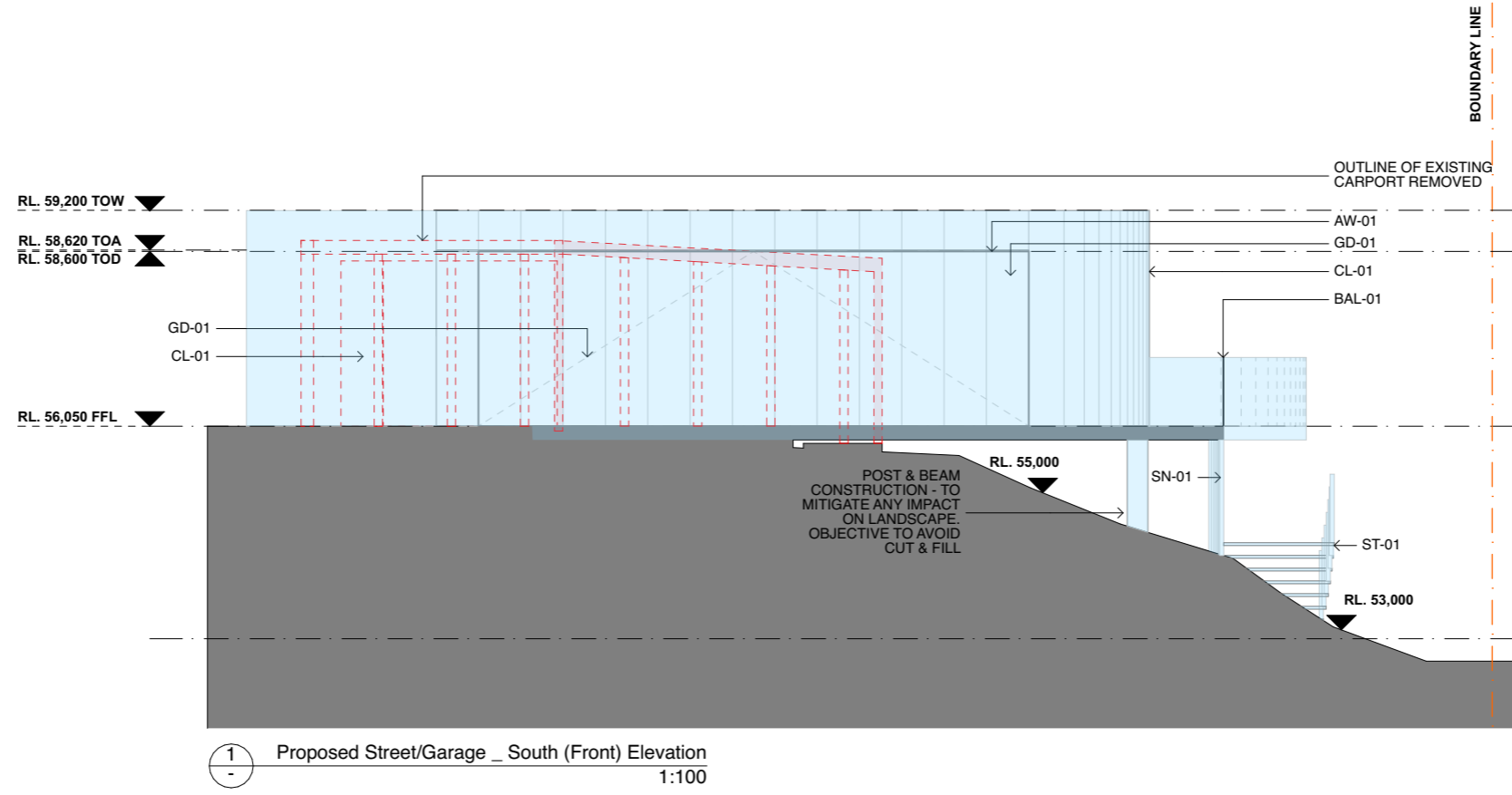
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SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS



Certificate No. 0009808551

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Assessor name: Jamie Bonnefin

Accreditation No. 10056

Property Address: Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104

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ISSUE	DATE	DESCRIPTION			
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SECTIONAL ELEVATIONS - SHEET 1	
CLIENTS					
GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
					SHEET NUMBER
					DA201
					ISSUE
					L


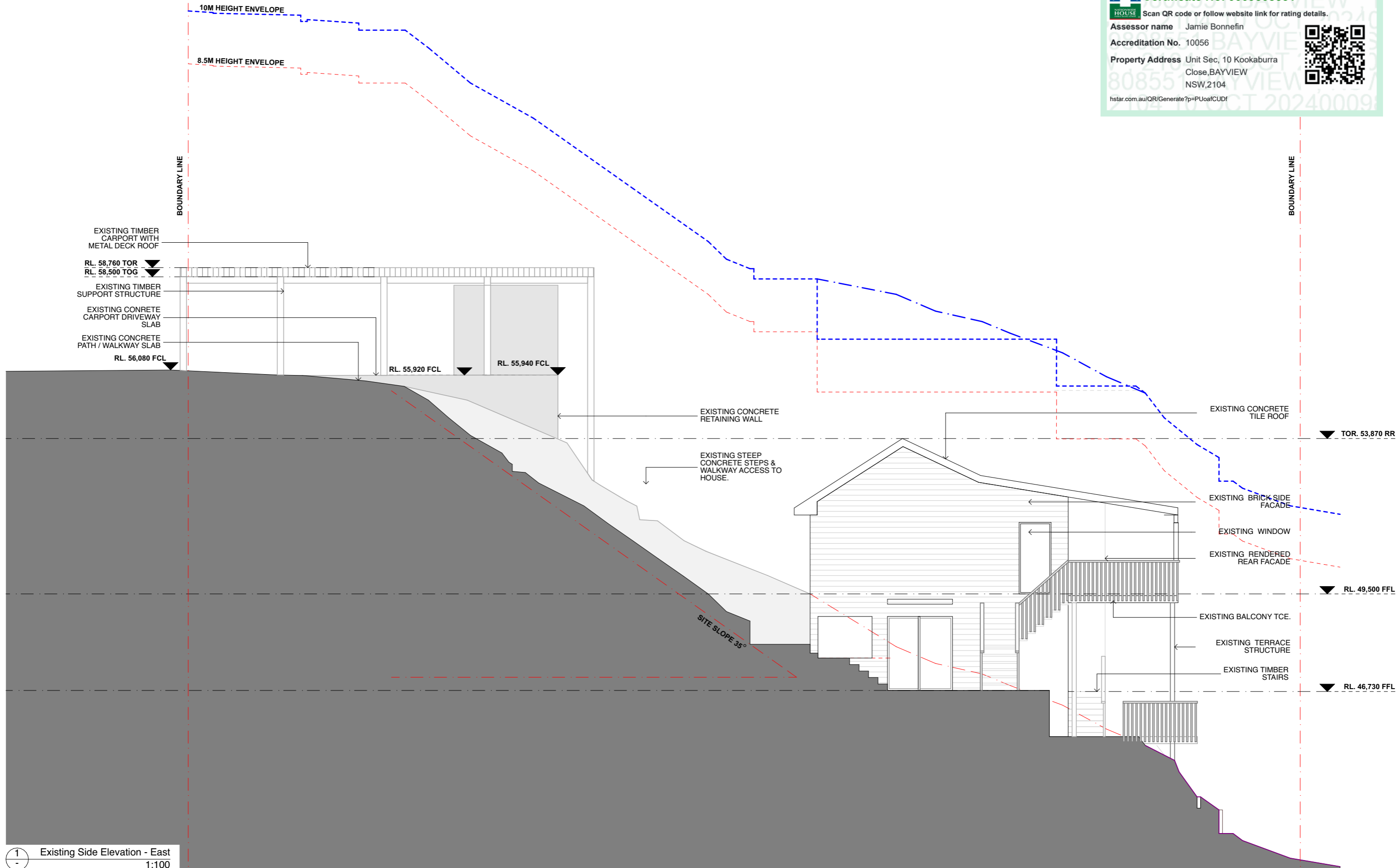
DA201 L

Certificate No. 0009808551
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Assessor name Jamie Bonnefin
 Accreditation No. 10056

Property Address Unit Sec, 10 Kookaburra
 Close, BAYVIEW
 NSW, 2104

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1 Existing Side Elevation - East
 1:100

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ISSUE	DATE	DESCRIPTION	K	L	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE SECTIONAL ELEVATIONS - SHEET 2	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		ISSUE	
2401		PLOT DATE		DRAWN		SHEET NUMBER	
				LOS / EH EH		DA202 L	
				CHECKED		SHEET SCALE	
						SHEET SIZE	
						A3	

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS

Certificate No. 0009808551

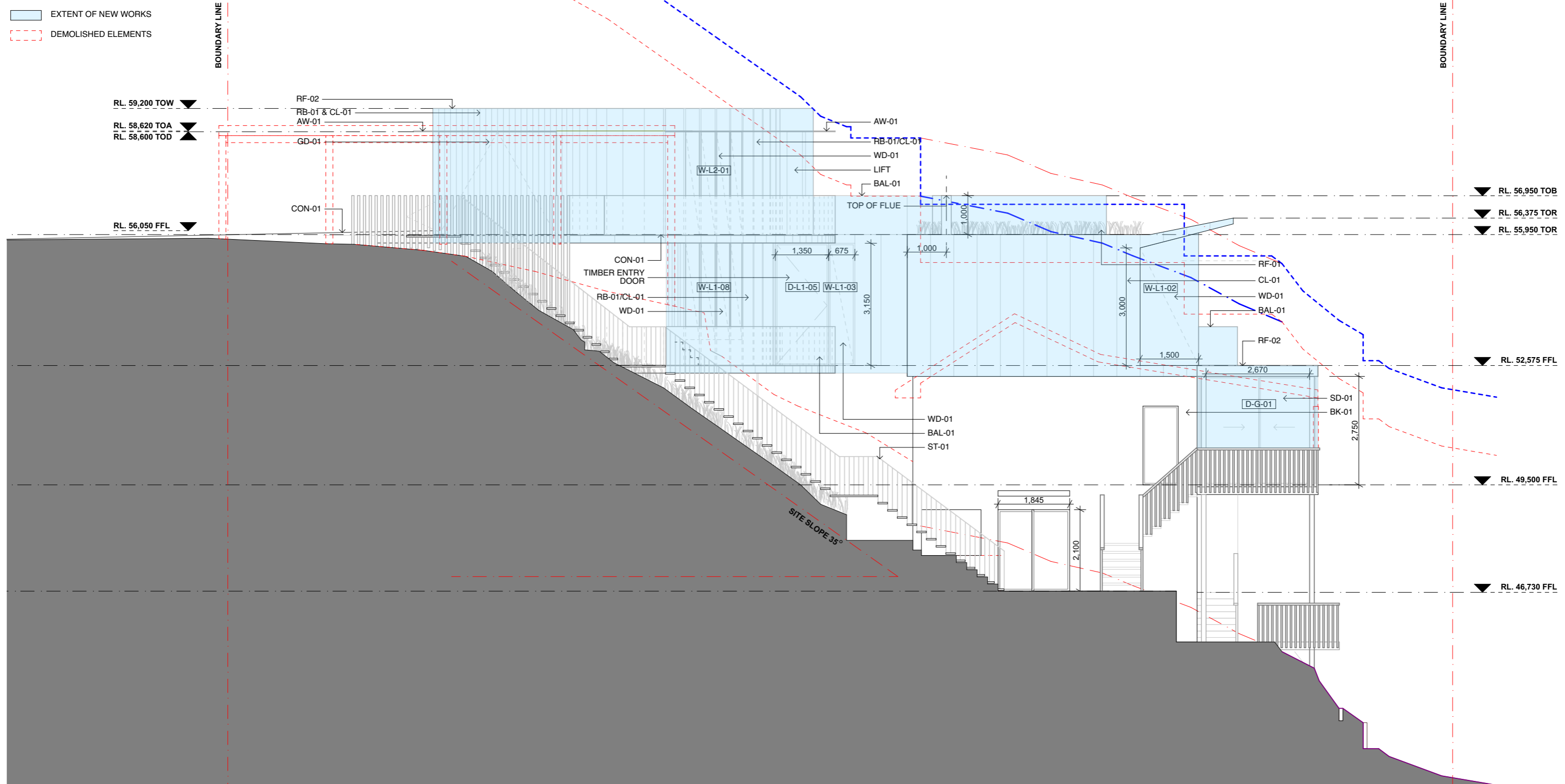
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Assessor name Jamie Bonnefin

Accreditation No. 10056

Property Address Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104

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1 Proposed Side Elevation - East
1:100

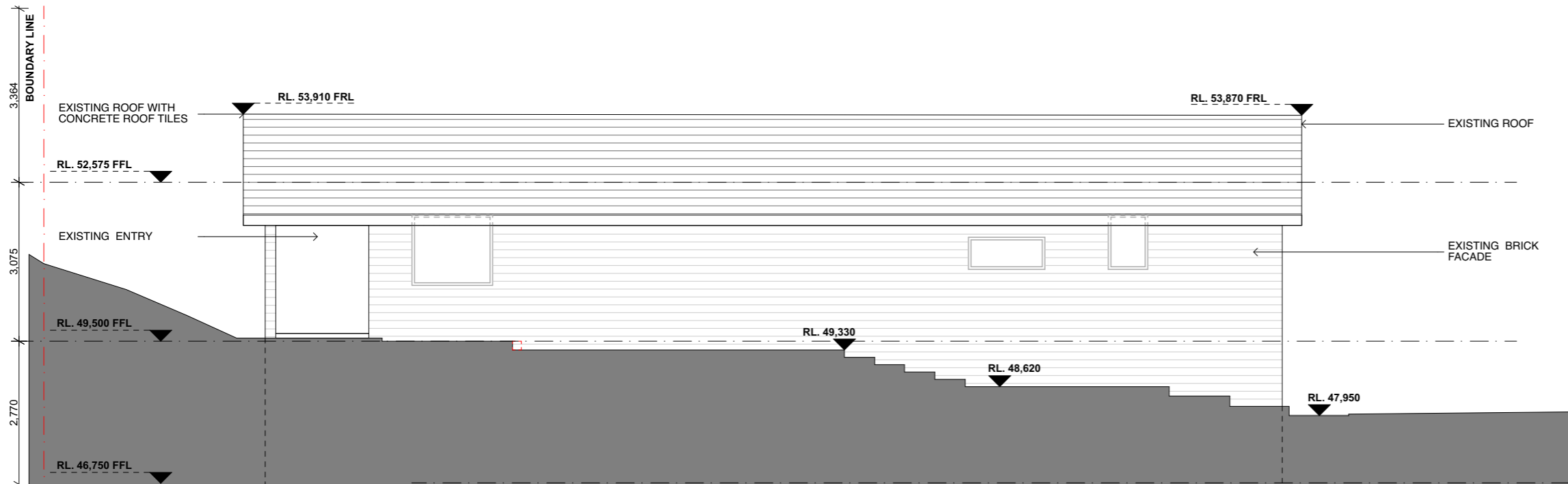
ISSUE	DATE	DESCRIPTION	BY	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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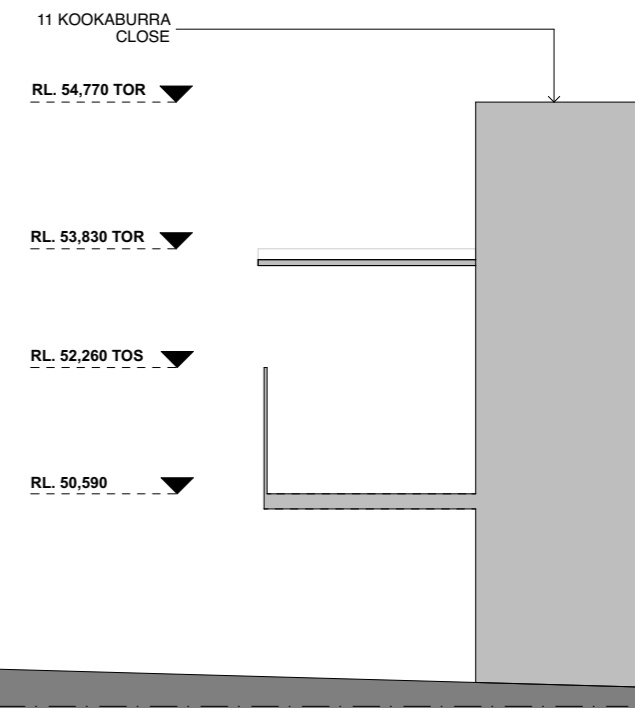
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 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996				NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104						SECTIONAL ELEVATIONS - SHEET 3	
CLIENTS GEORGE AND KATHY CASHA							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2401		LOS / EH	EH		A3		DA203 L



1 Existing Elevation - South
1:100

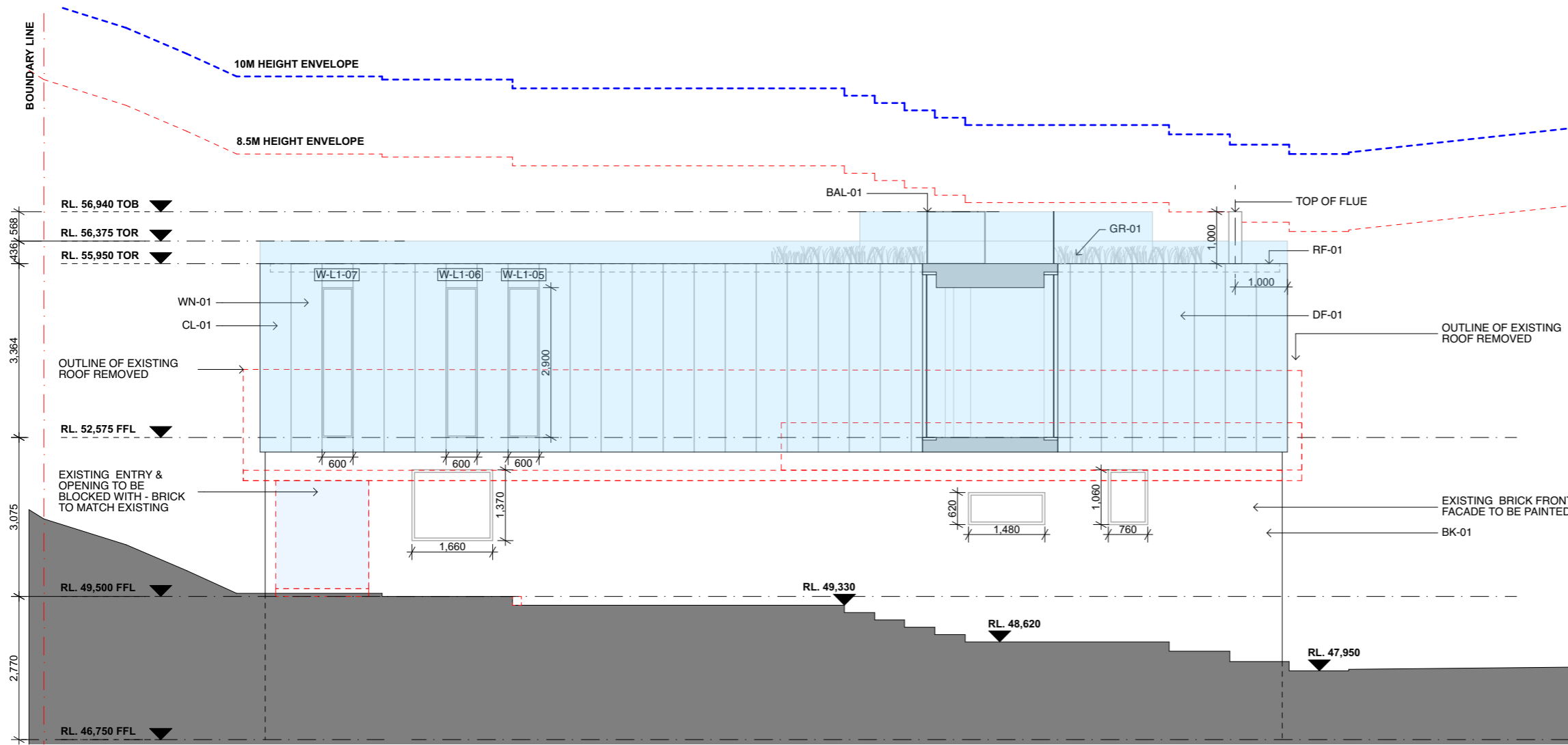


SAMPLE BOARD LEGEND

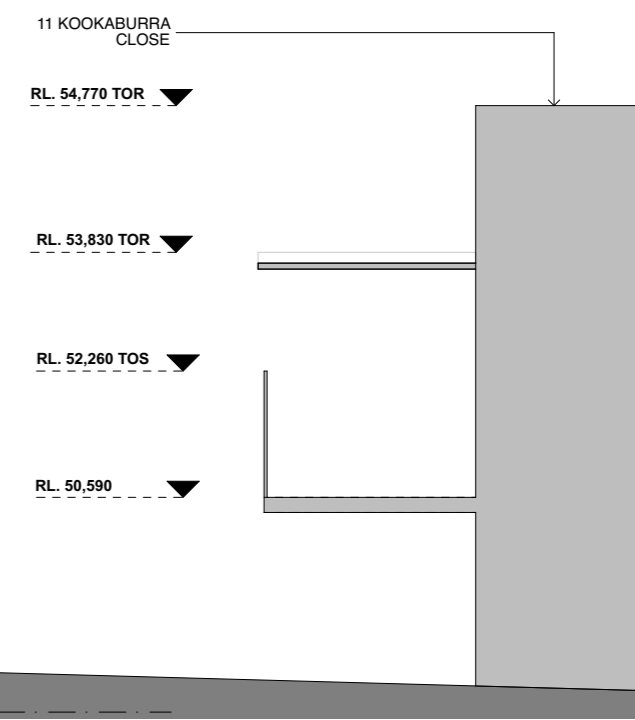
- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS



2 Proposed Elevation - South
1:100



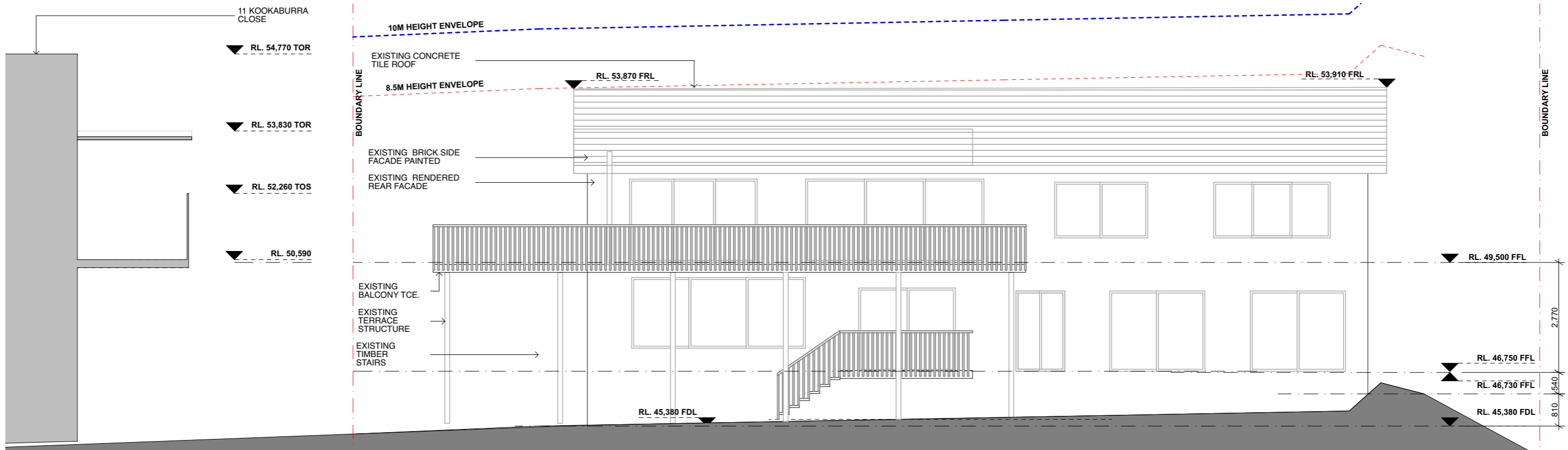
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ISSUE	DATE	DESCRIPTION	BY	DATE	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

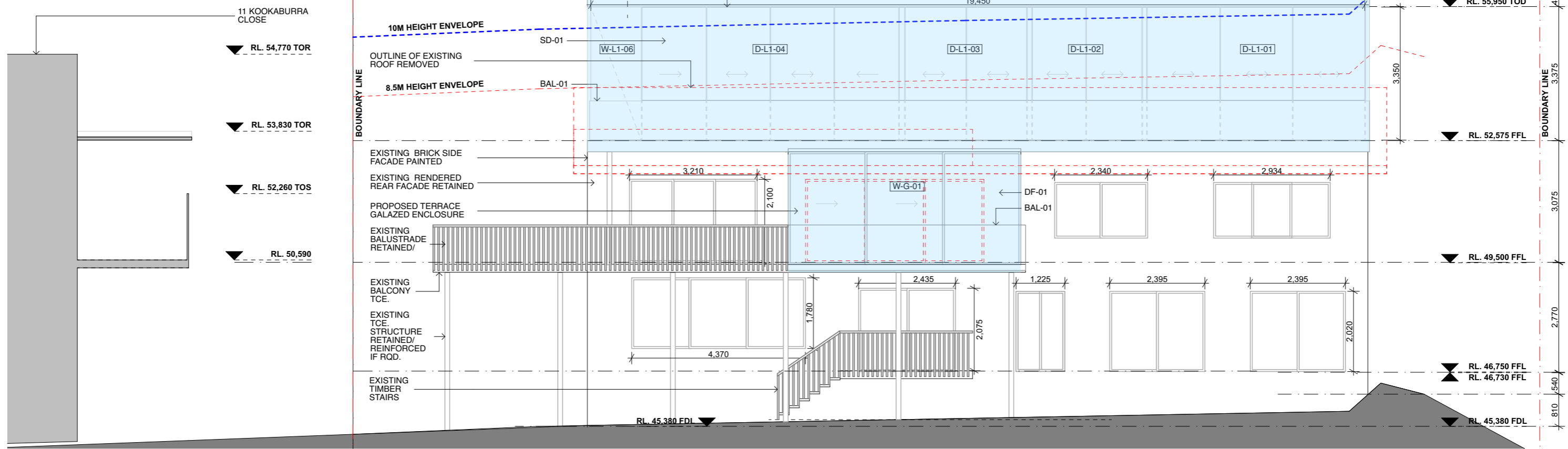
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SECTIONAL ELEVATIONS - SHEET 4	
CLIENTS GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
				SHEET NUMBER	ISSUE
				DA204	L



2 Existing Elevation - North
1:100



1 Proposed Elevation - North
1:100

ISSUE	DATE	DESCRIPTION	BY	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			


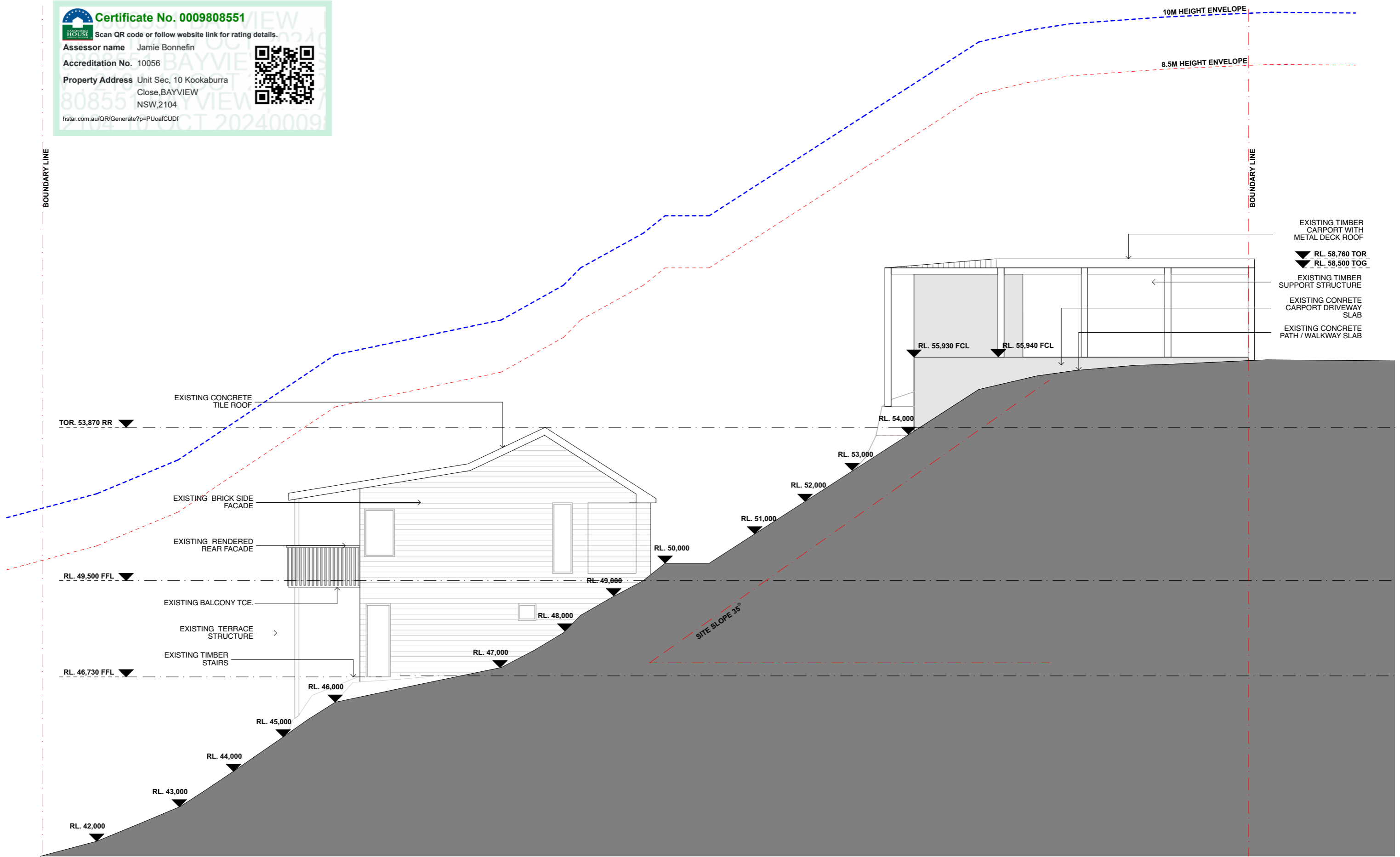
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SECTIONAL ELEVATIONS - SHEET 5	
CLIENTS					
GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
				SHEET NUMBER	ISSUE
				DA205	L

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 Accreditation No. 10056
 Property Address Unit Sec, 10 Kookaburra
 Close, BAYVIEW
 NSW, 2104
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1 Existing Side Elevation - West
1:100

ISSUE	DATE	DESCRIPTION	BY	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE SECTIONAL ELEVATIONS - SHEET 6	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER 2401		SHEET NUMBER	
DRAWN LOS / EH		CHECKED EH		SHEET SCALE		SHEET SIZE A3	
						ISSUE DA206 L	

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS

Certificate No. 0011524279-03

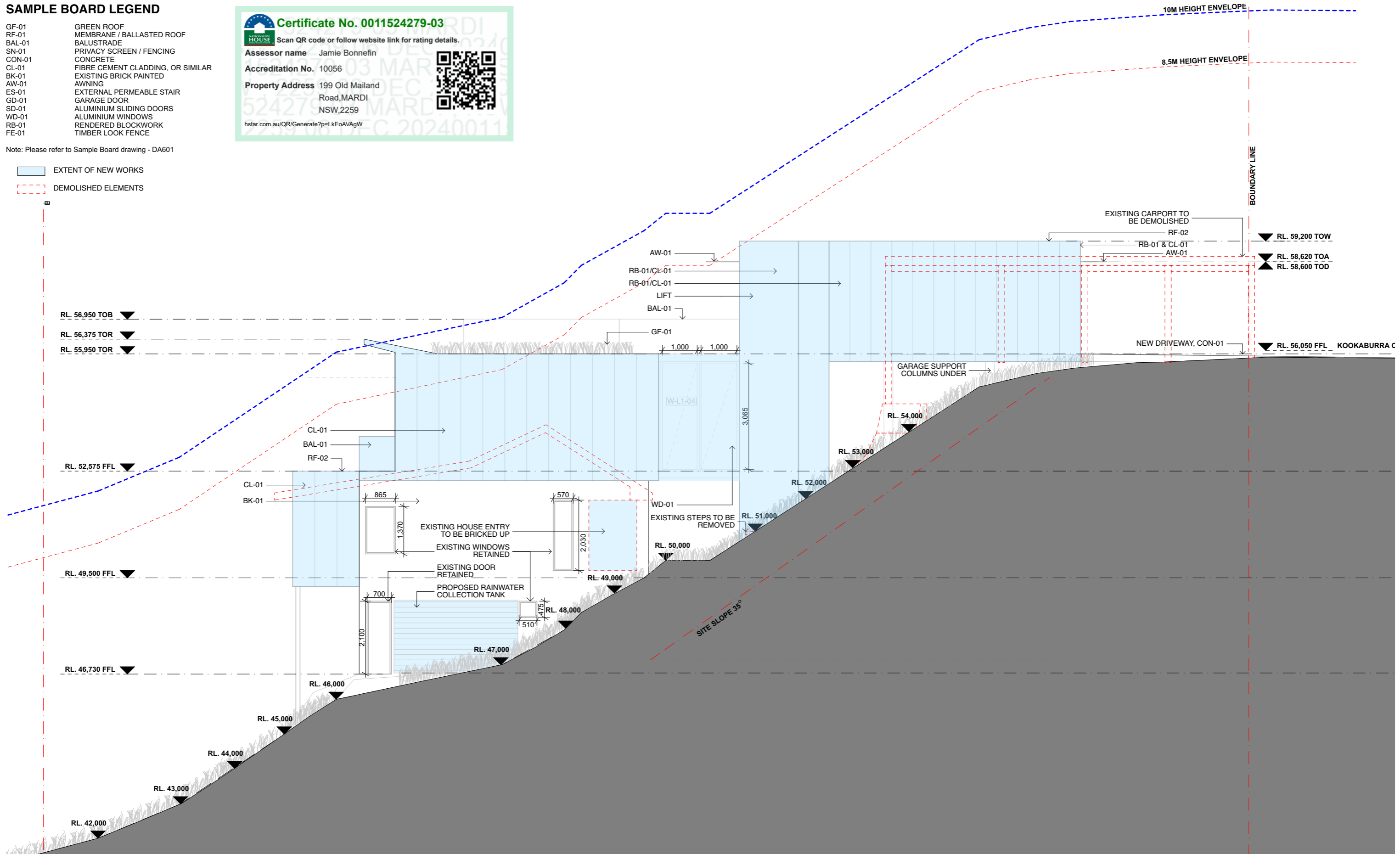
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Assessor name Jamie Bonnefin

Accreditation No. 10056

Property Address 199 Old Mailand Road, MARDI NSW, 2259

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1 Proposed Side Elevation - West
1:100

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ISSUE	DATE	DESCRIPTION	BY	DATE	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
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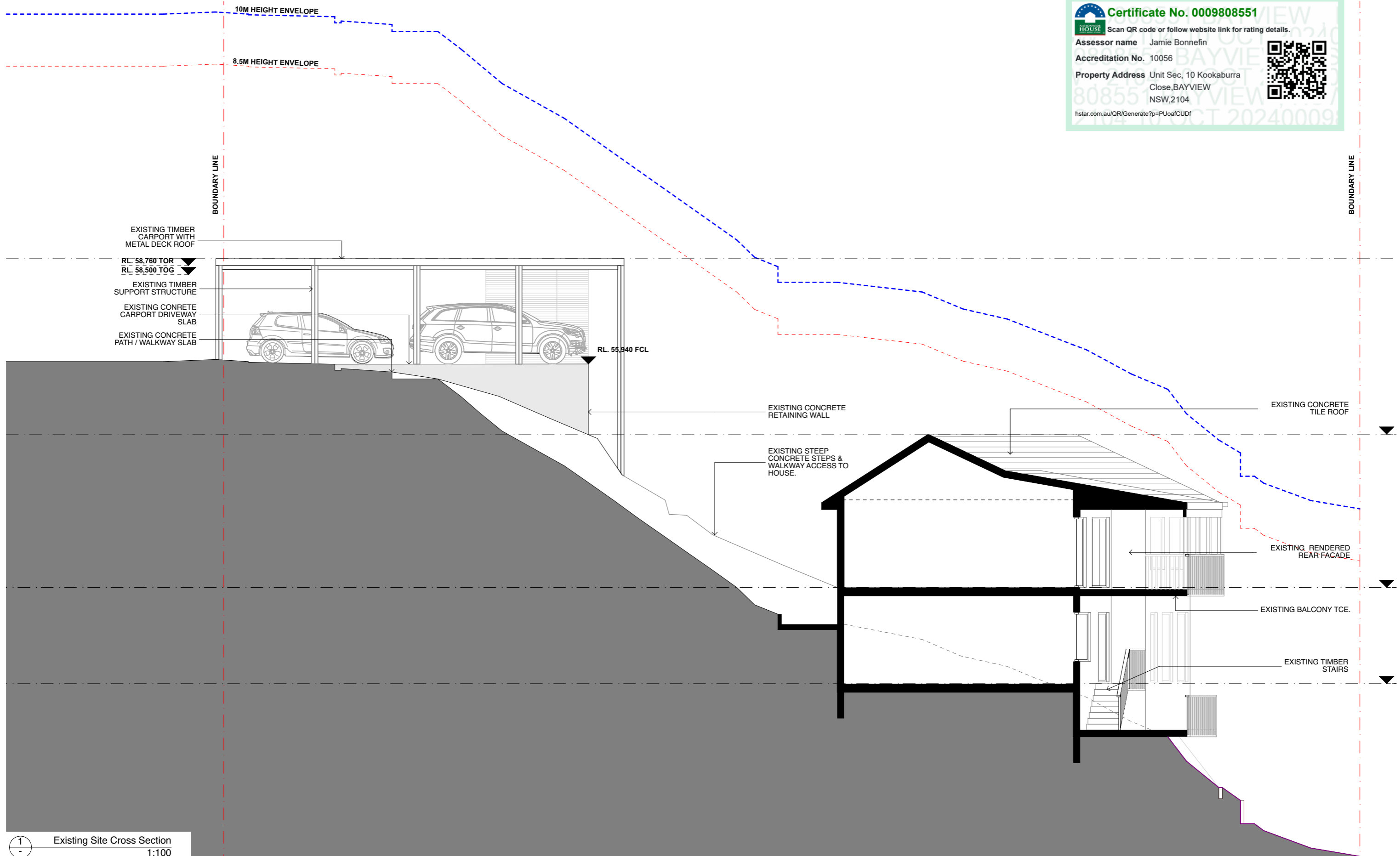
PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH	SHEET TITLE SECTIONAL ELEVATIONS - SHEET 7
CLIENTS GEORGE AND KATHY CASHA					
PROJECT NUMBER 2401	PLOT DATE	DRAWN LOS / EH	CHECKED EH	SHEET SCALE	SHEET SIZE A3
				SHEET NUMBER	ISSUE DA207 L

Certificate No. 0009808551
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Assessor name Jamie Bonnefin
 Accreditation No. 10056

Property Address Unit Sec, 10 Kookaburra
 Close, BAYVIEW
 NSW, 2104

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1 Existing Site Cross Section
 1:100

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ISSUE	DATE	DESCRIPTION	K	L	WIP ISSUE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE	
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE	
C	24.05.24	WORK IN PROGRESS ISSUE				
D	29.05.24	WORK IN PROGRESS / COSTING				
E	03.06.24	WIP GARAGE SIZE				
F	22.06.24	WIP ISSUE				
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H	01.08.24	WIP ISSUE				
J	09.08.24	WIP ISSUE				

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996				NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104						SITE CROSS SECTION - EXISTING	
CLIENTS GEORGE AND KATHY CASHA							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2401		LOS / EH	EH		A3		DA301 L

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK


NOTE: REFER TO DA 601

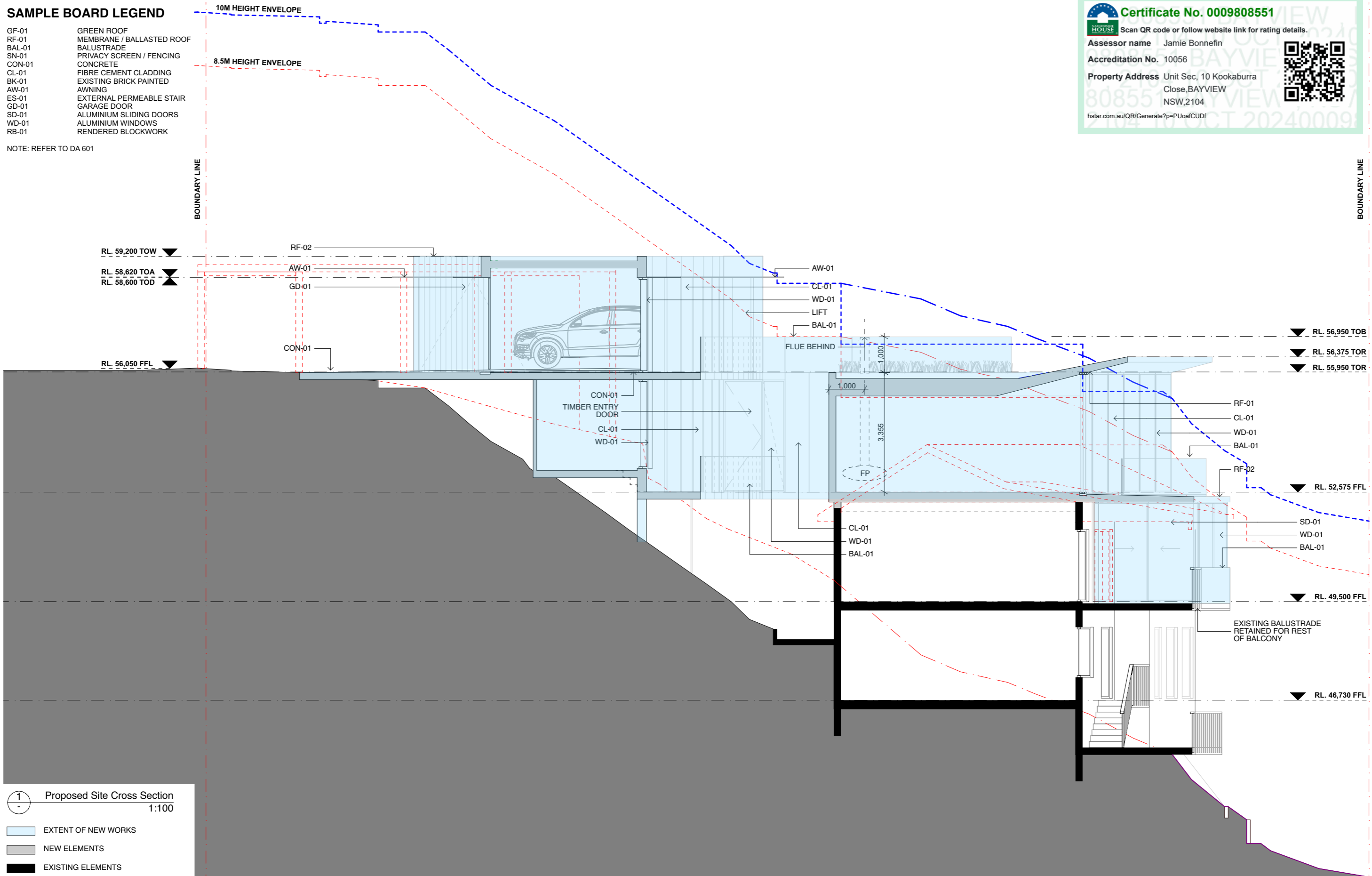
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Assessor name Jamie Bonnefin
 Accreditation No. 10056

Property Address Unit Sec, 10 Kookaburra
 Close, BAYVIEW
 NSW, 2104

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1 Proposed Site Cross Section
 1:100

- EXTENT OF NEW WORKS
- NEW ELEMENTS
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS

ISSUE	DATE	DESCRIPTION	K	L	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K		21.08.24	WIP ISSUE
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C	24.05.24	WORK IN PROGRESS ISSUE				
D	29.05.24	WORK IN PROGRESS / COSTING				
E	03.06.24	WIP GARAGE SIZE				
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J	09.08.24	WIP ISSUE				

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE SITE CROSS SECTION - PROPOSED	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER 2401		SHEET NUMBER DA302 L	
DRAWN LOS / EH EH		CHECKED EH		SHEET SCALE A3		ISSUE	

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED CONCRETE BLOCK
- FE-01 TIMBER LOOK FENCE

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GF-01 - GREEN ROOF



RF-01 - MEMBRANE / BALLASTED ROOF



BAL-01 - GLASS BALUSTRADE



SN-01 - SCREEN / FENCE - TIMBER LOOK



CON-01 - CONCRETE



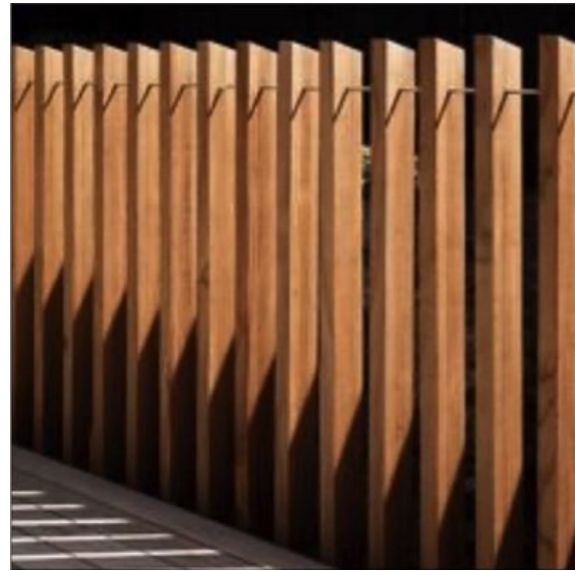
CL-01 - FIBRE CEMENT CLADDING / OR SIM.



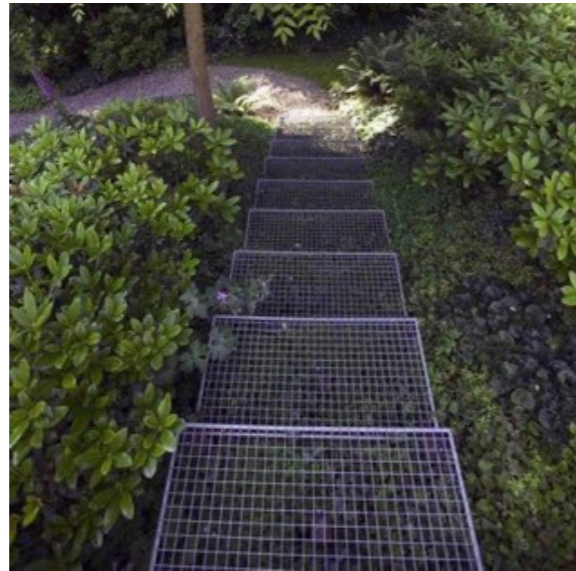
BK-01 - EXISTING BRICK PAINTED



AW-01 - SOLAR / WEATHER AWNING



FE-01 - TIMBER LOOK FENCE



ES-01 - EXTERNAL PERMEABLE STAIRS



GD-01 - GARAGE DOOR



SD-01 - ALUMINIUM SLIDING DOORS



WD-01 - ALUMINIUM WINDOWS
RB-01 - RENDERED CONCRETE BLOCK

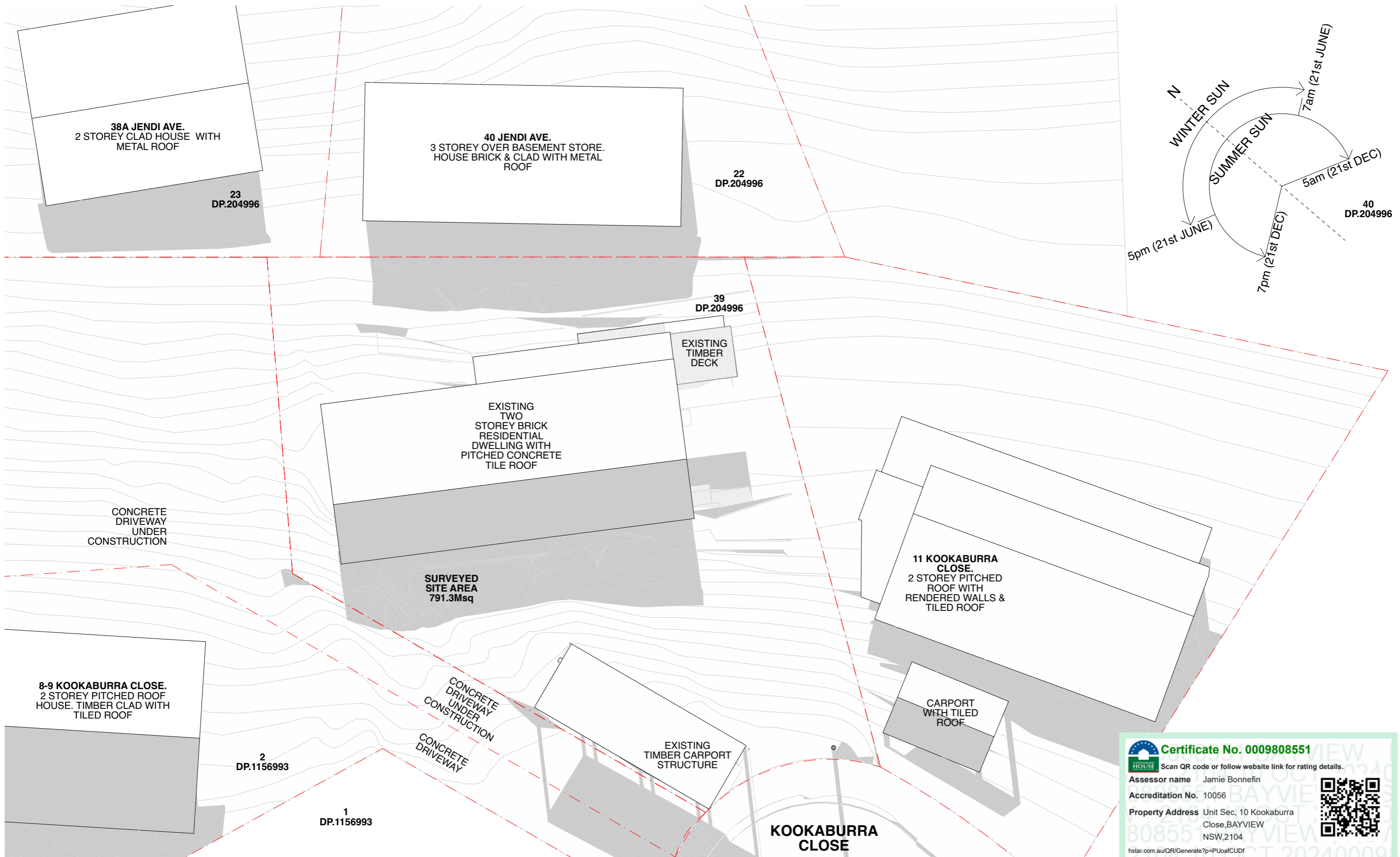
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J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE FINISHES SCHEDULE	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		DRAWN LOS / EH		CHECKED EH		SHEET SCALE A3	
ISSUE						DA601 L	



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 Accreditation No. 10056
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1 EXISTING SHADOW DIAGRAM_JUNE 21_9AM
 1:200

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J	09.08.24	WIP ISSUE			

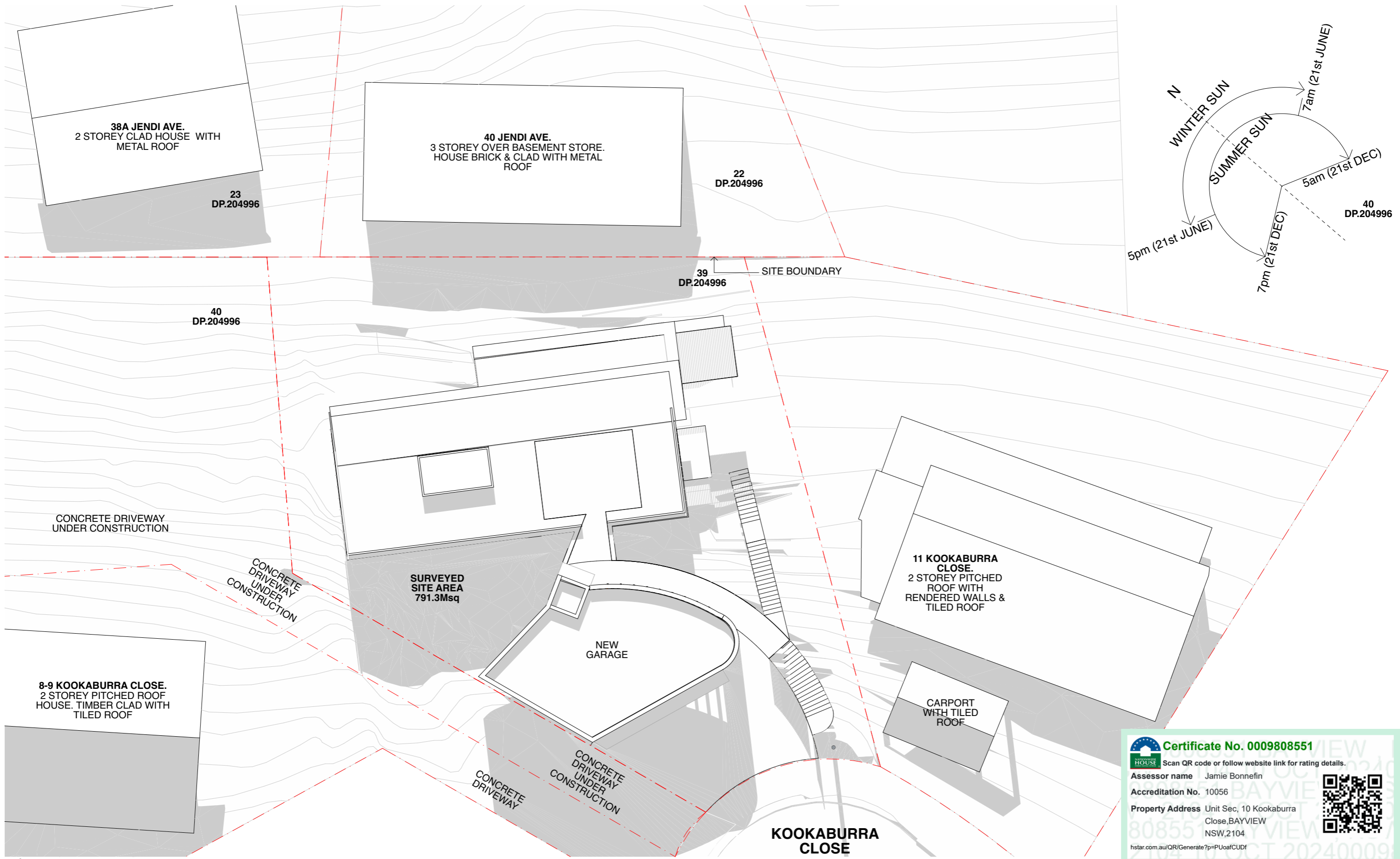
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				EXISTING SHADOW DIAGRAM - 9AM - JUNE 21	
CLIENTS GEORGE AND KATHY CASHA		SHEET SCALE		SHEET NUMBER	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SIZE	ISSUE
2401		LOS / EH	EH	A3	L

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DA602.1 L



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1 - PROPOSED SHADOW DIAGRAM_JUNE 21_9AM
 1:200

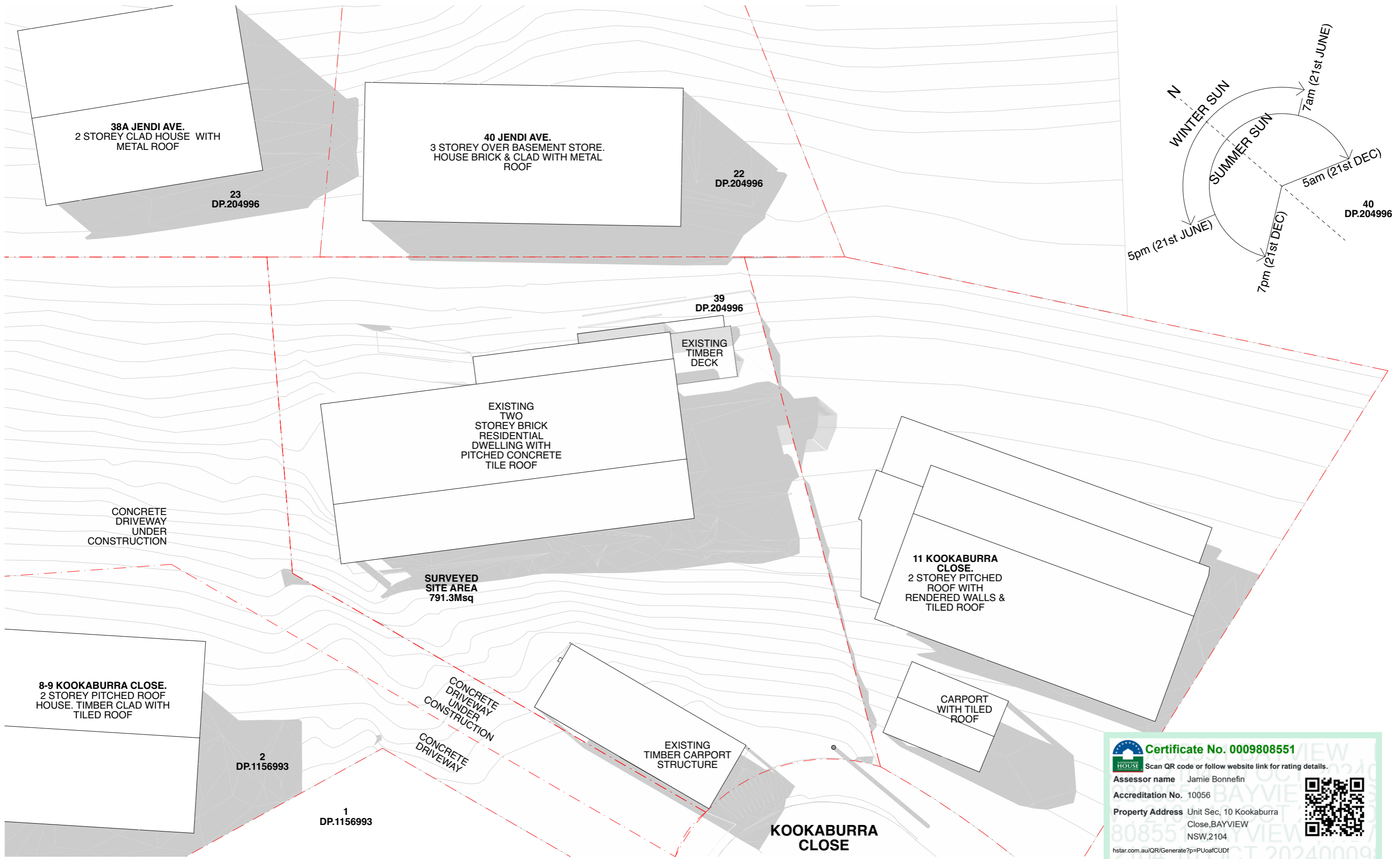
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CLIENTS GEORGE AND KATHY CASHA						PROPOSED SHADOW DIAGRAM - 9AM - JUNE	
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2401				LOS / EH EH		SHEET SIZE	
PLOT DATE				CHECKED		SHEET NUMBER	
						DA602.2 L	
DRAWN				SHEET SCALE		ISSUE	
				A3		L	



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1 - EXISTING SHADOW DIAGRAM_JUNE 21_12PM
1:200

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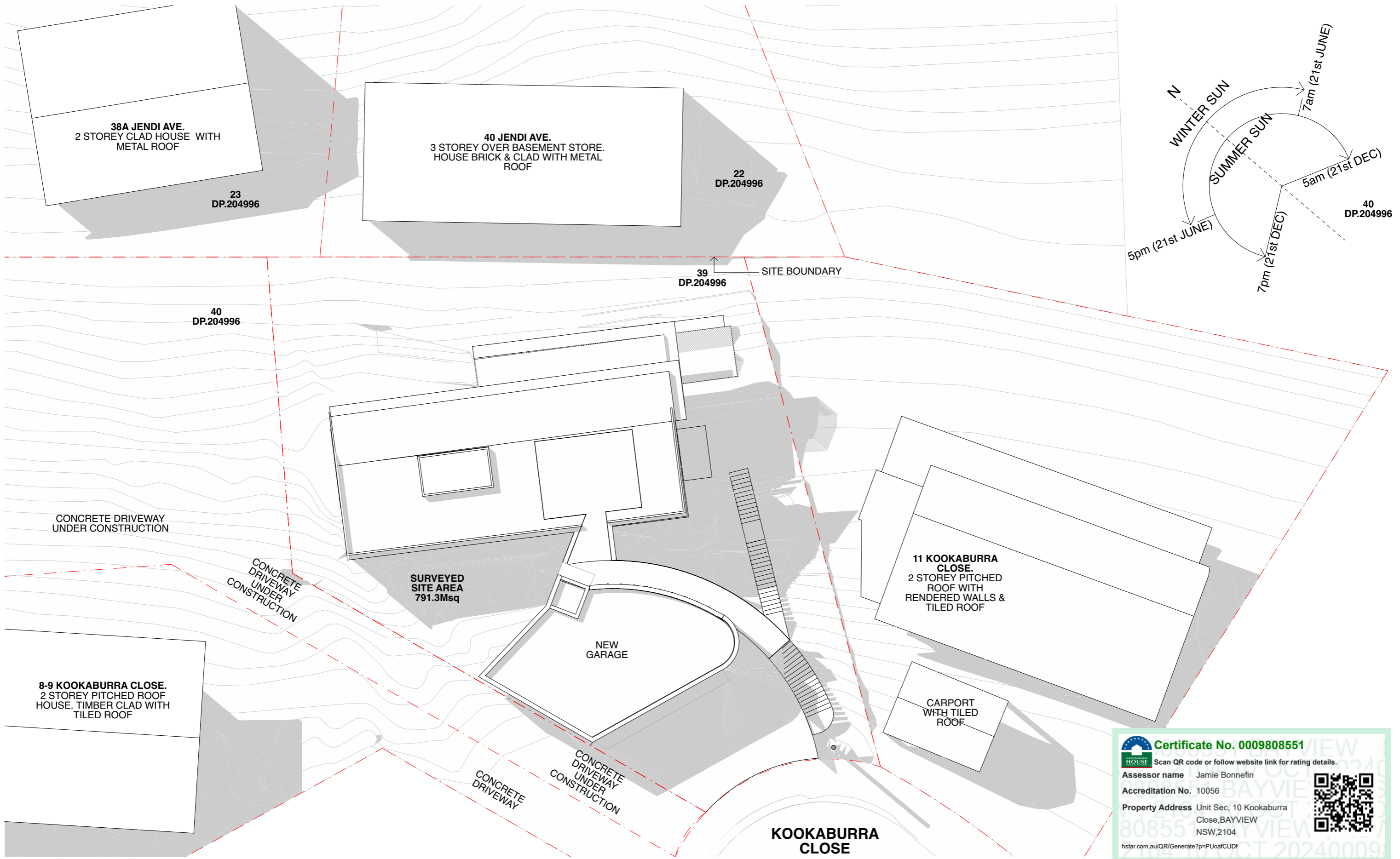
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10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				EXISTING SHADOW DIAGRAM - 12PM - JUNE 21	
CLIENTS: GEORGE AND KATHY CASHA		SHEET SCALE		CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH	A3	

ISSUE

DA603.1 L



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1 PROPOSED SHADOW DIAGRAM_JUNE 21_12PM
 1:200

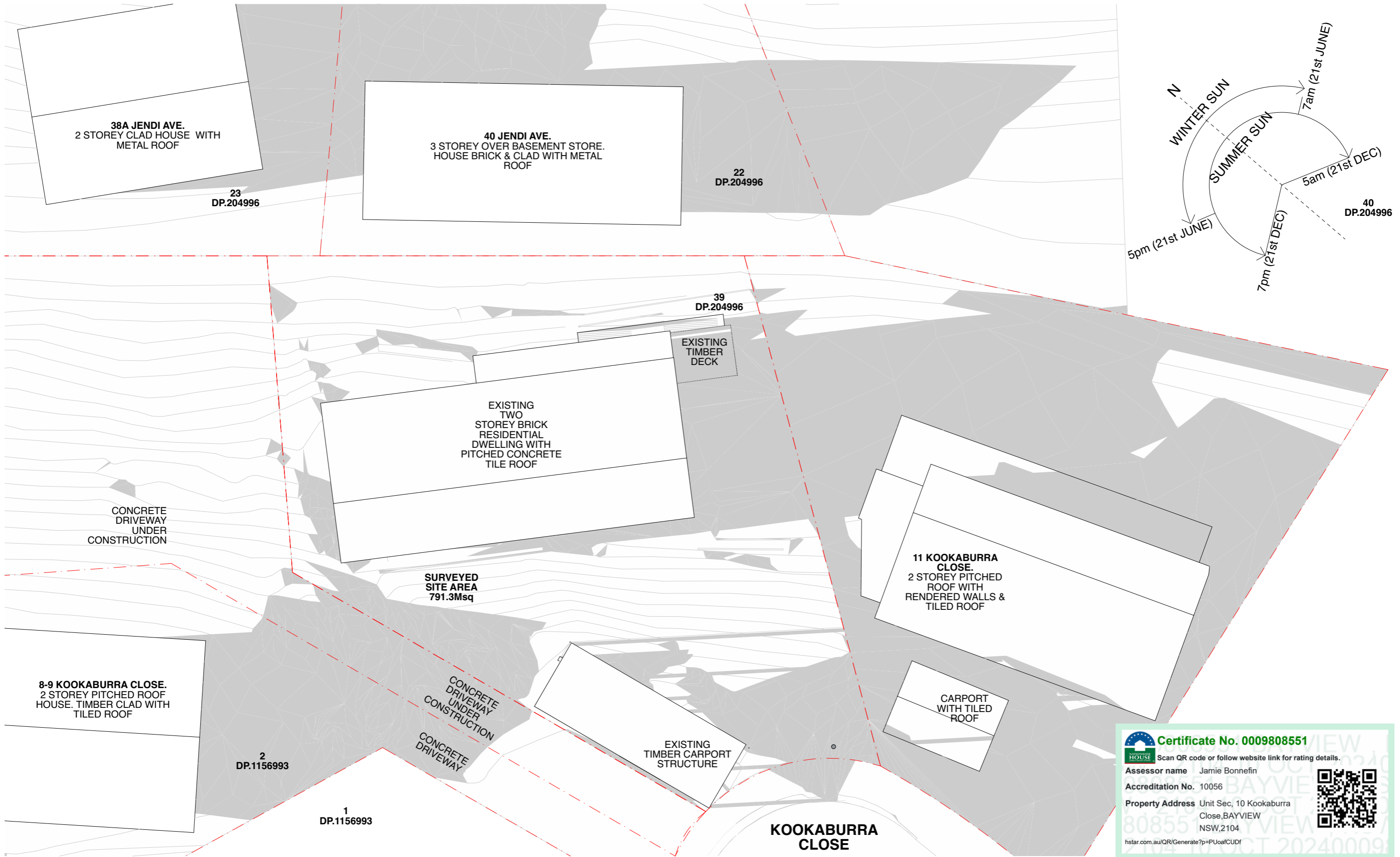
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2401		LOS / EH	EH		A3
					SHEET NUMBER
					ISSUE
					DA603.2 L



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1 EXISTING SHADOW DIAGRAM_JUNE 21_3PM
1:200

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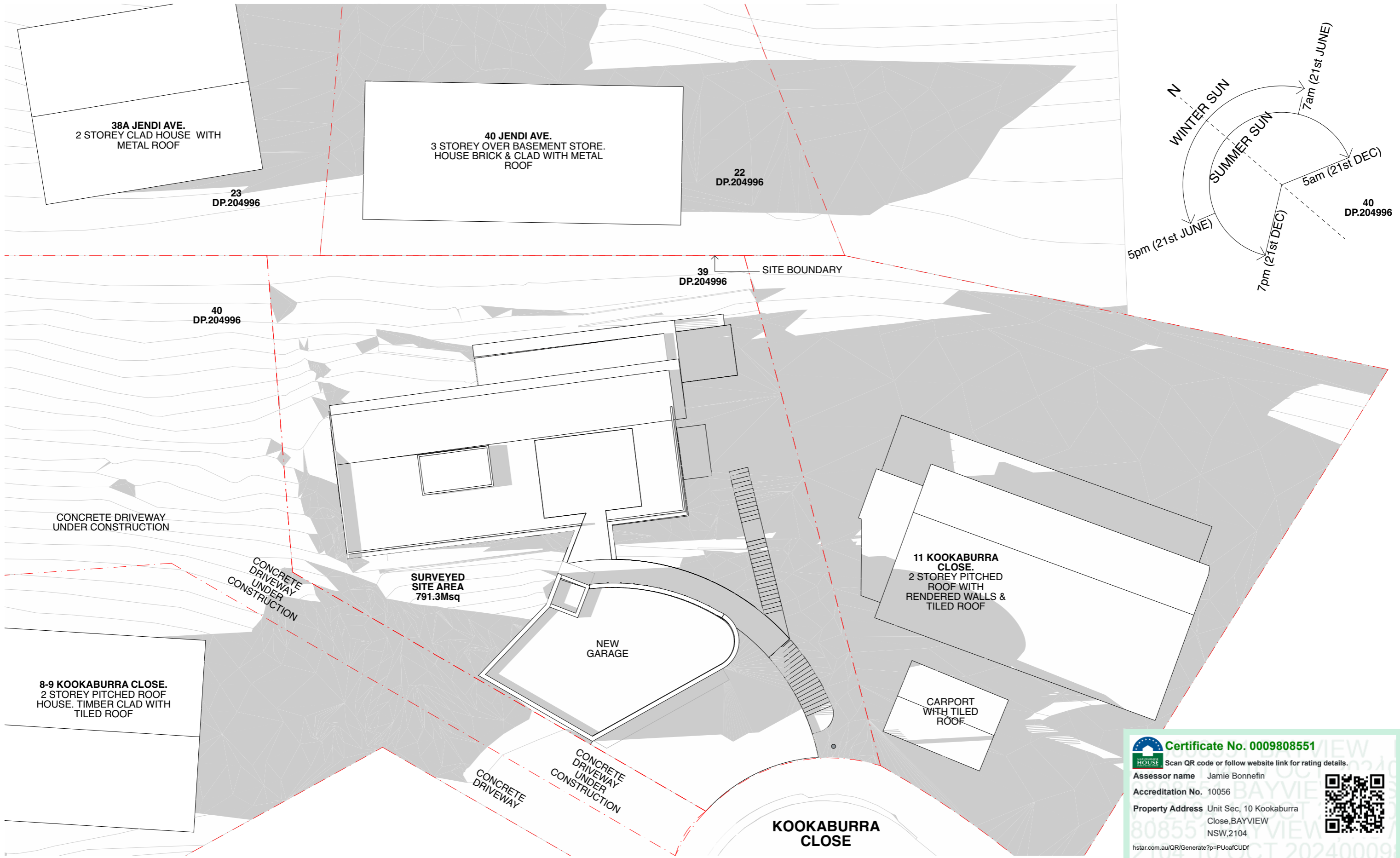
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 CLIENTS
GEORGE AND KATHY CASHA


PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3

SHEET TITLE
EXISTING SHADOW DIAGRAM - 3PM - JUNE 21
CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438

SHEET NUMBER	ISSUE
DA604.1	L



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1 - PROPOSED SHADOW DIAGRAM_JUNE 21_3PM
 1:200

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SHEET TITLE
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CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438

SHEET NUMBER	ISSUE
DA604.2	L

BUILT UPON AREA CALCULATIONS


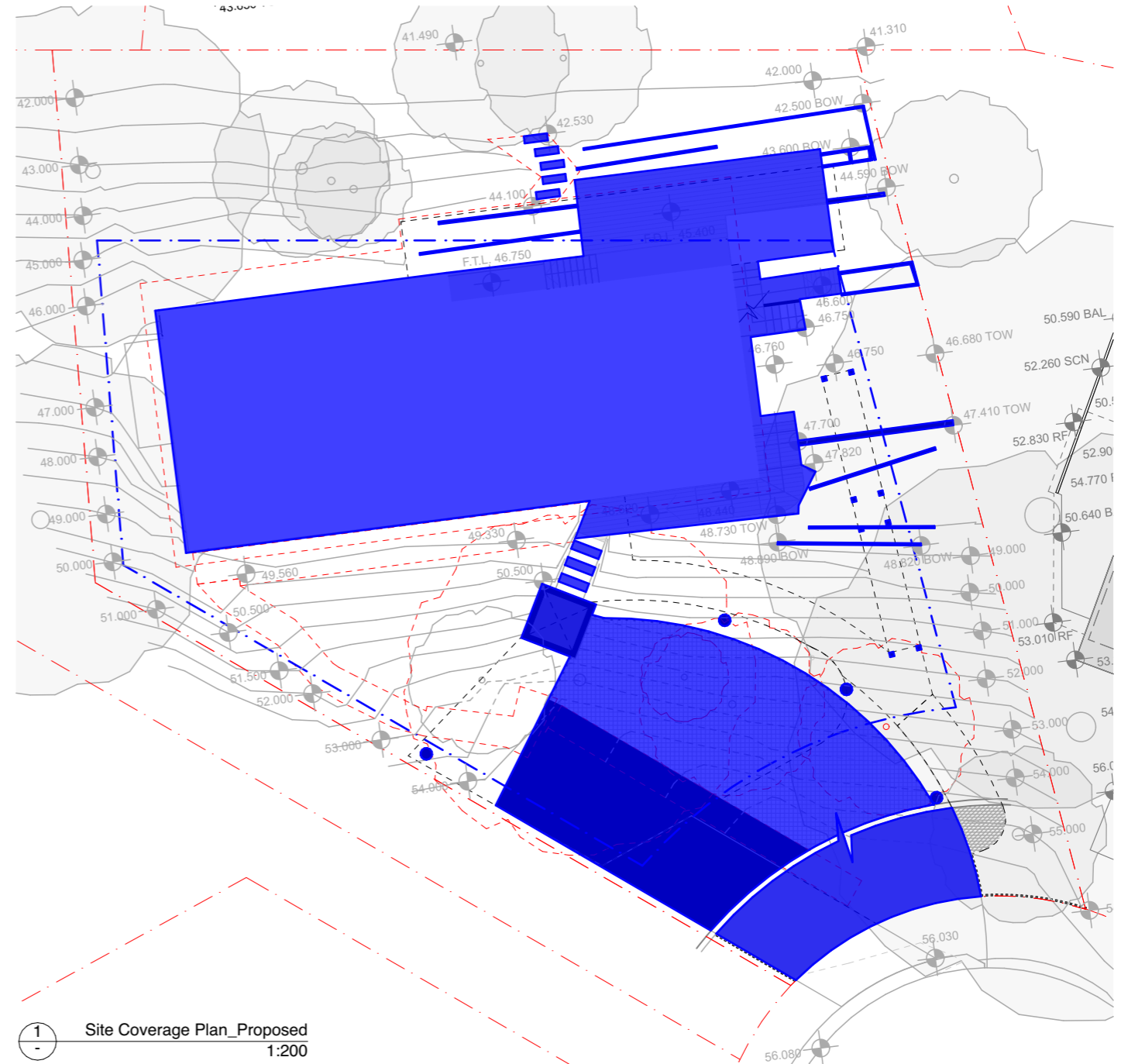
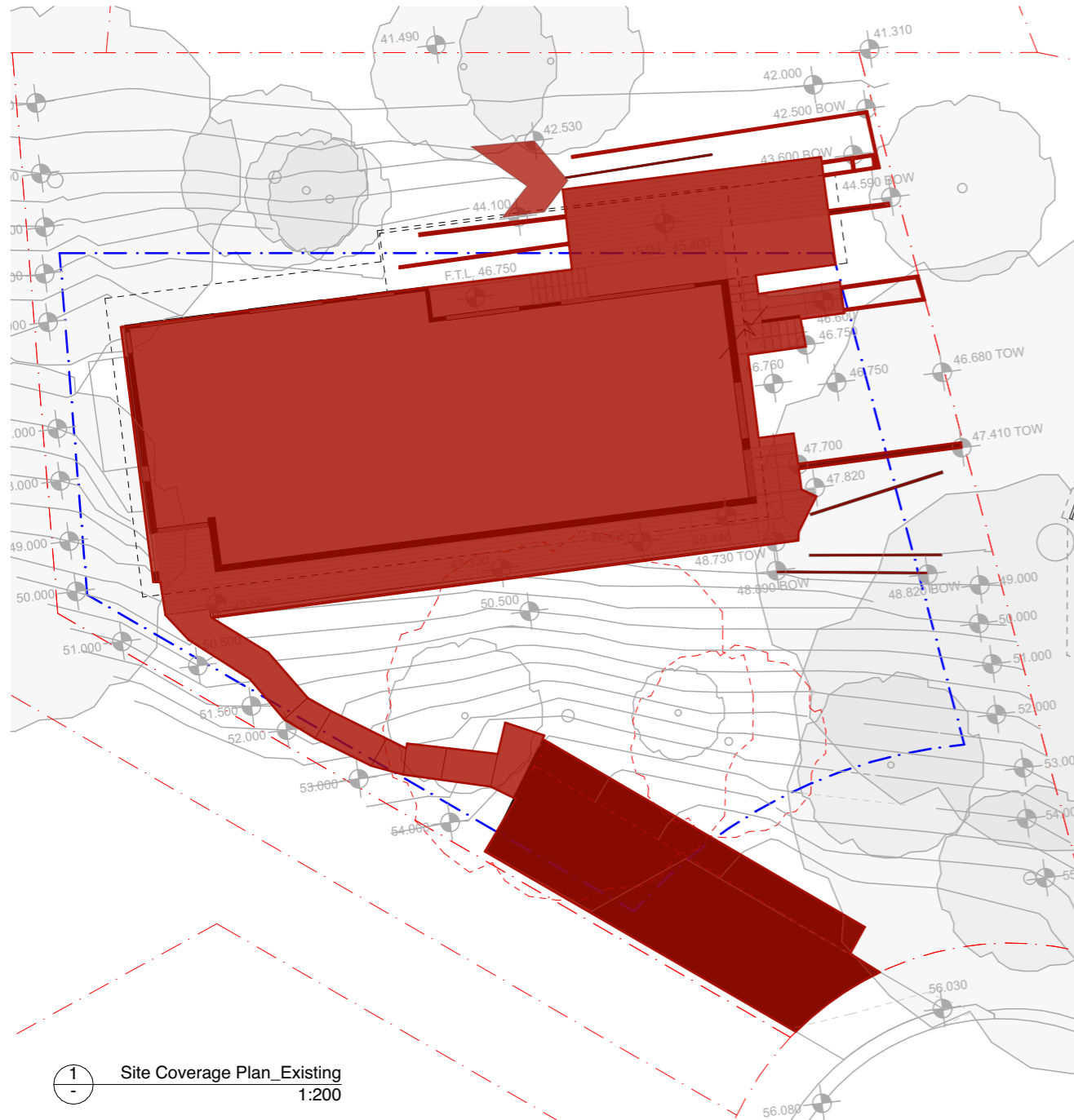
SURVEYED SITE AREA - 791.3 m²

EXISTING BUILT UPON AREA - 301m² (38%)

PROPOSED BUILT UPON AREA - 339m² (42.8%)
PROPOSED INCREASE OF 38m² (4.8%)

NOTE: PROPOSED REDUCTION NOT INCLUDING PROPOSED GREEN ROOF 14m²

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CLIENTS
GEORGE AND KATHY CASHA

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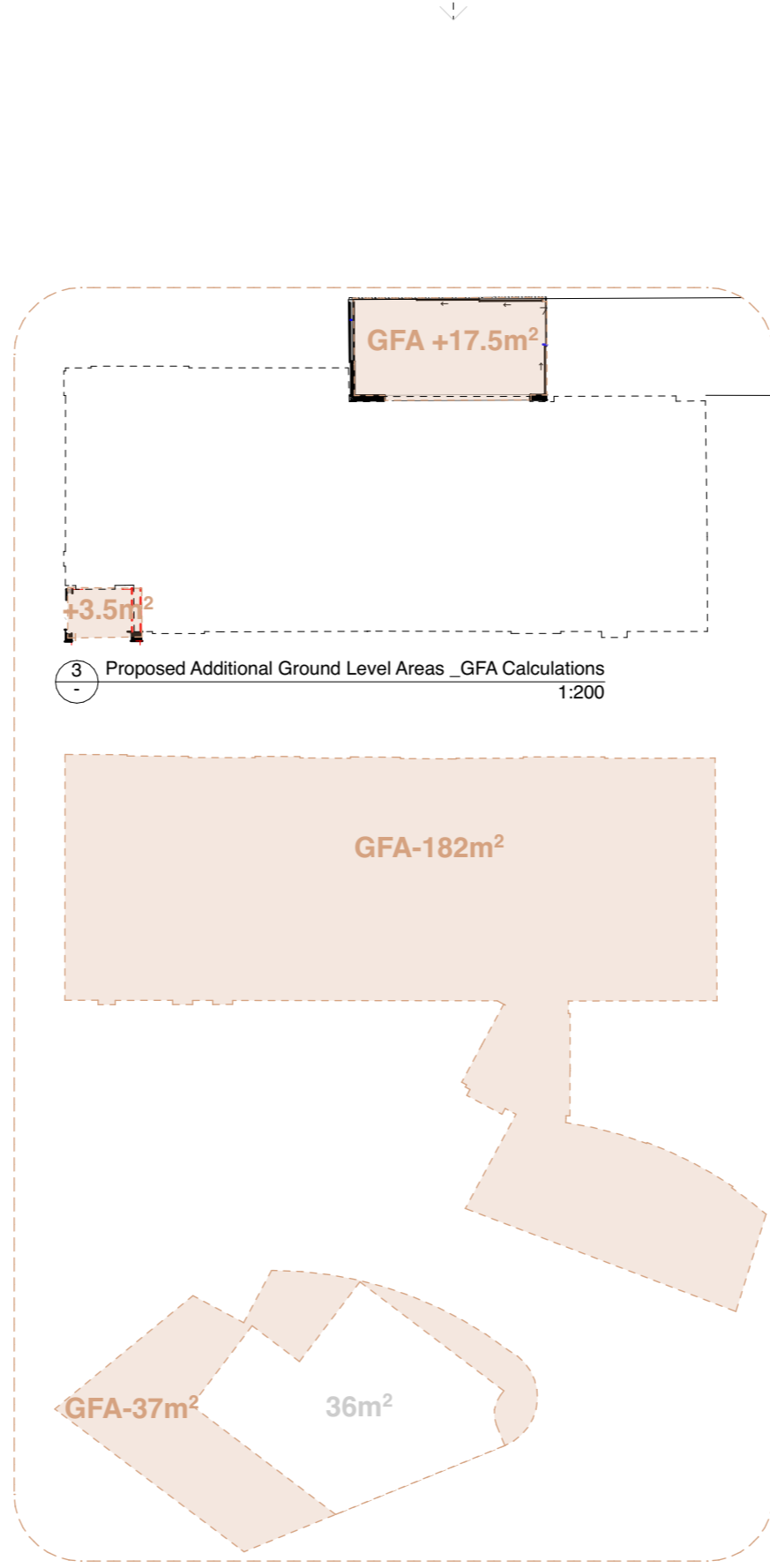
SHEET TITLE
BUILT UPON AREA CALCULATIONS

ISSUE
DA605 L

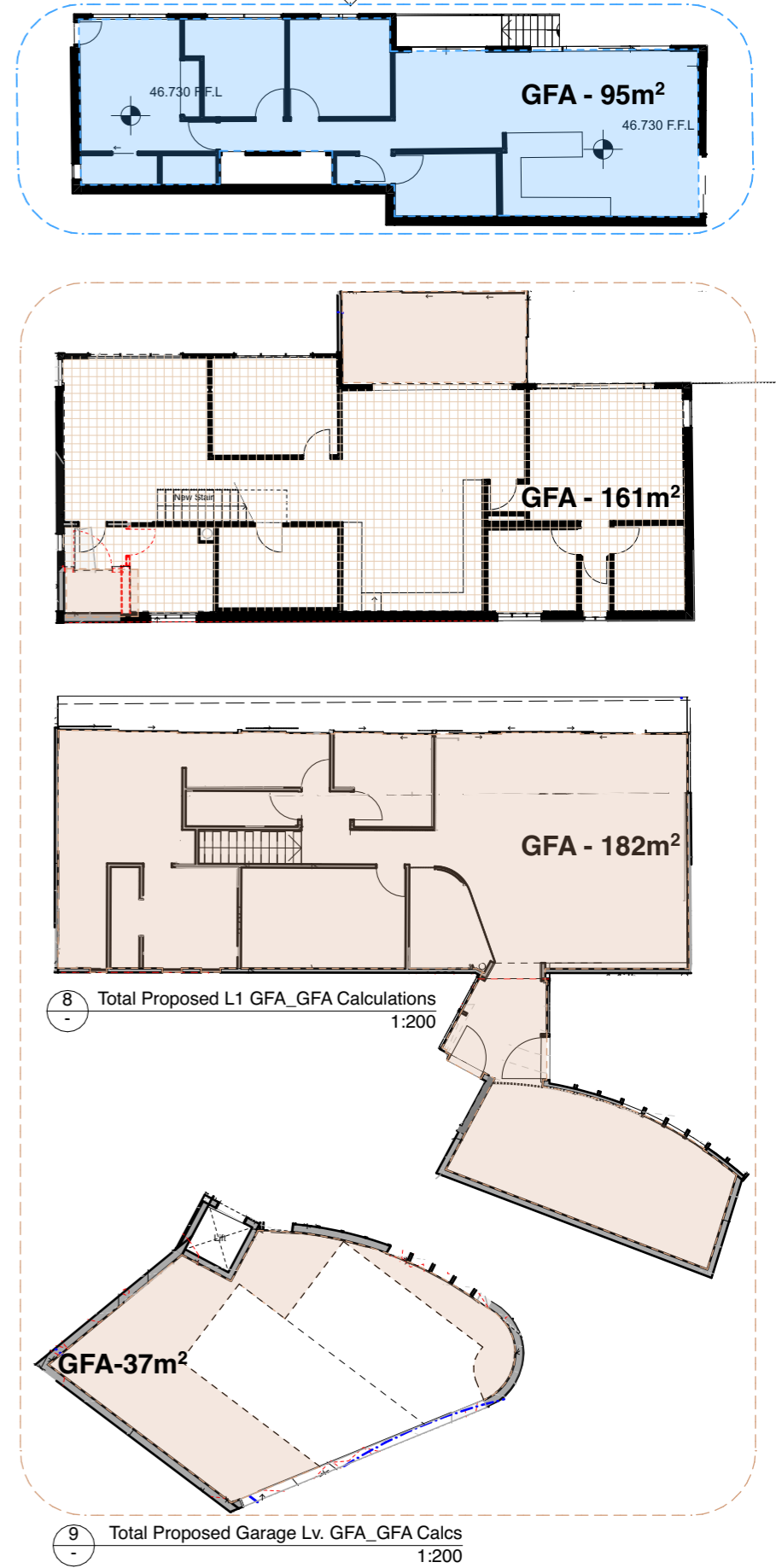
EXISTING GFA



ADDITIONAL GFA



PROPOSED GFA



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GFA CALCULATIONS
 SURVEYED SITE AREA - 791.3 m²

EXISTING
 EXISTING HOUSE
 LOWER GND. FL. GFA = 95Msq
 GROUND. FL. GFA = 140Msq
 EXISTING APPROX TOTAL GFA = 238MSQ

PROPOSED
PROPOSED GRANNY FLAT
 LOWER GROUND FLOOR GFA = 95Msq
 25% OF PROPOSED MAIN HOUSE GFA

PROPOSED MAIN HOUSE
 GROUND FLOOR GFA = 161Msq
 FIRST FLOOR GFA = 182Msq
 GARAGE FLOOR LV. GFA = 37Msq
 PROPOSED APPROX TOTAL GFA = 380MSQ

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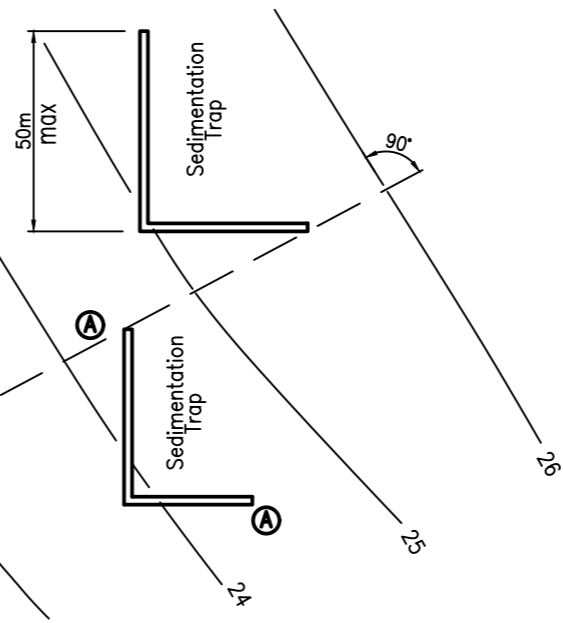
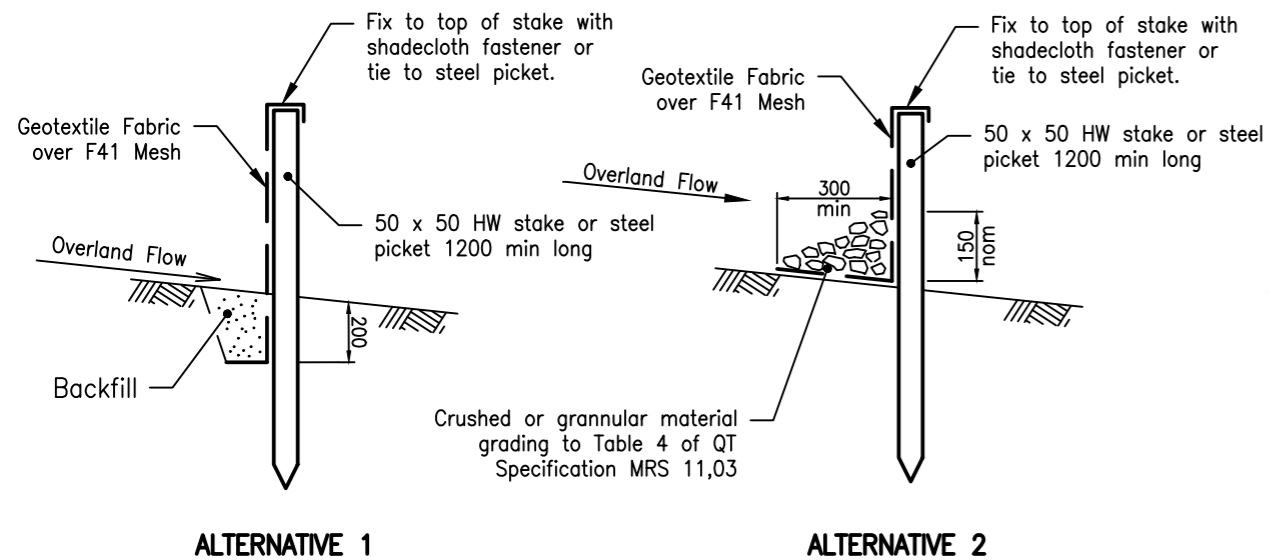
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 CLIENTS **GEORGE AND KATHY CASHA**

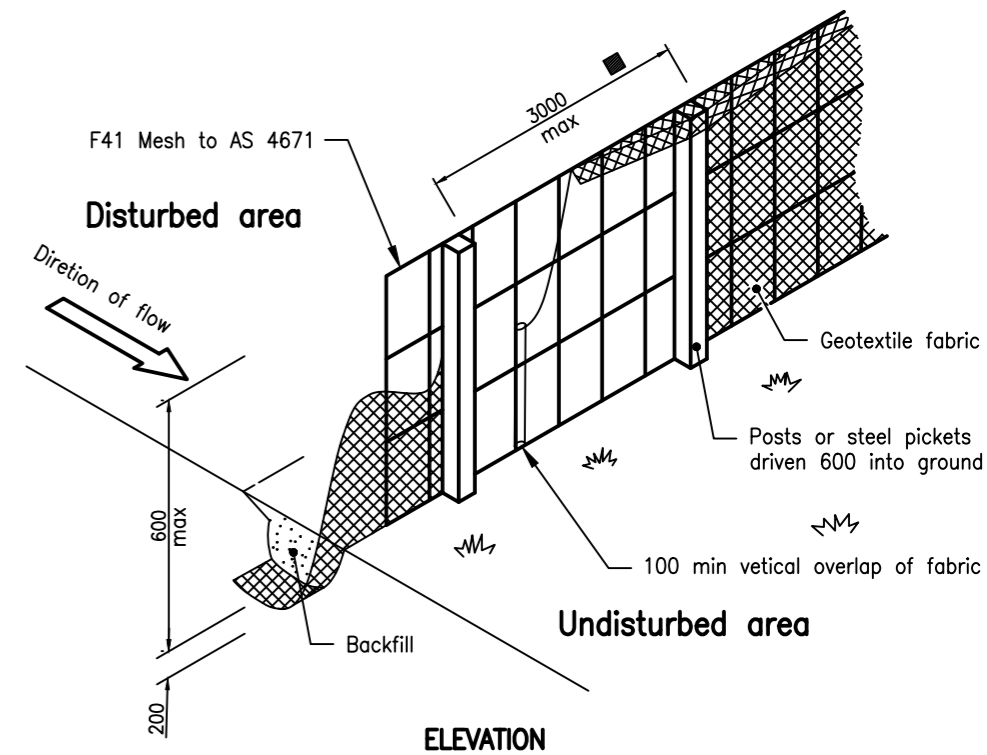
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2401		LOS / EH	EH		A3	

ISSUE **DA606 L**



TYPICAL LAYOUT ACROSS GRADE
points A at same elevation

NOTES:



SEDIMENT FENCE

ELEVATION

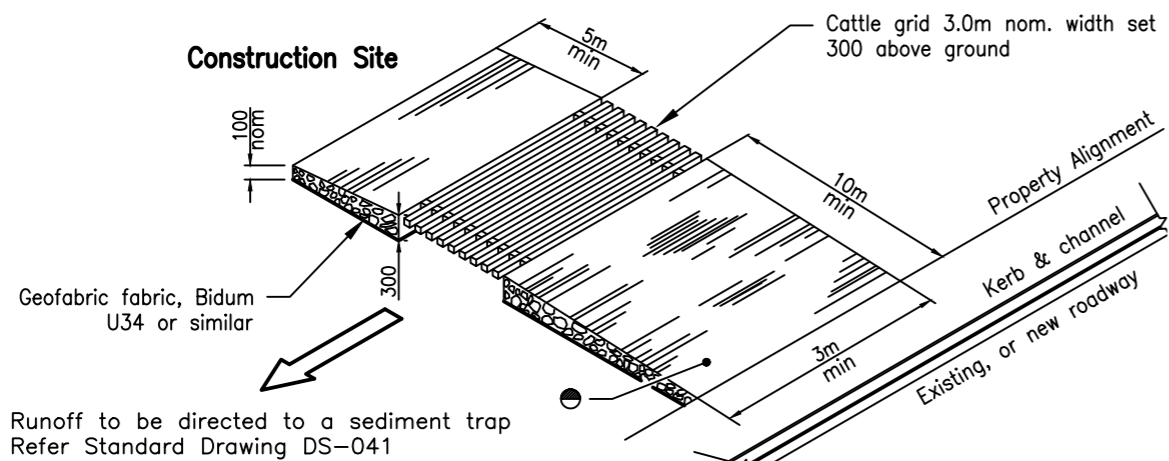
NOTES:

GENERAL

- All erosion and sediment controls to be in accordance with "Best Practice Erosion and Sediment Control", International Erosion and Sediment Control Association (IECA), Australasia Chapter, and to the satisfaction of the superintendent,
- Temporary drainage control. Flow should be diverted around the work site where possible.
- All drainage, erosion and sediment controls to be installed and be operational before commencing up-slope earthworks.
- All control measures to be inspected at least weekly and after significant runoff producing storms.
- Control measures may be removed when on-site erosion is controlled and 70% permanent soil coverage is obtained over all upstream disturbed land.
- In areas where runoff turbidity is to be controlled, exposed surfaces to be either mulched, covered with erosion control blankets or turfed if earthworks are expected to be delayed for more than 14 days.
- Straw bale sediment traps are a secondary option which generally should not be used if other options are available.

SEDIMENT FENCE

- Not to be located in areas of concentrated flow.
- Normally located along the contour with a maximum catchment area 0.6 ha per 100m length of fence.
- Woven fabrics are preferred, non-woven fabrics may be used on small work sites, i.e. operational period less than 6 months or on sites where significant sediment runoff is not expected.
- Where fences need to be located across the contour the layout shall conform to 'Typical Layout Across Grade'.
- Fences are required 2m min from toe of cut or fill batters, where not practical one fence can be at the toe with a second fence 1m min away. Fence should not be located parallel with toe if concentration of flow will occur behind the fence.
- Temp Construction Entry/Exit Sediment Trap.
- Adjacent stormwater runoff to be diverted away from entry/exit.
- Wheel - wash or spray unit may be required during wet weather.
- Safety issues must be considered at all times, incorporate traffic control devices to the satisfaction of the superintendent.
- All dimensions are in millimetres unless shown otherwise.



ALTERNATIVE 1

ALTERNATIVE 2

TEMPORARY CONSTRUCTION ENTRY/EXIT
SEDIMENT TRAP

LEGEND

- Unbound pavement material (gravel) to Grading B Table 9 of QT Specification MRS11.05 exclude material finer than AS sieve 2.36
- Without F41 mesh 2000 max C/C

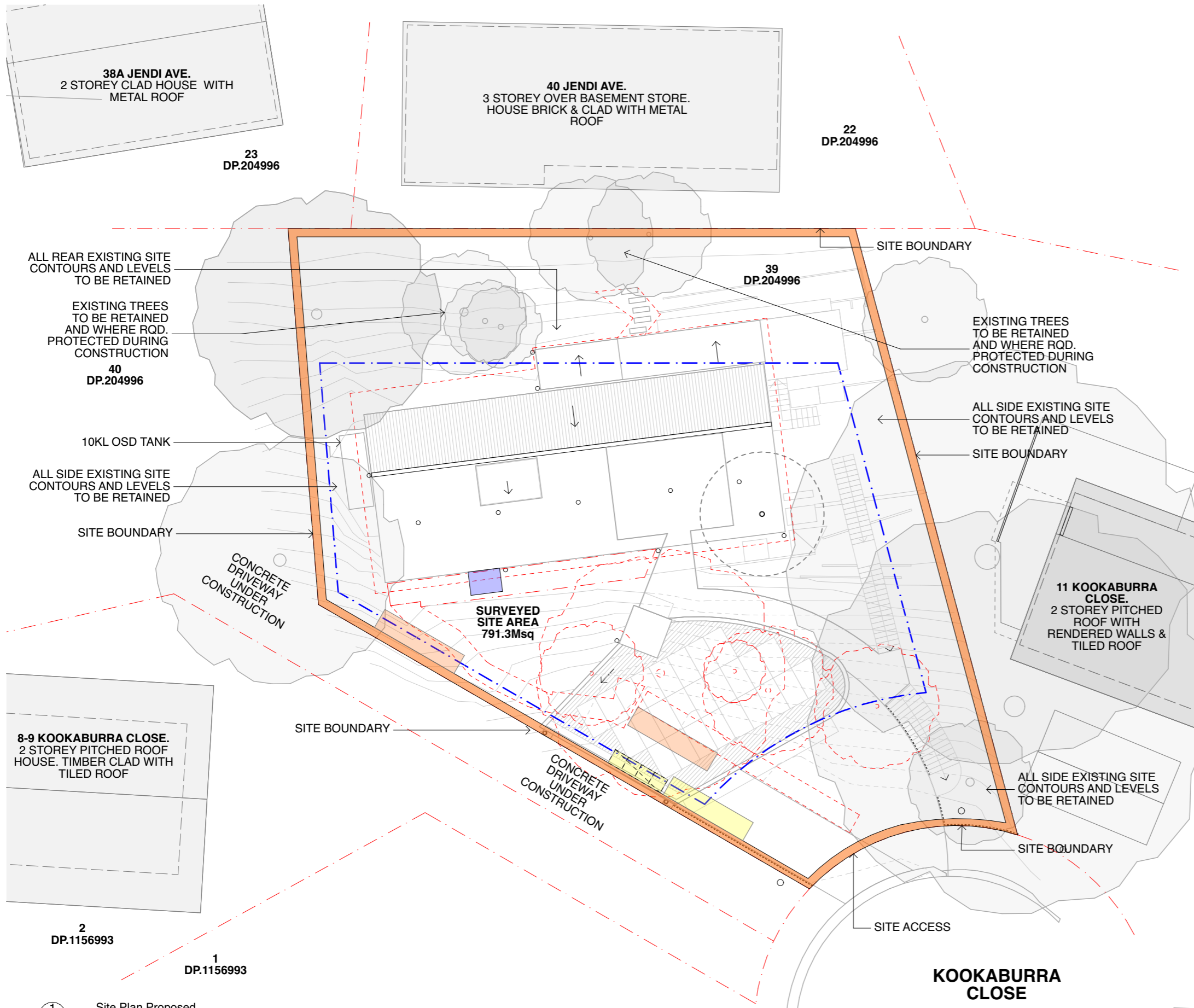
ISSUE	DATE	DESCRIPTION	BY	DATE	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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T +61 2 8005 8975 | M 0449 121 346 | E info@eoinarchitects.com

EOIN ARCHITECTS ABN 25 673 855 845
NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
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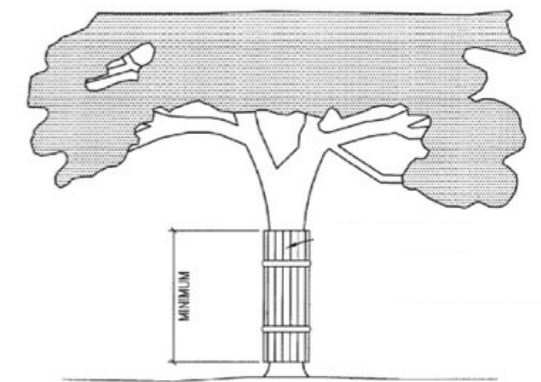
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE EROSION & SEDIMENT CONTROL PLAN_SHEET 1 OF 2	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		DRAWN		SHEET SCALE	
				LOS / EH EH		SHEET SIZE	
						A3	
						ISSUE DA608 L	




- WASTE STORAGE DURING CONSTRUCTION
- MATERIAL STORAGE DURING CONSTRUCTION
- SEDIMENTARY CONTROL BARRIER DURING CONSTRUCTION
- TOILET FACILITIES DURING CONSTRUCTION (GND LV)

TREE PROTECTION DURING CONSTRUCTION
 Refer to Arborist's report for details of trees to be retained & protected during construction.



Certificate No. 0009808551
 Scan QR code or follow website link for rating details.
 Assessor name: Jamie Bonnefin
 Accreditation No.: 10056
 Property Address: Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104
 hstar.com.au/QR/Generate?p=PUoafCUDf



1 Site Plan Proposed
 1:200

FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

ISSUE	DATE	DESCRIPTION	K	L	DATE	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K		21.08.24	WIP ISSUE
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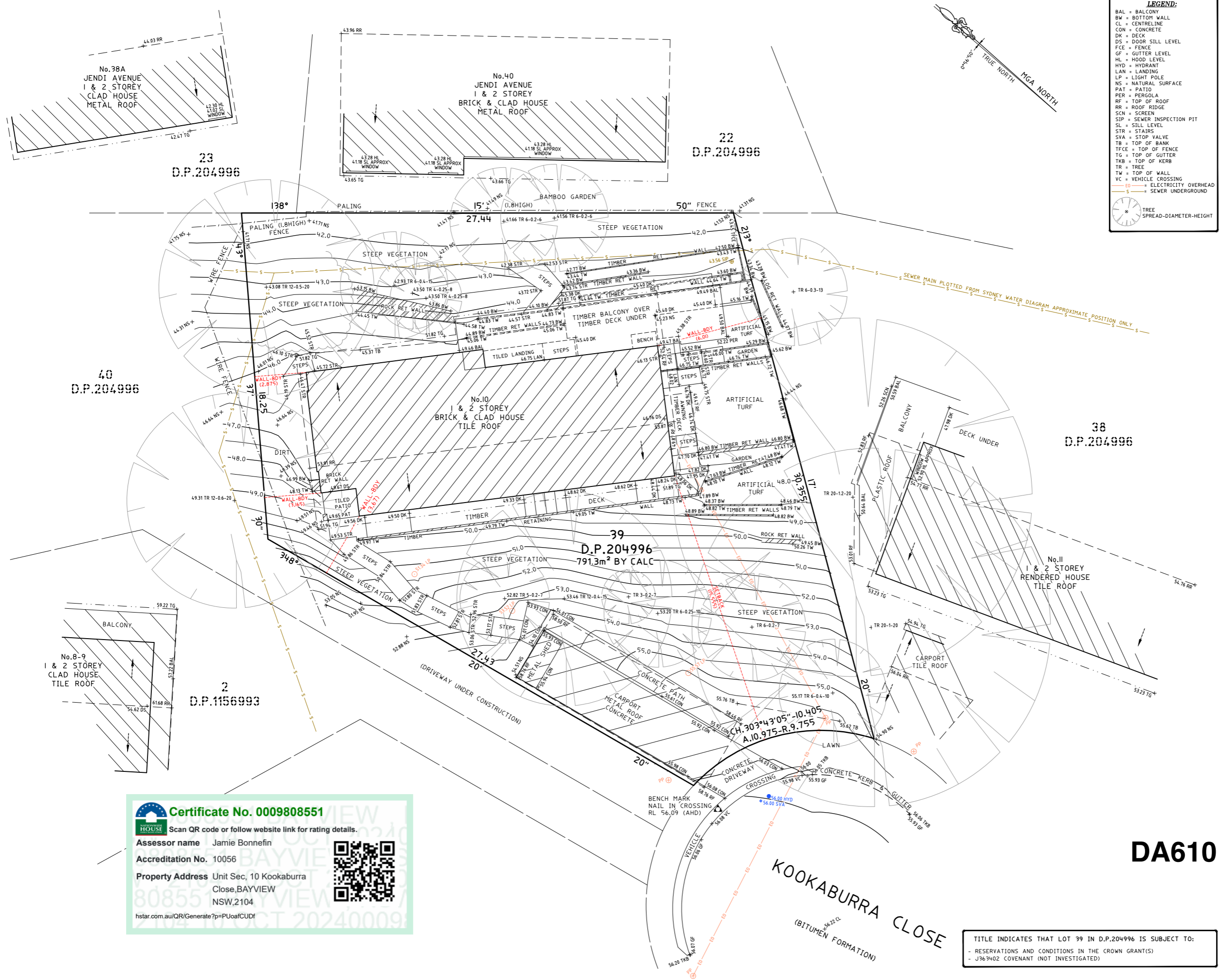
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
 CLIENTS: **GEORGE AND KATHY CASHA**

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH		A3	

SHEET TITLE: **EROSION & SEDIMENT CONTROL PLAN_SHEET 2 OF 2**

ISSUE: **DA609 L**



LEGEND:

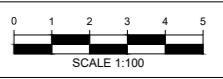
- BAL = BALCONY
- BW = BOTTOM WALL
- CL = CENTRELINE
- CON = CONCRETE
- DK = DECK
- DS = DOOR SILL LEVEL
- FCE = FENCE
- GF = GUTTER LEVEL
- HL = HOOD LEVEL
- HYD = HYDRANT
- LAN = LANDING
- LP = LIGHT POLE
- NS = NATURAL SURFACE
- PAT = PATIO
- PER = PERGOLA
- RF = TOP OF ROOF
- RR = ROOF RIDGE
- SCN = SCREEN
- SIP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- STR = STAIRS
- SVA = STOP VALVE
- TB = TOP OF BANK
- TFCE = TOP OF FENCE
- TG = TOP OF GUTTER
- TMB = TOP OF HERB
- TR = TREE
- TW = TOP OF WALL
- VC = VEHICLE CROSSING
- VE = ELECTRICITY OVERHEAD
- SW = SEWER UNDERGROUND

TREE
 SPREAD-DIAMETER-HEIGHT

- NOTES:**
- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
 - WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
 - IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
 - THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
 - TREE SIZES ARE ESTIMATES ONLY.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF GEORGE CASHA.
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED BEFORE YOU DIG AUSTRALIA (www.youdig.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
 - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
 - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
 - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
 - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
 - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
 - COPYRIGHT © CMS SURVEYORS 2023.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
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 - THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
REGISTERED SURVEYOR BOSSI NUMBER 1462

1	FIRST ISSUE	21/11/23
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HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 27883
R.L. 16.307
SOURCE: CORSNET OBSERVATIONS

CLIENT:
GEORGE CASHA

LGA: NORTHERN BEACHES

BOUNDARY IDENTIFICATION AND DETAIL & LEVEL SURVEY OVER LOT 39 IN DP204996 No.10 KOOKABURRA CLOSE BAYVIEW, NSW, 2104

CMS SURVEYORS
CMS SURVEYORS PTY LTD
ACN 096 240 201
PO Box 463 Dee Why, NSW, 2099
2/99A South Creek Road, Dee Why, NSW, 2099
(02) 9971 4802
info@cmsurveyors.com.au
www.cmsurveyors.com.au

SURVEYED	HH	DRAWN	ABS	CHECKED	HH	APPROVED	RM
SURVEY INSTRUCTION	10438A	SCALE	1:100@A1	DATE OF SURVEY	14/11/2023	DRAWING NAME	10438Adetail
						SHEET	ISS
						1	OF 1

TITLE INDICATES THAT LOT 39 IN D.P.204996 IS SUBJECT TO:
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS(S)
- J363402 COVENANT (NOT INVESTIGATED)

Certificate No. 0009808551

Scan QR code or follow website link for rating details.

Assessor name Jamie Bonnefin

Accreditation No. 10056

Property Address Unit Sec, 10 Kookaburra Close, BAYVIEW NSW, 2104

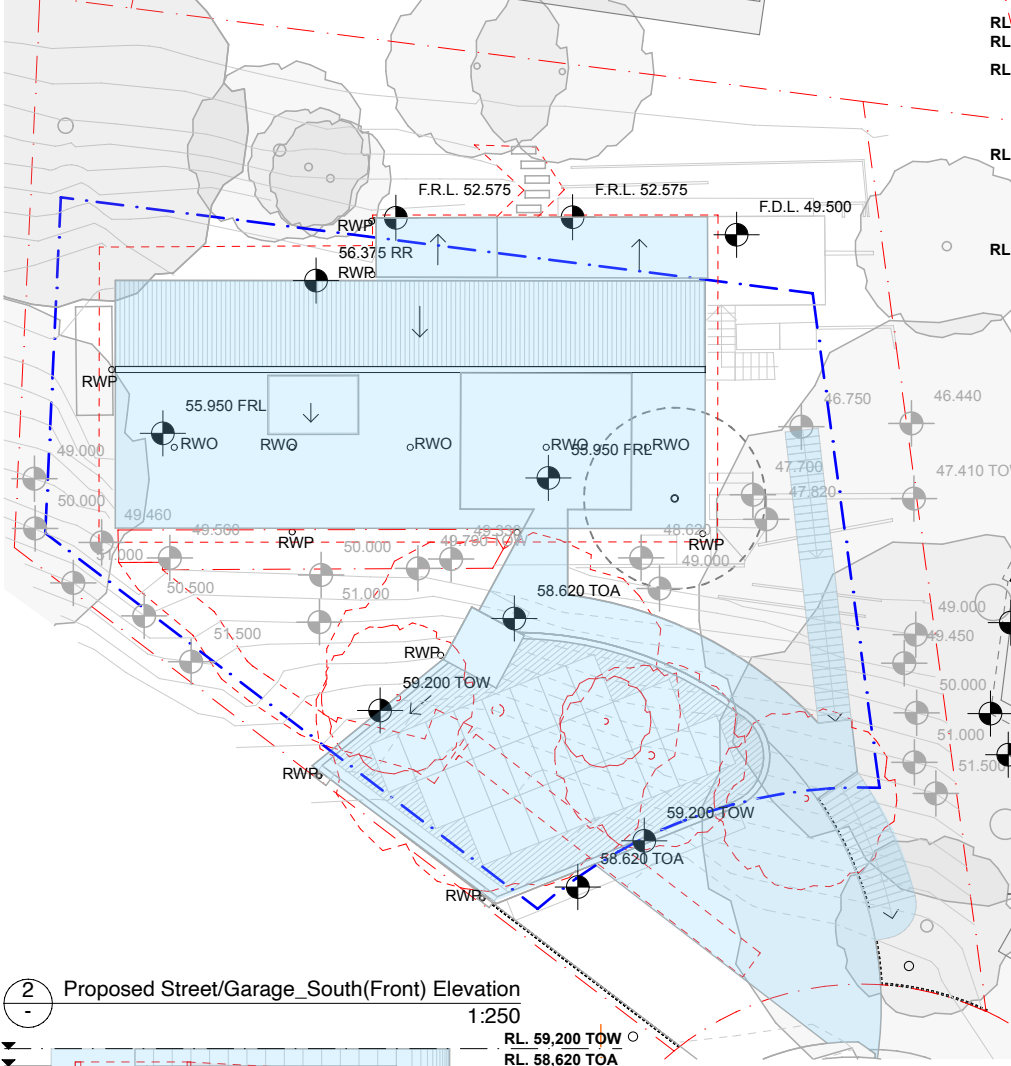
QR Code

hstar.com.au/QR/Generate?p=PUoafCUDf

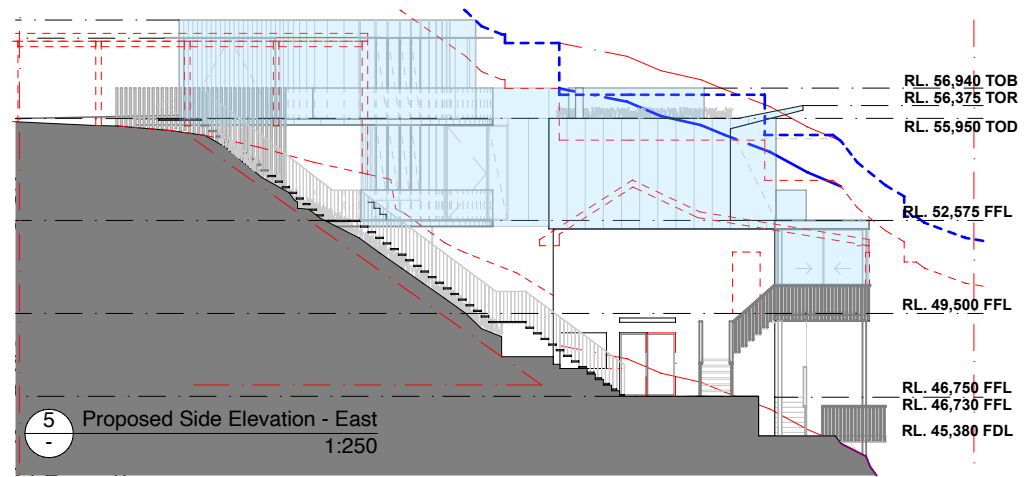
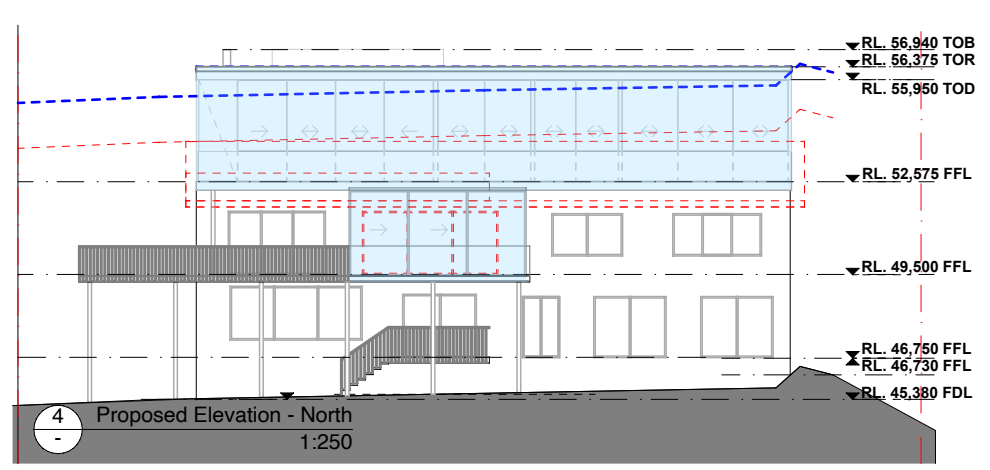
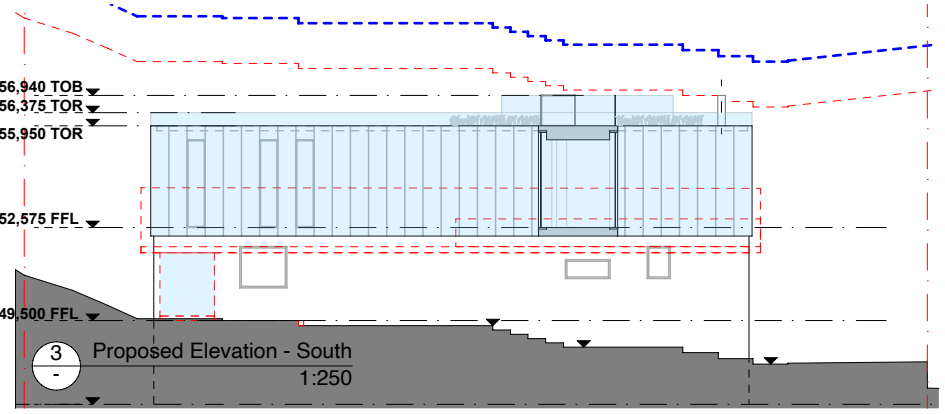
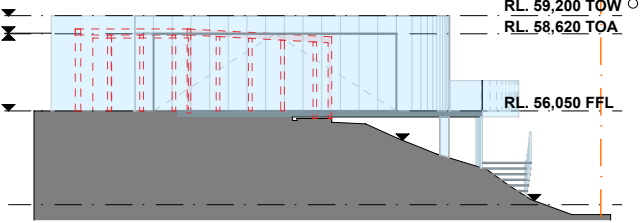
DA610

KOOKABURRA CLOSE
(BITUMEN FORMATION)

1 Proposed site & roof plan
1:250



2 Proposed Street/Garage_South(Front) Elevation
1:250



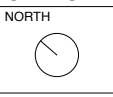
DEMOLISHED ELEMENTS
AREAS OF NEW WORK

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EOIN ABN 25 673 855 645
NOMINATED ARCHITECT
EOIN PATRICK HEALY 11133

PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS
GEORGE AND KATHY CASHA



SHEET TITLE
NOTIFICATION PLAN

DA700

Commitments Table

Project Details	Proposed: Single Dwelling			Address: 10 Kookaburra Close, Bayview NSW 2104			
	Lot Number: 39			DP NUMBER: DP 204996			
Water	BASIX Certificate Number: 17776525						
	Fixtures			Specification			
	Shower head rating			4 star (> 4.5 but <= 6 L/min)			
	Toilet rating			3 star			
Kitchen taps rating			3 star				
Bathroom taps rating			3 star				
Alternative water details							
Rainwater tank size			Individual	5000L			
Connected to:			Garden and lawn areas	Yes			
			All toilets	No			
			Laundry	No			
Thermal Comfort	Accreditation Number:		HERA 10056		NatHERS Certificate Number: 0009808551		
	External walls			Requirements			
	Brick veneer			Ground Floor	Light colour	R2.0 Bulk + Anti-glare foil	
	Internal walls						
	Cavity wall, direct fix plasterboard			Ground Floor	No insulation		
	Ceiling						
	External ceiling - Plasterboard			No insulation			
	Internal ceiling - Plasterboard			No insulation			
	Roof						
	N/A			No insulation			
	Floors						
	Concrete slab on ground			No insulation			
	Windows			<i>(NSW BASIX Thermal Protocol allows for ± 10% tolerance of SHGC Value & U Value =< than which overrides NatHERS Certificate)</i>			
	Aluminium frame HASWS-070-056-001			Single Clear glazing with U-value 6.66 and SHGC 0.54			
	Aluminium frame HASDS-065-056-001			Single Clear glazing with U-value 6.37 and SHGC 0.56			
	Ceiling Penetrations						
	Downlight Covers			Approved fireproof downlight covers must be installed to all downlights in ceilings where insulation is installed.			
Lighting specification			Dwelling is rated without downlight				
Ceiling fans			No ceiling fans need to be installed				
Overshadowing details			Adjoining units calculated into model calculations				
Site							
Orientation of nominal north elevation			As shown on plans				
* Approved fireproof downlight covers HAVE been specified, which can be fully covered by insulation. Ceiling penetrations for exhaust dampers have been allowed (to all bathrooms, ensuites and internal laundry's) at the rate of 0.04 meters squared per exhaust fan penetration.							
Energy	Hot water		Specification		Rating		
	Individual system		Solar (electric boosted)		26 to 30 STCs		
	Ventilation						
	Bathroom exhaust		Individual fan, ducted to façade or roof				
	Control switch		Manual switch on/off				
	Kitchen exhaust		Individual fan, ducted to façade or roof				
	Control switch		Manual switch on/off				
	Laundry		Individual fan, ducted to façade or roof				
	Control switch		Manual switch on/off				
	Cooling						
	Individual systems - living areas		no active cooling system				
	Individual systems - bedroom areas		no active cooling system				
	Heating						
	Individual systems - living areas		no active heating system				
	Individual systems - bedroom areas		no active heating system				
Lighting							
Refer to NatHERS Certificate		Light-emitting diode (LED)					
Appliances							
Cooktop/oven		Induction cooktop & electric oven					
Private outdoor clothes drying line		Yes					
Private Indoor or sheltered clothes drying line		No					
Alternative Energy		Peak kW					
Photovoltaic System (Minimum)		N/A					