

Warriewood Bazem

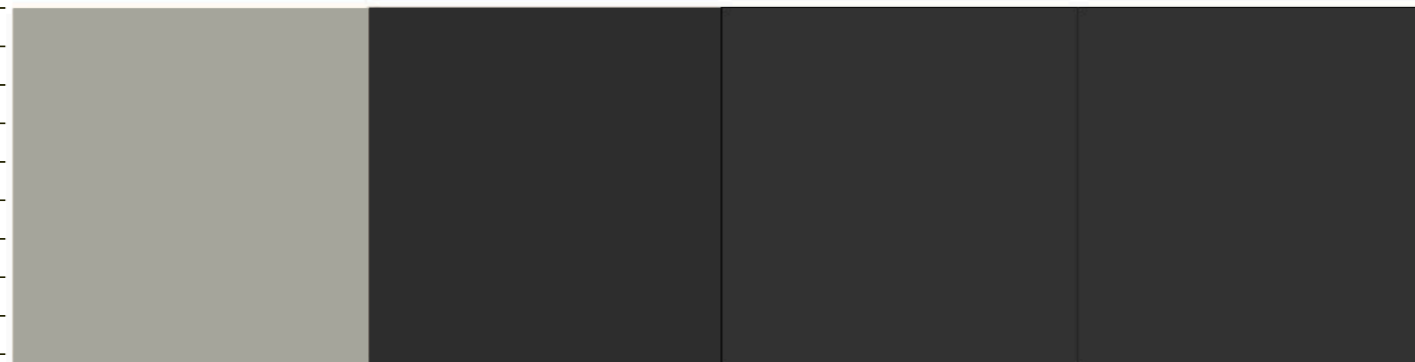
Lot 10 Warriewood

Drawings

No	Rev	Drawing
A0000		Perspective Views, Notes, Areas
A1000		Site Plan
A1001		Site Plan - Landscape
A2100		Ground Floor Plan
A2101		First Floor Plan
A2102		Roof Plan
A2400		Electrical Plans
A2401		Lighting Calculation
A2500		Shadow Diagrams
A3000		Elevations
A3001		Elevations
A3100		Sections
A3101		Sections
A6000		D & W Window Schedule - Doors
A6000		D & W Window Schedule - Windows

General Notes

External colour schedule



Render 2 Resene Foggy Grey **Cladding** Resene Nocturnal **Garage Monument** **Roof Monument**

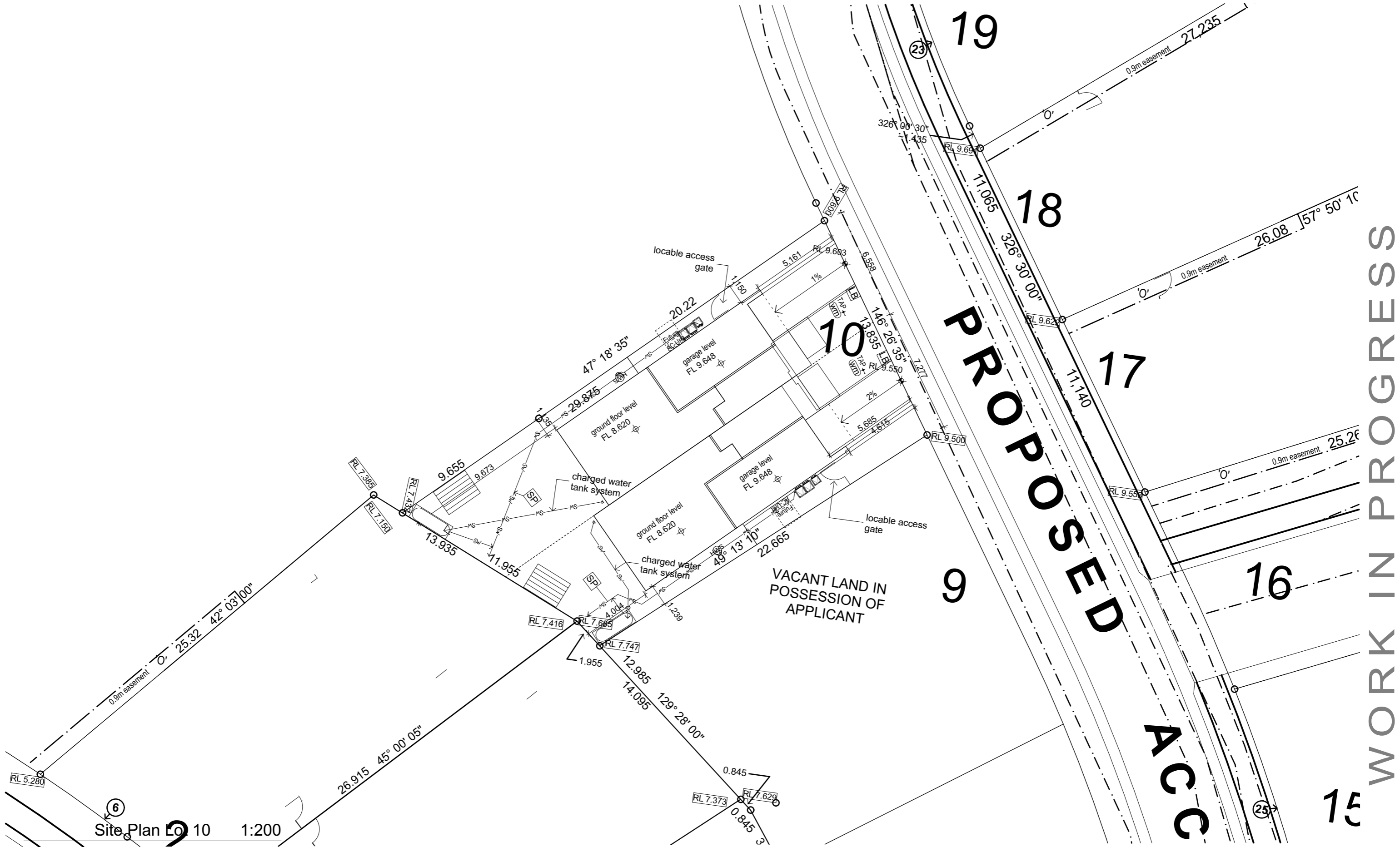
Note: colours indicative only and should not be used as a true representation of the product

Areas (for Building Permit purposes only)

Lot 10		
Unit	Area	Measured Area
L10-1	01 GF Living Area	50.68
L10-1	02 FF Living Area	60.82
L10-1	03 Garage	22.18
L10-1	05 Porch	1.97
		135.65 m²
L10-2	01 GF Living Area	50.70
L10-2	02 FF Living Area	60.82
L10-2	03 Garage	22.14
L10-2	05 Porch	1.97
		135.63 m²
		271.28 m²

WORK IN PROGRESS





Site Plan Lot 10 1:200

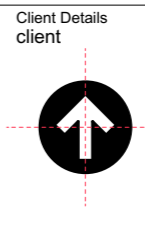
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 NOTES
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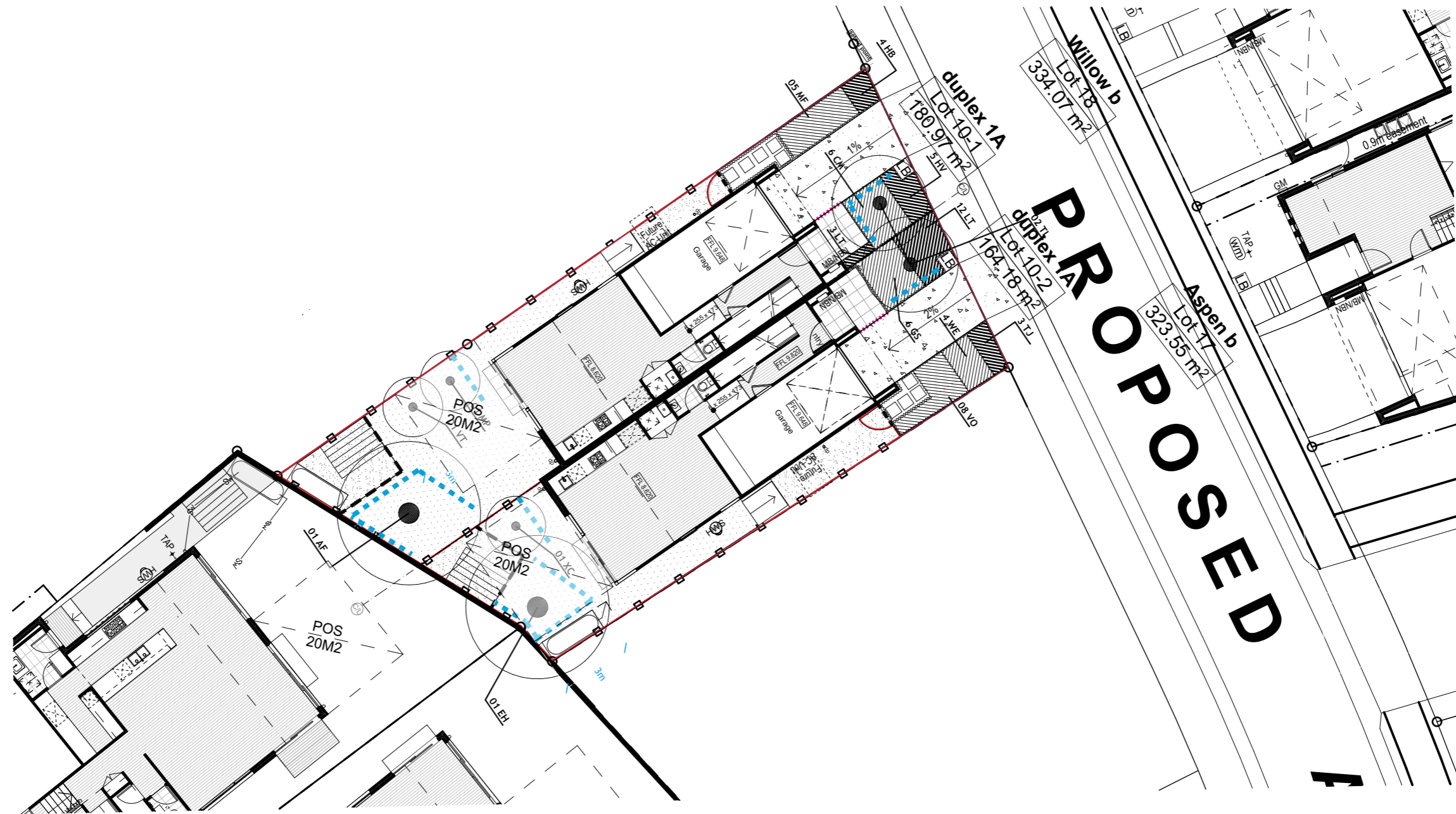
Rev Description By Date



Client Details
 client
 Project
 Warriewood Bazem
 Lot 10 Warriewood
 Project Number
 11268

Drawing Site
 Site Plan
 Project Status
 PRELIMINARY - not for construction
 Scale
 Drawn BK Checked ML
 Drawing Number A1000
 Revision

WORK IN PROGRESS



PROPOSED

Group Plan - Landscape1:200

WORK IN PROGRESS

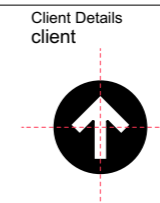
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Rev Description By Date



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 client
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 Project Number
 11268

Drawing Site
 Site Plan - Landscape
 Project Status
 PRELIMINARY - not for construction
 Scale
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 Drawing Number A1001
 Revision



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Rev Description By Date



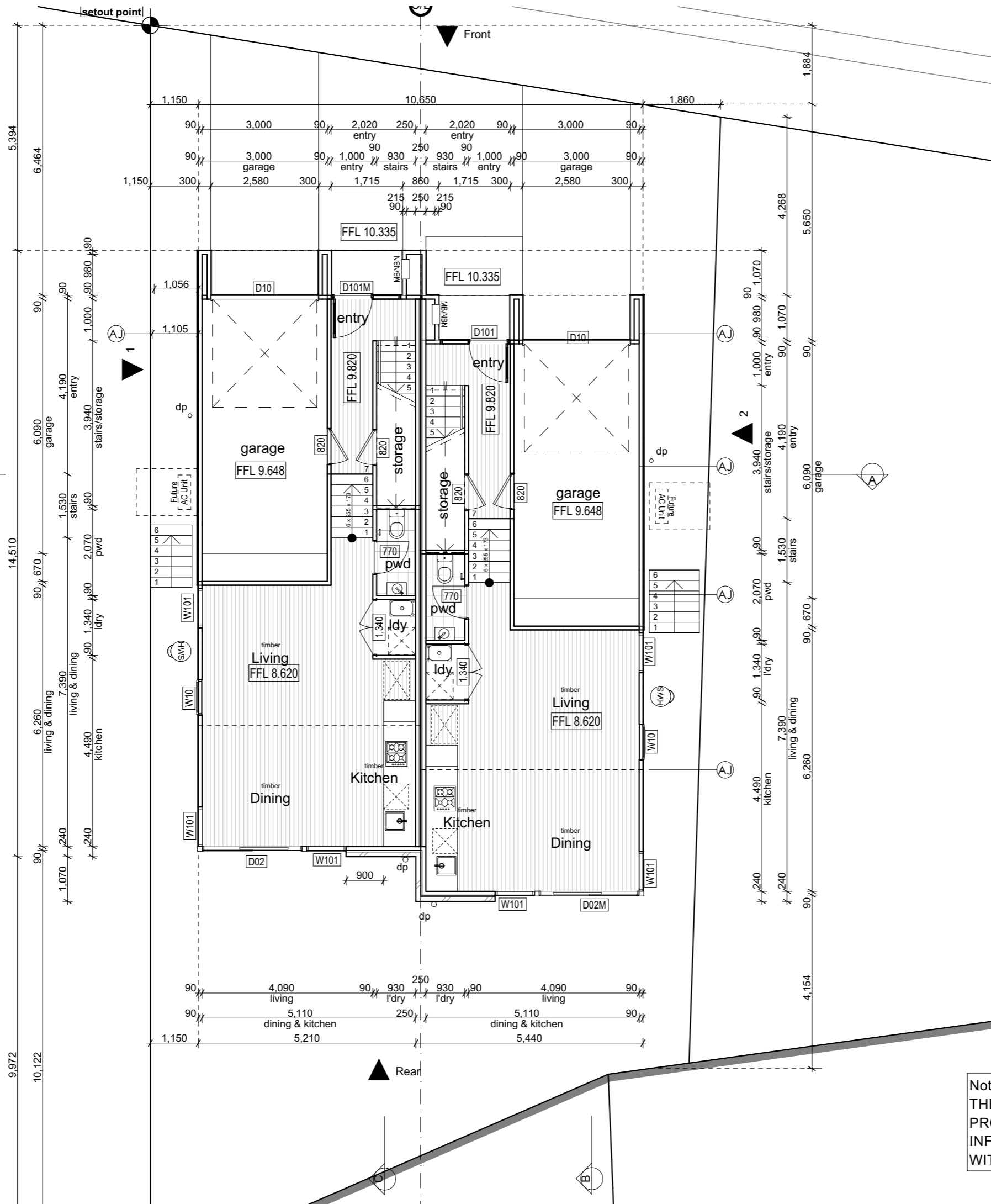
Project
Warriewood Bazem
Lot 10 Warriewood

Project Number
11268

Drawing
General Arrangement Plans
Ground Floor Plan
Project Status
PRELIMINARY - not for construction
Scale
Drawn BK Checked ML
Drawing Number A2100
Revision

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Note:
THE DWELLING IS TO BE
PROTECTED FROM TERMITE
INFESTATION IN ACCORDANCE
WITH AS 3660.1-2000



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Rev Description By Date



Project
Warriewood Bazem
Lot 10 Warriewood

Project Number
11268

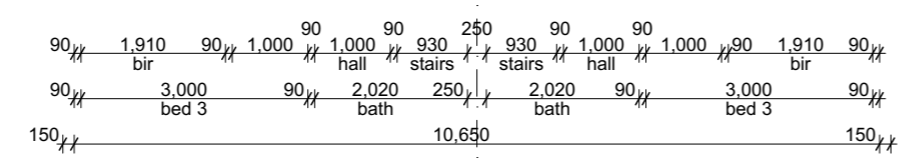
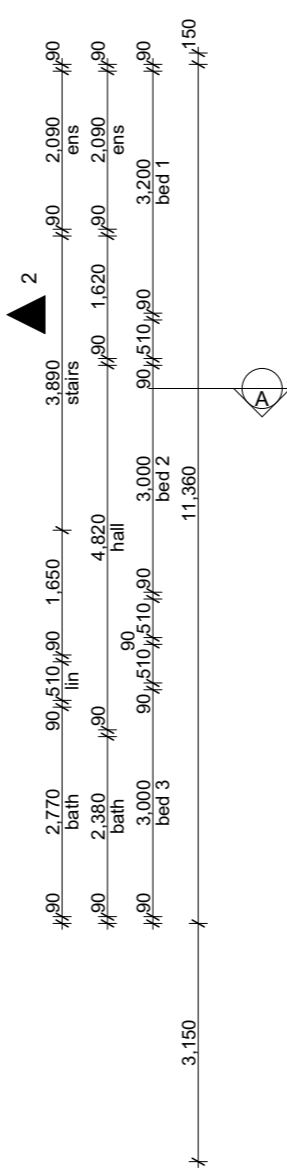
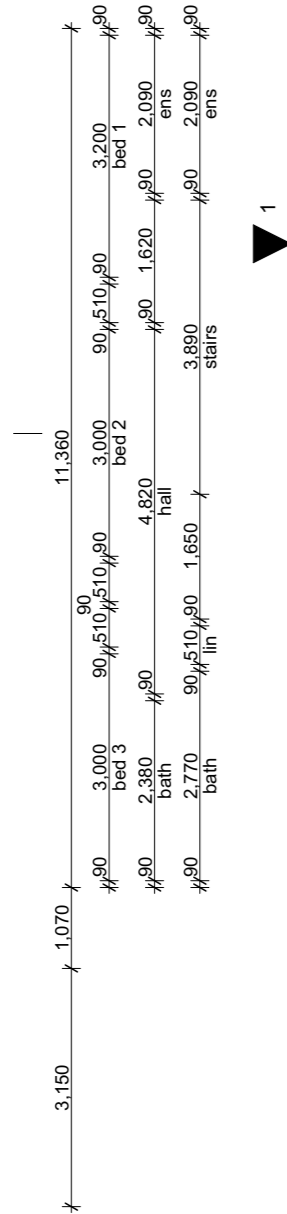
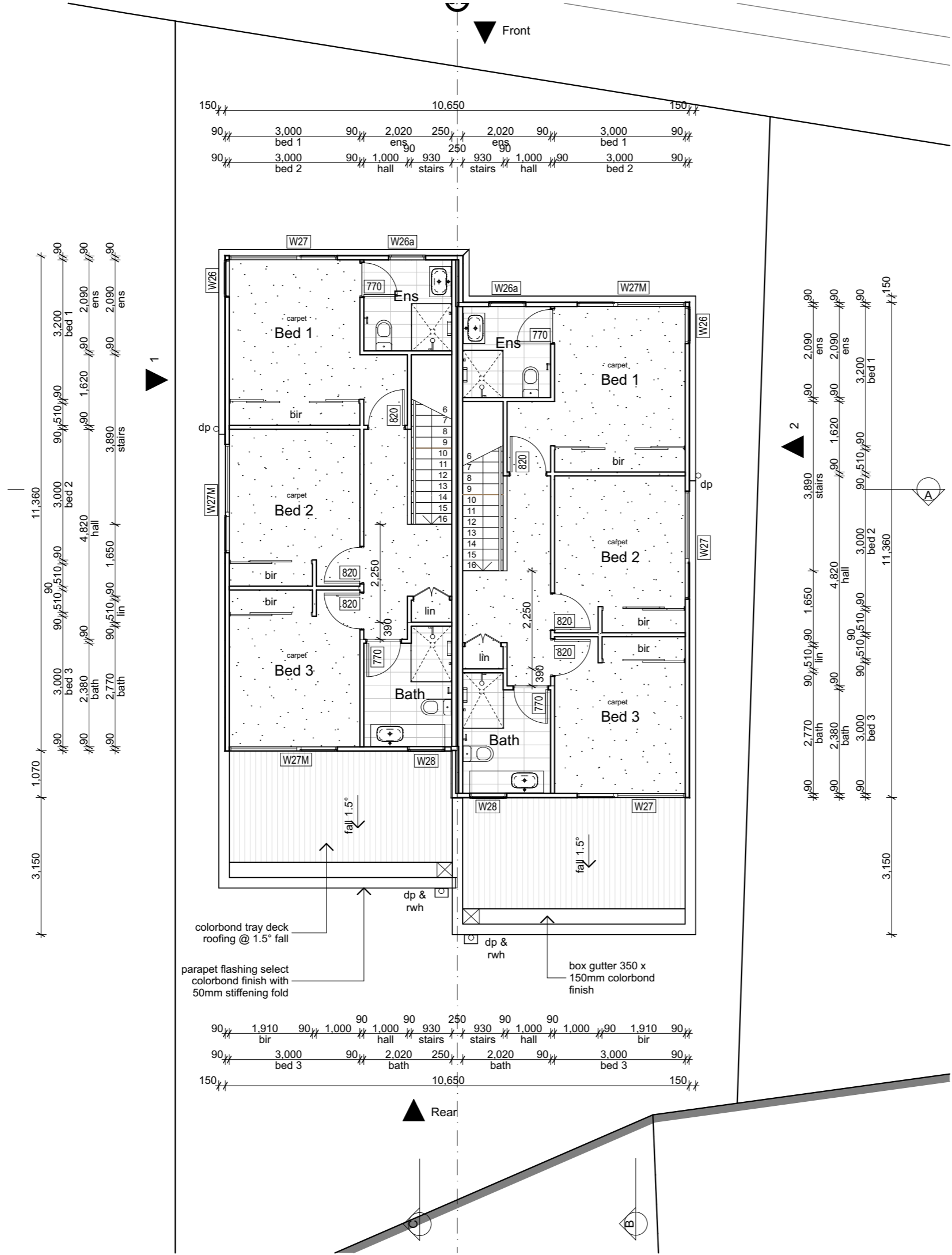
Drawing
General Arrangement Plans
First Floor Plan

Project Status
PRELIMINARY - not for construction

Scale
Drawn BK Checked ML
Drawing Number A2101
Revision

WORK IN PROGRESS

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Front

Rear

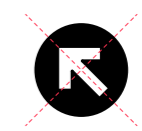


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Lot 10 Warriewood

Project Number
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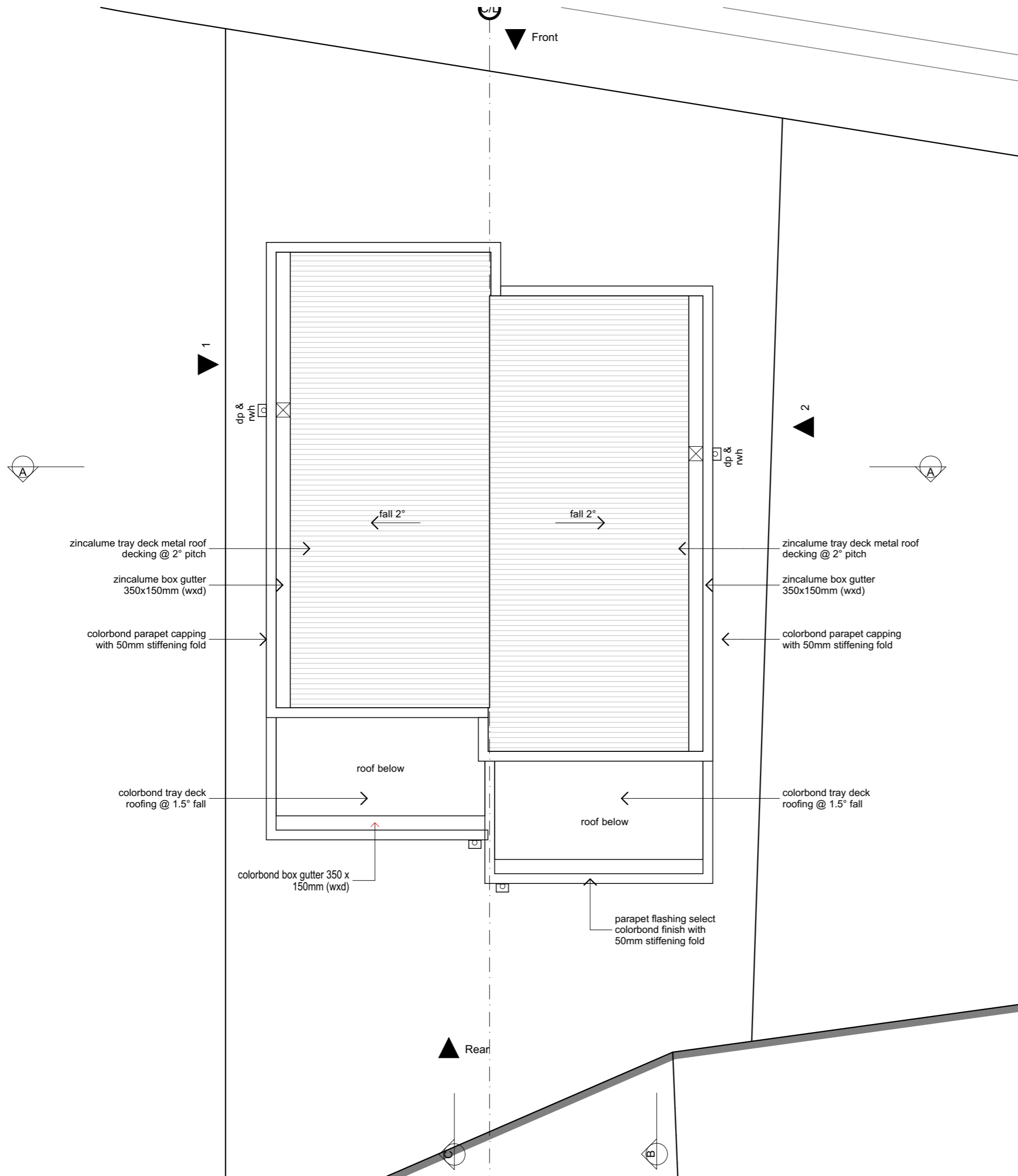
Drawing
General Arrangement Plans
Roof Plan

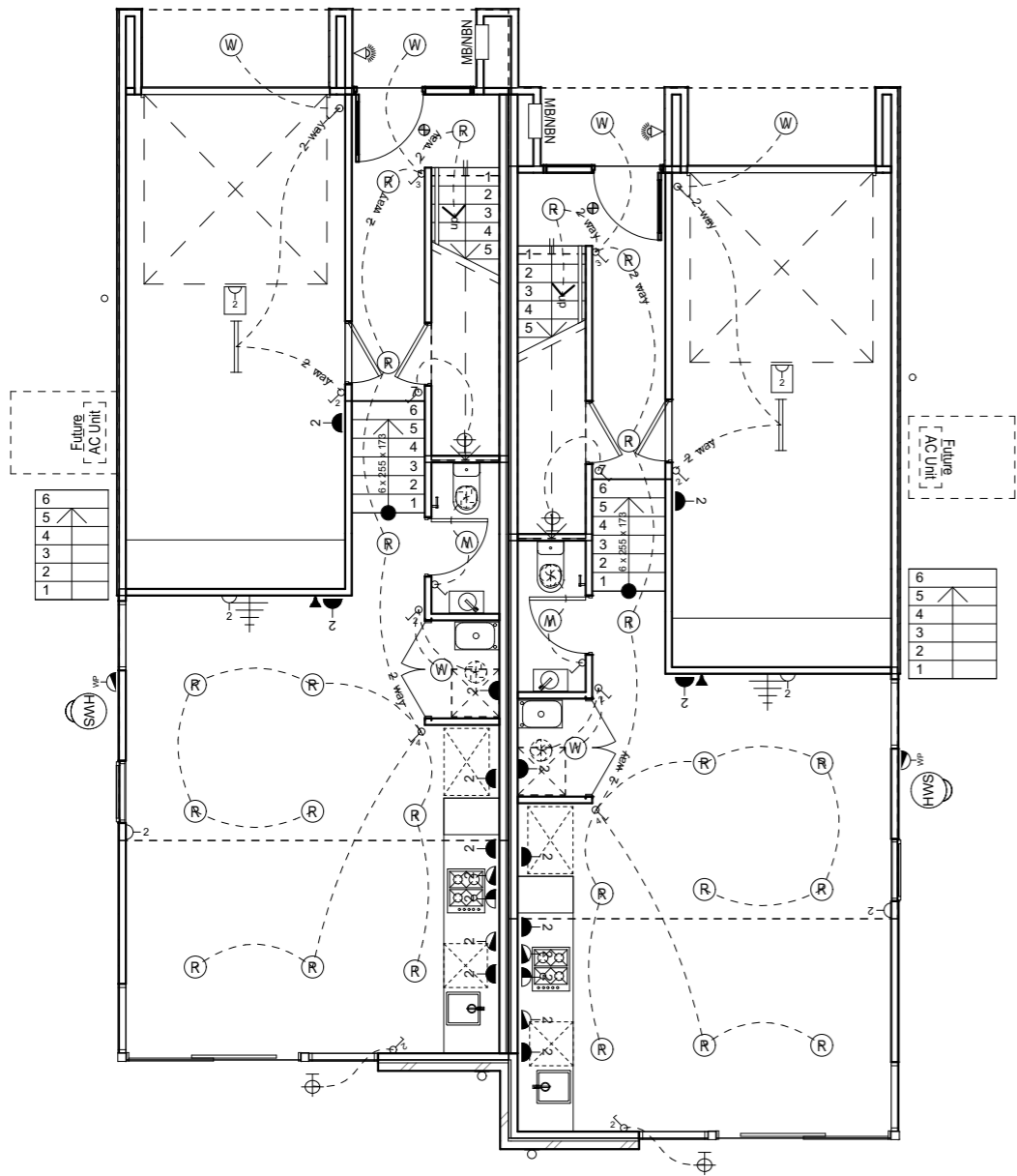
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Scale
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Drawing Number A2102
Revision

WORK IN PROGRESS

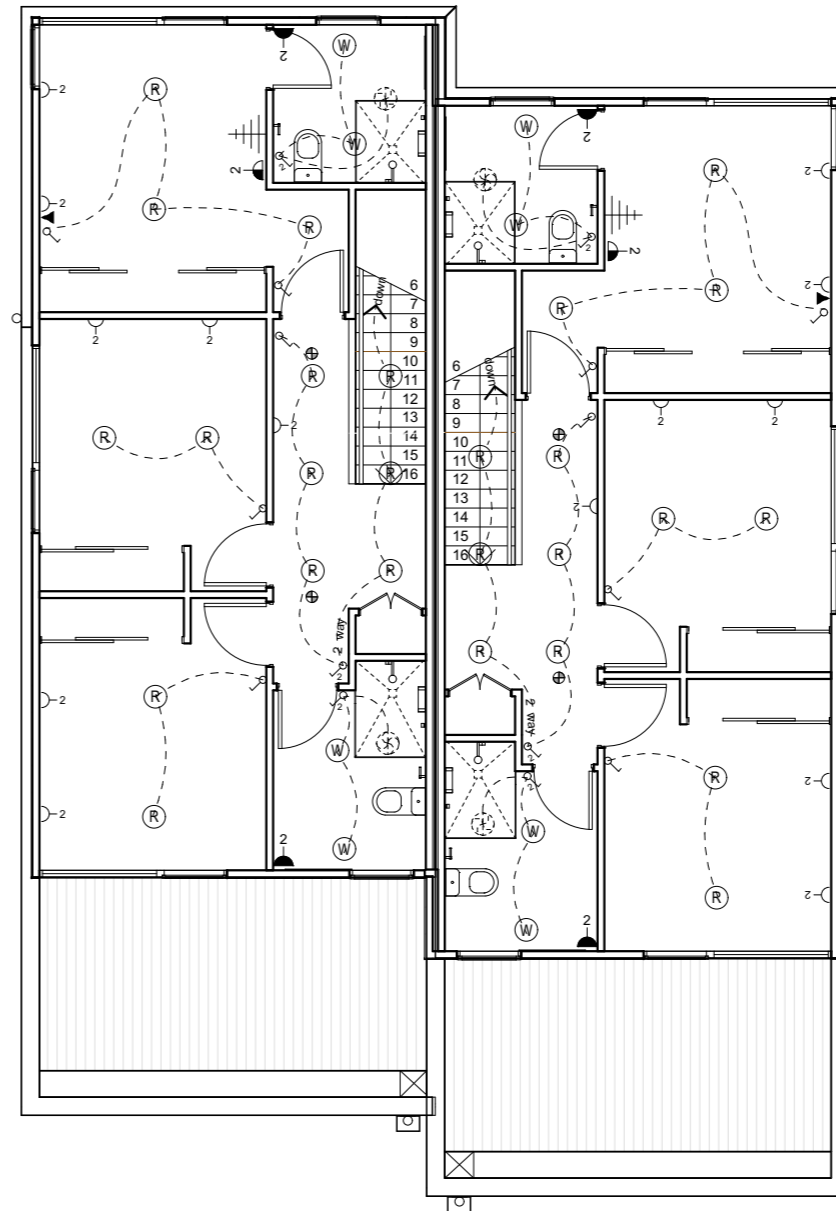
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Ground Floor Electrical

1:100



First Floor Electrical

1:100

Rev	Description	By	Date

WORK IN PROGRESS

Project
 Warriewood Bazem
 Lot 10 Warriewood

Project Number
11268

Drawing
 Electrical Plans
 Electrical Plans

Project Status
PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number **A2400**

Revision

ELECTRICAL SYMBOL LEGEND		HEATING / COOLING SYMBOL LEGEND	
MB	METER BOX - 1800mm	LIGHT SWITCH / DBL / TRPL	- 1000mm (2 number of switches)
DISTRIBUTION BOX - 1650mm		TWO WAY SWITCHING	
INTERCOM BASE STATION - 1650mm		DIMMER SWITCH	
PENDANT LIGHT	WALL LIGHT OUTLET - 2000mm	WP = weatherproof outdoor outlet	
CEILING LIGHT OUTLET	WALL FLOOD LIGHT OUTLET - 2000mm	GPO / DBL GPO / WP GPO - 300mm	
ROOF LIGHT OUTLET	EAVES FLOOD LIGHT OUTLET	GPO / DBL GPO / WP GPO - 750mm	
RECESSED DOWNLIGHT	SMOKE DETECTOR	GPO / DBL GPO / WP GPO - 1200mm	
WEATHERPROOF DOWNLIGHT	DOOR BELL - 1000mm	GPO / DBL GPO / WP GPO - 1800mm	
FLUORESCENT CEILING LIGHT	CEILING EXHAUST FAN DUCTED TO OUTSIDE WALL	CEILING MOUNTED GPO	
	CEILING EXHAUST FAN DUCTED THROUGH ROOF	GPO IN ROOF SPACE FOR SKYLIGHT	
	GPO - DATA POINT		
	GPO - PHONE POINT		
	GPO - TV POINT		
		FUTURE AIR CONDITIONING SYSTEM CONDENSER UNIT LOCATION. (clear space shown dashed)	
		CEILING MOUNT HEATING PLANT 3000 x 900 x 900mm	
		CEILING MOUNTED LINEAR REGISTER 900 / 1200mm	
		WALL MOUNTED LINEAR REGISTER	
		CEILING REGISTER - SQUARE	

NOTE:
 BUILDER TO PROVIDE HARD WIRE CONNECTION TO APPLIANCES.





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Main Menu LIGHTING CALCULATOR FOR USE WITH J6.2(a) VOLUME ONE AND 3.12.5.5 VOLUME TWO (First issued with NCC 2014) **Help screen**

Building name/description: Job No 11268 Lot 10-1
 Classification: Class 1
 Number of rows preferred in table below: 16 (as currently displayed)
 Advisory Note: Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor One			Adjustment Factor Two (n/a for Class 1)			OVERALL DESIGN PASSES				
						Adjustment Factor One	Dimming Percentages		Design Lumen Depreciation Factor	Adjustment Factor Two	Dimming Percentages		Design Lumen Depreciation Factor	Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used	
						Adjustment Factors	% Area	% of full power		Adjustment Factors	% Area	% of full power		System Allowance	System Design	
1	Entry, corridor, stairs	Corridor	8.9 m ²	52 W	Class 1 building									5.0 W/m ²	5.8 W/m ²	8% of 84%
2	living & dining	Living room	22.3 m ²	78 W	Class 1 building									5.0 W/m ²	3.5 W/m ²	5% of 84%
3	wc	Toilet	1.9 m ²	13 W	Class 1 building									5.0 W/m ²	6.7 W/m ²	9% of 84%
4	storage	Other	2.7 m ²	13 W	Class 1 building									5.0 W/m ²	4.8 W/m ²	7% of 84%
5	kitchen	Kitchen	7.9 m ²	26 W	Class 1 building									5.0 W/m ²	3.3 W/m ²	5% of 84%
6	laundry	Laundry	1.4 m ²	13 W	Class 1 building									5.0 W/m ²	9.5 W/m ²	13% of 84%
7	garage	Other	20.3 m ²	13 W	Class 10a building									3.0 W/m ²	0.6 W/m ²	100% of 20%
8	porch	Other	1.8 m ²	13 W	Class 1 building									5.0 W/m ²	7.3 W/m ²	10% of 84%
9	outside garage	Other	3.0 m ²	13 W	Class 1 building									5.0 W/m ²	4.3 W/m ²	6% of 84%
10	backyard - SPOS	Verandah or balcony	20.0 m ²	13 W	Verandah or balcony									4.0 W/m ²	0.7 W/m ²	100% of 18%
11	Stairs & corridor	Corridor	10.1 m ²	78 W	Class 1 building									5.0 W/m ²	7.7 W/m ²	11% of 84%
12	bed 1	Bedroom	13.2 m ²	39 W	Class 1 building									5.0 W/m ²	3.0 W/m ²	4% of 84%
13	bed 2	Bedroom	10.8 m ²	26 W	Class 1 building									5.0 W/m ²	2.4 W/m ²	3% of 84%
14	bed 3	Bedroom	10.8 m ²	26 W	Class 1 building									5.0 W/m ²	2.4 W/m ²	3% of 84%
15	Ensuite	Bathroom	4.2 m ²	26 W	Class 1 building									5.0 W/m ²	6.2 W/m ²	9% of 84%
16	bath	Bathroom	5.2 m ²	26 W	Class 1 building									5.0 W/m ²	5.0 W/m ²	7% of 84%

144.4 m² 468 W

	Allowance	Design Average
Class 1 building	5.0 W/m ²	4.2 W/m ²
Verandah or balcony	4.0 W/m ²	0.7 W/m ²
Class 10a building (associated with a Class 1 building)	3.0 W/m ²	0.6 W/m ²

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE LIGHTING CALCULATOR
 The Lighting Calculator has been developed by the ABCB to assist in developing a better understanding of lighting energy efficiency parameters. While the ABCB believes that the Lighting Calculator, if used correctly, will produce accurate results, the calculator is provided "as is" and without any representation or warranty of any kind, including that it is fit for any purpose or of merchantable quality, or functions as intended or at all. Your use of the Lighting Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.



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Main Menu LIGHTING CALCULATOR FOR USE WITH J6.2(a) VOLUME ONE AND 3.12.5.5 VOLUME TWO (First issued with NCC 2014) **Help screen**

Building name/description: Job No 11268 Lot 10-2
 Classification: Class 1
 Number of rows preferred in table below: 16 (as currently displayed)
 Advisory Note: Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The % of Allowance Used outcomes refer to these aggregate allowances.

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8	porch	Other	1.8 m ²	13 W	Class 1 building									5.0 W/m ²	7.3 W/m ²	10% of 84%
9	outside garage	Other	3.0 m ²	13 W	Class 1 building									5.0 W/m ²	4.3 W/m ²	6% of 84%
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11	Stairs & corridor	Corridor	10.1 m ²	78 W	Class 1 building									5.0 W/m ²	7.7 W/m ²	11% of 84%
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Project Warriewood Bazem
 Lot 10 Warriewood

Project Number 11268

Drawing Electrical Plans
 Lighting Calculation
 Project Status PRELIMINARY - not for construction
 Scale
 Drawn BK Checked ML
 Drawing Number A2401
 Revision

WORK IN PROGRESS

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Shadows @ 9am June 21



Shadows @ 12pm June 21



Shadows @ 3pm June 21

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Architect

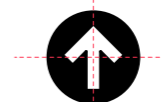
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Rev Description

By Date

Client Details
 client

Project
 Warriewood Bazem
 Lot 10 Warriewood



Project Number
 11268

Drawing
 Shadow Diagram
 Shadow Diagrams

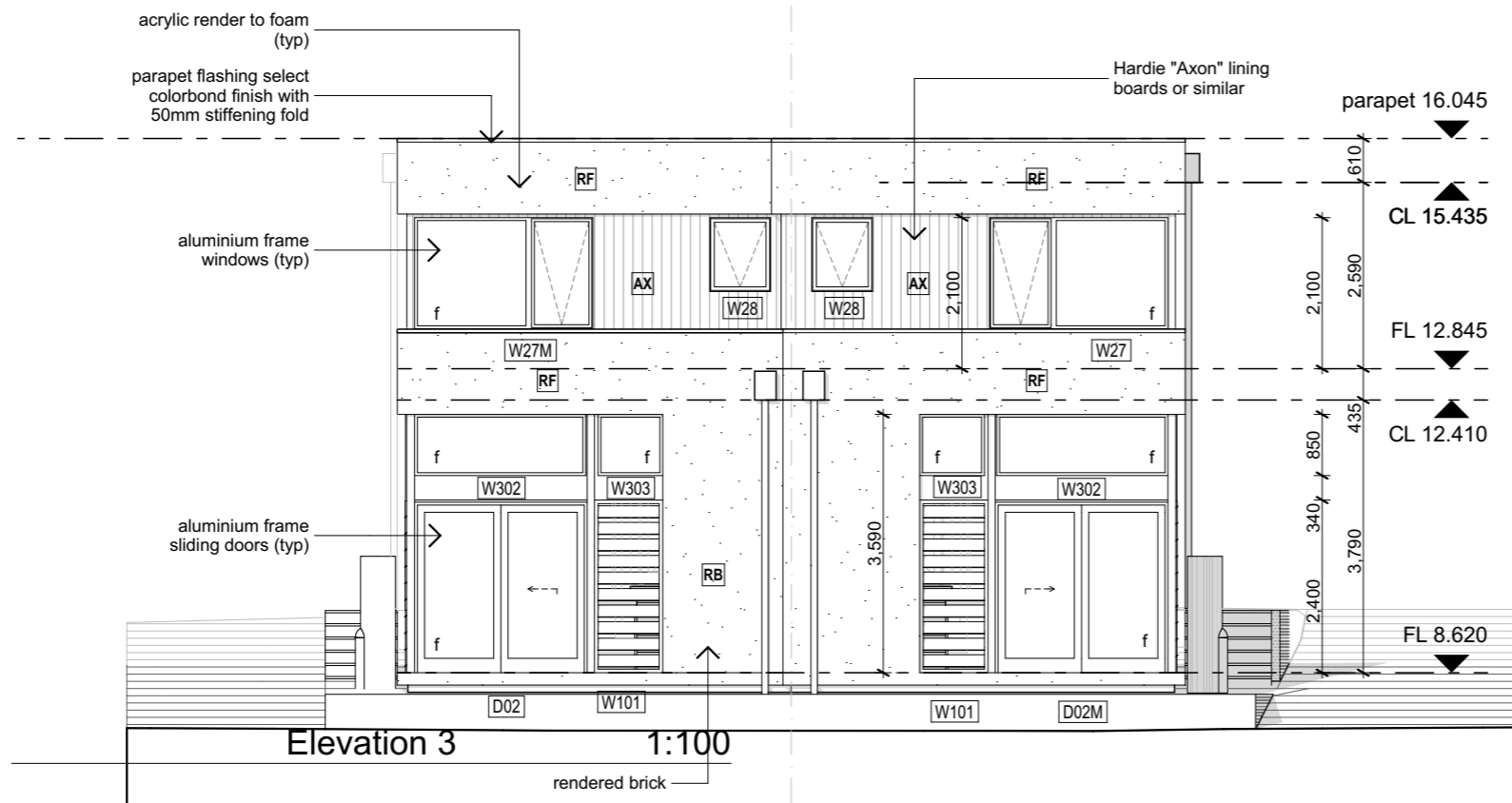
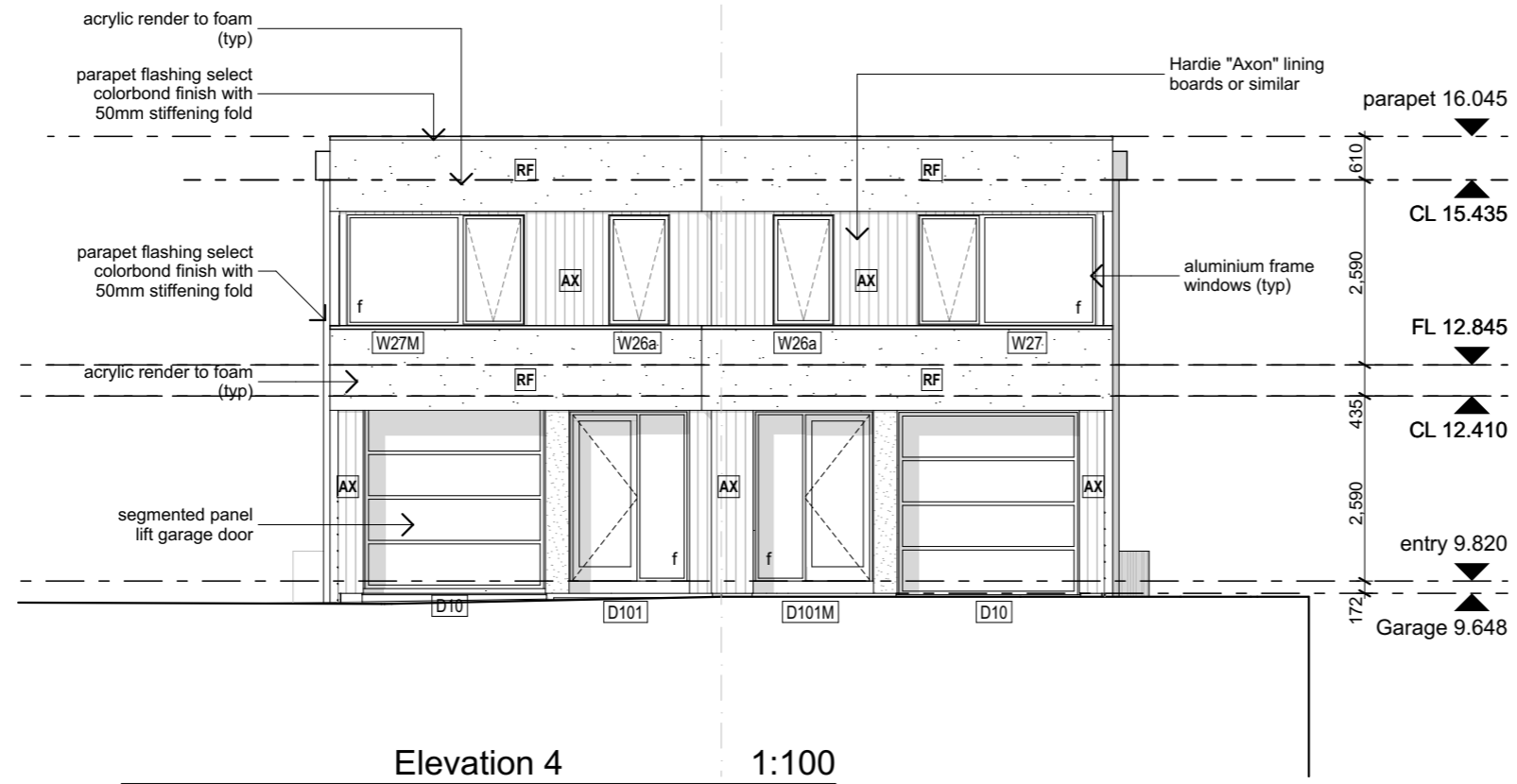
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 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML

Drawing Number
 A2500
 Revision

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Project
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Lot 10 Warriewood

Project Number
11268

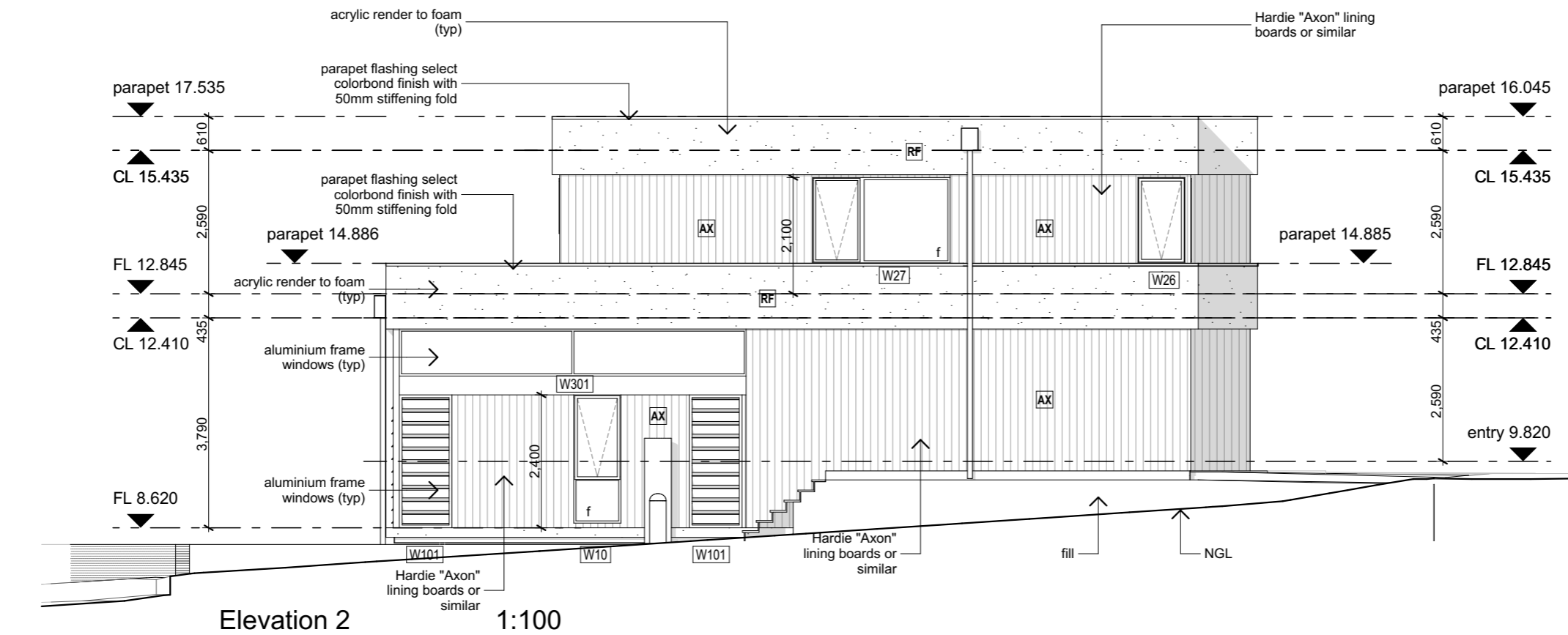
Drawing
Elevations
Elevations

Project Status
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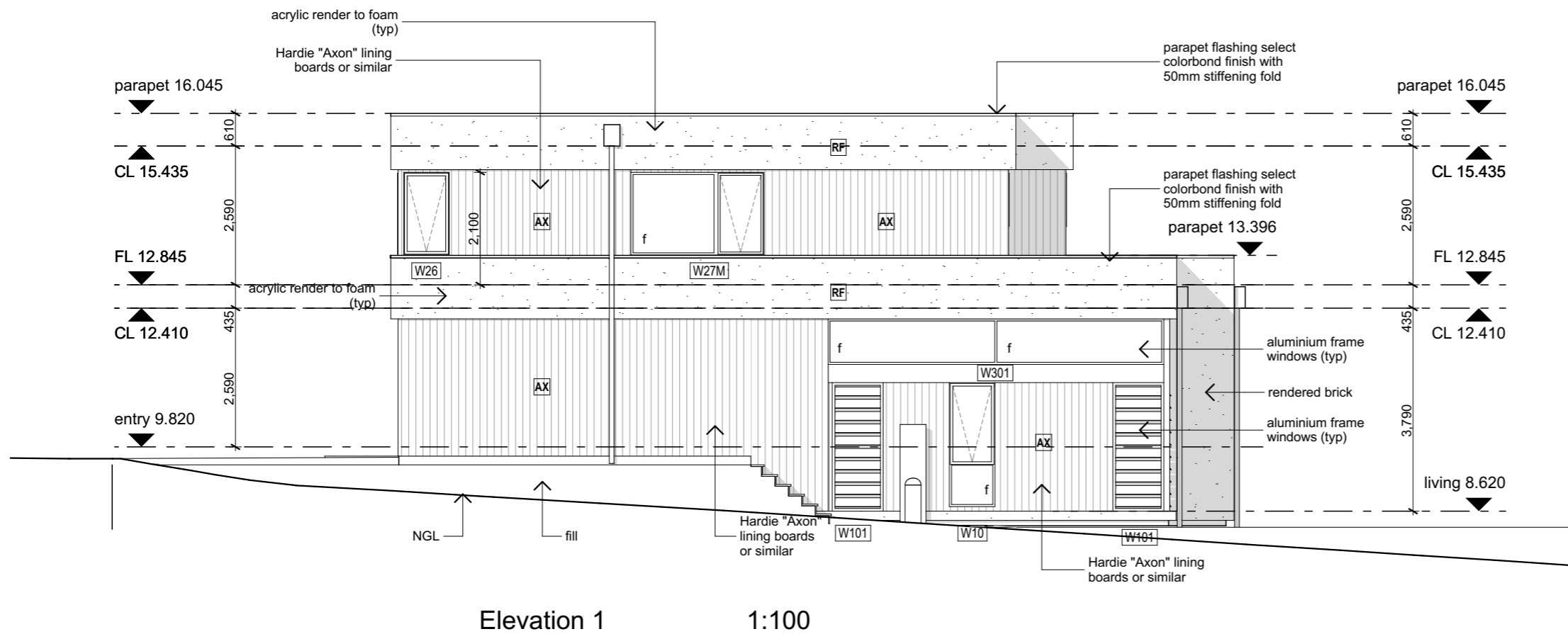
Scale
Drawn BK Checked ML
Drawing Number A3000

Revision

WORK IN PROGRESS



Rev	Description	By	Date



Project
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 Lot 10 Warriewood

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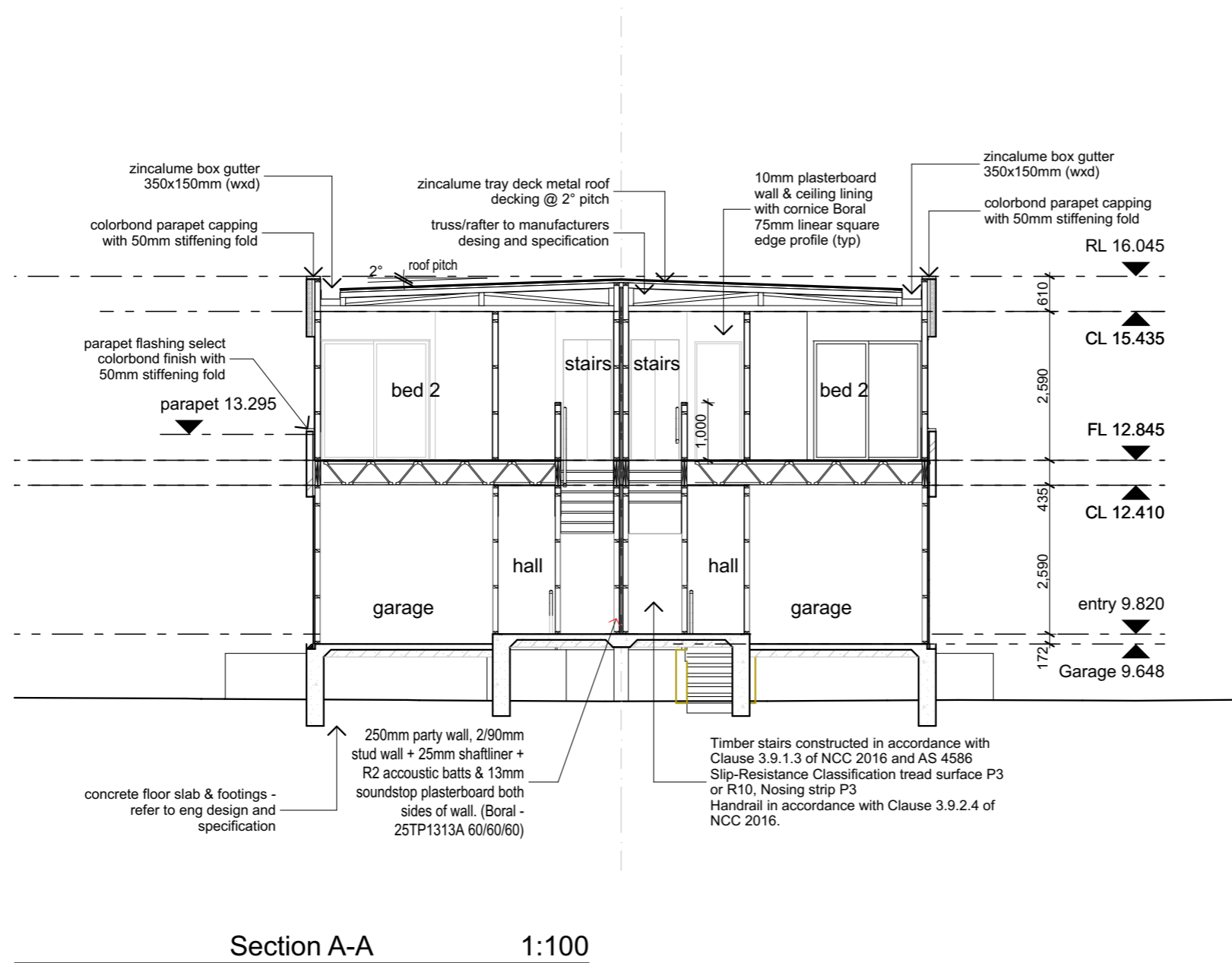
Drawing
 Elevations
 Elevations

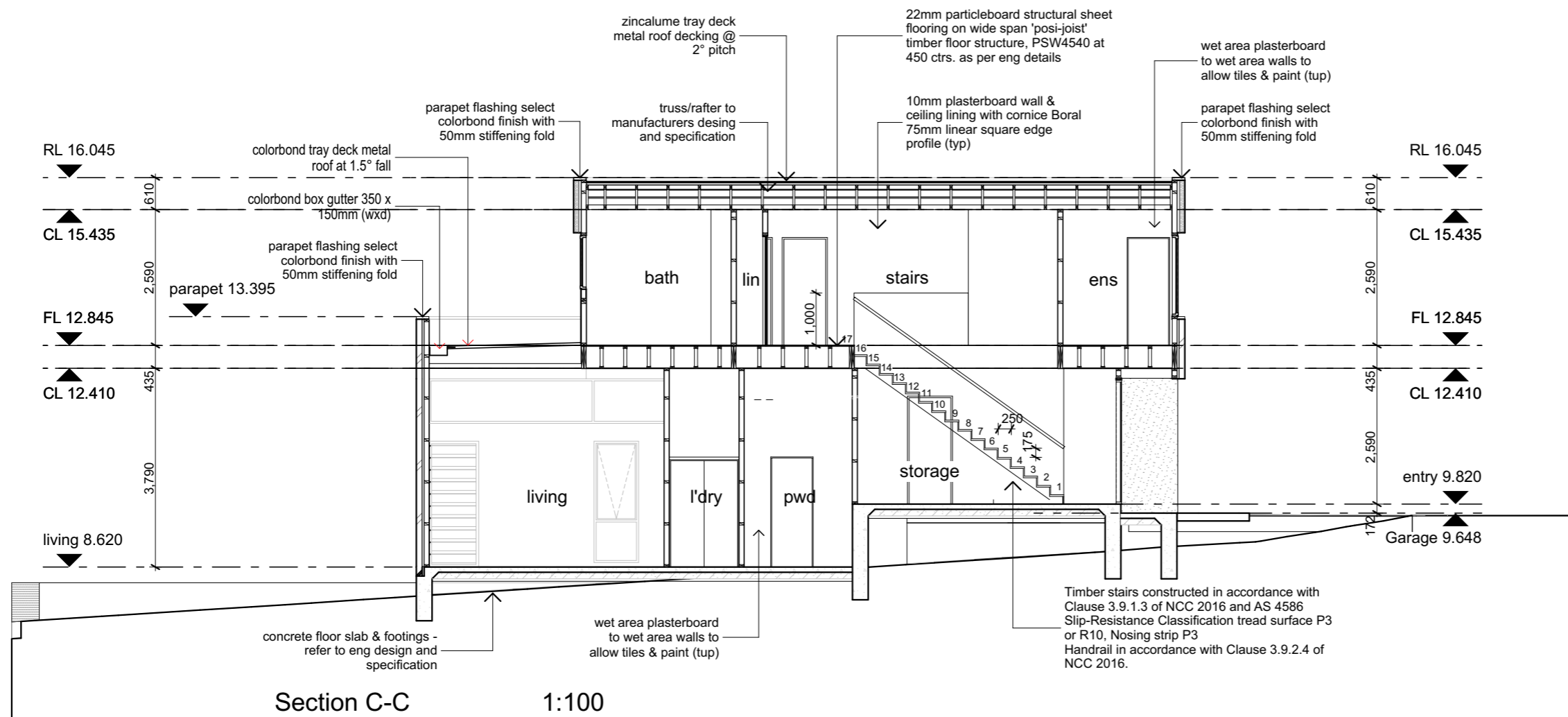
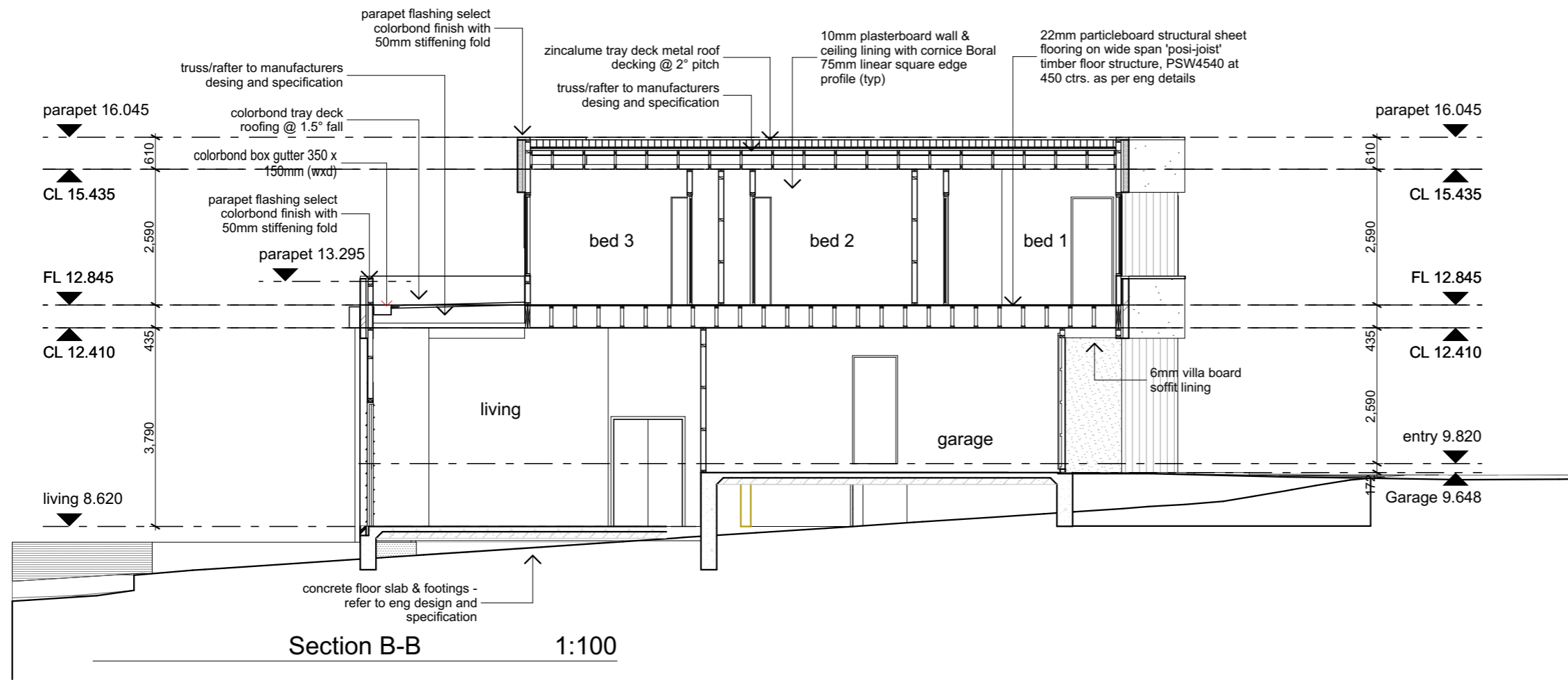
Project Status
 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number A3001

Revision

WORK IN PROGRESS





Rev	Description	By	Date

Project
 Warriewood Bazem
 Lot 10 Warriewood

Project Number
 11268

Drawing
 Sections
 Sections
 Project Status
 PRELIMINARY - not for construction

Scale
 Drawn BK Checked ML
 Drawing Number A3101
 Revision

WORK IN PROGRESS

Door Schedule					
ID	D02	D02M	D10	D101	D101M
W x H Size	2,400x2,370	2,400x2,370	2,580x2,592	920x2,340	920x2,340
Stud opening	2,460	2,460			
Door head height	2,370	2,370	2,658	2,340	2,340
View from Side Op...					
Note			segmented panel lift garage door		

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Rev Description

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Lot 10 Warriewood

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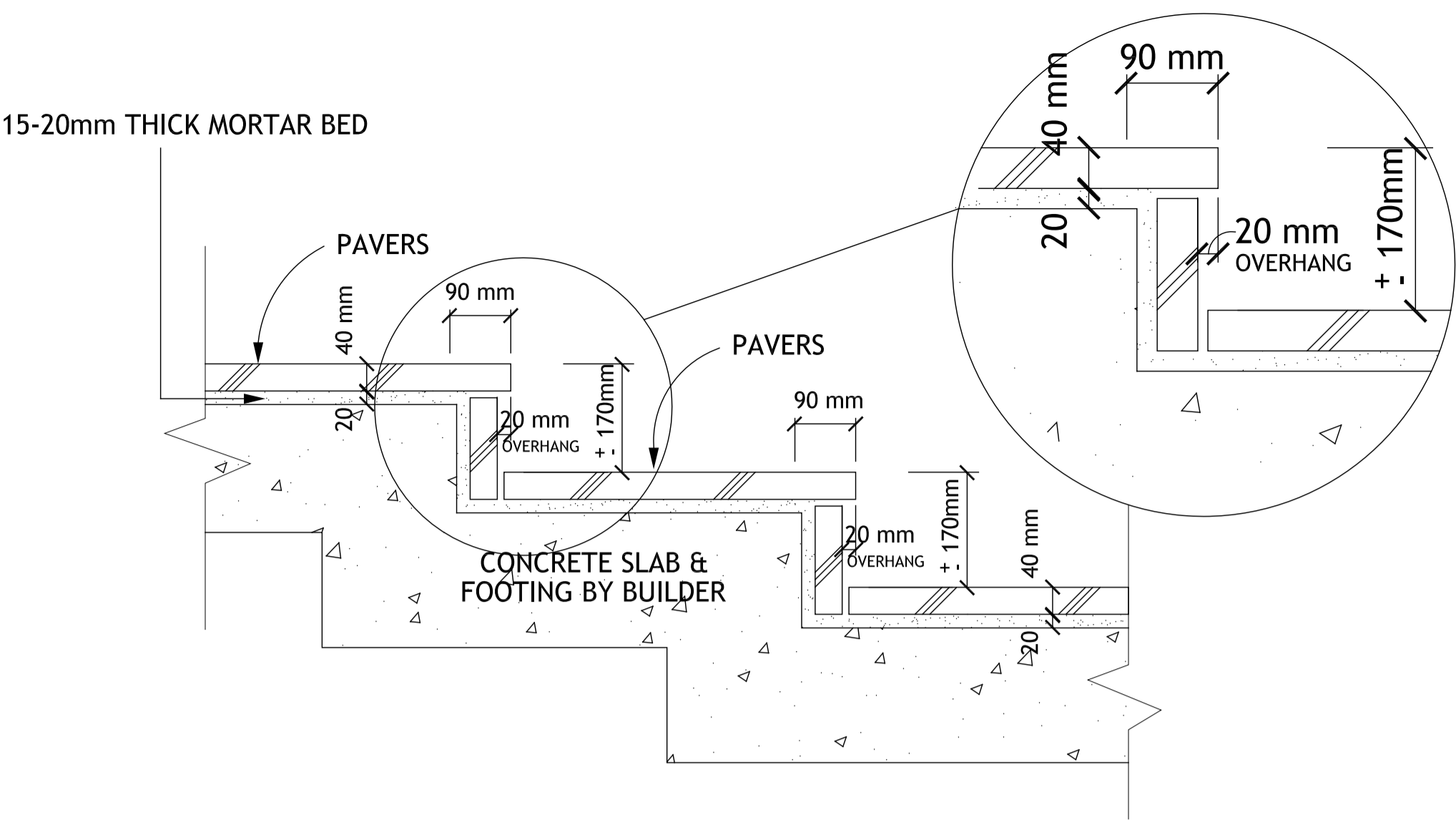
Drawing
D & W Schedule
D & W Window Schedule - Doors
Project Status
PRELIMINARY - not for construction
Scale
Drawn BK Checked ML
Drawing Number A6000
Revision

Window Schedule						
ID	W10	W26	W26a	W27	W27M	W28
W x H Size	850x2,315	850x1,543	850x1,543	2,480x1,543	2,480x1,543	850x1,027
Stud opening	910	910	910	2,540	2,540	910
Window head height	1,310	2,100	2,100	2,100	2,100	2,100
Elevations						
Quantity	2	2	2	3	3	2
Note		restrict opening to 125mm m...	restrict opening to 125mm m...	restrict opening to 125mm max	restrict opening to 125mm max	restrict opening to 125mm m...

Window Schedule				
ID	W101	W301	W302	W303
W x H Size	950x2,400	6,266x850	2,379x850	900x850
Stud opening	1,010	6,326	2,439	960
Window head height	1,310	2,500	2,500	2,500
Elevations				
Quantity	6	2	2	2
Note				

WORK IN PROGRESS





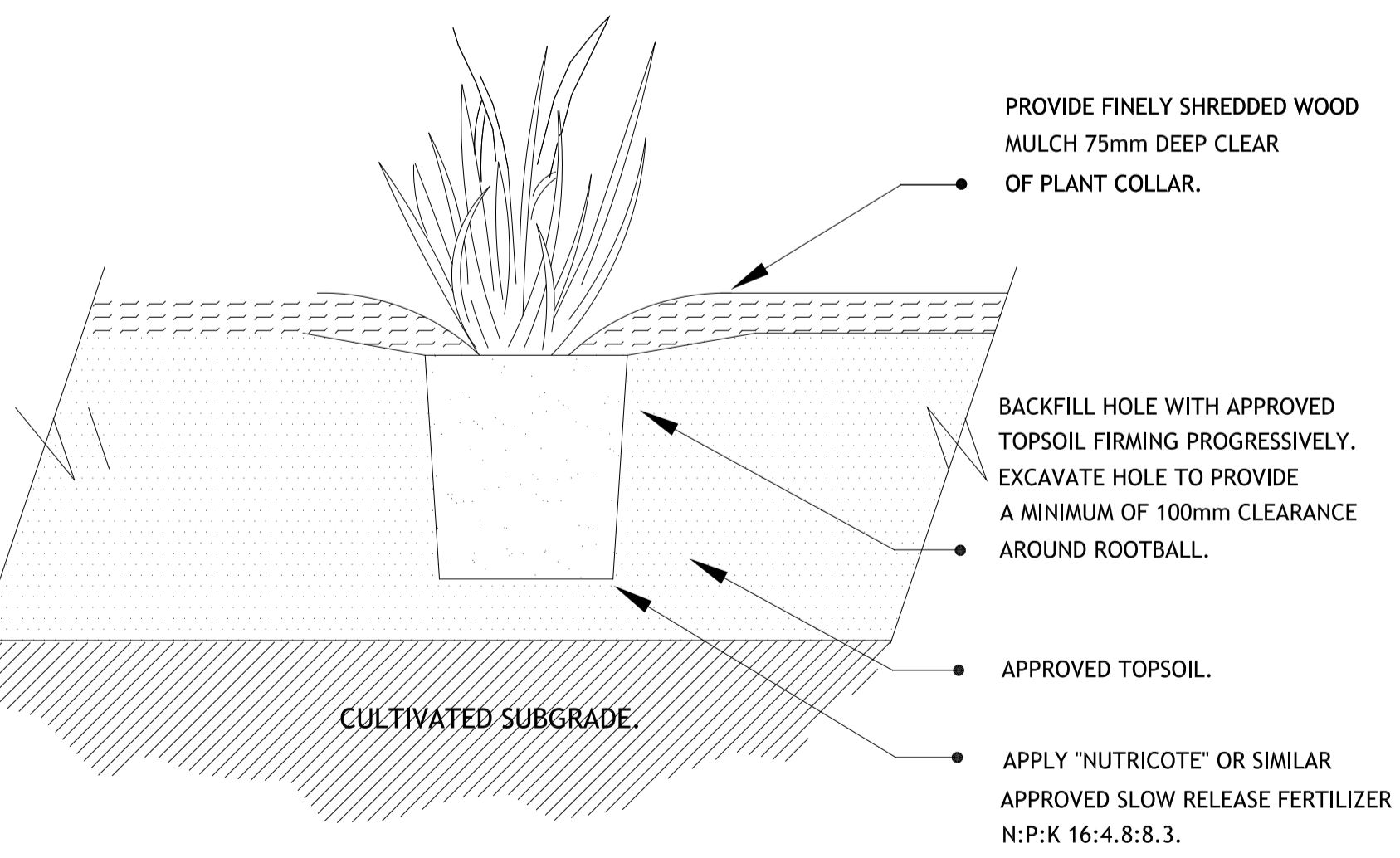
A STEP RISERS- Typical Detail
NOT TO SCALE

SURFACE FINISHES SCHEDULE

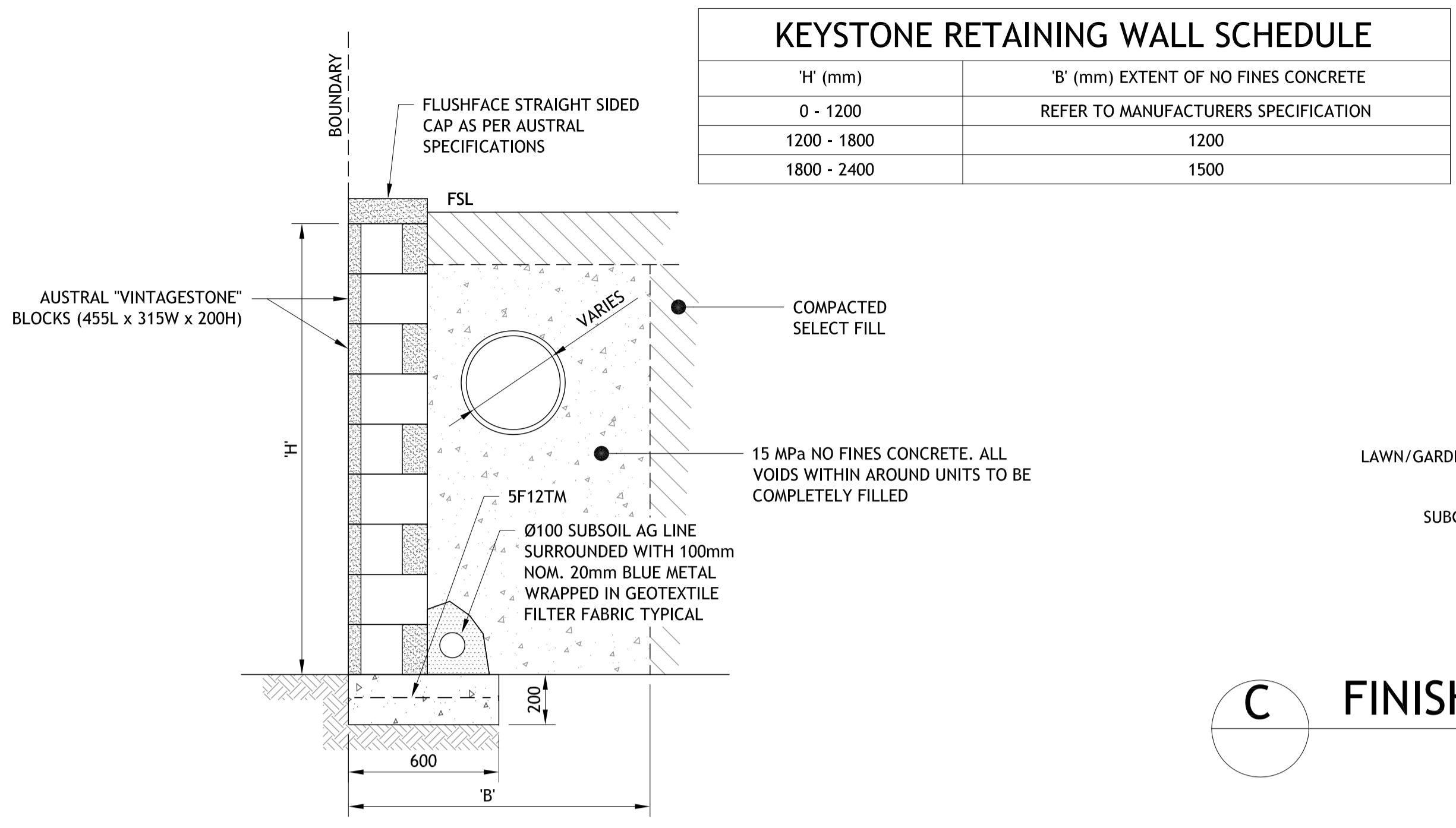
PLAN SYMBOL	SECTION	DESCRIPTION
		<ul style="list-style-type: none"> COLOURED CONCRETE PAVERS ON A 15-20mm THICK MORTAR BED. 75mm INSITU CONCRETE WITH F62 MESH CENTRAL 50mm 20NS CLASS 2 CRUSHED ROCK PREPARED SUBGRADE

A. NOTE: CONCRETE FOOTINGS FOR FRONT STEPS TO BE DOWELLED INTO HOUSE SLAB & CONCRETE DRIVEWAY. CONFIRM & OBTAIN APPROVAL ON-SITE WITH BUILDER, THE DOWELLING METHOD, PRIOR TO WORKS BEING UNDERTAKEN.

B. NOTE: EXPANSION & CONTROL JOINTS TO ALL ADJOINING CONCRETE WORKS. CORKING TO BE INSTALLED AT ALL CONNECTIONS TO THE HOUSE, PATHS & DRIVEWAYS.

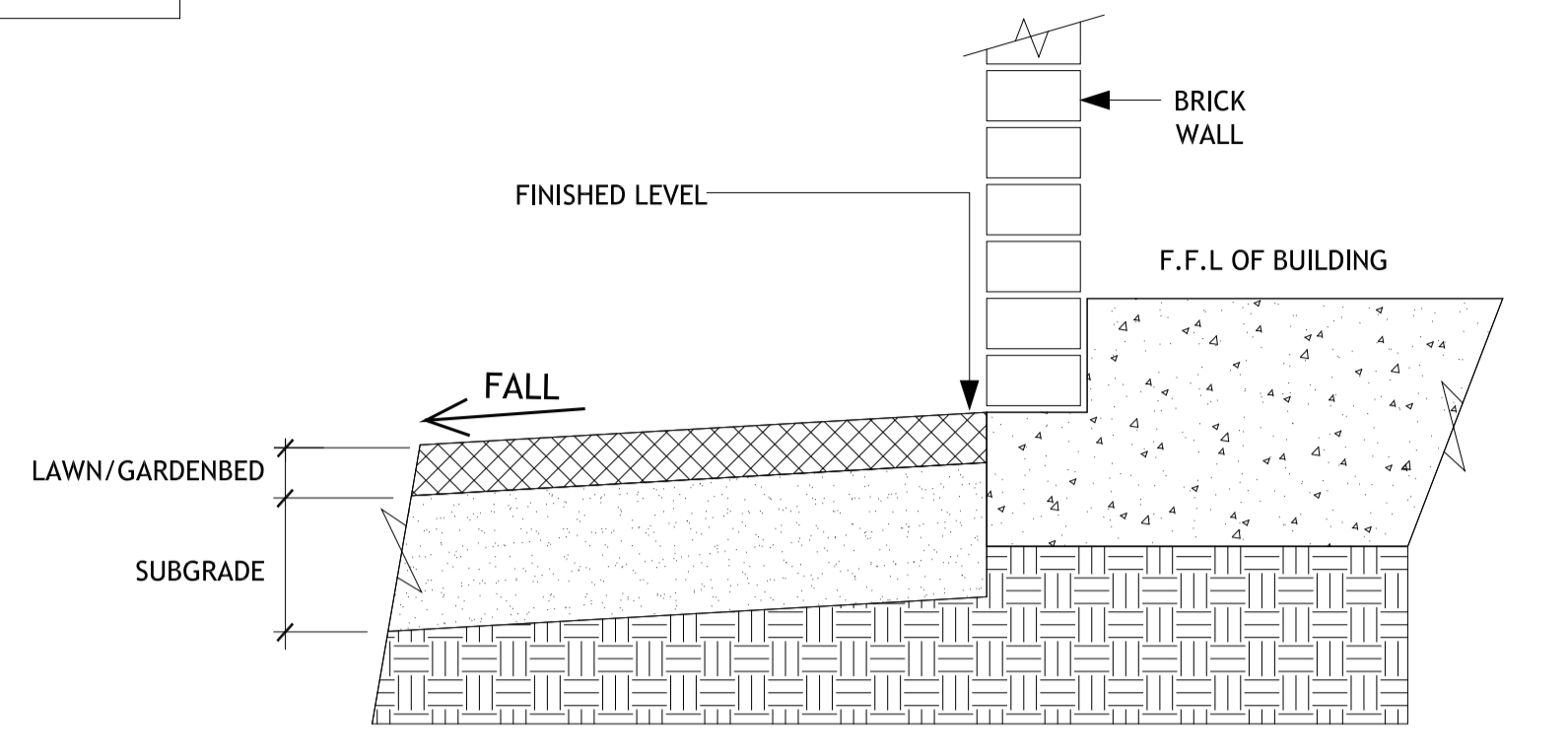


D PLANTING DETAIL - 200mm
NOT TO SCALE



B TYPICAL KEYSTONE BLOCK RETAINING WALL
NOTE: THE ABOVE DETAIL HAS BEEN PREPARED AND PROVIDED BY CRAIG & RHODES ENGINEERS & HAS BEEN APPROVED BY COUNCIL AS PART OF THE CIVIL ENGINEERING WORKS.

'H' (mm)	'B' (mm) EXTENT OF NO FINES CONCRETE
0 - 1200	REFER TO MANUFACTURERS SPECIFICATION
1200 - 1800	1200
1800 - 2400	1500



C FINISHED SURFACE GRADING DETAIL

MAINTENANCE & ESTABLISHMENT PERIOD
THE WHOLE OF THE WORKS SHALL BE UPHELD AGAINST ANY DEFECTS DUE TO FAULTY AND/OR POOR WORKMANSHIP AND MAINTAINED FOR A PERIOD OF 12 MONTHS.
THE FOLLOWING IS A BREAKDOWN OF ALL MAINTENANCE ITEMS INCLUDING WATERING TO BE COMPLETED.

TREES: ALL TREE STAKING TO BE MAINTAINED AS PER THE TREE PLANTING DETAILS AT ALL TIMES. STAKES & TIES TO BE STRAIGHTENED AND REPLACED TO ENSURE STABILITY. ALL TREES ARE TO BE OF SOUND STRUCTURE AND DISPLAY GOOD HEALTH AND ARE FREE OF DISEASE AND PESTS. IF ANY SPRAYING OR TREATMENT FOR PEST AND DISEASE CONTROL IS REQUIRED, THESE SHOULD BE COMPLETED AS PER MANUFACTURER'S INSTRUCTIONS.

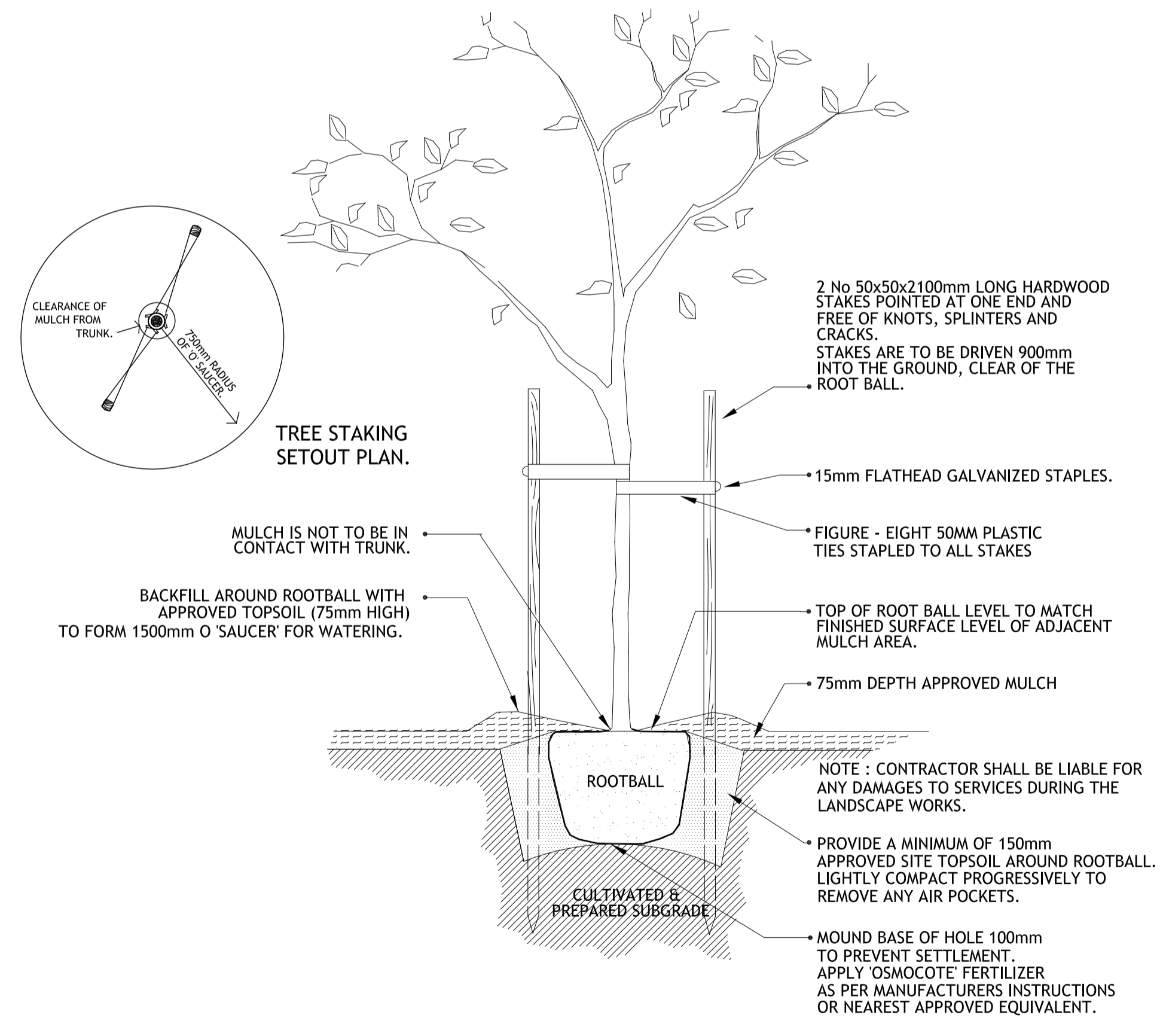
ANY DEAD OR POOR PERFORMING TREES SHALL BE REPLACED IMMEDIATELY. TREE STAKES NEED TO BE REGULARLY MONITORED AND RELOCATED AWAY FROM TREE BRANCHES IF THEY ARE DAMAGING THE TREES. MULCH BOWLS AT THE BASE OF EACH TREE ARE TO BE WEED-FREE AT ALL TIMES AND MULCH DEPTHS REGULARLY MAINTAINED AS PER INSTALLATION TREE DETAIL.

GARDEN BEDS & PLANTING: HERBICIDE SPRAY & REMOVE ALL WEEDS, ROCKS AND RUBBISH FROM THE SITE ON A MONTHLY BASIS. FULL COVERAGE OF PLANTS TO BE REQUIRED AT THE END OF THE MAINTENANCE PERIOD. ALL MULCHED AREAS TO BE MAINTAINED AT THE NOMINATED DEPTHS AS PER THE INSTALLATION DETAILS. ANY DEAD OR POOR PERFORMING PLANTS WITHIN THE GARDEN BEDS SHALL BE REPLACED IMMEDIATELY, AT THE EXPENSE OF THE CONTRACTOR. SPRAYING OF ALL PLANTS FOR PEST AND DISEASE CONTROL TO COMPLETED ON AN 'AS NEEDS' BASIS. ANY SPRAYING OF PLANTS SHALL BE COMPLETED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. THE SAFETY AND PRECAUTION INSTRUCTIONS ARE TO BE READ, UNDERSTOOD AND APPLIED.

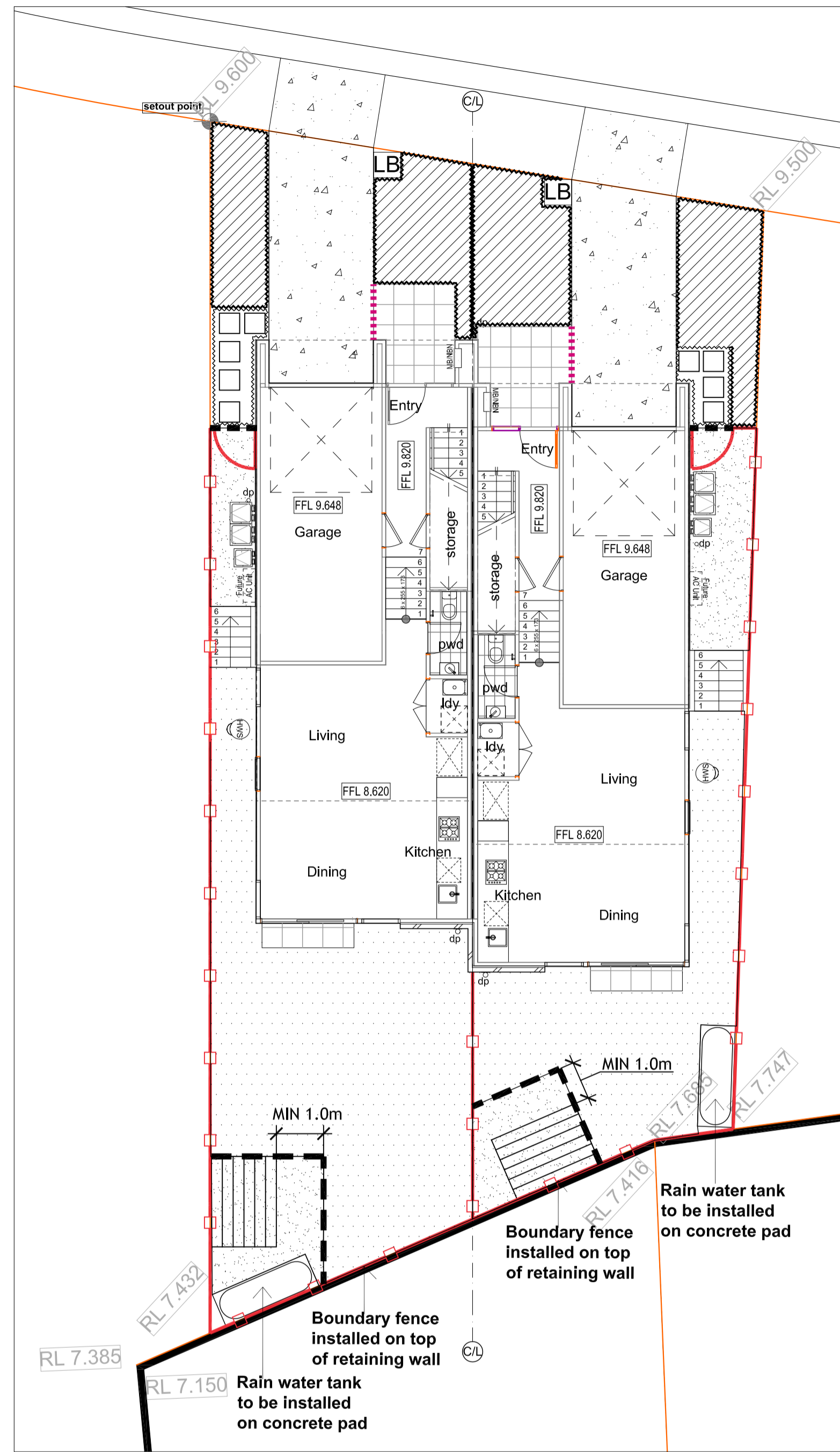
GRASS SEEDED LAWNS: ALL LAWN AREAS ARE TO BE HERBICIDED ONCE PER MONTH, WITH ALL WEEDS, ROCKS AND RUBBISH REMOVED OFF-SITE. A RED-DYE IS TO BE MIXED WITH THE HERBICIDE TREATMENT TO CONFIRM A MONTHLY APPLICATION. MOW ALL AREAS & BRUSH-CUT ALL ADJOINING EDGES - 12 TIMES PER YEAR. THE HEIGHT OF GRASS IS NOT TO EXCEED 120MM HIGH. THE AVERAGE GRASS HEIGHT OF 40-60MM HIGH IS REQUIRED AT ALL TIMES. THE TIMES OF THE YEAR REQUIRING MOWING MAY VARY DEPENDING ON THE SEASON, HOWEVER THE NOMINATED HEIGHT OF GRASS IS TO BE ADHERED TOO. TOP-SOILING AND RE-SEEDING OF BARE AREAS IS TO BE COMPLETED. REGULAR FERTILIZING OF SEEDED LAWNS SHALL BE COMPLETED AS PER THE MANUFACTURERS INSTRUCTIONS. THE OWNER IS TO REGULARLY MONITOR THE IRRIGATION SYSTEM, ENSURING THE CORRECT QUANTITY AND DISTRIBUTION OF WATER TO ALL PLANTS IS BEING UNDERTAKEN. ADJUSTMENTS TO THE WATERING REGIME WILL NEED TO BE REGULATED THROUGHOUT THE YEAR, DEPENDING ON THE SEASON.

IRRIGATION SYSTEM: THE OWNER IS TO REGULARLY MONITOR THE IRRIGATION SYSTEM, ENSURING THE CORRECT QUANTITY AND DISTRIBUTION OF WATER TO ALL PLANTS IS BEING UNDERTAKEN. ADJUSTMENTS TO THE WATERING REGIME WILL NEED TO BE REGULATED THROUGHOUT THE YEAR, DEPENDING ON THE SEASON.


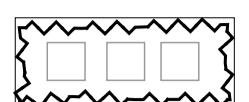
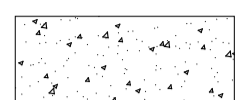
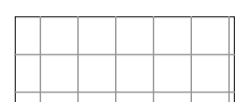
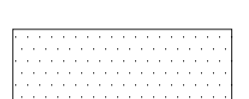
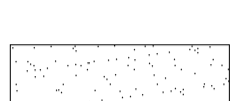






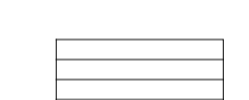

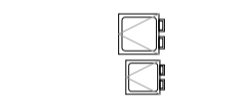
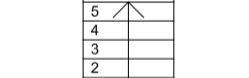


REGULAR MONITORING AND ASSESSMENT OF ALL IRRIGATION MATERIALS AND FIXTURES IS TO BE COMPLETED, ENSURING WATER IS BEING DISTRIBUTED TO ALL PLANTS AND TURF AREAS. REGULAR MONITORING OF THE CONTROL BOX TIMER IS TO BE COMPLETED.



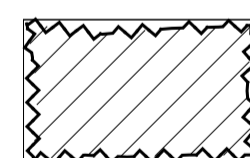
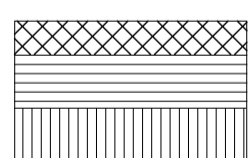
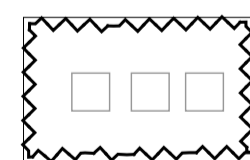
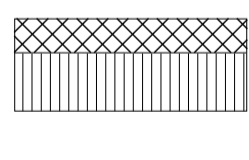

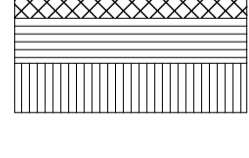


E ADVANCED TREE PLANTING DETAIL- 45 Litres Tree
NOTE: CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGES TO SERVICES DURING THE LANDSCAPE WORKS.

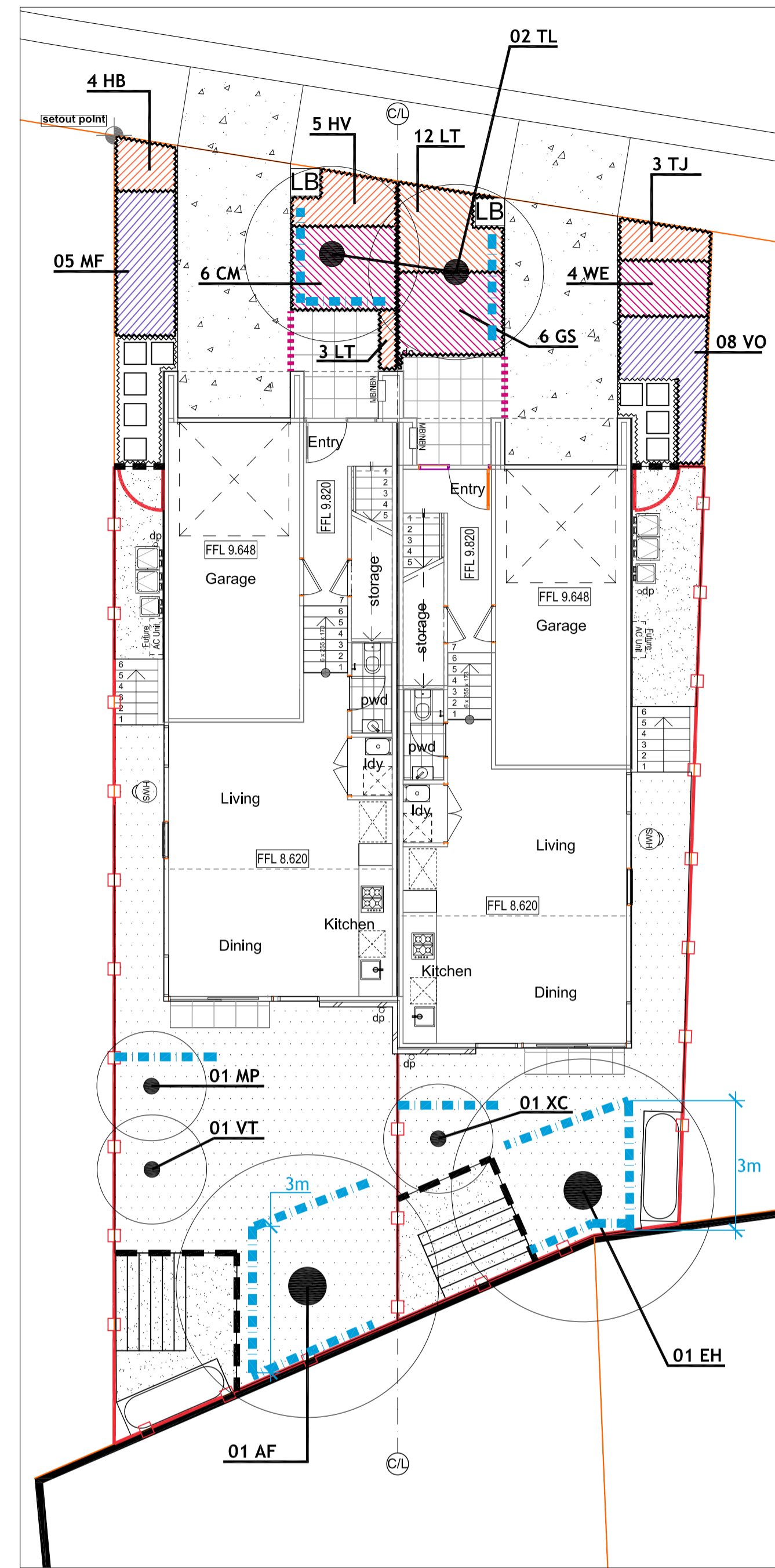


LEGEND




-  **MULCHED GARDEN BED ZONE**
Refer Surface Finishes Schedule on this sheet for further details.
-  **MULCHED AREA WITH STEPPING STONES**
Refer Surface Finishes Schedule on this sheet for further details.
-  **CONCRETE DRIVEWAYS**
Colored concrete.
-  **PAVING**
Colored concrete pavers. Refer to drawing for DA-02 further details.
-  **LAWN: 75mm TOPSOIL, GRASS SEED & FERTILISER**
Refer Surface Finishes Schedule on this sheet for further details.
-  **TUSCAN TOPPINGS: 75mm DEEP**
Refer Surface Finishes Schedule on this sheet for further details.
-  **1.8m HIGH BOUNDARY FENCE & GATE**
NOTE: To Council standards.
-  **RETAINING WALLS**
Refer to Craig & Rhodes Engineers drawings for further information.
-  **TIMBER EDGE**
Refer to DA-02 (Landscape Details) for further information.
-  **STEPPING STONES**
500 X 500 Colored concrete pavers.
-  **FINISHED FLOOR LEVELS/PROPOSED FINISHED LEVELS**
-  **FINISHED GROUND LEVELS**
-  **±120mm HIGH STEP FACED WITH PAVERS**
Refer to DA-02 (Landscape Details) for further information.
-  **WATER TANK**
Refer to DKO Architects drawings for further information.
-  **CLOTHES LINE**
Refer to DKO Architects drawings for further information.
-  **LETTER BOX**
Refer to DKO Architects drawings for further information.
-  **BINS**
Refer to DKO Architects drawings for further information.
-  **STEPS**
Refer to DKO Architects drawings for further information.

SURFACE FINISHES SCHEDULE

PLAN SYMBOL	SECTION	DESCRIPTION
		<ul style="list-style-type: none"> → 75mm DEEP MULCH. → 200mm DEEP IMPORTED SANDY LOAM TOPSOIL. → ADD GYPSUM AND ROTARY HOE SUBSOIL 200mm DEEP (GYPSUM SPREAD AT RATE 1.5kg/M2) & SUBGRADE TO BE EVENLY LEVELLED & GRADED.
		<ul style="list-style-type: none"> → 75mm DEPTH MULCH → SUBGRADE TO BE EVENLY LEVELLED & GRADED AWAY FROM BUILDING.
		<ul style="list-style-type: none"> → LAWN SEED: YATES SMART COUCH LAWN SEED → 75mm DEEP APPROVED IMPORTED SANDY LOAM TOPSOIL EVENLY SPREAD & GRADED. AN APPLICATION OF YATES DYNAMIC LIFTER FOR LAWNS TO BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS. → SUBGRADE TO BE EVENLY LEVELLED & GRADED AWAY FROM BUILDING.
		<ul style="list-style-type: none"> → 75mm DEEP 14mm DIA COMPACTED TUSCAN TOPPINGS. → SUBGRADE TO BE EVENLY LEVELLED & GRADED AWAY FROM BUILDING.



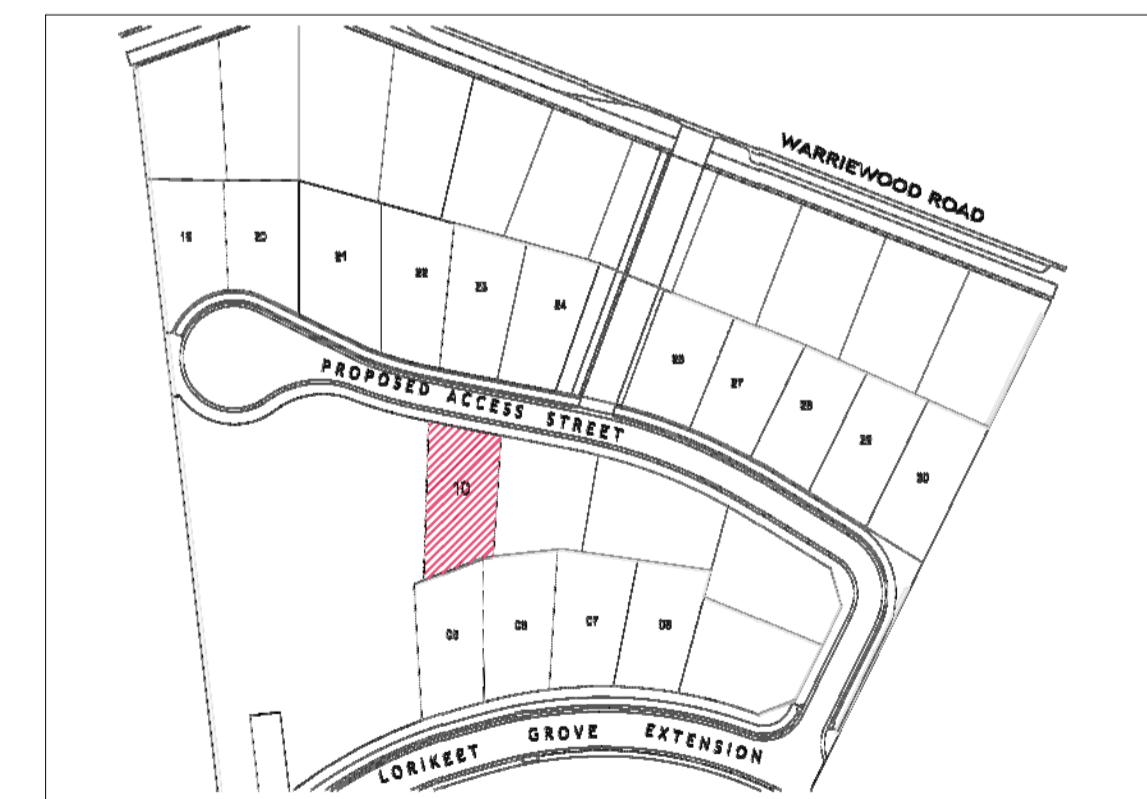
LEGEND

-  **PROPOSED PLANTING**
Refer to Plant Schedule on this sheet for further details.
-  **ROOT CONTROL BARRIER**
TYPE: Rootstop
SIZE: 1000mm (DEEP) x 50mm (THICK) x 3000mm (MIN. LENGTH)
SUPPLIER/MANUFACTURER: ARBORGREEN-TEL. 1300 760 642
NOTES: Installed as per supplier/manufacture instructions.
Contractor to provide written confirmation stating all Root control barriers have been installed.
-  **PROPOSED TREES**
Refer to Plant Schedule on this sheet for further details.

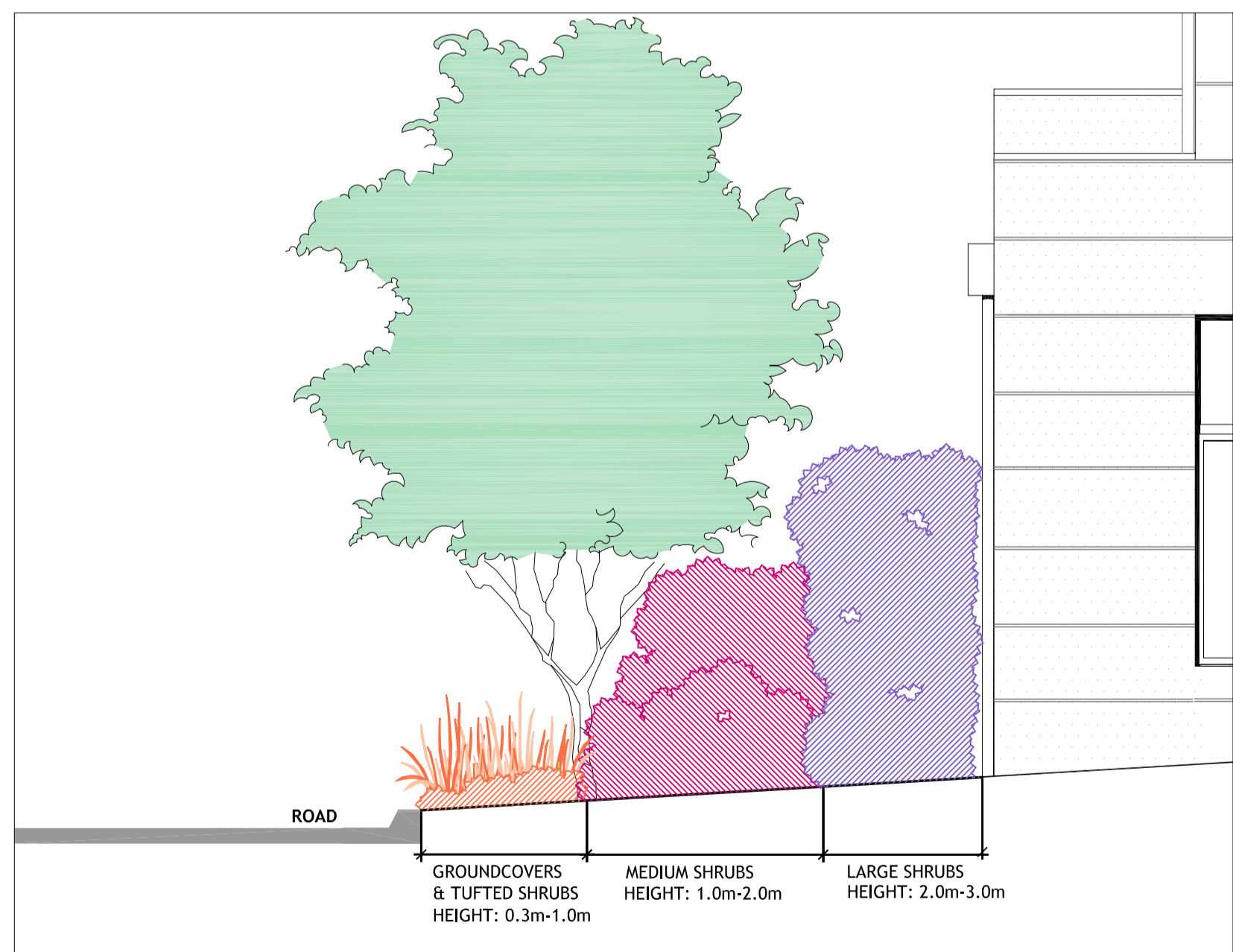
PLANT SCHEDULE

Code	Botanical Name	Common Name	Height & Width	Spacing	Pot Size/ Bag Size	Quantity
TREES (REAR YARDS)						
**AF	ANGOPHORA floribunda	Rough-barked Apple	18m x 8m	As shown	1.8m/45 Litre	01
**EH	EUCALYPTUS haemastoma	Broad leaved Scribbly gum	12-15m x 5m	As shown	1.8m/45 Litre	01
TREES (FRONT GARDENS & SIDE OF HOUSE)						
**TL	TRISTANIOPSIS laurina	Kanooka Gum	12m x 4-6m	As shown	1.8m/45 Litre	02
**XC	XANTHOSTEMON chrysanthus	Golden Penda	6-10m x 3-4m	As shown	1.8m/45 Litre	01
**MP	MURRAYA paniculata	Orange Jessamine	2m x 2.5m	As shown	1.8m/45 Litre	01
**VT	VIBURNUM tinus	Laurustinus	3m x 2.5m	As shown	1.8m/45 Litre	01
LARGE SHRUBS						
MF	MICHELIA figo	Port Wine Magnolia	2.5m x 2m	As shown	200mm	05
VO	VIBURNUM odoratissimum	Sweet Viburnum	4-6m x 4m	As shown	200mm	08
MEDIUM SHRUBS AND TUFTED PLANTS						
WE	WESTRINGIA 'Wynabbie gem'	Westringia Wynabbie Gem	1.5m x 1.2m	As shown	200mm	04
CM	CORREA 'Marians Marvel'	Correa	1.5x 1.5m	As shown	200mm	06
GS	GREVILLEA sericea	Pink Spider Flower	1.5x 1.5m	As shown	200mm	06
GROUNDCOVERS & TUFTED PLANTS						
TJ	TRACHELOSPERMUM jasminoides	Star Jasmine	0.5m x 1m	As shown	200mm	03
LT	LOMANDRA 'Tanika'	Tanika	0.7m x 0.7m	As shown	200mm	15
HV	HARDENBERGIA violacea 'Meema'	Native Sarsparilla	0.5x 1.0m	As shown	200mm	05
HB	HIBBERTIA scandens	Golden Guinea Flower	1.3x 1.0m	As shown	200mm	04

NOTES: All 45 Litre Trees planted in the rear of lots to have Root control barriers.
All large shrubs planted down the side of houses to have Root control barriers.
** All Trees to be Planted as 45 Litre container. Refer to installation detail on DA-02.
Plant Species have been selected from the following sources:
1. PDPC 21 Control D16.5 Landscaped Areas for Newly Created Individual Allotments-Plant lists;
2. Warriewood Valley Landscape Masterplan and Urban Design Guidelines-Plant List
3. Pittwater Council-Native Plants for Your Garden-Lowlands Plant List;
4. Pittwater Council-Prelodgement Report-Recommended Plants;
Less than 20% of the shrub species are exotic species and within the 30% allowable range.

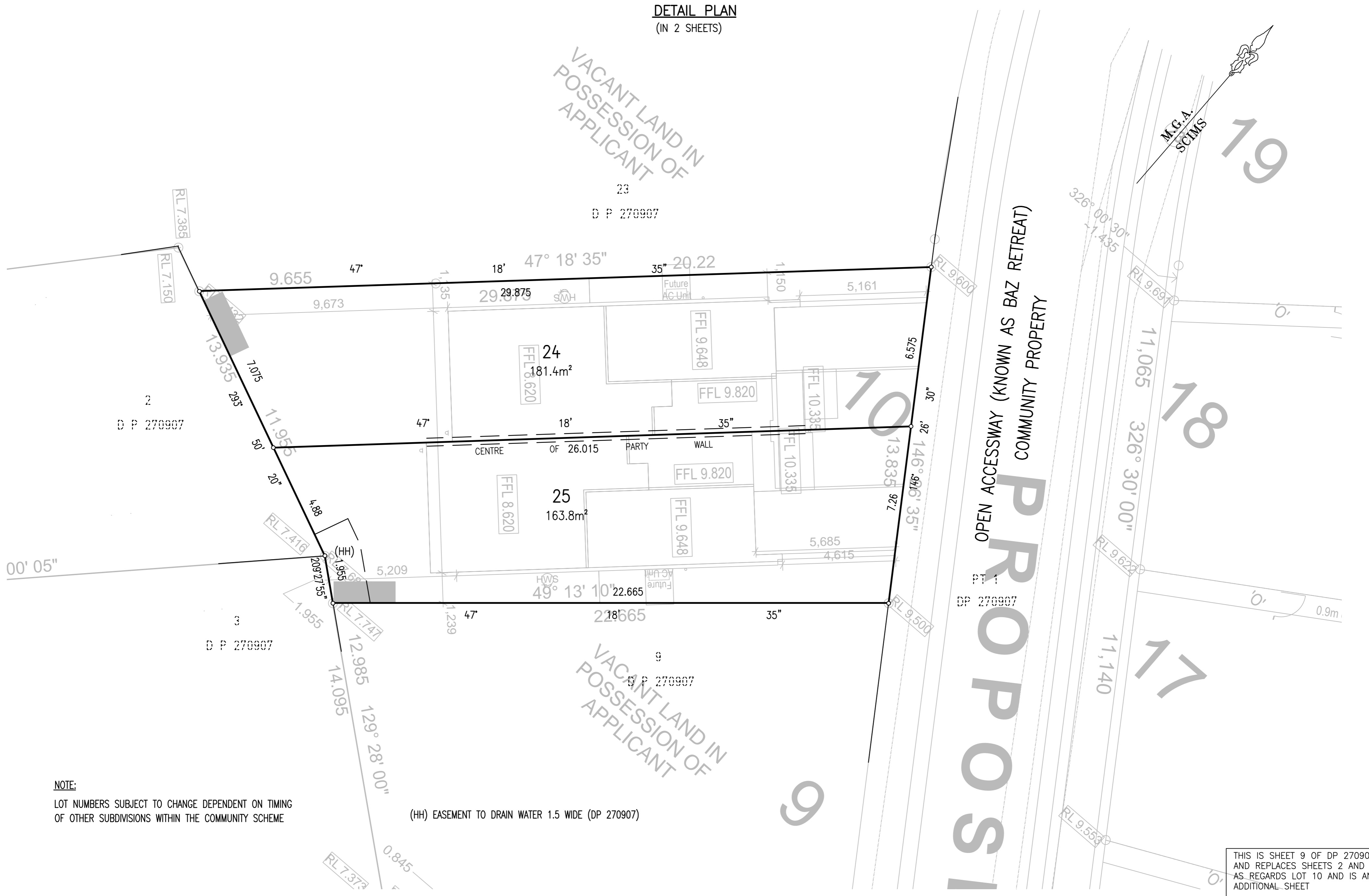


SITE CONTEXT PLAN
NTS



A TYPICAL SECTION FOR PLANTING LAYOUT
NTS

DETAIL PLAN
(IN 2 SHEETS)



NOTE:
 LOT NUMBERS SUBJECT TO CHANGE DEPENDENT ON TIMING
 OF OTHER SUBDIVISIONS WITHIN THE COMMUNITY SCHEME

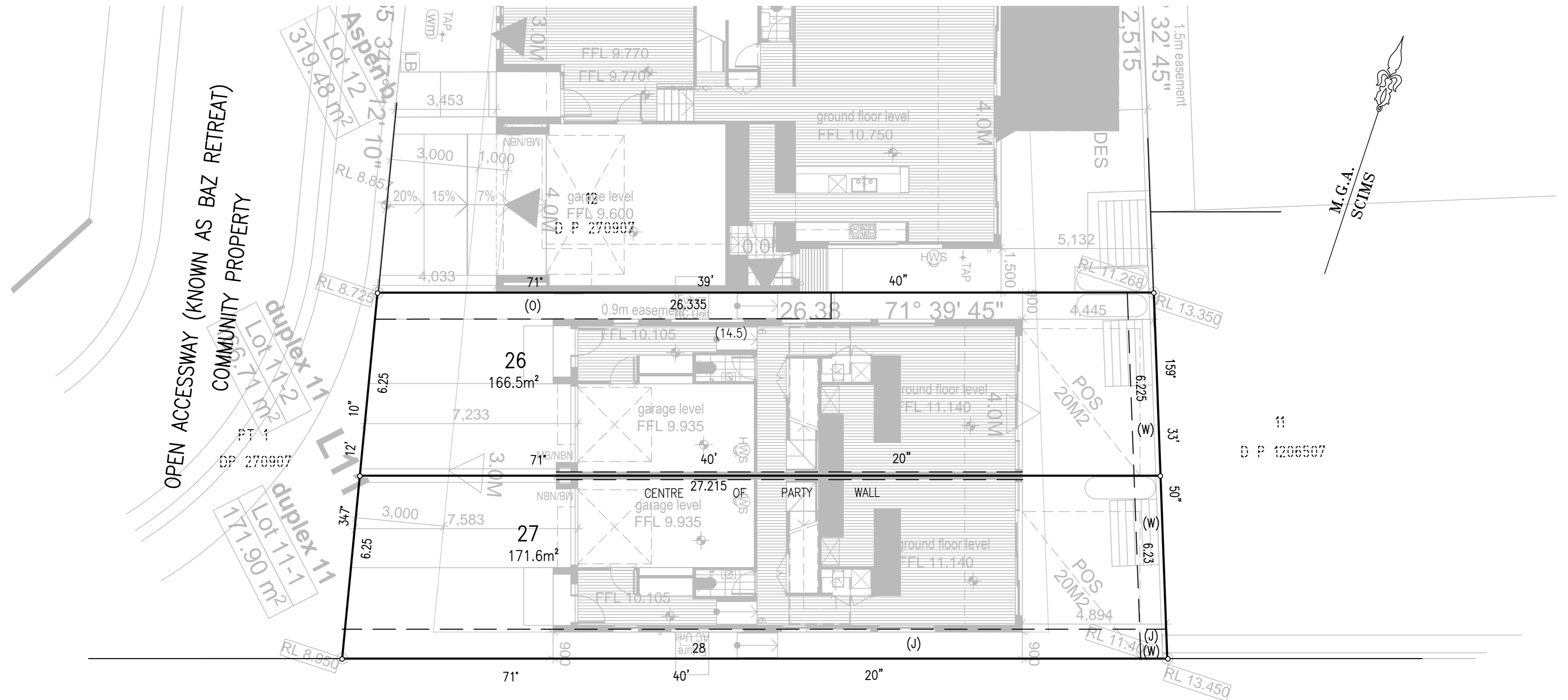
(HH) EASEMENT TO DRAIN WATER 1.5 WIDE (DP 270907)

PROPOSED
 OPEN ACCESSWAY (KNOWN AS BAZ RETREAT)
 COMMUNITY PROPERTY

THIS IS SHEET 9 OF DP 270907
 AND REPLACES SHEETS 2 AND 3
 AS REGARDS LOT 10 AND IS AN
 ADDITIONAL SHEET

SURVEYOR Name: MITCHELL KEITH AYRES Date: Reference: 201953 SUB PH	PLAN OF SUBDIVISION OF LOTS 10 AND 11 DP 270907	LGA: NORTHERN BEACHES Locality: WARRIEWOOD Reduction Ratio: 1:100 Lengths are in metres.	REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	PRINTED 20 NOV 2019 ISSUE 1
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DETAIL PLAN
(IN 2 SHEETS)



NOTE:

LOT NUMBERS SUBJECT TO CHANGE DEPENDENT ON TIMING OF OTHER SUBDIVISIONS WITHIN THE COMMUNITY SCHEME

- (J) EASEMENT FOR GAS MAIN 1 WIDE (DP 1206507)
- (O) EASEMENT FOR ACCCESS CONSTRUCTION & MAINTENANCE 0.9 WIDE (DP 270907)
- (W) EASEMENT FOR ACCESS, MAINTENANCE & SUPPORT 0.9 WIDE (DP 1206507)

29
SEC C
D P 5484

THIS IS SHEET 10 OF DP 270907 AND REPLACES SHEETS 2 AND 4 AS REGARDS LOT 11 AND IS AN ADDITIONAL SHEET

<p>SURVEYOR Name: MITCHELL KEITH AYRES Date: Reference: 201953 SUB PH</p>	<p>PLAN OF SUBDIVISION OF LOTS 10 AND 11 DP 270907</p>	<p>LGA: NORTHERN BEACHES Locality: WARRIEWOOD Reduction Ratio: 1:100 Lengths are in metres.</p>	<p>REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.</p>	<p>PRINTED 20 NOV 2019 ISSUE 1</p>
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