



**General Notes**

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G3. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G5. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- G6. FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.
- G7. THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.

**Foundations**

- F1. UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870.
- F2. TERMITES TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1
- F3. THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870
- F4. REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
- F5. STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
- F6. PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.
- F7. ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

**Masonry**

- M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.
- M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.
- M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.
- M4. CAVITY VENTILATION WEEP HOLES SHALL BE IN ACCORDANCE WITH AS 3700.
- M5. MORTAR SHALL COMPLY WITH AS 3700. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.
- M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

**Timber Framing**

- T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
- T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
- T3. TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
- T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

**Tiling**

- T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1
- T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

**Claddings & Linings**

- C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 3740.
- C2. ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.

**Joinery**

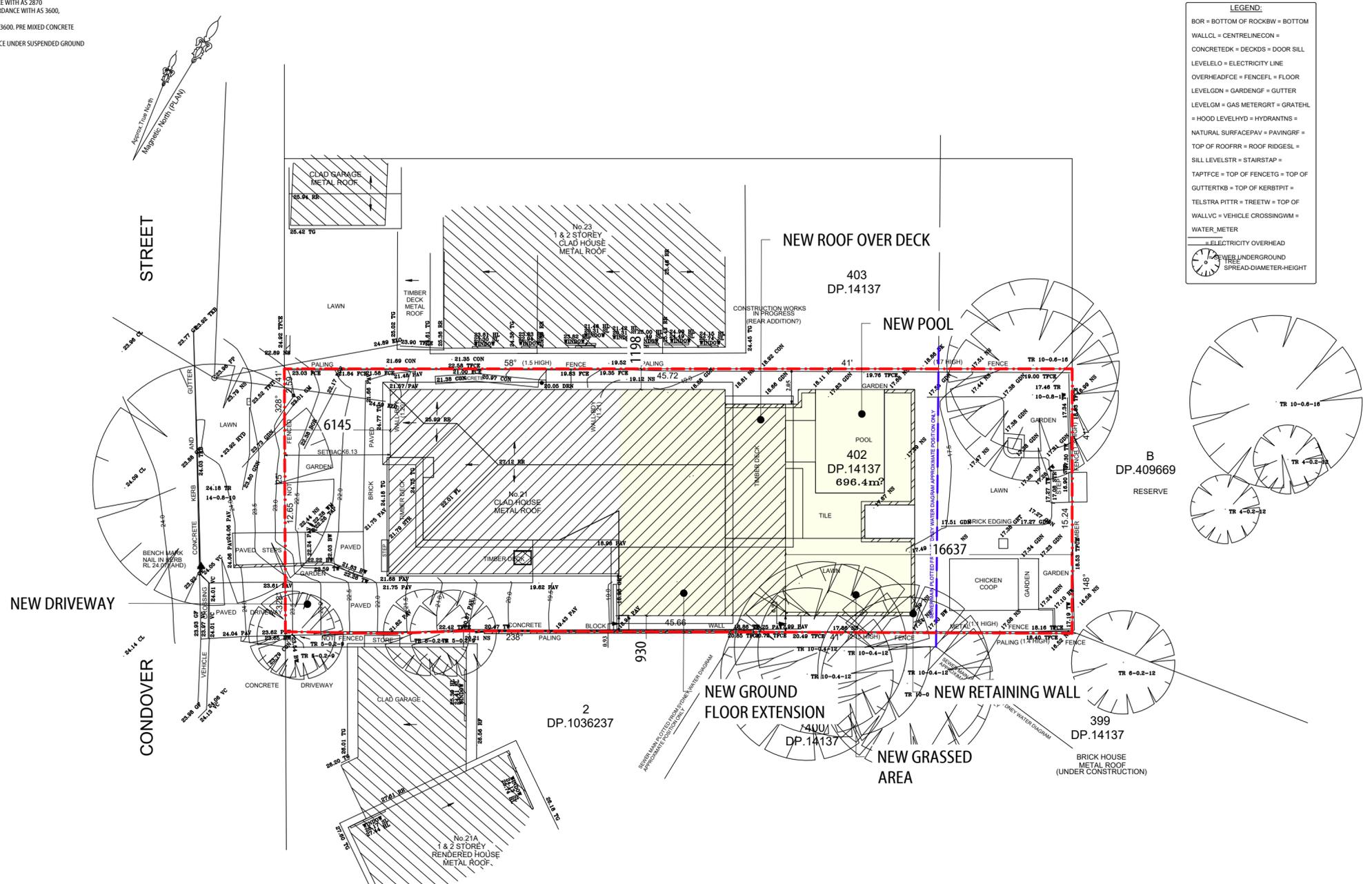
- J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.
- J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

**Steel Framing**

- ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

**Roofing**

- R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.
- R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.
- R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.



**LEGEND:**

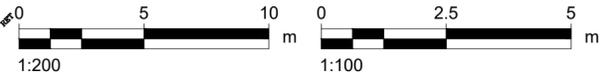
- BOR = BOTTOM OF ROCK/BW = BOTTOM WALL/CL = CENTRELINE/CON = CONCRETE/DECK = DOOR SILL
- LEVEL/EL = ELECTRICITY LINE
- OVERHEAD/FC = FENCE/FL = FLOOR
- LEVEL/GDN = GARDEN/GF = GUTTER
- LEVEL/GM = GAS METER/GRT = GRATEHL = HOOD LEVEL/HYD = HYDRANTS = NATURAL SURFACE/PAV = PAVING/RF = TOP OF ROOF/R = ROOF RIDGE/S = SILL LEVEL/STR = STAIR/STAP = TAP/FC = TOP OF FENCE/TO = TOP OF GUTTER/TKB = TOP OF KERB/TPT = TELSTRA PIT/TR = TREETW = TOP OF WALL/V = VEHICLE CROSSING/WM = WATER\_METER
- = ELECTRICITY OVERHEAD
- = FLOOR UNDERGROUND
- = SPREAD-DIAMETER-HEIGHT

**SITE PLAN - PROPOSED**  
SCALE 1:200

TITLE INDICATES THAT LOT 402 IN D.P.14137 IS SUBJECT TO:  
- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
- C58582 COVENANT (NOT INVESTIGATED)

**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

General Notes



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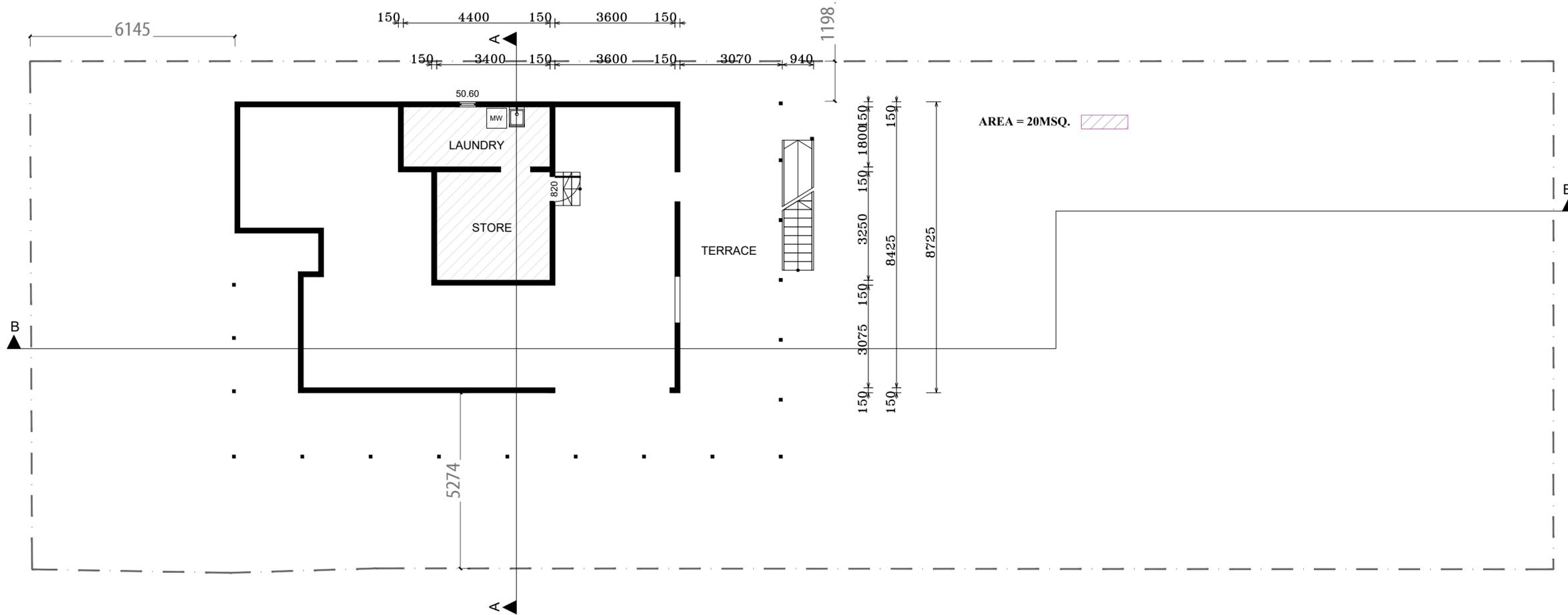
Project Additions and Alterations	Sheet
Date	<b>SP</b>
Scale	
1:200	

DP No.	14137
LOT No.	402
A	ISSUED FOR DA XXXX
No.	Revision/Issue Date

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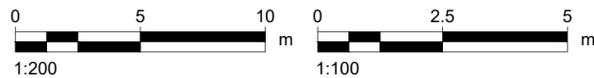
FNAME  
REVDATE  
USER



1 LOWER FLOOR PLAN – EXISTING  
Scale 1:100

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/22/2022	<b>1</b>
Scale 1:100	

DP No. 14137

LOT No. 402

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No.	Revision/Issue	Date

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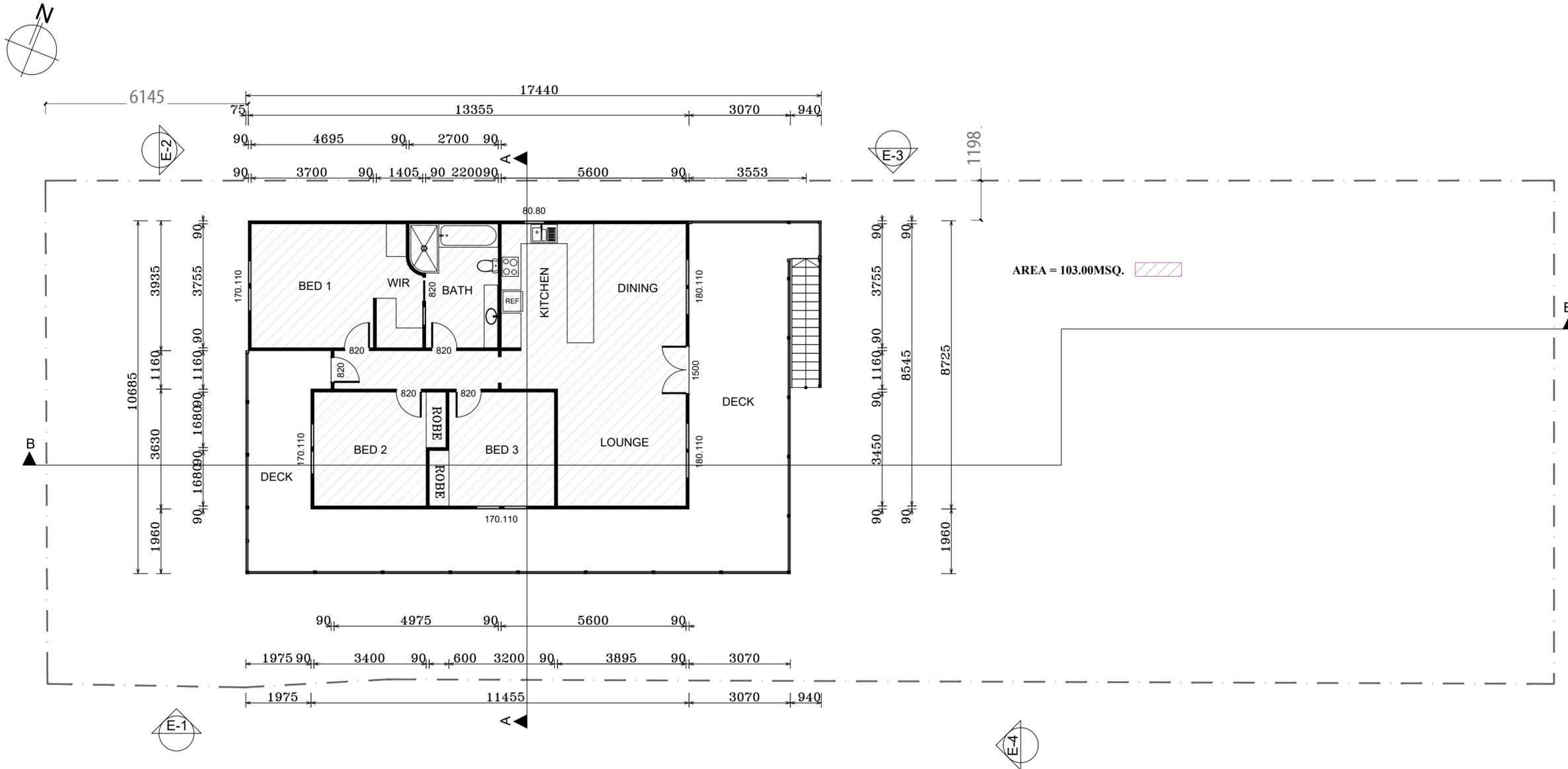
FNAME

RE/DATE

USER

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



1 GROUND FLOOR PLAN – EXISTING  
Scale 1:100



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>2</b>
Scale 1:100	

DP No. 14137

LOT No. 402

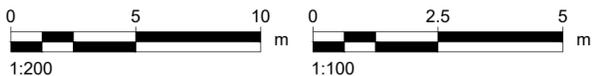
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**GENERAL NOTES**

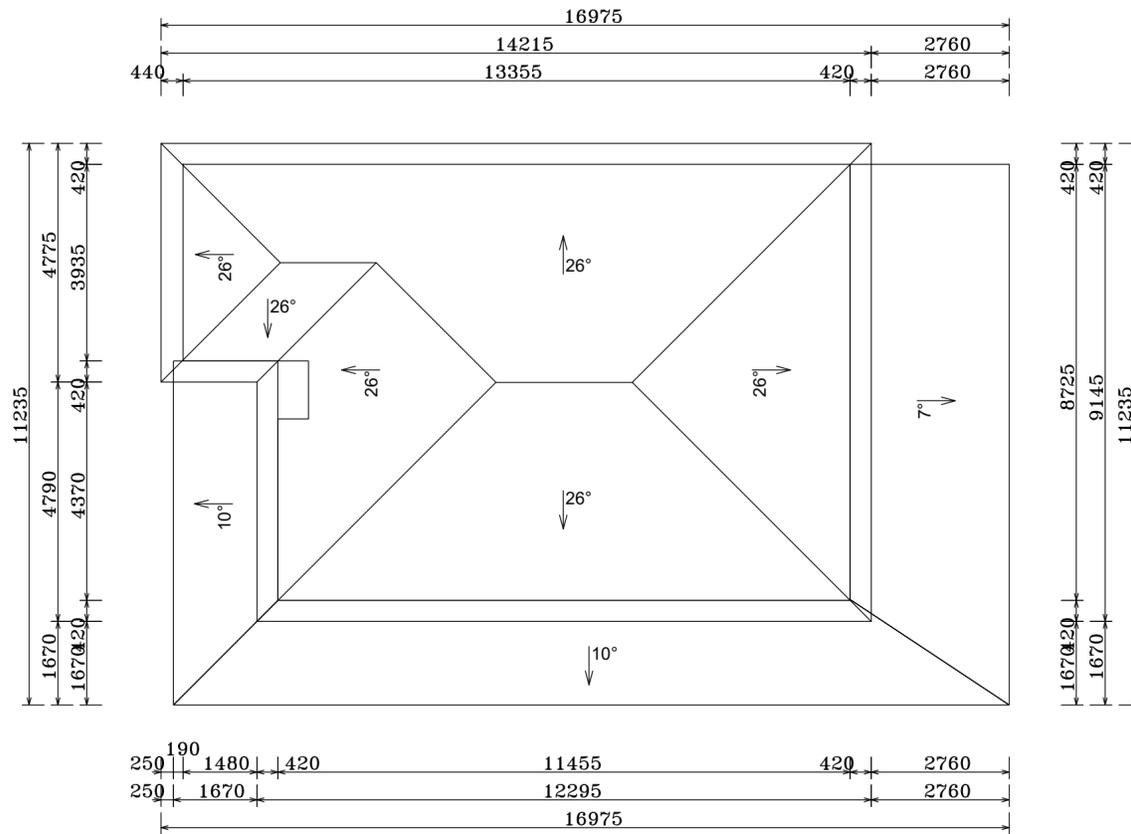
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LEGEND:  
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 PROPOSED WORK

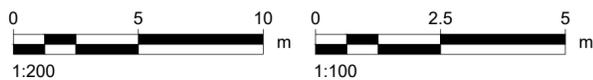
General Notes



1 ROOF PLAN – EXISTING  
Scale 1:100

**GENERAL NOTES**

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>3</b>
Scale 1:100	

DP No. 14137

LOT No. 402

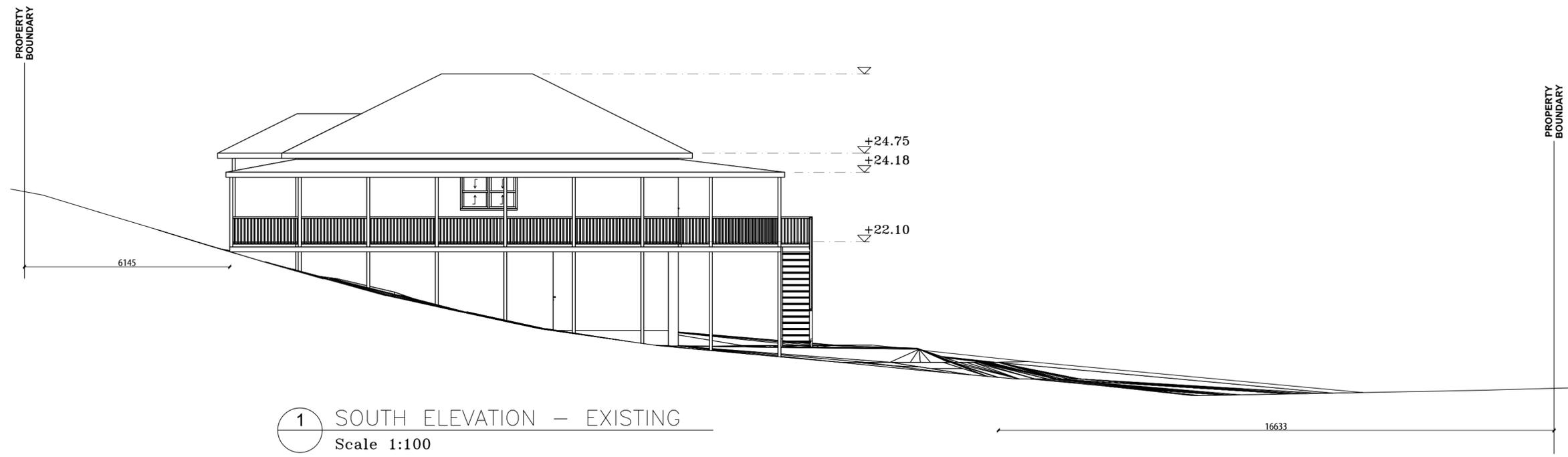
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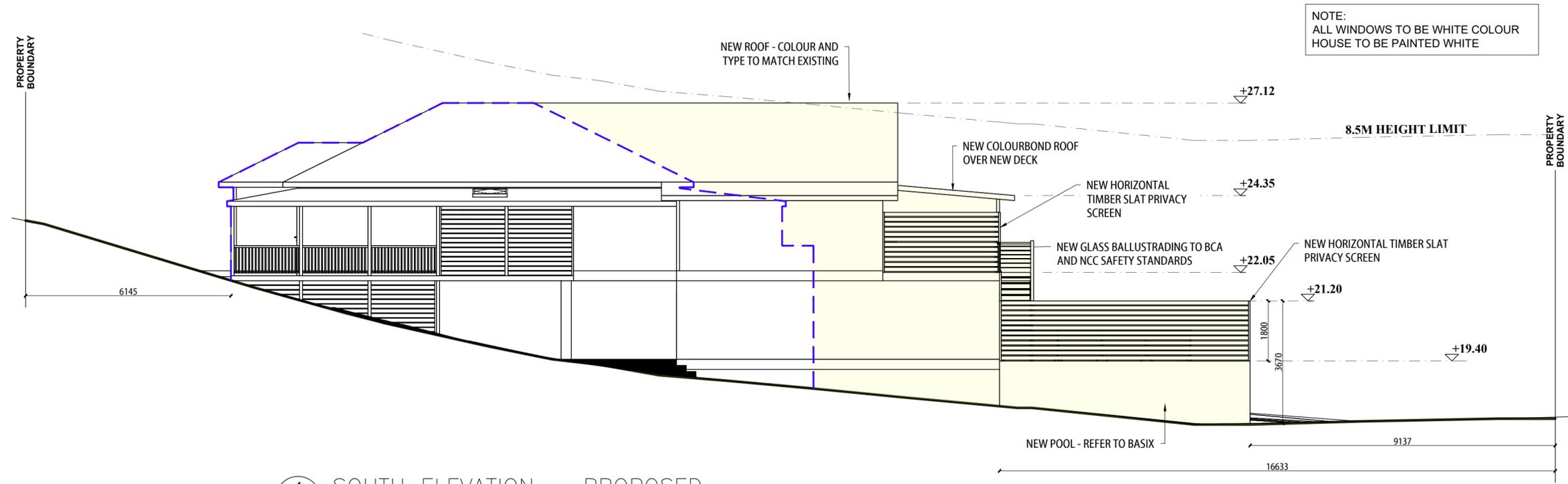
Project Name and Address  
**BEN & LORI MACOUN**  
**21 CONDOVER ST**  
**NORTH BALGOWLAH**  
**NSW 2093**

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



1 SOUTH ELEVATION – EXISTING  
Scale 1:100

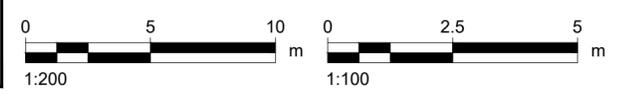


NOTE:  
ALL WINDOWS TO BE WHITE COLOUR  
HOUSE TO BE PAINTED WHITE

1 SOUTH ELEVATION – PROPOSED  
Scale 1:100

**GENERAL NOTES**

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- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



LEGEND:  
EXISTING BUILDING OUTLINE - - - - -

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>4</b>
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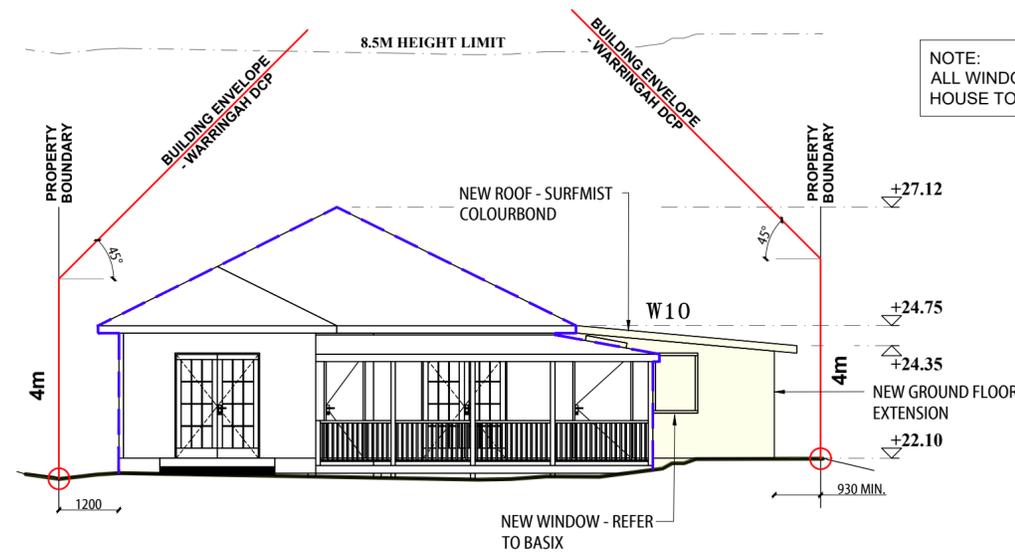
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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



1 WEST ELEVATION – EXISTING  
Scale 1:100



NOTE:  
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HOUSE TO BE PAINTED WHITE

1 WEST ELEVATION – PROPOSED  
Scale 1:100

LEGEND:  
 EXISTING BUILDING OUTLINE



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/02/2022	<b>5</b>
Scale 1:100	

DP No. 14137

LOT No. 402

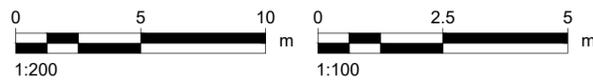

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**GENERAL NOTES**

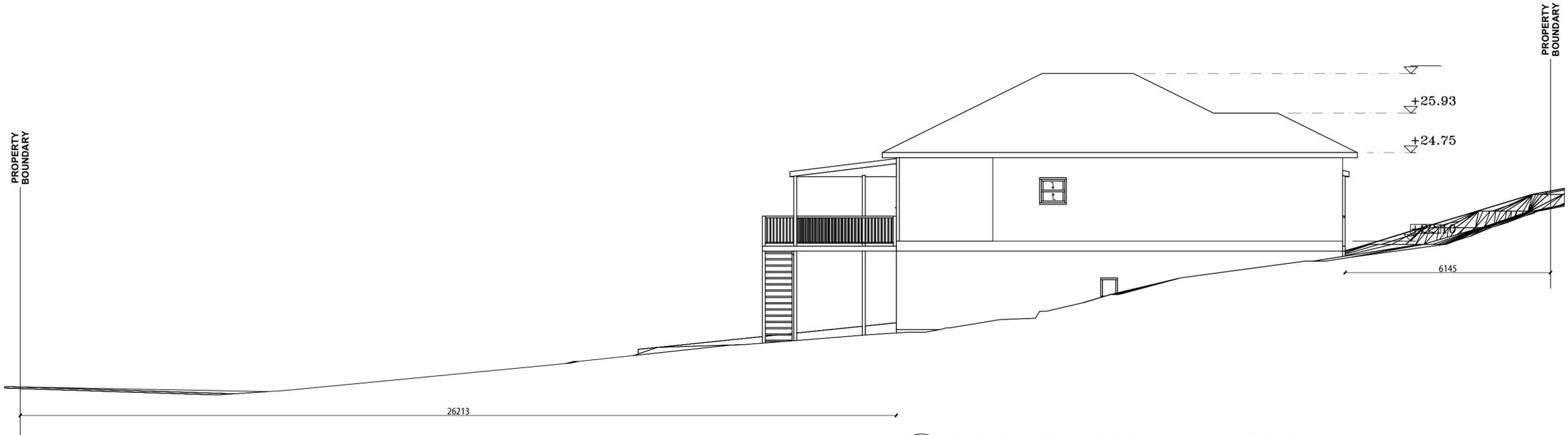
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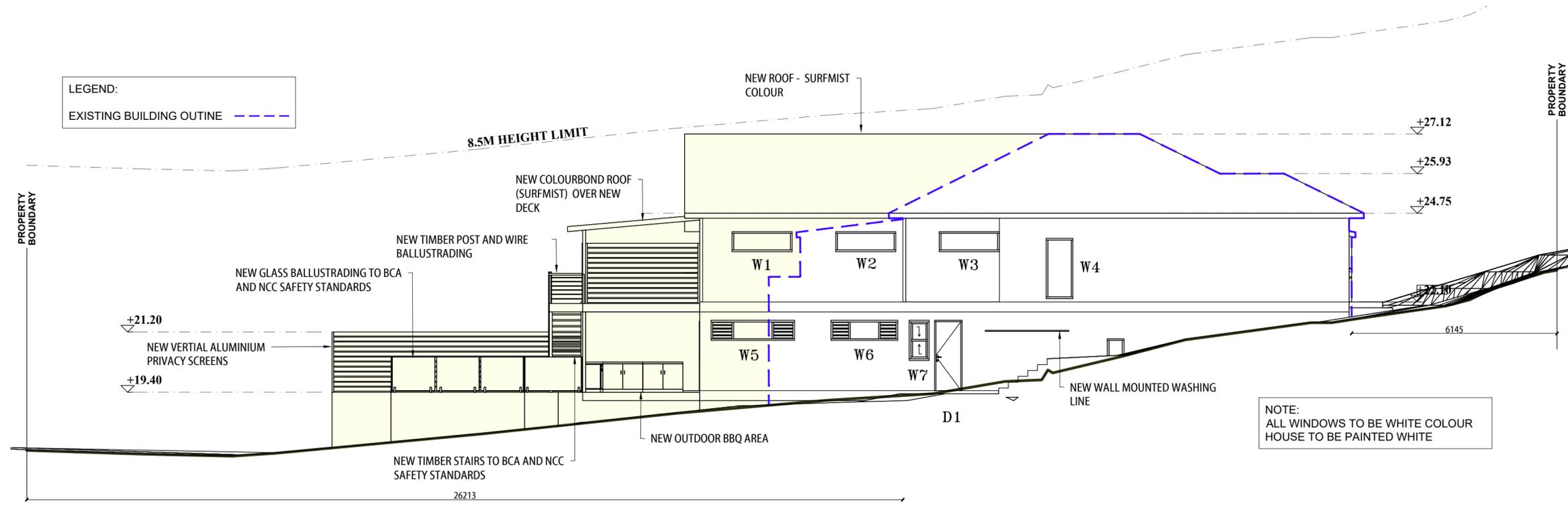
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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

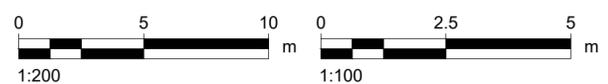


1 NORTH ELEVATION – EXISTING  
Scale 1:100



1 NORTH ELEVATION – PROPOSED  
Scale 1:100

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Project ADDITIONS AND ALTERATIONS	Sheet
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**NSW 2093**

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**NOTES:**

**PRELIMINARIES**

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietary products or systems in accordance with the published recommendations of the manufacturer or supplier.

**Dimensions and Setout**

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

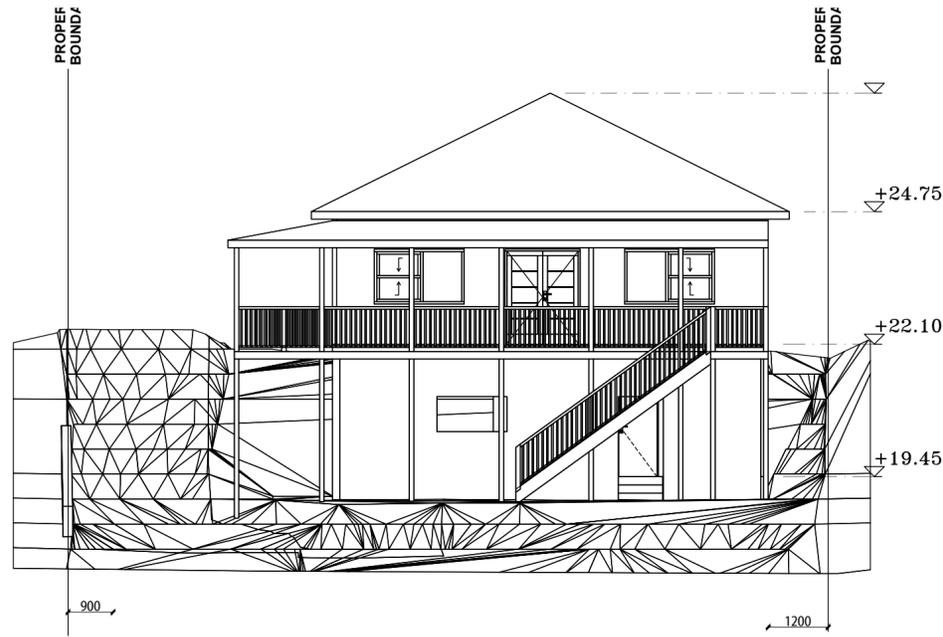
**CONCRETE CONSTRUCTION**

Concrete structures generally to AS3600.

Ground slabs and footings to AS2870.

Ready-mixed concrete to AS1379.

All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.



1 EAST ELEVATION – EXISTING  
Scale 1:100

BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUPPORTING SUPPLEMENTS RELEVANT TO THE APPLICABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

ARCHITECTURAL DRAFTING  
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COUNCIL COMPLIANT PLANS

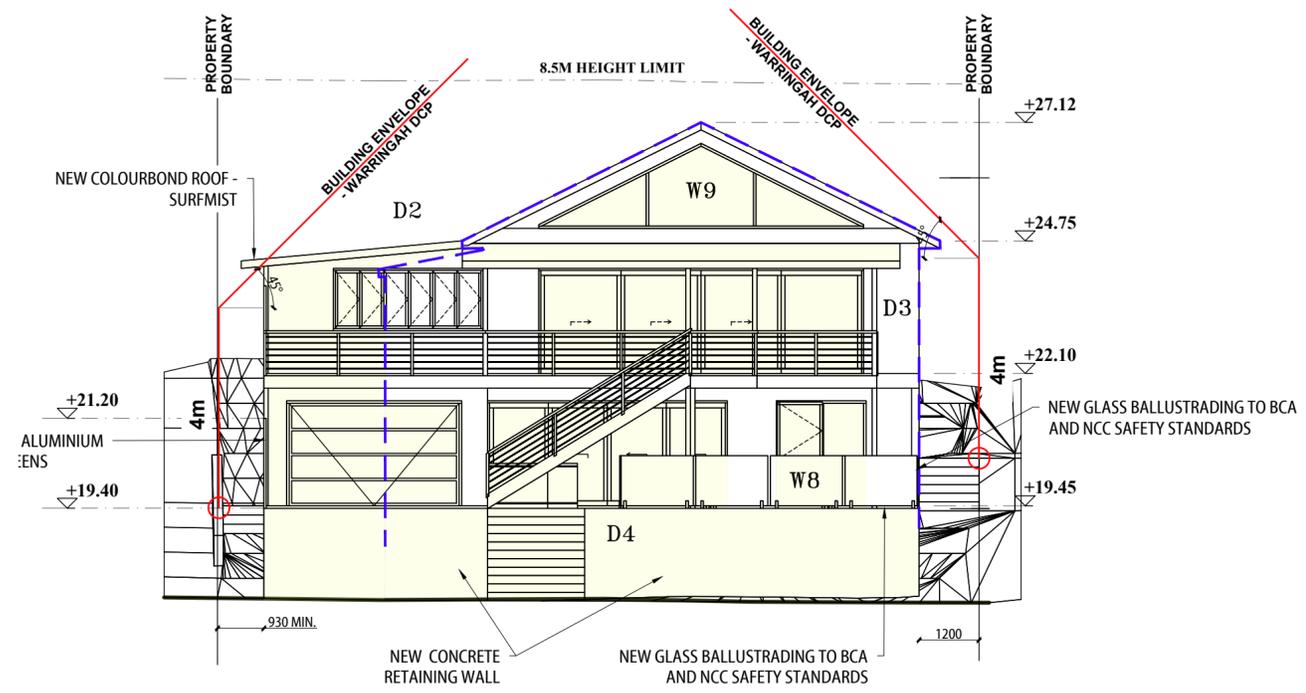
LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

**SWIMMING POOL FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE MANUFACTURED, DESIGNED, CONSTRUCTED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATIONS. THE FENCING AND WARNING NOTICES (RESUSCITATION CHART) SHALL BE PERMANENT STRUCTURES.**

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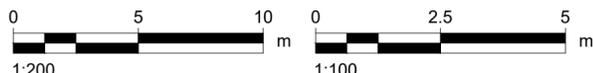
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AUSTRALIAN STANDARD AS1926.1 PART 1: SAFETY BARRIERS FOR SWIMMING POOLS  
(VI) AUSTRALIAN STANDARD AS1926.2 PART 2: LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS**



1 EAST ELEVATION – PROPOSED  
Scale 1:100

LEGEND:  
EXISTING BUILDING OUTLINE - - - -

**GENERAL NOTES**  
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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>7</b>
Scale 1:100	

DP No. 14137

LOT No. 402

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No.	Revision/Issue	Date

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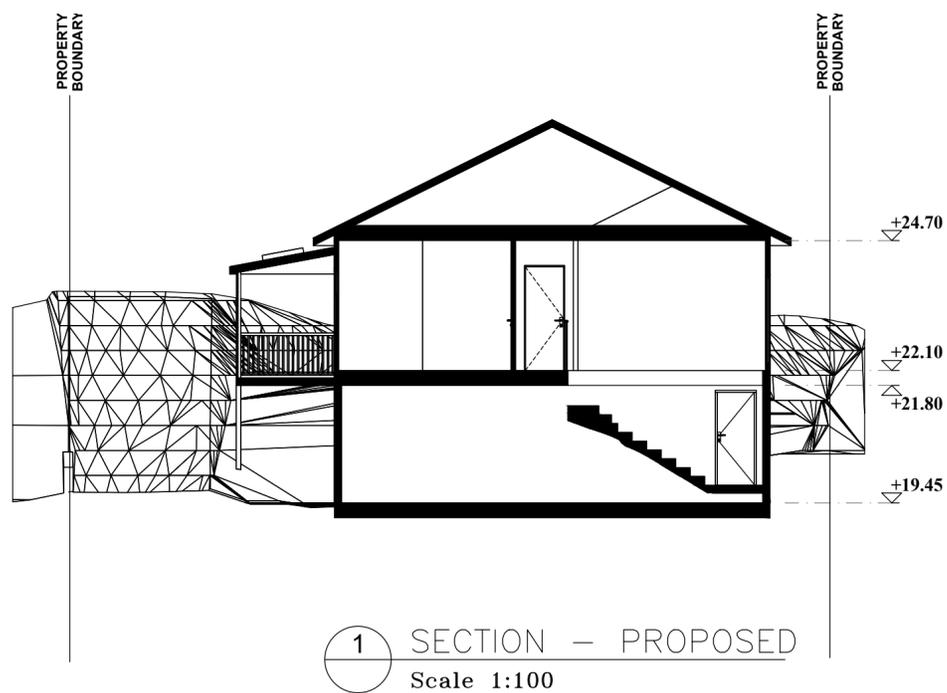
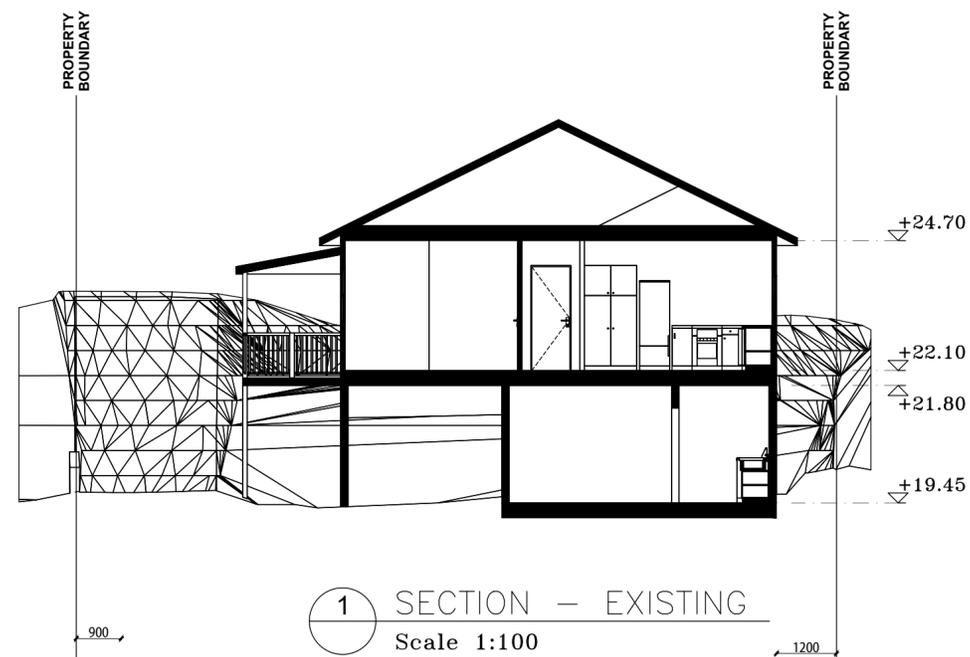
FILENAME

REV/DATE

USER

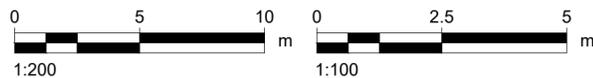
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General Notes



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DP No. 14137

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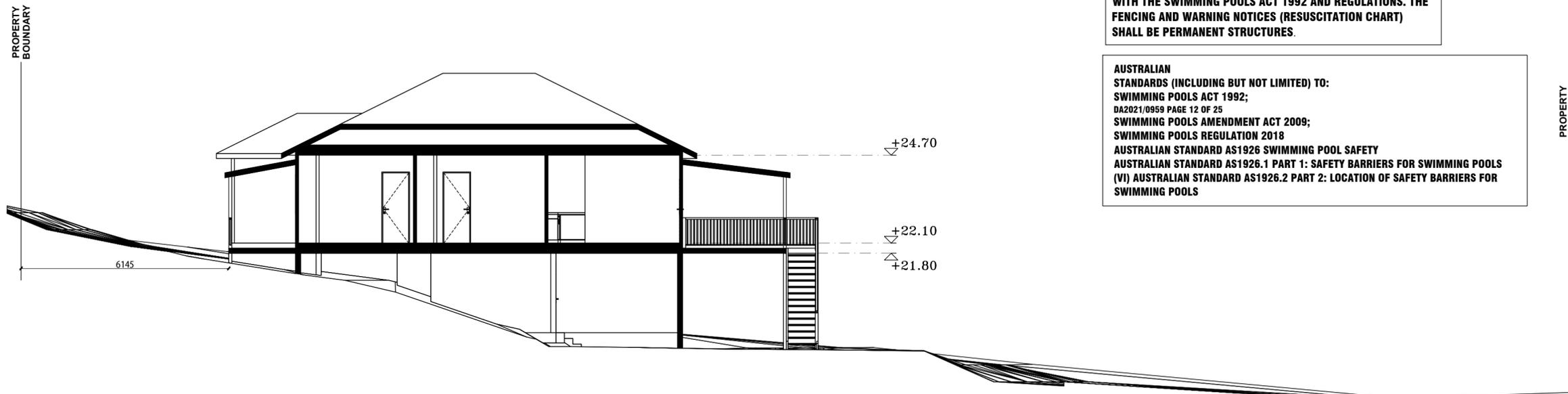
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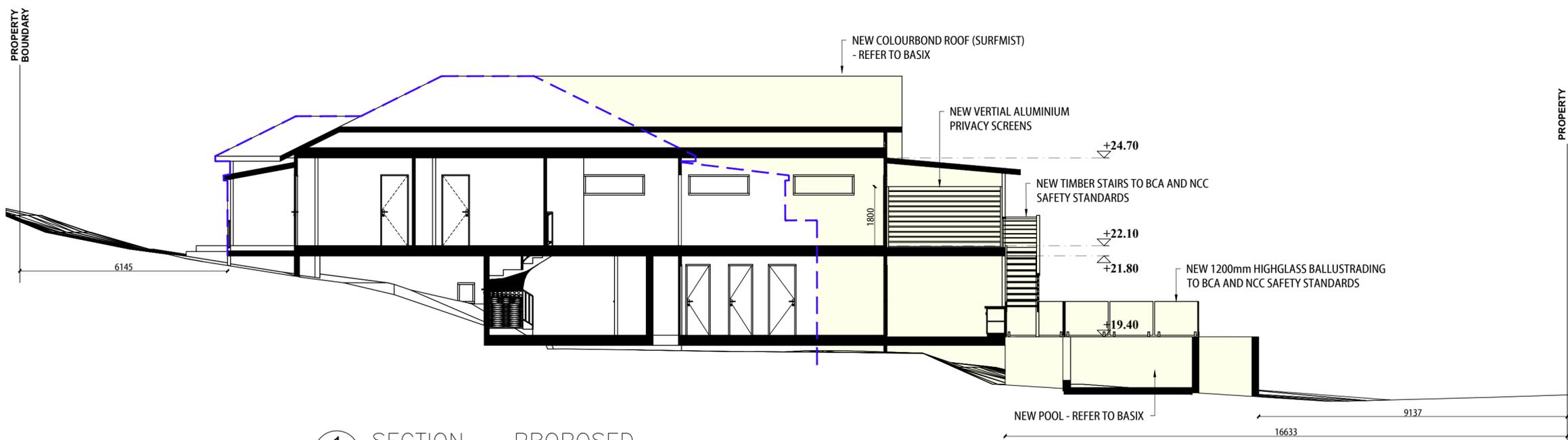
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1 SECTION – EXISTING  
Scale 1:100

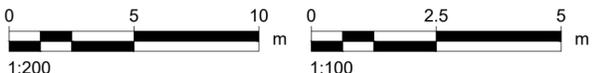


1 SECTION – PROPOSED  
Scale 1:100

LEGEND:  
EXISTING BUILDING OUTLINE - - - - -

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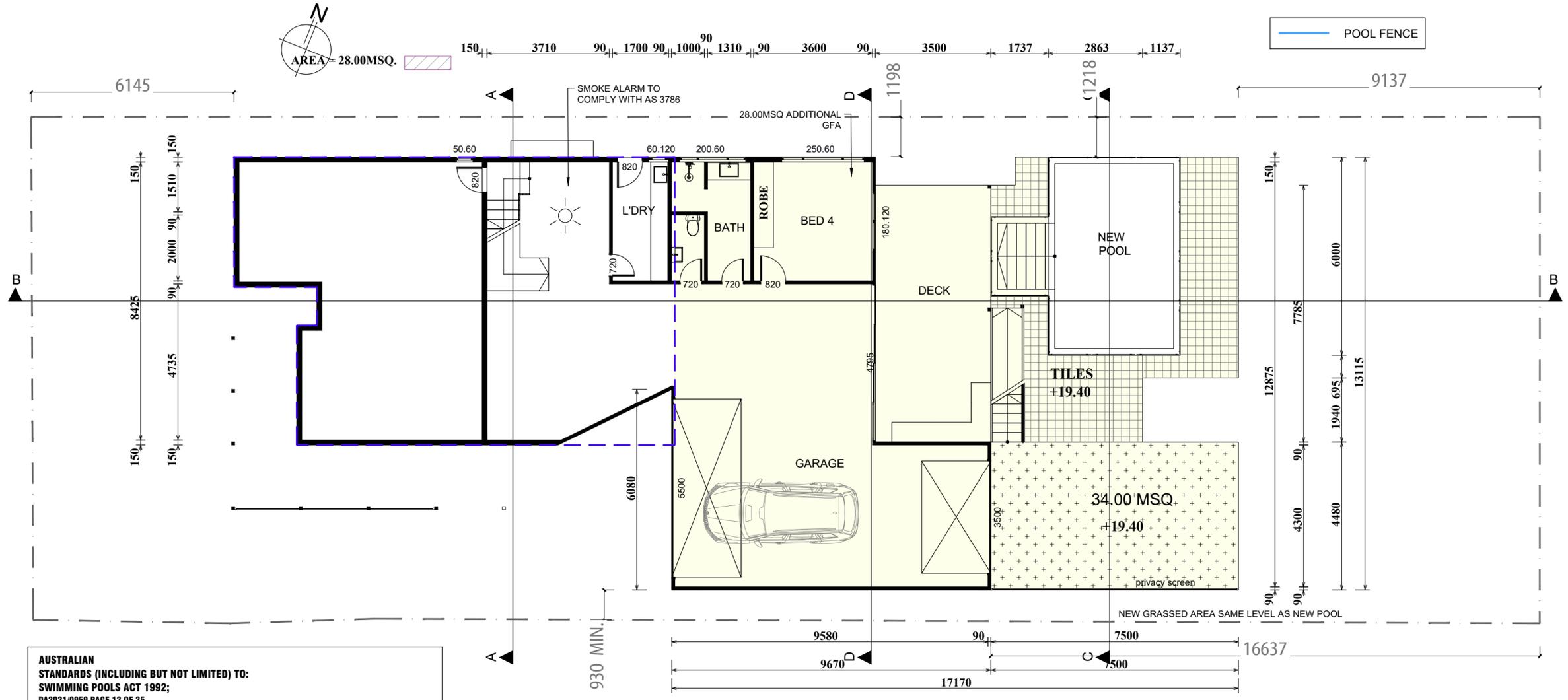


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LEGEND:  
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General Notes

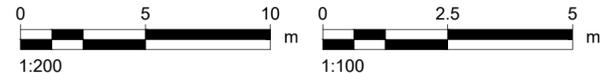


POOL FENCE

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1 LOWER FLOOR PLAN – PROPOSED  
Scale 1:100

LEGEND:  
 EXISTING BUILDING OUTLINE - - - - -

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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>10</b>
11/2022	
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DP No. 14137

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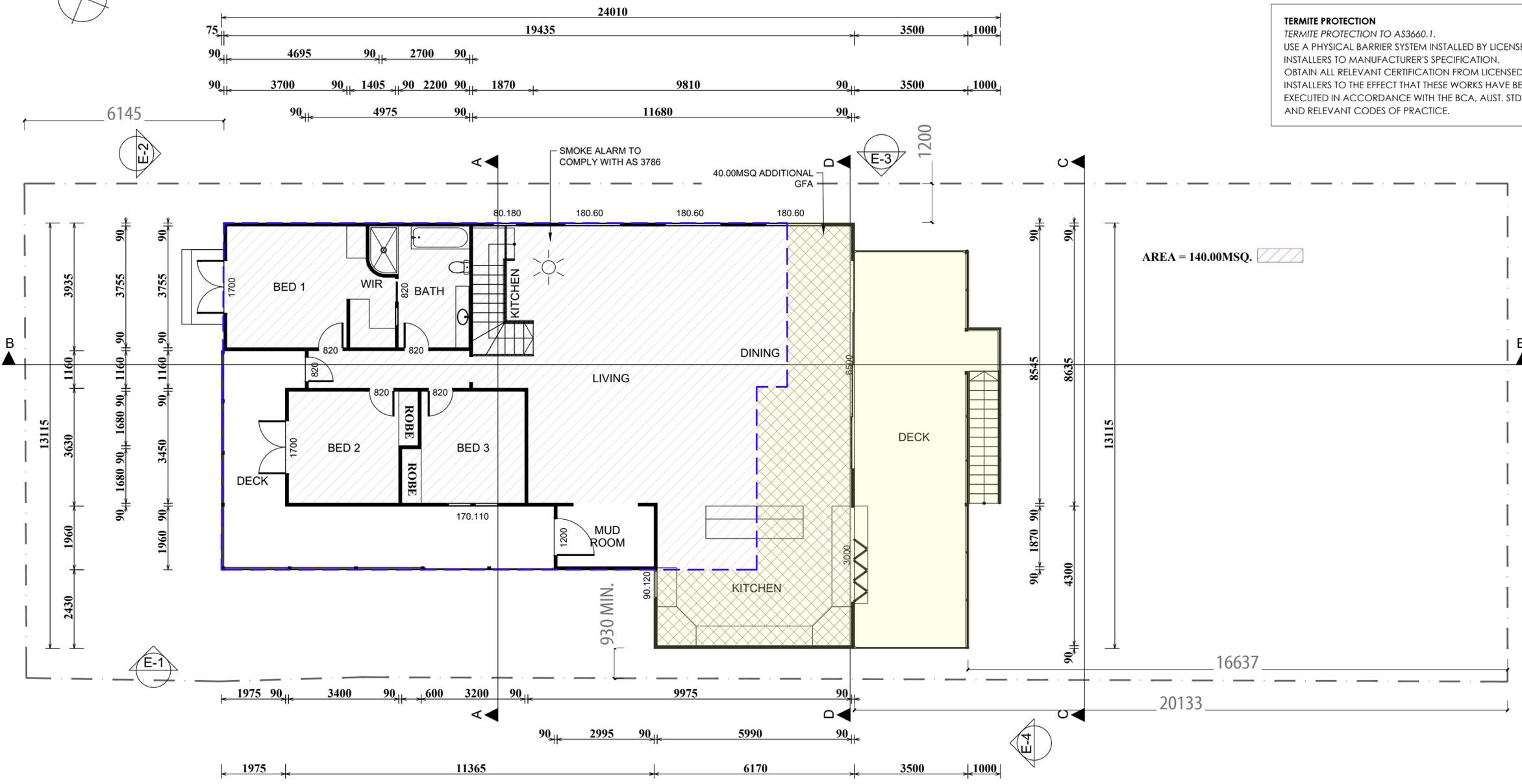
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USER



**DECKING**  
 TIMBER DECK IN ACCORDANCE WITH AS1684. ALLOW TO FIX SELECT GRADE HARDWOOD DECKING AS SUPPLIED BY PROPRIETOR. ALL HANDLING, STORAGE, INSTALLATION AND FINISHING AS RECOMMENDED BY THE MANUFACTURER. ALLOW FOR SUFFICIENT ACCLIMATIZATION PRIOR TO INSTALLATION. NEW TIMBER DECKING TO AS2796.

**TERMITE PROTECTION**  
 TERMITE PROTECTION TO AS3660.1. USE A PHYSICAL BARRIER SYSTEM INSTALLED BY LICENSED INSTALLERS TO MANUFACTURER'S SPECIFICATION. OBTAIN ALL RELEVANT CERTIFICATION FROM LICENSED INSTALLERS TO THE EFFECT THAT THESE WORKS HAVE BEEN EXECUTED IN ACCORDANCE WITH THE BCA, AUST. STDS AND RELEVANT CODES OF PRACTICE.

ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
 DEVELOPMENT APPLICATION  
 ASSISTANCE  
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LEGEND:  
 [Blue dashed line] EXISTING BUILDING OUTLINE  
 [Yellow fill] PROPOSED WORK

General Notes



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Date	<b>11</b>
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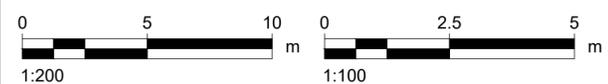
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**NSW 2093**

LEGEND:  
 [Blue dashed line] EXISTING BUILDING OUTLINE

**1 GROUND FLOOR PLAN – PROPOSED**  
 Scale 1:100

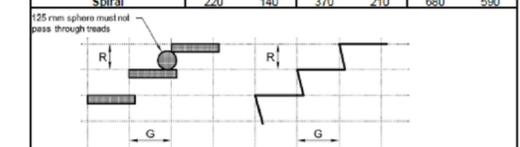
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**3.9.1.2 Stairway construction**  
 (a) A stairway must be designed to take loading forces in accordance with AS/NZS 1170.1 and must have—  
 (i) not more than 18 and not less than 2 risers in each flight; and  
 (ii) goings (G), risers (R) and a slope relationship quantity (2R + G) in accordance with Table 3.9.1.1, except as permitted by (b) and (c); and

Table 3.9.1.1 RISER AND GOING DIMENSIONS (mm)

STAIR TYPE	RISER (R) (see Figure below)		GOING (G) (see Figure below)		SLOPE RELATIONSHIP (2R+G)	
	Max	Min	Max	Min	Max	Min
Stairs (other than spiral)	190	115	355	240	700	550
Spiral	220	140	370	210	680	590

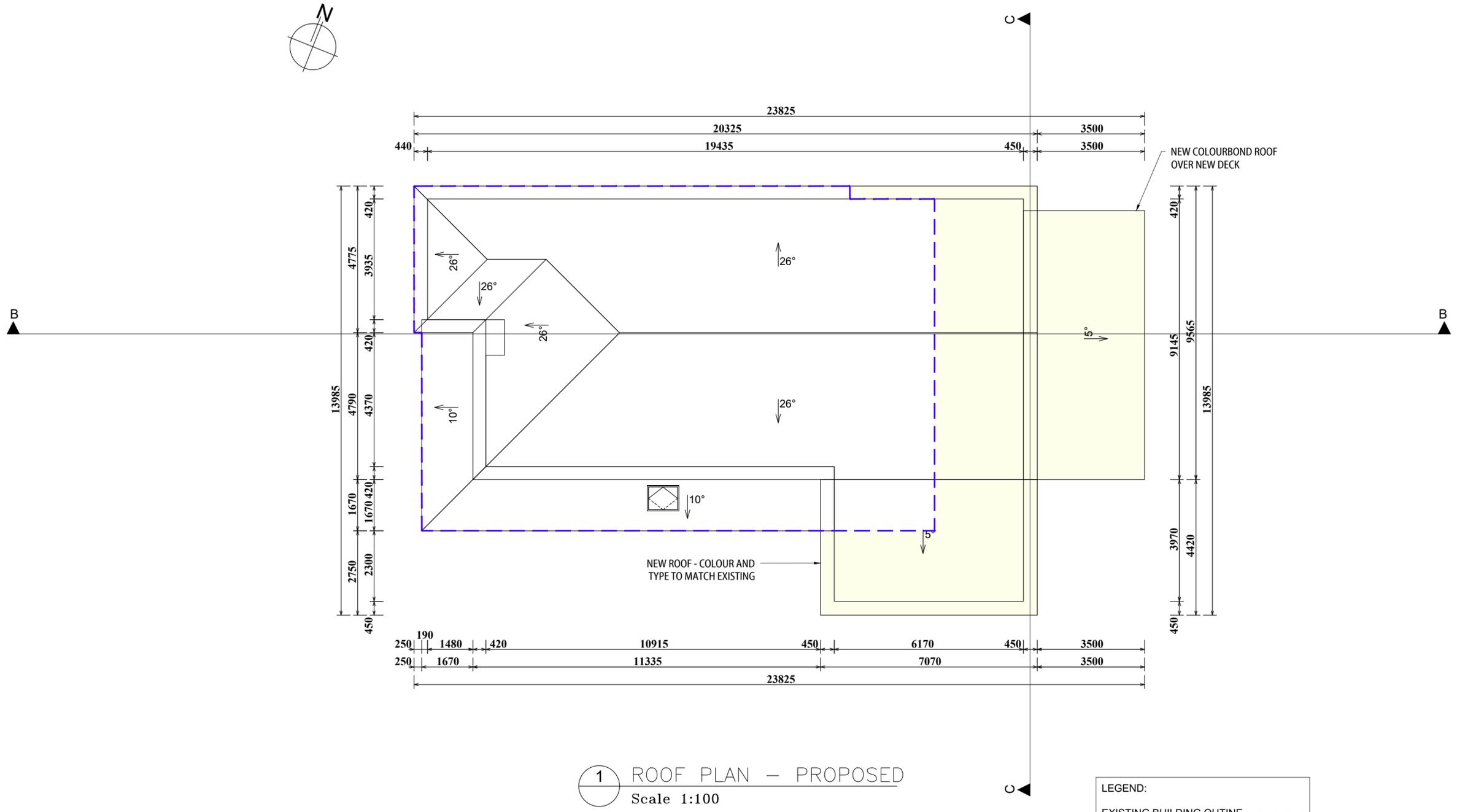


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General Notes



1 ROOF PLAN – PROPOSED  
Scale 1:100

LEGEND:  
EXISTING BUILDING OUTLINE - - - -



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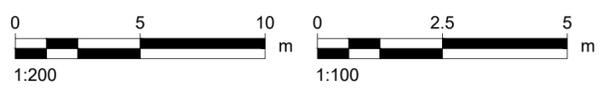
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FNAME

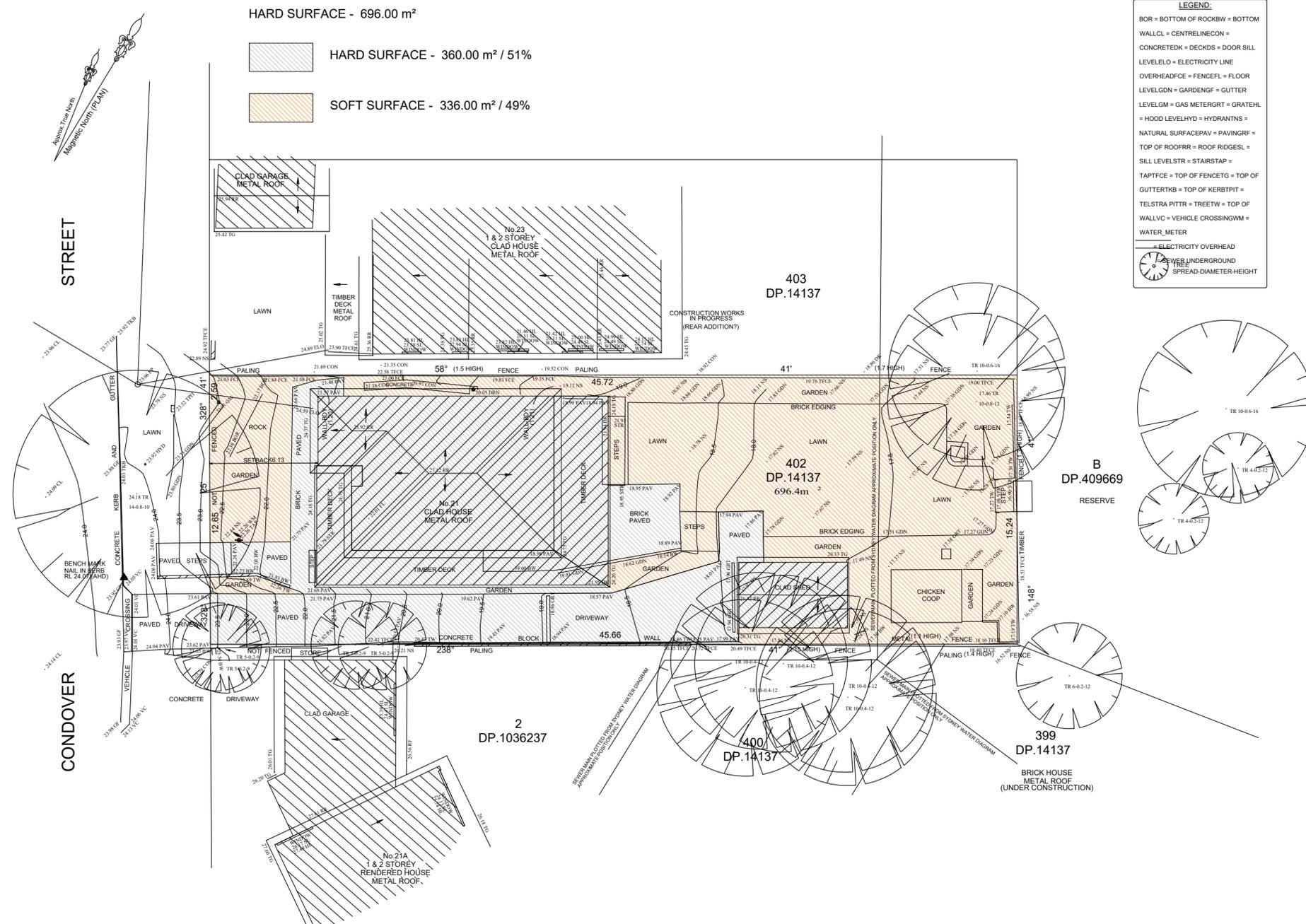
REVDATE

USER

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

LEGEND:  
 BOR = BOTTOM OF ROCKBW = BOTTOM  
 WALLCL = CENTRELINECON =  
 CONCRETEDK = DECKDS = DOOR SILL  
 LEVELLO = ELECTRICITY LINE  
 OVERHEADFCE = FENCEFL = FLOOR  
 LEVELGDN = GARDENGF = GUTTER  
 LEVELGM = GAS METERGRT = GRATEHL  
 = HOOD LEVELHYD = HYDRANTNS =  
 NATURAL SURFACEPAV = PAVINGRF =  
 TOP OF ROOFR = ROOF RIDGESL =  
 SILL LEVELSTR = STAIRSTAP =  
 TAPTFCE = TOP OF FENCEG = TOP OF  
 GUTTERTKB = TOP OF KERBPIT =  
 TELSTRA PITTR = TREETW = TOP OF  
 WALLVC = VEHICLE CROSSINGWM =  
 WATER\_METER  
 ELECTRICITY OVERHEAD  
 TREE  
 WATER UNDERGROUND  
 SPREAD-DIAMETER-HEIGHT



HARD SURFACE - 696.00 m<sup>2</sup>  
 HARD SURFACE - 360.00 m<sup>2</sup> / 51%  
 SOFT SURFACE - 336.00 m<sup>2</sup> / 49%



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Project Additions and Alterations	Sheet
Date	<b>13</b>
Scale	
1:200	

DP No. 14137

LOT No. 402

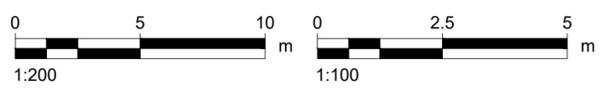
A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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**BEN & LORI MACCOUN**  
 21 CONDOVER ST  
 NORTH BALGOWLAH  
 NSW 2093

# LANDUSE DIAGRAM - EXISTING

## SCALE 1:200



**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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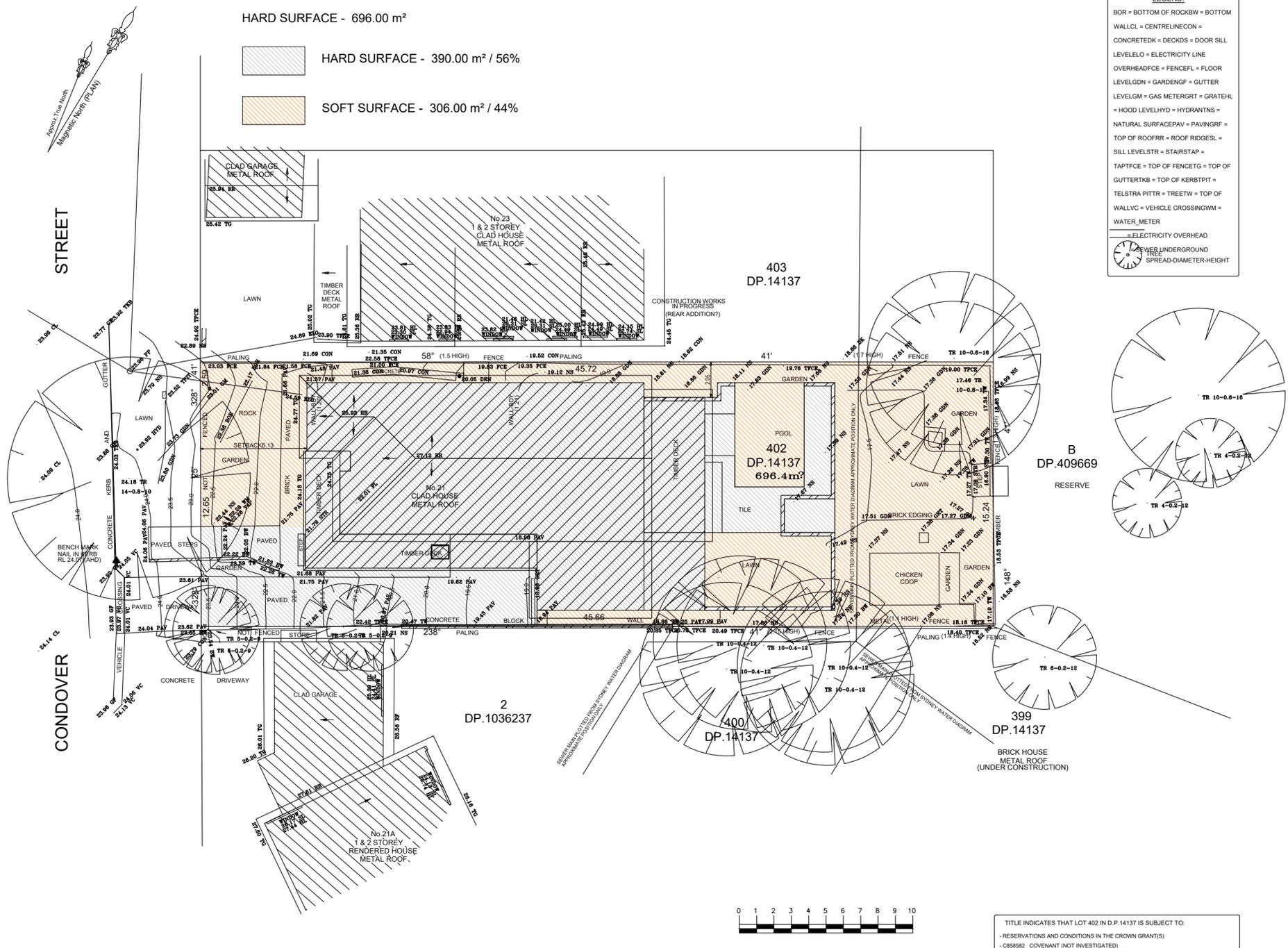
REVDATE

USER

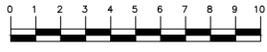
LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

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 WALLCL = CENTRELINECON =  
 CONCRETEK = DECKSDS = DOOR SILL  
 LEVELELO = ELECTRICITY LINE  
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 TELSTRA PITTR = TREETW = TOP OF  
 WALLVC = VEHICLE CROSSINGWM =  
 WATER\_METER  
 = ELECTRICITY OVERHEAD  
 POWER UNDERGROUND  
 TREE  
 SPREAD-DIAMETER-HEIGHT



HARD SURFACE - 696.00 m<sup>2</sup>  
 HARD SURFACE - 390.00 m<sup>2</sup> / 56%  
 SOFT SURFACE - 306.00 m<sup>2</sup> / 44%

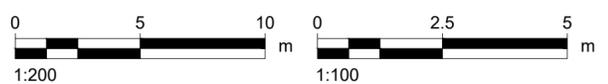


TITLE INDICATES THAT LOT 402 IN D.P. 14137 IS SUBJECT TO:  
 - RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)  
 - CS5582 COVENANT (NOT INVESTIGATED)

# LANDUSE DIAGRAM - PROPOSED

## SCALE 1:200

**GENERAL NOTES**  
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 • CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>14</b>
11/2/2022	
Scale	
1:200	

DP No. **14137**

LOT No. **402**

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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**NSW 2093**

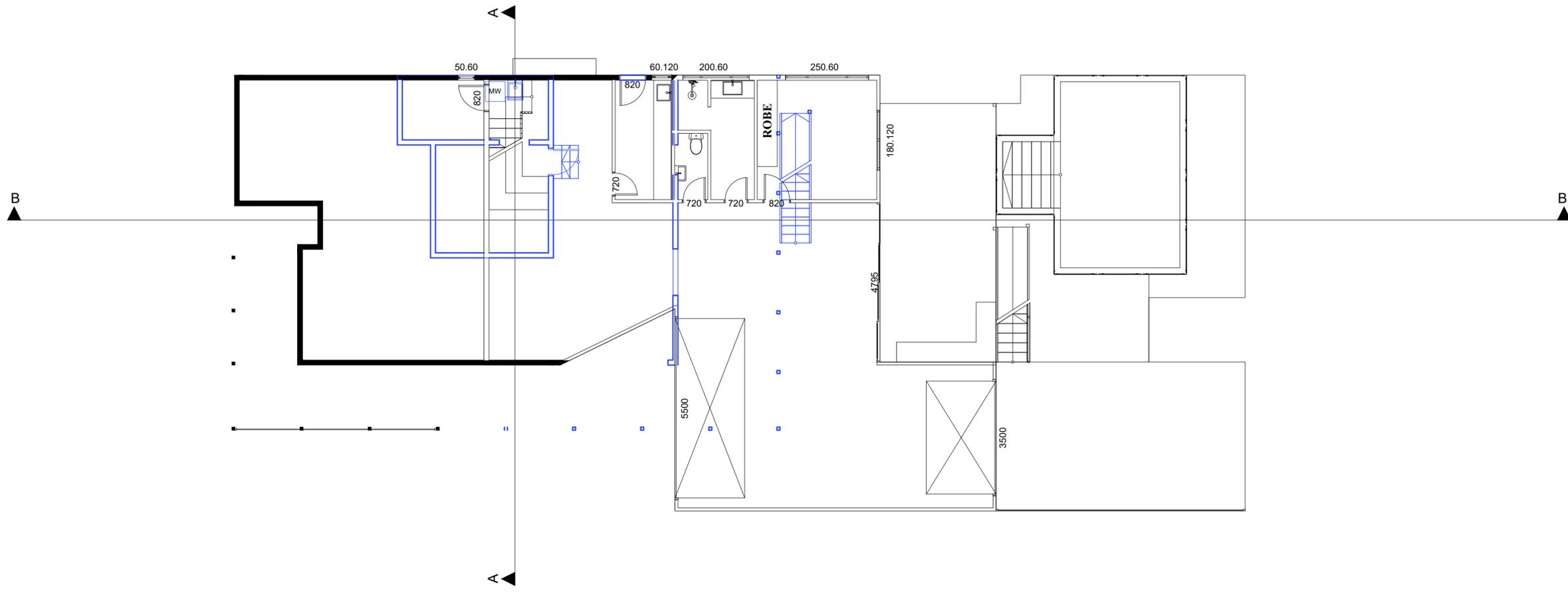
FNAME

REVDATE

USER

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



## DEMO PLAN - LOWER FLOOR

### SCALE 1:100

LEGEND:  
 EXISTING WORKS TO BE REMOVED



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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>15</b>
11/2/2022	
Scale	
1:200	

DP No. **14137**

LOT No. **402**

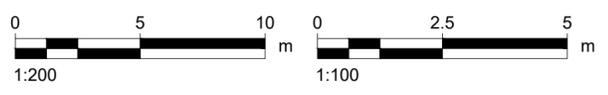
A	ISSUED FOR DA	XXXX
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**GENERAL NOTES**

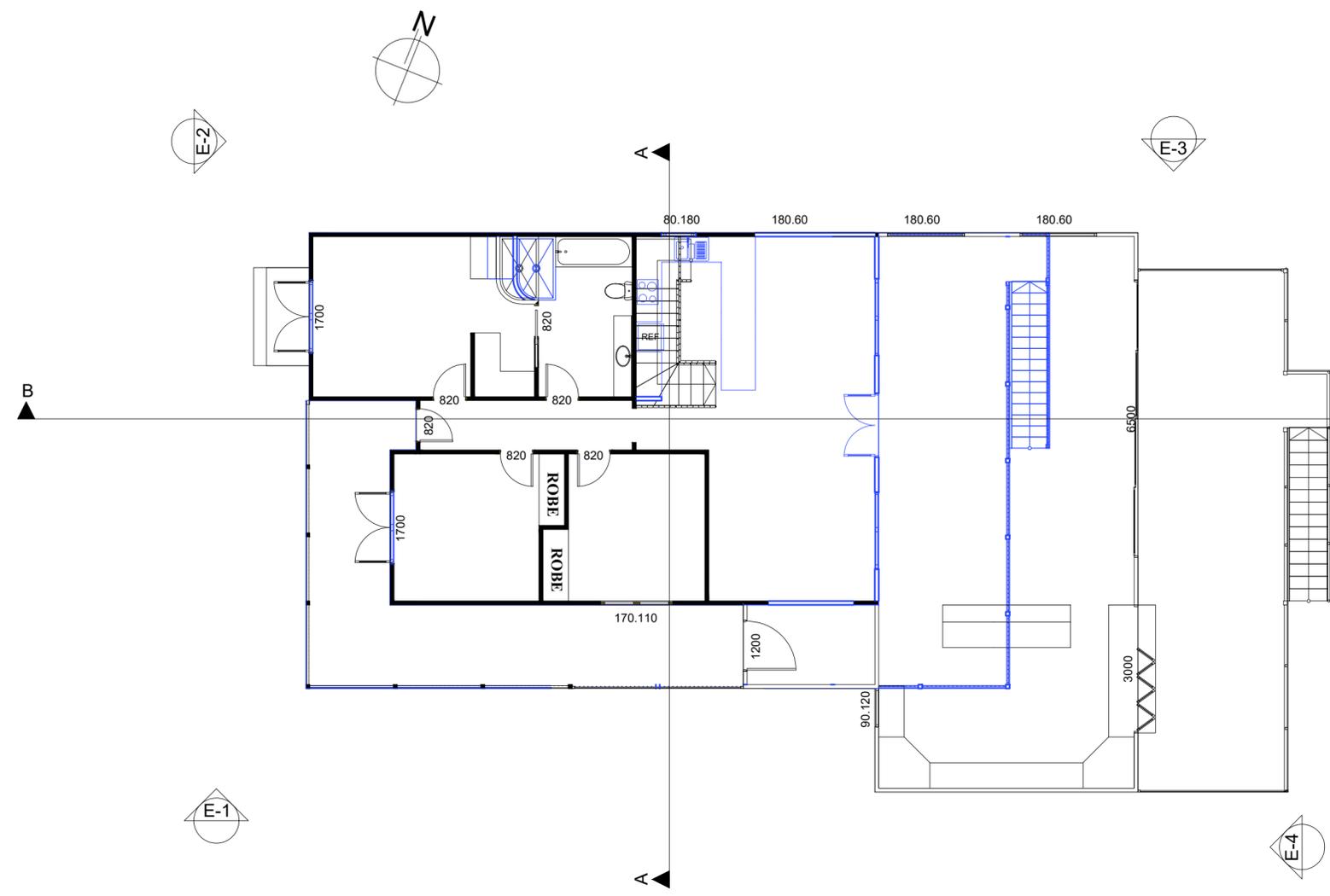
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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



**DEMO PLAN - GROUND FLOOR**  
**SCALE 1:100**

LEGEND:  
 EXISTING WORKS TO BE REMOVED



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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>16</b>
11/2/2022	
Scale	
1:200	

DP No. 14137

LOT No. 402

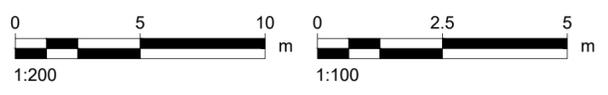
A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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**NSW 2093**

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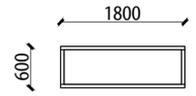
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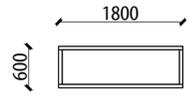
USER

**NOTE: ALL WINDOWS AND DOORS MUST BE CHECKED AND MEASURED BY THE WINDOW / DOOR MANUFACTURER BEFORE ORDERING**

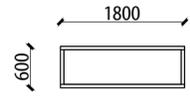
NORTH ELEVATION – PROPOSED



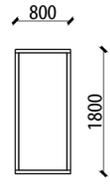
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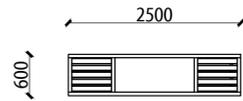
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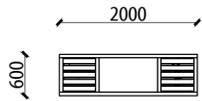
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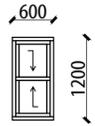
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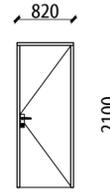
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AREA = 1.50MSQ



W6  
AREA = 1.20MSQ



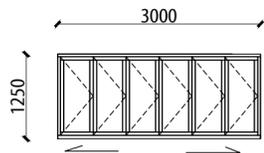
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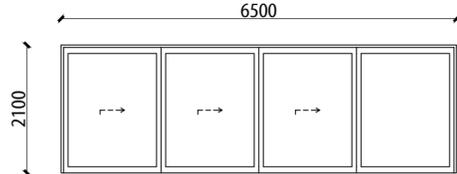
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**WINDOWS AND DOORS FOR BASIX**

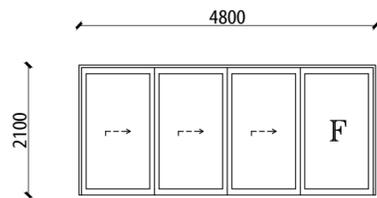
EAST ELEVATION – PROPOSED



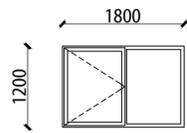
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AREA = 3.75



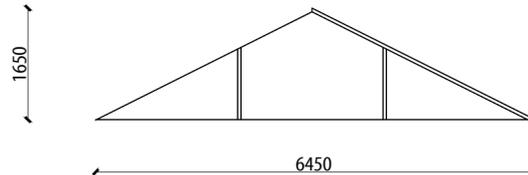
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AREA = 13.65MSQ



D4  
AREA = 10.08MSQ

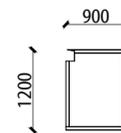


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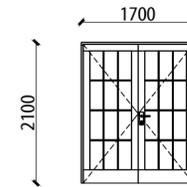


W9  
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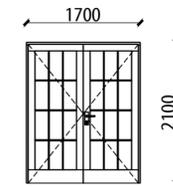
WEST ELEVATION – PROPOSED



W10



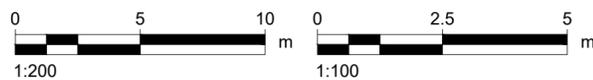
D5  
AREA = 1.50MSQ



D6  
AREA = 1.50MSQ

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>17</b>
Scale 1:200	

DP No. 14137

LOT No. 402

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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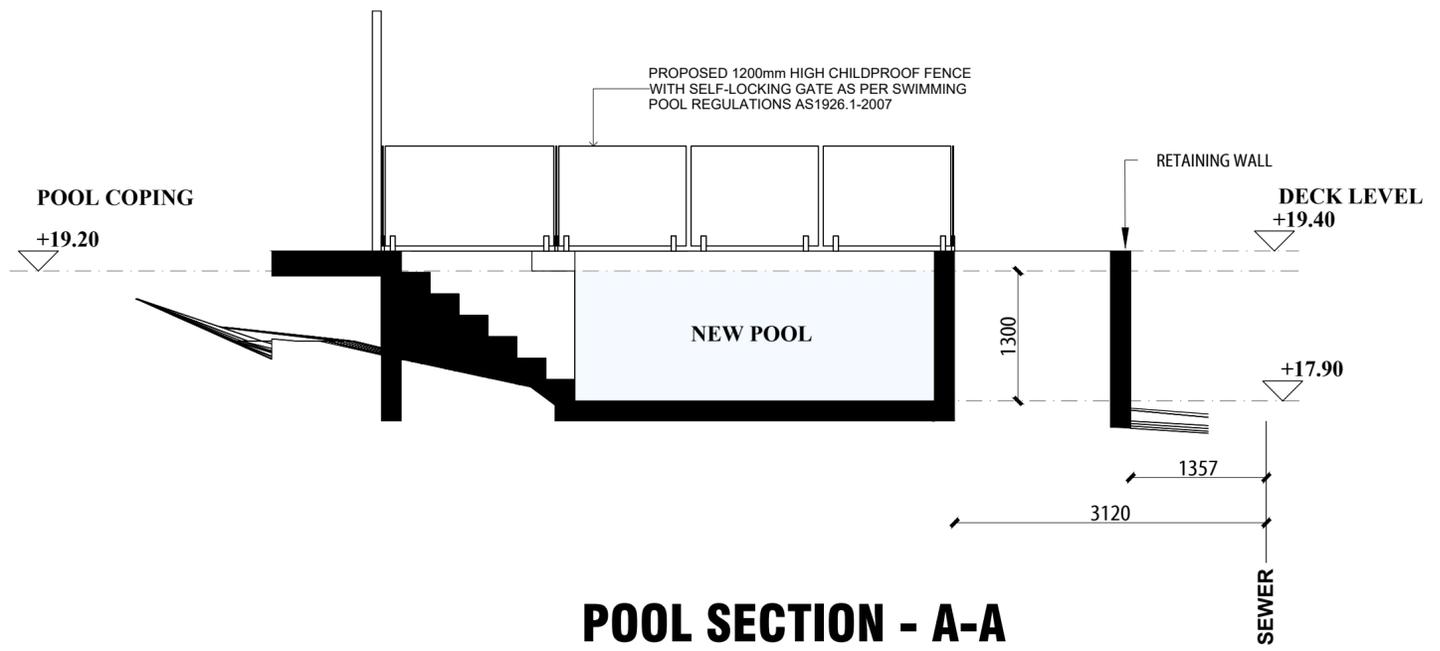
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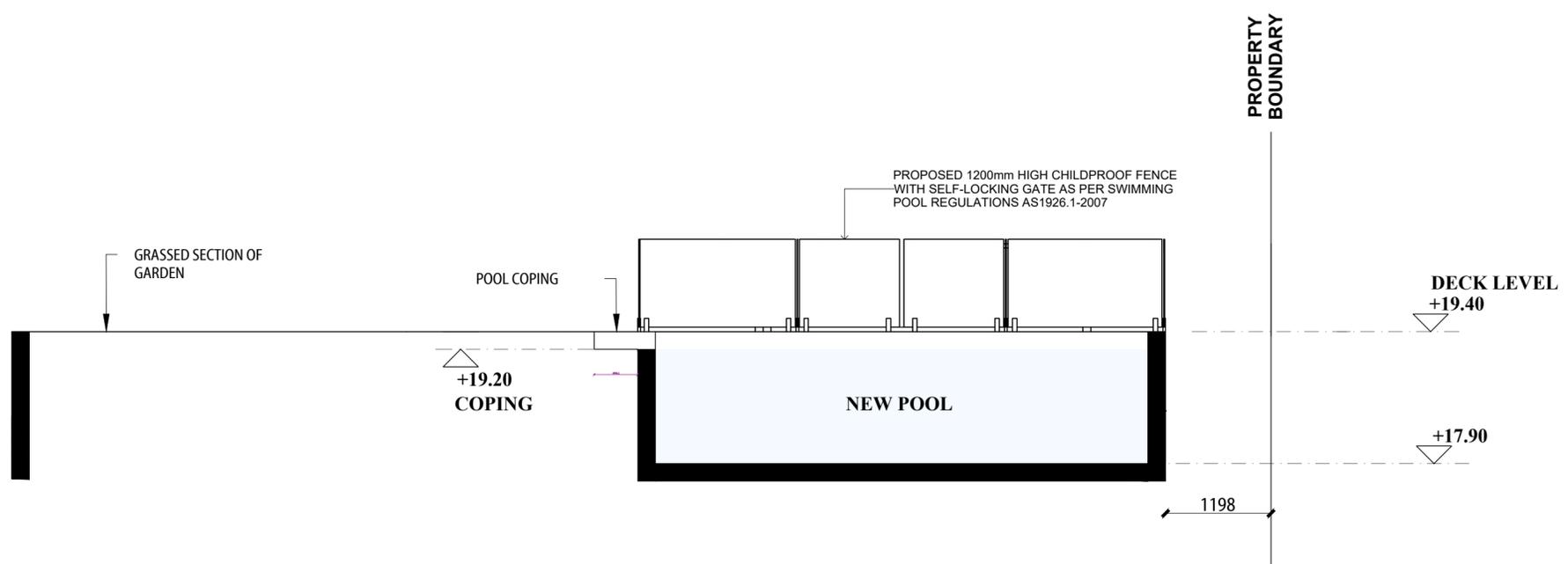
USER

LEGEND:  
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 PROPOSED WORK

General Notes



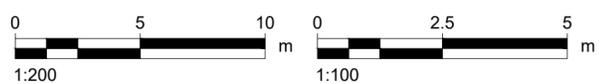
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SCALE 1:200



**POOL SECTION - B-B**  
SCALE 1:200

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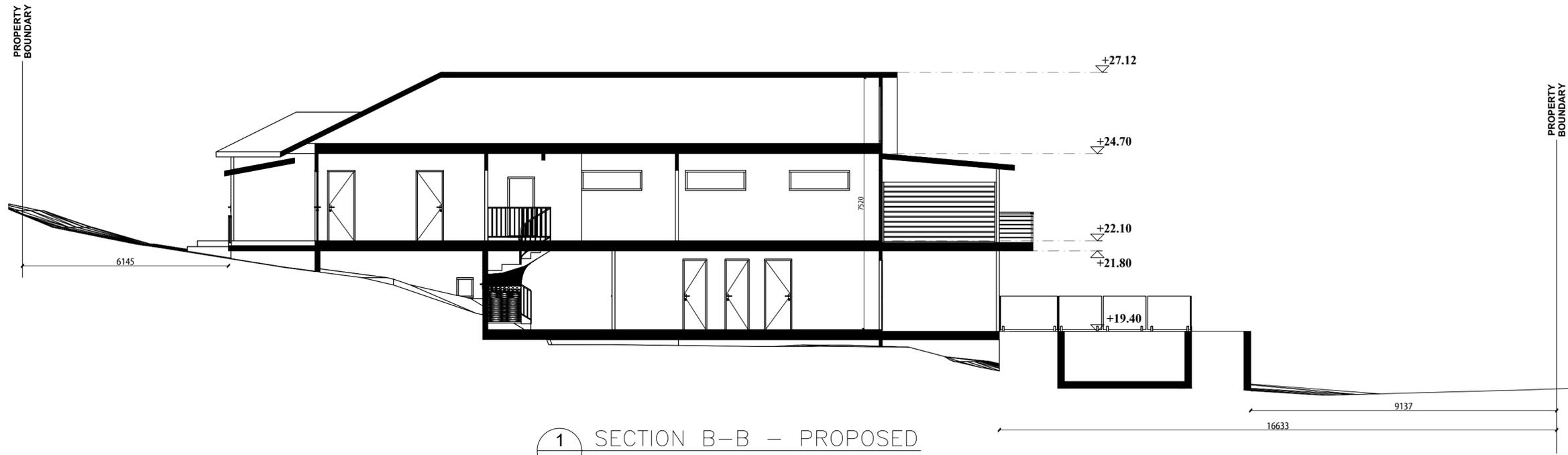
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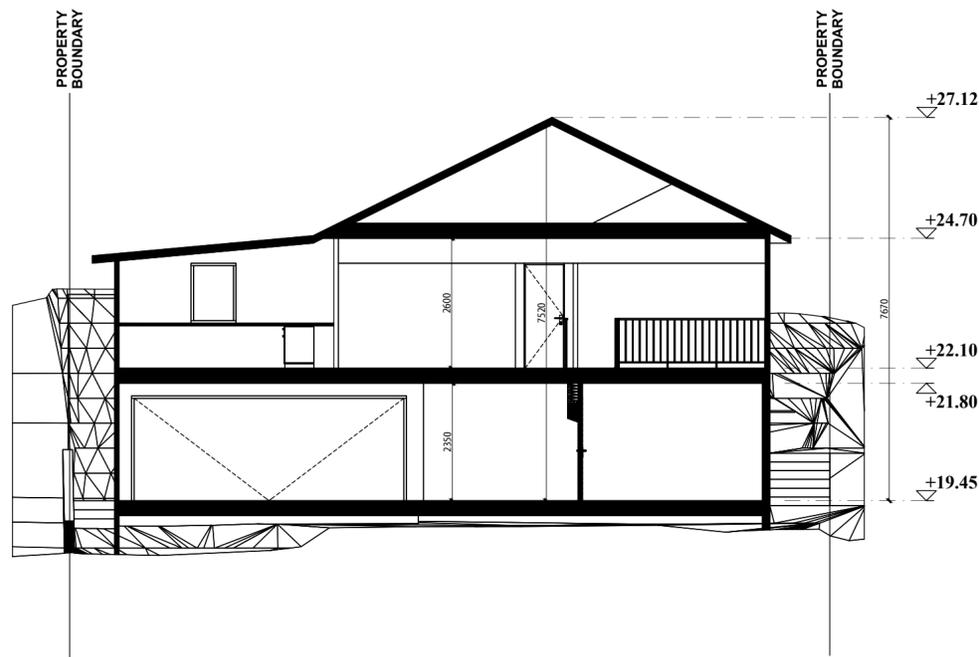
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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



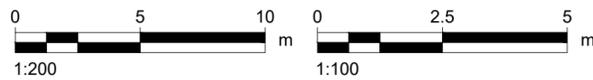
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Scale 1:100



1 SECTION C-C – PROPOSED  
Scale 1:100

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>17</b>
Scale 1:200	

DP No. 14137

LOT No. 402

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No.	Revision/Issue	Date

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# NOTIFICATION PLAN

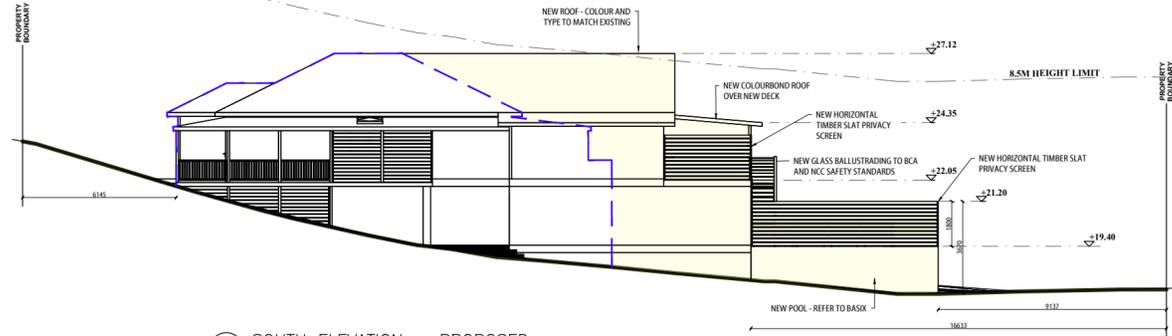
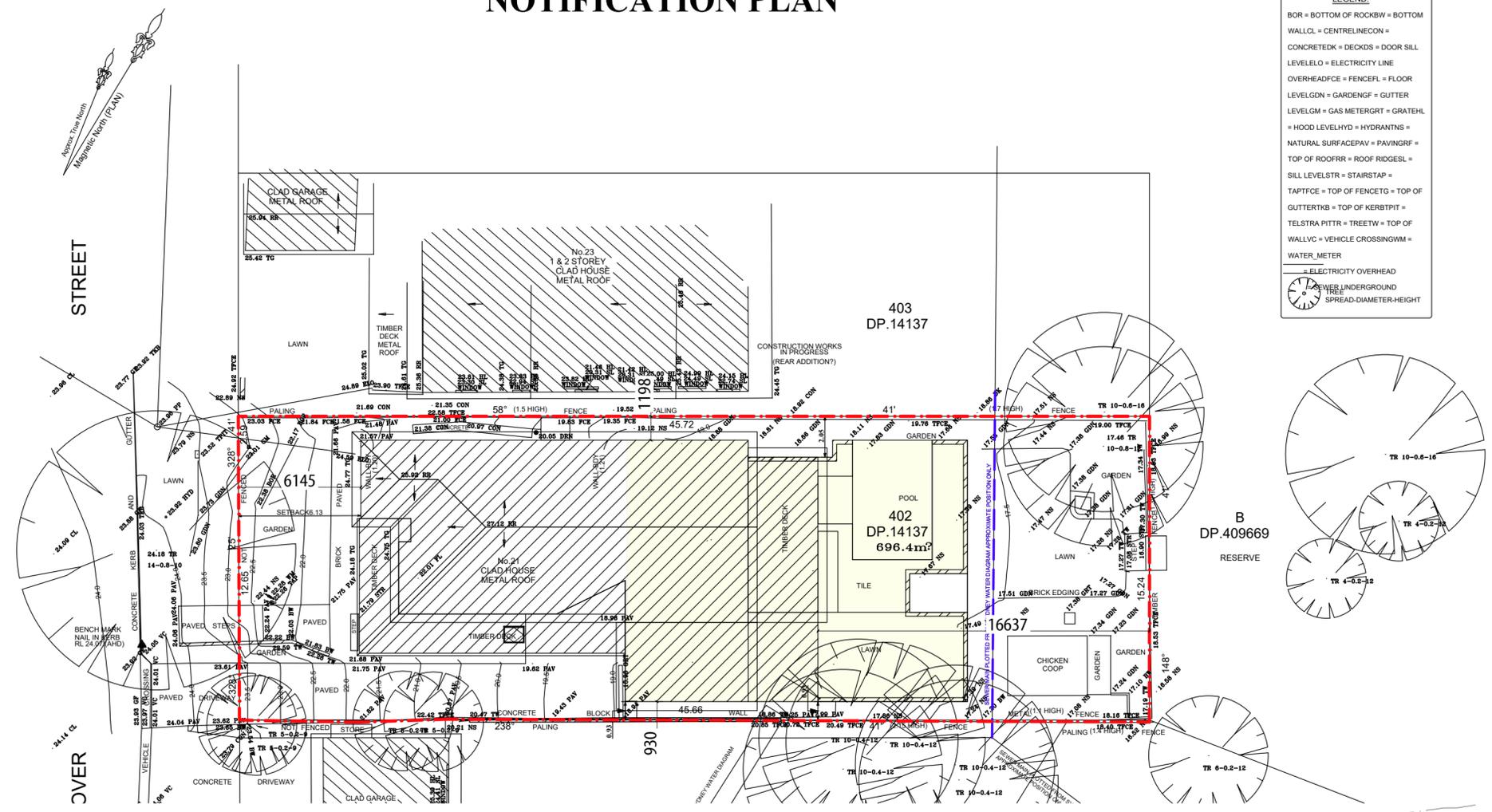
**LEGEND:**

BOR = BOTTOM OF ROCKBW = BOTTOM  
 WALLCL = CENTRELINECON =  
 CONCRETEDK = DECKDS = DOOR SILL  
 LEVELLELO = ELECTRICITY LINE  
 OVERHEADFCE = FENCEFL = FLOOR  
 LEVELGON = GARDENGF = GUTTER  
 LEVELGM = GAS METERGRT = GRATEHL  
 HOODLEVELHYD = HYDRANTNS =  
 NATURAL SURFACEPAV = PAVINGRF =  
 TOP OF ROOFRR = ROOF RIDGESL =  
 SILL LEVELSTR = STAIRSTAP =  
 TAPTFCE = TOP OF FENCEG = TOP OF  
 GUTTERKB = TOP OF KERBPIT =  
 TELSTRA PITTR = TREETW = TOP OF  
 WALLVC = VEHICLE CROSSINGWM =  
 WATER\_METER  
 ELECTRICITY OVERHEAD  
 UNDERGROUND  
 SPREAD-DIAMETER-HEIGHT

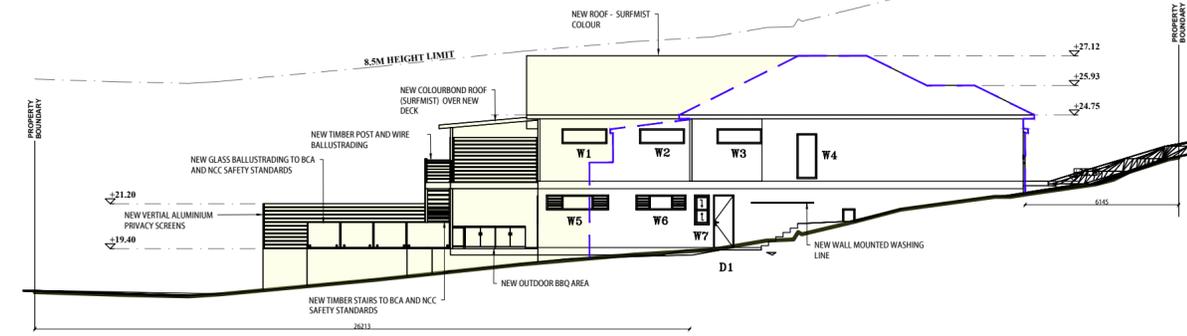
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**LEGEND:**  
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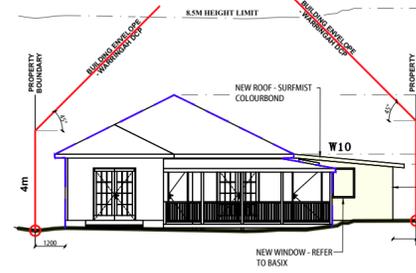
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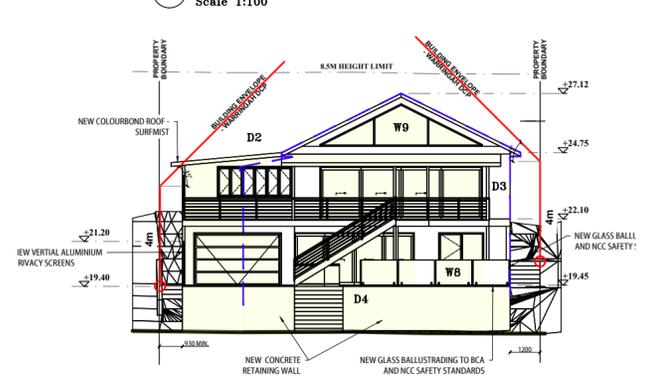
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1 NORTH ELEVATION - PROPOSED  
 Scale 1:100



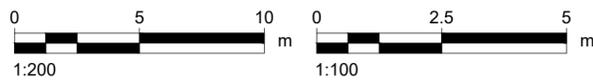
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 Scale 1:100



1 EAST ELEVATION - PROPOSED  
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Scale	
NTS	

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 LOT No. **402**

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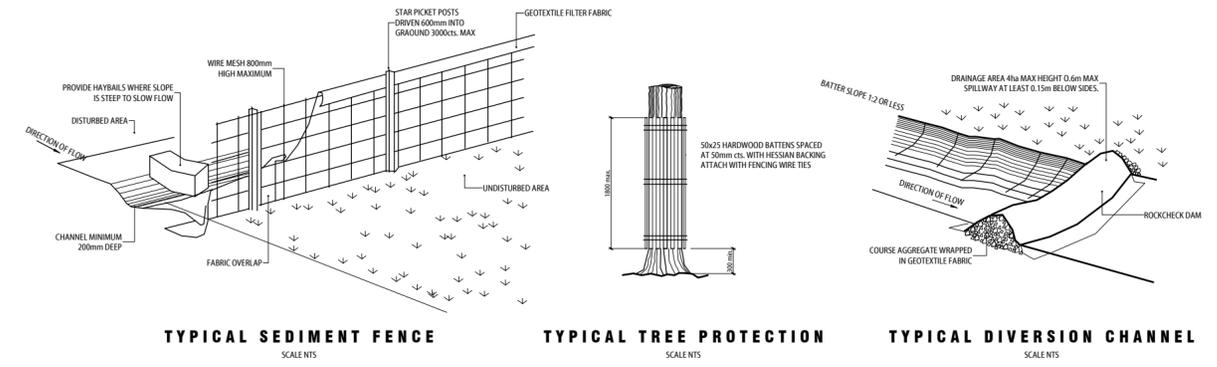
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**Typical Sediment Fence**  
 SCALE NTS  
 PROVIDE HAYBALS WHERE SLOPE IS STEEP TO SLOW FLOW. DISTURBED AREA. UNDISTURBED AREA. CHANNEL MINIMUM 200mm DEEP. FABRIC OVERLAP. WIRE MESH 800mm HIGH MAXIMUM. STAR PICKET POSTS DRIVEN 600mm INTO GRAUND 3000cfs. MAX. GEOTEXTILE FILTER FABRIC.

**Typical Tree Protection**  
 SCALE NTS  
 50x25 HARDWOOD BATTENS SPACED AT 500mm C/L. WITH HESSIAN BACKING ATTACH WITH FENCING WIRE TIES.

**Typical Diversion Channel**  
 SCALE NTS  
 BATTER SLOPE 1:3 OR LESS. DRAINAGE AREA 40sq MAX HEIGHT 0.6m MAX. SPILLWAY AT LEAST 0.15m BELOW SIDES. COURSE AGGREGATE WRAPPED IN GEOTEXTILE FABRIC. ROCKCHECK DAM.

**Designated Site Manager/Builder**  
 PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ANY OTHER FORM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**Topsoil Management**  
 PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE RECORDED BY EITHER LASING OR MAPPING.  
 ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE.  
 SOIL STOCKPILES MUST NOT BE LOCATED ON NATIVE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/SLOWS/PATHS OR ANYWHERE AGAINST TREE TRUNKS.  
 SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY SEDIMENT STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AHEAD OF IT.  
 IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRADED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

**Building Material Stockpiling**  
 SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, CONSTRUCTION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**Sediment Fences**  
 A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARIES OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TREE FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

**Vehicle Movements**  
 TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS.  
 ACCESS POINTS AND APRING AREAS ARE TO BE STABILISED WITH COMPACTED SAND GRADE AS SOON AS POSSIBLE AFTER THEIR FORMATION. WHERE OTHER LOGS OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.  
 ALL VEHICLES ARE TO BE WASHED PRIOR TO EXITING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. ALL POLLUTED WATER MUST BE RETAINED ON SITE FOR TREATMENT BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM.  
 NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE.  
 ALL VEHICLES USING THE SITE DURING CONSTRUCTION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.

**Sediment Traps**  
 WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

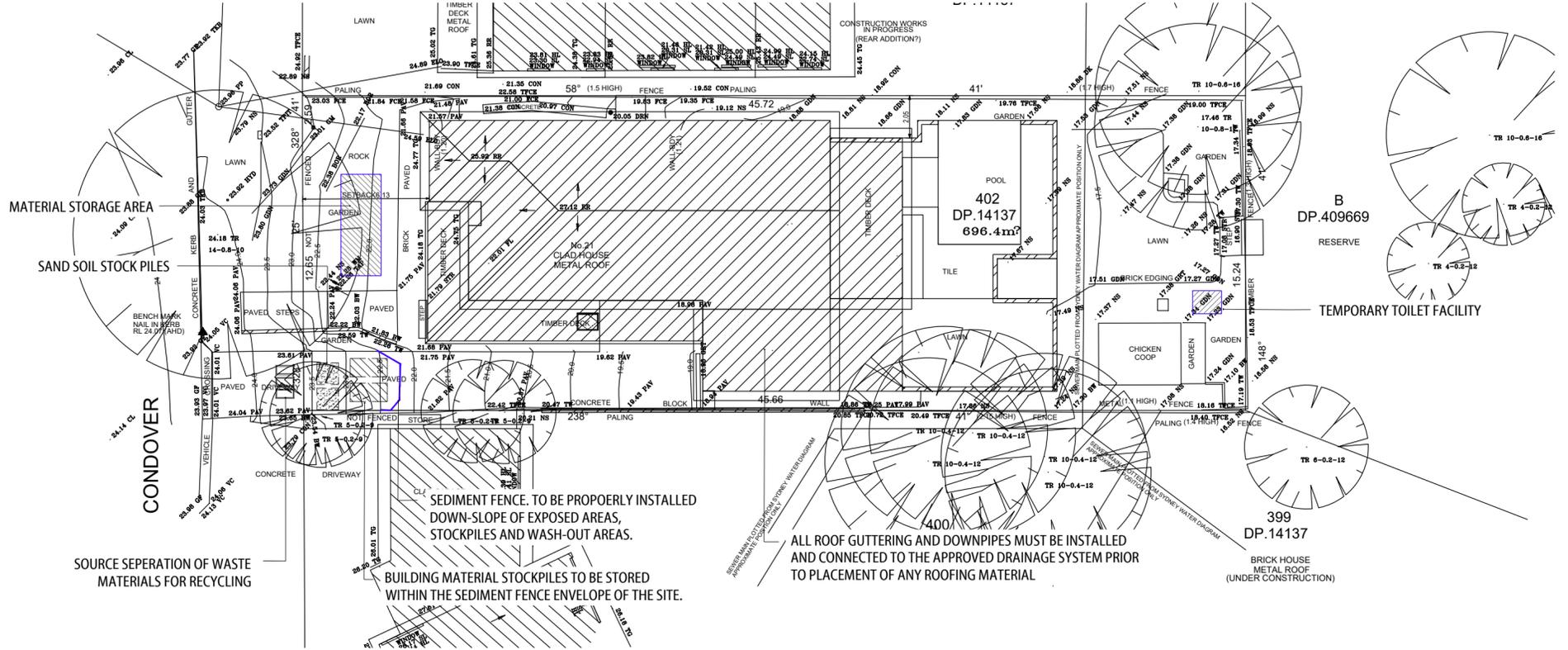
**Diversion Channels**  
 A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE VORTEXES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIGNATED LOCATION WHERE POSSIBLE.  
 ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE PERIPHERY OF THE CONSTRUCTION WORKS WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**Erosion & Sediment Controls**  
 APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.  
 THESE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF RAW WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.  
 EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE DUST.

**Dust Control**  
 ALL STOCKPILES MUST COVER THEIR LOADS AT ALL TIMES.  
 APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR ON WIND PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EXCAVATIONS, WATERING AND PROGRESSIVE VEGETATION.  
 WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, CURBED AND/OR AT THE END OF EACH DAY TO LAY THE DUST.  
 EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE DUST.

**LEGEND:**  
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 PROPOSED WORK

**General Notes**



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# SEDIMENT & EROSION CONTROL PLAN

SCALE 1:200

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**Project Additions and Alterations**

Date	11/09/2022	
Scale	NTS	
Project No.	14137	
Lot No.	402	
Sheet	<b>S1</b>	
A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

**Project Name and Address**  
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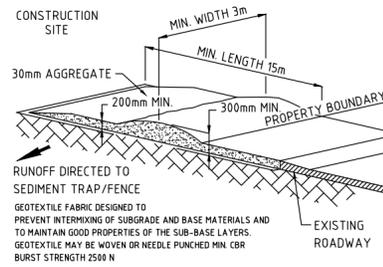
**PROUDLY SUPPORTING**  
**bear cottage**  
 a member of the children's hospital foundation

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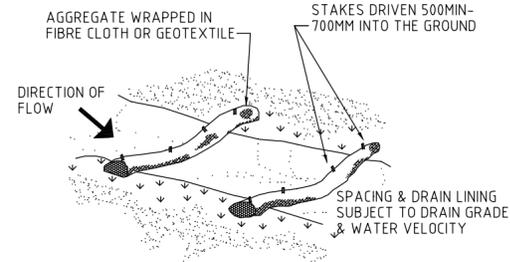
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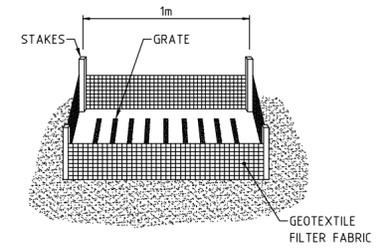
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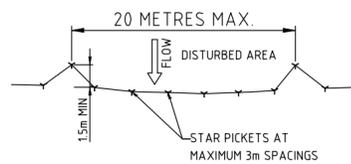
**STABILISED SITE ACCESS**



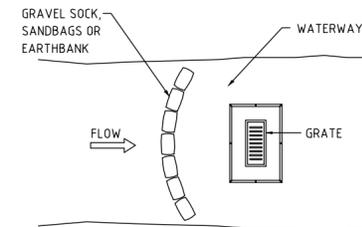
**GRAVEL SOCK CHECK DAM**



**GEOTEXTILE STORMWATER INLET FILTER**



**SEDIMENT FENCE PLAN**



**STORMWATER INLET FILTER**

**CONTROLLING CONTAMINATION ON SITE**

Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overland flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodible areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

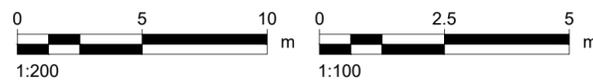
**POST-CONSTRUCTION AND EROSION CONTROL**

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion. Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf. Mulch (straw or other material) can be used on open garden beds to protect soil and support plant growth. Mulch spread to a depth of 75-100mm minimises soil and water loss and controls weed growth. Mulch may be less suitable on steep sites and in high wind areas. Temporary, quick germinating grasses such as rye and oats can be used to stabilise soil until slower growing plants can be established. This method is only effective after the grass seeds have germinated and established a root structure. Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes. Integrate landscaping strategy with sediment control. For example, diversion channels and trenches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

**SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS**

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Scale NTS	

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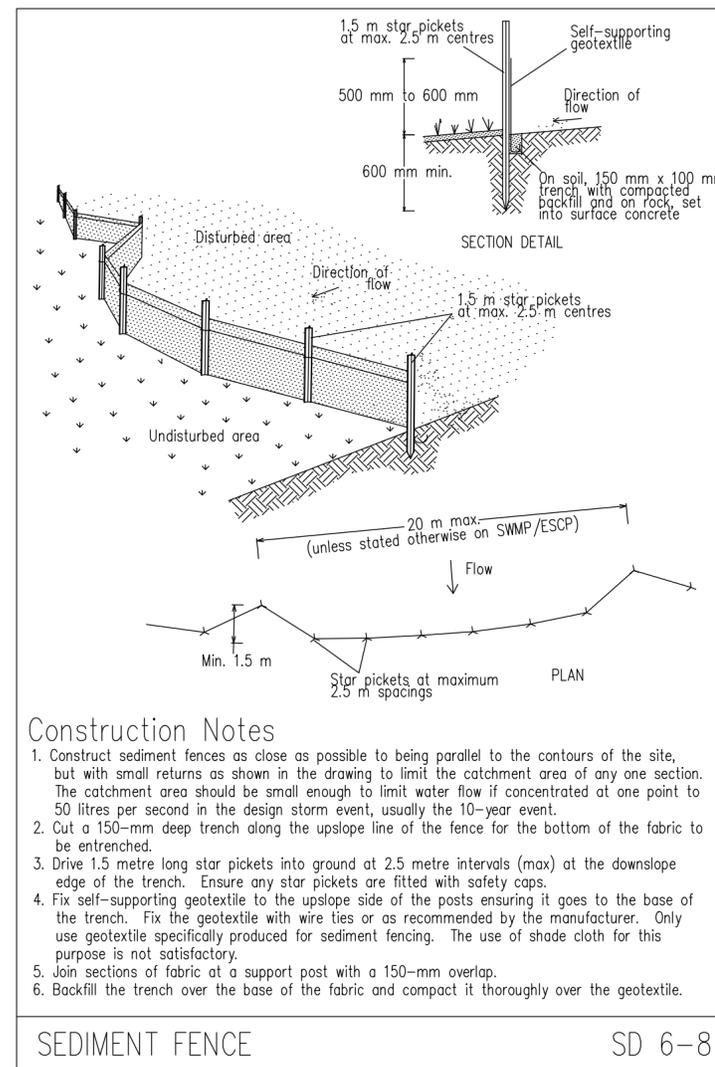
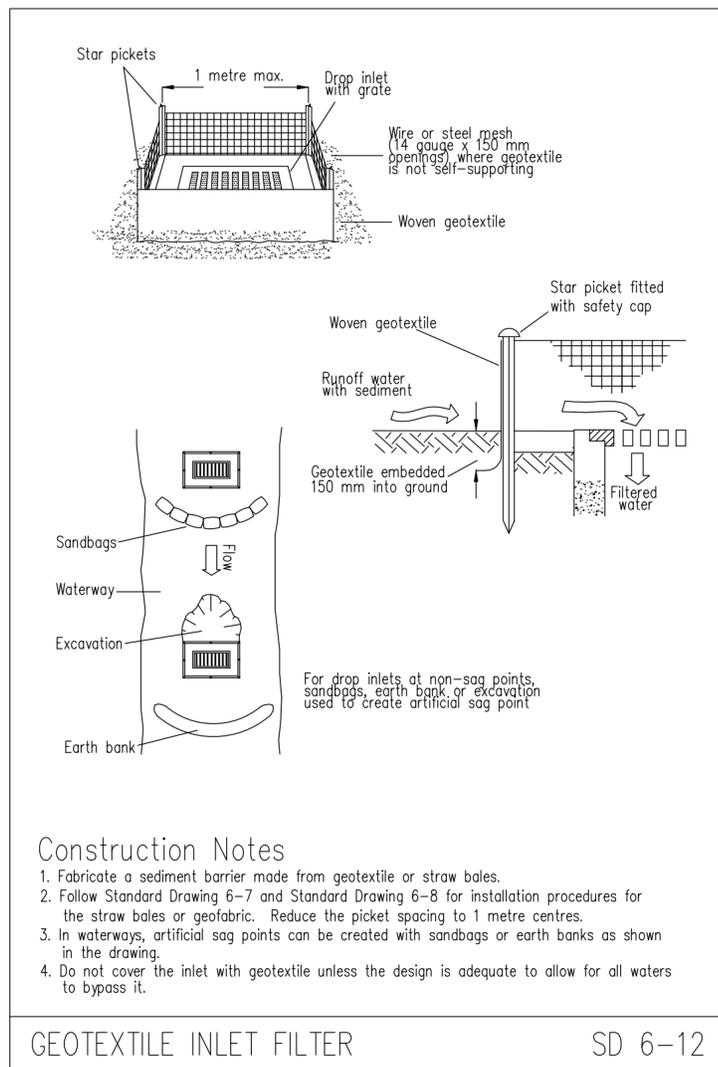
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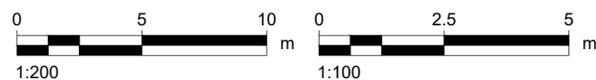
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Project ADDITIONS AND ALTERATIONS	Sheet
Date	<b>S3</b>
11/2/2022	
Scale NTS	

DP No. 14137

LOT No. 402

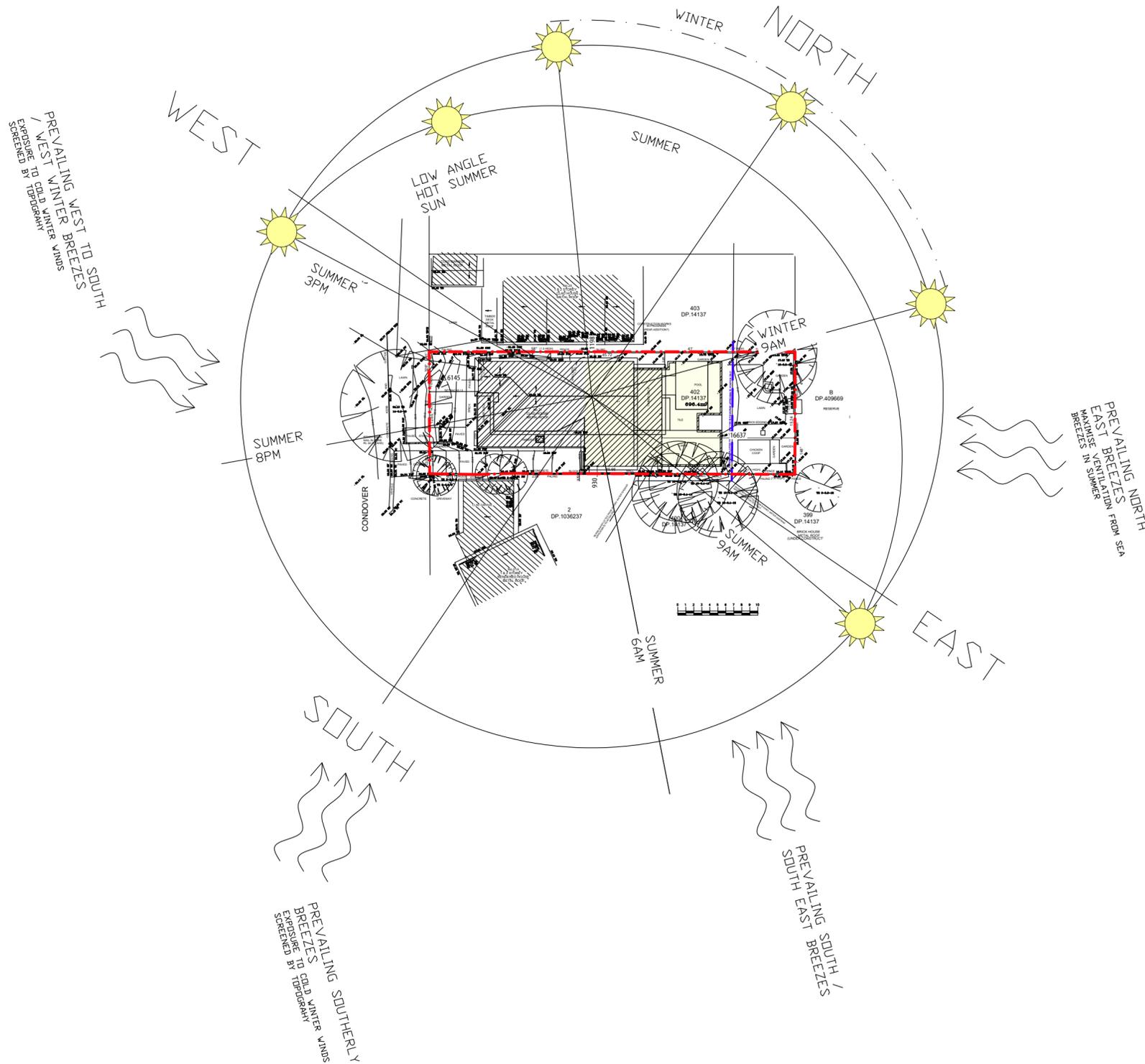
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NORTH BALGOWLAH  
NSW 2093

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

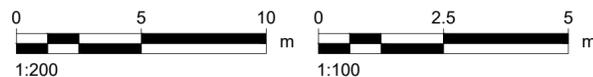


## SITE ANALYSIS PLAN

SCALE NTS

**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPs TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
 **EXISTING BUILDING OUTLINE**  
 **PROPOSED WORK**

**General Notes**

**PRELIMINARIES**

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietary products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout  
Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

**TERMITE PROTECTION**

Termite protection to AS3660.1.  
Use a physical barrier system installed by licensed installers to manufacturer's specification.  
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

**SITE PREPARATION**

Groundworks for slabs and footings to AS2870.  
Demolition to AS2601.  
Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

**EXCAVATION**

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

**VAPOUR BARRIERS**

All vapour barriers to AS2870.  
Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film.  
Provide anti-caps between any brick or stone piers and sub walls and timber bearers.

**SERVICE TRENCHES**

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

**CONCRETE CONSTRUCTION**

Concrete structures generally to AS3600.  
Ground slabs and footings to AS2870.  
Ready-mixed concrete to AS1379.  
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required.  
Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

**TIMBER AND STEEL CONSTRUCTION**

All timber framing and flooring to AS1684, AS1720.1 where relevant.  
Structural steelwork to AS4100.  
Preparation of metal surfaces to AS1627.  
Flashing and damp-proof courses to AS2904.

**DOORS AND WINDOWS**

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as denoted on the drawings

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

**LININGS**

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.  
All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets.  
All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable.  
Provide recessed edge sheets and finish flush with perforated reinforcing tape.  
Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

**WATERPROOFING AND WET AREAS**

All waterproofing to AS3740. All liquid and sheet membrane systems to be specific for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

**TILING**

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sils, reveals, and opening. Butt up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points...

**FLOOR COATINGS AND COVERINGS**

Polished concrete slab to be helicoptered burnish finish to Proprietor's specification.  
Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m<sup>2</sup> / litre should be observed. Application to manufacturers specification.

**PAINTING**

All painting AS2311 and paint manufacturer's specifications.  
Clean off marks, paint spots and stains progressively.  
Touch up damaged paintwork with original paint batch where possible.  
Refer to finishes schedule for details of painted finishes.

**Steelwork**

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All proprietary fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

**Flooring and Decking**

Strip flooring to AS1684.  
Particleboard sheet flooring to AS1859.1, installed to AS1860.  
Fibre-cement flooring to AS2908.2.  
New timber decking to AS2796.  
Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

**Decking**

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

**Wall framing**

All framing to AS1684.  
Provide additional noggings etc., where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

**MASONRY CONSTRUCTION**

Masonry generally to AS3700 and masonry units to AS4455.  
Provide anti-caps between any brick or stone piers sub walls and timber bearers.

**INSULATION AND SARKING**

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.  
All bulk insulation to AS3742, installed to AS3999.  
All sarking material to AS4200.1.  
Fit all batts tightly between framing members, and support securely. Provide vapour-permeable sarking under cladding which does not provide a permanent waterproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints. Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and lap min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking to least 50mm clear of ridges.

**ROOFING GUTTERING DOWNPIPES**

new 150mm half-round guttering throughout with matching support brackets as selected  
new 90mm dia downpipes as shown  
new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications  
existing roof tiles to be carefully removed for reuse to front extended roof

**ROOF PLUMBING**

All roof plumbing to AS2179.1 and AS2180.  
All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 BMT sheet steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Stds and sheet metal manufacturer's recommendation.

**CABINERY**

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.  
Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

**ARCHITECTURAL METALWORK**

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alignment.

**PLUMBING DRAINAGE AND GAS INSTALLATIONS**

All plumbing and drainage work strictly in accordance with AS3500.  
All gas installations to AS5601.  
Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min. 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

**Stormwater and Wastewater**

Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

**Rainwater Storage**

All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.  
First flush devices to be fitted to all downpipes. All inlets and outlets to be protected with suitable mosquito barrier.

**Gas**

Gas supply to be installed to Local Authority Requirements. On completion of installation and testing, turn on isolation and control valves and purge and charge the installation.

**DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS**

All domestic electrical works to AS3018.  
All mechanical installations to AS1668.  
All telecommunications installations to AS1501.8.  
Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Stds and BCA.  
Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.



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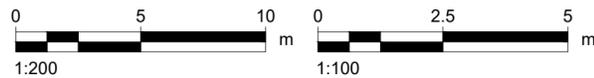
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LEGEND:

	EXISTING BUILDING OUTLINE
	PROPOSED WORK

General Notes



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You agree to, and will be bound by, these Terms upon the earlier of Your written or oral confirmation to Drafting Help to commence the Services (being the services specifically set out in the Quote, subject to any exclusions or assumptions in the Quote); and You making any payment to Drafting Help in connection with the Services. You agree that you have been given the opportunity to read and understand these Terms.

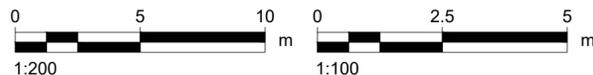
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2. Subject to these Terms, Drafting Help will perform the Services with due care and skill.
3. You will pay the Fee in the manner, and at the times, set out in the Quote. If You do not comply with this paragraph, Drafting Help may immediately suspend the performance of the Services until such time as You have complied with this paragraph.
4. You will pay a default interest rate on any overdue payments at the rate of 18% per annum (calculated and compounding daily). This paragraph 4 survives termination of these Terms.
5. You will provide Drafting Help with all assistance, documentation, information and instructions requested by Drafting Help to enable Drafting Help to perform the Services (Input). If You do not comply with this paragraph, Drafting Help may itself carry out those activities at Your cost (calculated in accordance with the rates and prices set out in the Quote).
6. Drafting Help will not be held responsible for any error, defect, omission, fault, inconsistency, discrepancy or ambiguity in or between the designs or documents prepared by or on behalf of Drafting Help in (or incidental to) the performance of the Services (Deliverables), to the extent caused by Your failure to comply with, or any Input provided by or on behalf of You for the purpose of, paragraph 5. This paragraph 6 survives termination of these Terms.
7. If Drafting Help is asked to, or is required to perform:
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  - b. the Services in an order or sequence, or within a period of time, which is different to what Drafting Help had originally planned to perform those Services, You will pay Drafting Help the additional costs it suffers or incurs as a result of complying with the revised order, sequence or timing, in accordance with the rates and prices set out in the Quote (or, where those rates or prices are not applicable, in accordance with reasonable rates and prices determined by Drafting Help).
8. You acknowledge and agree that the Fee is subject to change (and may be increased) where any fee, contribution, charge or third party cost increases (or a new fee, contribution, charge or third party cost is introduced) after the date Drafting Help issued the Quote.
9. Despite anything to the contrary (to the maximum extent permitted by law):
  - a. Drafting Help excludes all terms implied by statute, in fact, at law or on any other basis;
  - b. You acknowledge and agree that Drafting Help and its employees and consultants are not registered architects, engineers or surveyors;
  - c. You acknowledge and agree that the Services are performed solely for Your benefit, and that no

third party will be permitted to use or rely upon the Deliverables, and Drafting Help will not be liable or responsible for any use, reliance or adaptation of the Deliverables;

- d. You acknowledge and agree that the Services and the Deliverables are subject to inherent limitations having regard to the nature and the scope of the Services, and the circumstances in which they have been commissioned and are to be delivered (and, specifically, the Deliverables are not, and are not intended to be, plans or drawings for construction and should not be used or relied upon for this purpose);
  - e. You acknowledge and agree that Drafting Help is not liable or responsible for any work or services carried out or performed by any third party, including in relation to any survey, report, plan or drawing which Drafting Help relied upon, used, adopted or modified (directly or indirectly) in the performance of the Services;
  - f. Drafting Help is entitled to include limitation and disclaimer wording in all of the Deliverables to the foregoing effect;
  - g. in no event will Drafting Help be liable or responsible for any claim (or cost, expense, liability, loss or damage) caused or contributed to by any act or omission of You or any third party;
  - h. in no event will Drafting Help be liable or responsible for economic loss, loss of contract or goodwill, loss of profit or revenue, loss of business opportunity, loss of use, loss of reputation, loss of data, loss of production or production stoppage, financing or holding costs, increased expenses of operation or any indirect or consequential loss; and
  - i. Drafting Help's total liability arising out of or in connection with the Quote, these Terms, the Services and the Deliverables will not exceed the Fee (in aggregate), and these limitations and exclusions will apply whether the claim is based on breach of contract, tort (including negligence), under any warranty, under any indemnity, under statute, in equity or otherwise. This paragraph 9 survives termination of these Terms.
10. Drafting Help will retain ownership in all intellectual property rights (including moral rights and copyright) in or arising from the Services and the Deliverables, and You (and any of Your contractors or consultants) must not do anything which may infringe any of those intellectual property rights or the intellectual property rights of third parties (and, if any infringement does arise, You will indemnify Drafting Help for any loss or liability it suffers or incurs as a result). This paragraph 10 survives termination of these Terms.
11. If
- a. You are in breach of these Terms, and You fail to rectify the breach within 14 days after being notified by Drafting Help; or
  - b. the Services are not completed by [insert date] as a result or consequence of (directly or indirectly) any event or circumstance which is beyond Drafting Help's reasonable control,
- Drafting Help may (without limiting its rights at law) terminate these Terms and You will be obliged to pay the balance of the Fee to Drafting Help immediately. This paragraph 11 survives termination of these Terms.
12. If You have any issue or concern in relation to the Services or Deliverables, You must raise those issues or concerns to Drafting Help in writing within 7 days of first becoming aware of the issue or concern. If You do not comply with this paragraph, to the maximum extent permitted by law, You will have no claim against Drafting Help (and You release and discharge Drafting Help from any such claim). This paragraph 12 survives termination of these Terms.
13. No provision of these Terms will be construed adversely to Drafting Help because Drafting Help was responsible for the preparation of these Terms.
14. The Quote and these Terms constitute the entire agreement between Drafting Help and You in connection with the Services and the Deliverables, and prevail over and supersede all other communications or documentation entered into or exchanged between the parties.
15. These Terms are governed by the law in New South Wales, and each party irrevocably submits to the non-exclusive jurisdiction of courts exercising jurisdiction in New South Wales.

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 1214 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.	✓	✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.	✓	✓	✓
<b>Outdoor swimming pool</b>			
The swimming pool must be outdoors.	✓	✓	✓
The swimming pool must not have a capacity greater than 50 kilolitres.	✓	✓	✓
The swimming pool must have a pool cover.	✓	✓	✓
The applicant must install a pool pump timer for the swimming pool.	✓	✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: gas.	✓	✓	✓

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Hot water</b>			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
<b>Lighting</b>			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting diode (LED) lamps.	✓	✓	✓
<b>Fixtures</b>			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	✓	✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	✓	✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																											
<b>Insulation requirements</b>																														
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m <sup>2</sup> , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓																											
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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check																					
<b>Windows and glazed doors</b>																								
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓																					
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓																					
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓																					
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.	✓	✓	✓																					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓																					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓																					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓																					
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓																					
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## SCHEDULE OF COLOURS AND FINISHES



SURMIST COLOURBOND ROOF



WHITE TIMBER CLADDING TO WALLS



SANDSTONE CLADDING TO WALLS ON LOWER LEVEL (REAR)



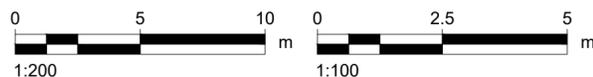
WHITE VERTICAL ALUMINIUM PRIVACY SCREENS



TRAVERTINE TILES AROUND POOL

### GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



### NOTE:

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF DRAFTING HELP ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS DRAFTING HELP WILL BE HELD HARMLESS. DRAFTINGHELP ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

### ARCHITECTURAL DRAFTING 3D VISUALISATION DEVELOPMENT APPLICATION ASSISTANCE COUNCIL COMPLIANT PLANS

- LEGEND:
- EXISTING BUILDING OUTLINE
  - PROPOSED WORK

#### General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/2/2022	<b>B2</b>
Scale NTS	

DP No. 14137

LOT No. 402

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

**dh DRAFTING HELP**  
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