

SITE CALCULATIONS

Site Area : 744.4sqm

Existing Site Coverage-

House & decks 125sqm + Drive 23.5sqm + paths 50sqm
= 198.5 sqm = 26.65%

Proposed Site Coverage -

House & decks 179.5sqm + Carport/Drive 34sqm + paths 25sqm
= 238.5 sqm = 32.04%

Existing Soft Landscaped area -544sqm =73.08% of site
Proposed Soft Landscaped area -486sqm = 65.28% of site
(landscaped areas included only areas greater than 1.5m wide)

AMENDMENTS

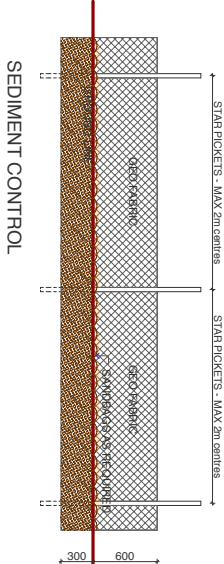
'A' - AUGUST 2020 - CARPORT REDUCE IN SIZE, INCREASED
SETBACK FROM FRONT BOUNDARY

JO WILLMORE DESIGNS

11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS & ADDITIONS

for: S. & L. Tully
at: Lot 17, DP 25162, 23 Panorama Crescent
FRENCHS FOREST, 2086



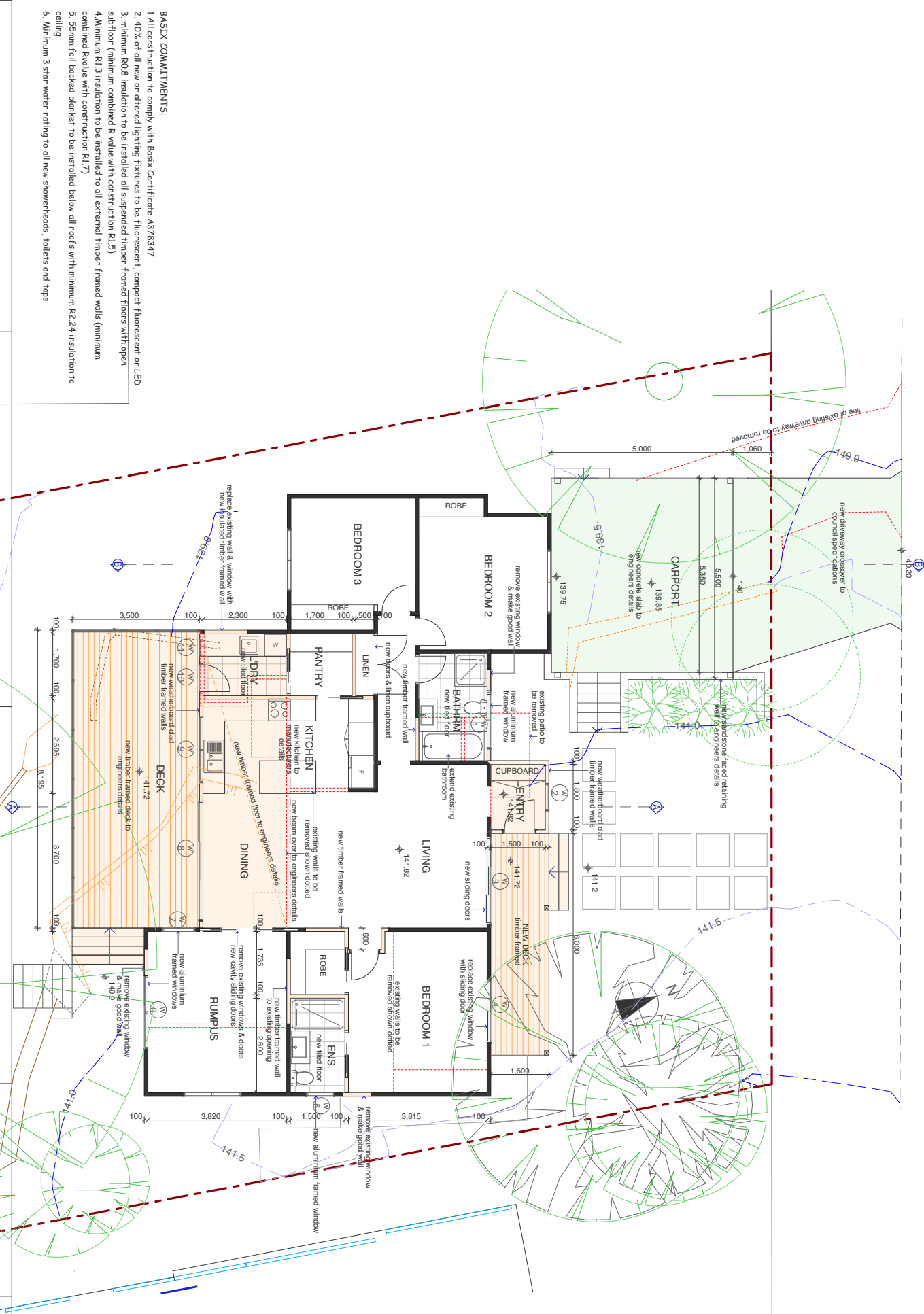
drawing title
SITE PLAN

date: JUNE 2020
scale: 1:200 (A3)

NOTE: Use figured dimension only.
Do not scale off drawings. All levels and
dimensions to be verified prior to construction
of work

drawing number

DA 01A



BASIX COMMITMENTS:

- 1. All construction to comply with Basix Certificate A378347
- 2. 40% of all new or altered lighting fixtures to be Fluorescent, compact Fluorescent or LED
- 3. minimum R0.8 insulation to be installed all suspended timber framed floors with open subfloor (minimum combined R value with construction R1.5)
- 4. Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined R-value with construction R1.7)
- 5. 55mm foil backed blanket to be installed below all roofs with minimum R2.24 insulation to ceiling
- 6. Minimum 3 star water rating to all new showerheads, toilets and taps

AMENDMENTS

'A' - AUGUST 2020 - CARPORT REDUCE IN SIZE, INCREASED SETBACK FROM FRONT BOUNDARY

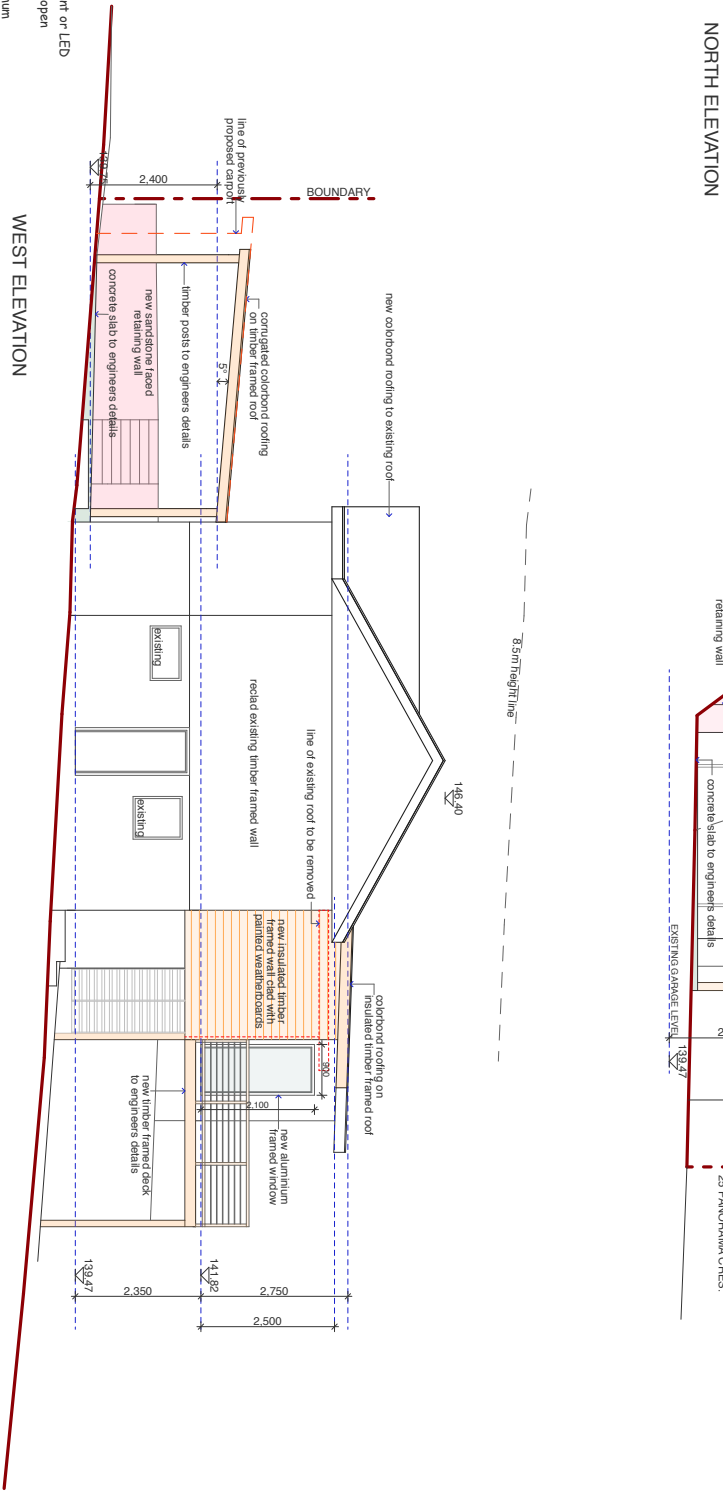
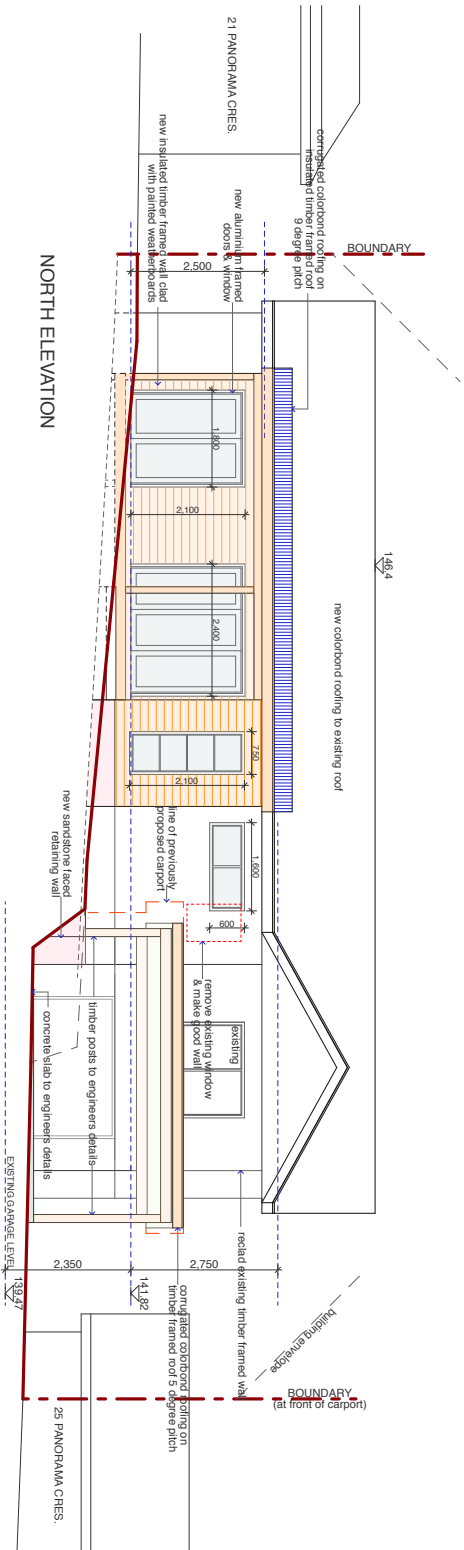
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GROUND FLOOR PLAN

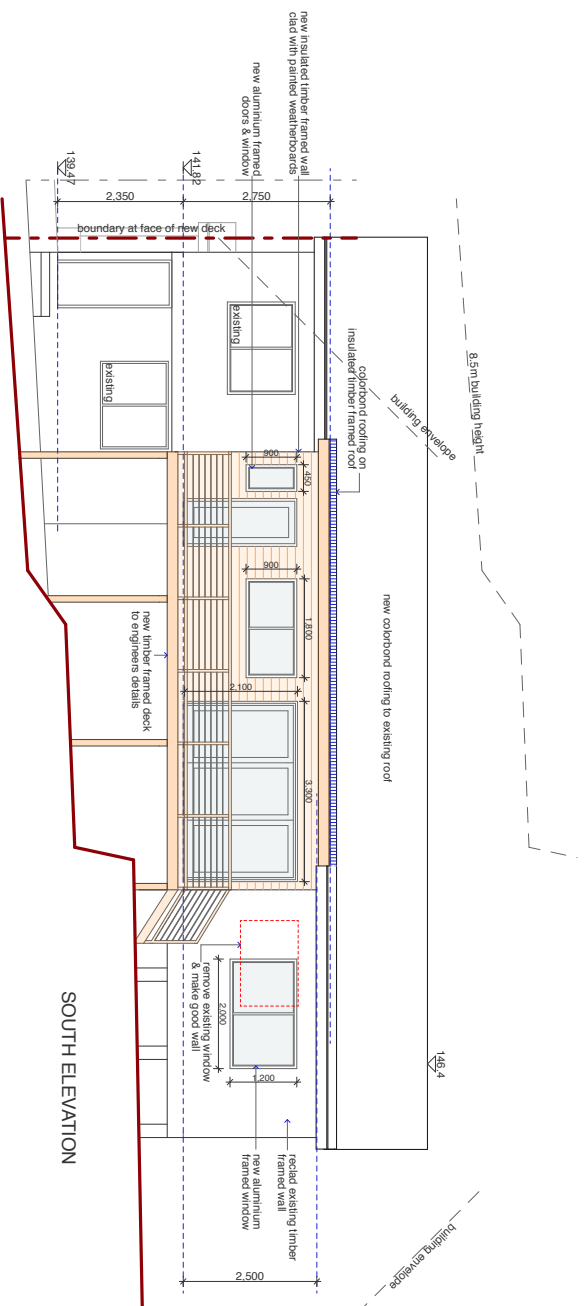
NOTE: Use figured dimension only.
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date: JUNE 2020
scale: 1:100 (A3)
drawing number
DA 03A

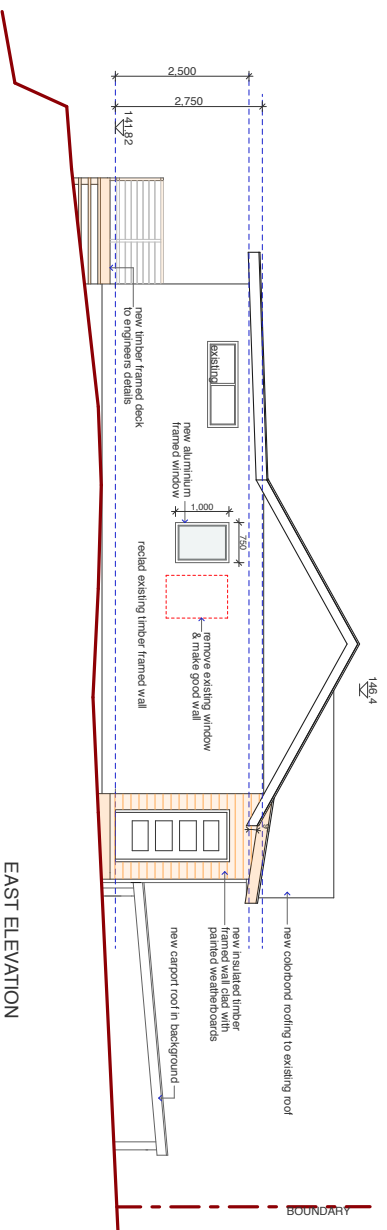


- BASIC COMMITMENTS:**
1. All construction to comply with Basic Certificate A378347
 2. 40% of all new or altered lighting fixtures to be Fluorescent, compact Fluorescent or LED
 3. minimum R0.8 insulation to be installed all suspended timber framed floors with open subfloor (minimum combined R value with construction R1.5)
 4. Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined R-value with construction R1.7)
 5. 55mm foil backed blanket to be installed below all roofs with minimum R2.24 insulation to ceiling
 6. Minimum 3 star water rating to all new showerheads, toilets and taps

AMENDMENTS		JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173		PROPOSED ALTERATIONS & ADDITIONS for: S. & L. Tully at: Lot 17, DP 25162, 23 Panorama Crescent FRENCHS FOREST, 2086		drawing title ELEVATIONS		date: JUNE 2020 scale: 1:100 (A3)		drawing number DA 04A	
'A' - AUGUST 2020 - CARPORT REDUCE IN SIZE, INCREASED SETBACK FROM FRONT BOUNDARY						NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work					



SOUTH ELEVATION



EAST ELEVATION

- BASIC COMMENTS:**
1. All construction to comply with Basic certificate A376347
 2. 40% of all new or altered lighting fixtures to be Fluorescent, compact Fluorescent or LED
 3. minimum R0.8 insulation to be installed all suspended timber framed floors with open subfloor (minimum combined R value with construction R1.5)
 4. Minimum R2.4 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
 5. 55mm foil backed blanket to be installed below all roofs with minimum R2.24 insulation to ceiling
 6. Minimum 3 star water retting to all new showerheads, toilets and taps

AMENDMENTS

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PROPOSED ALTERATIONS & ADDITIONS

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FRENCHS FOREST, 2086

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drawing title

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DA 05A

8.5m height line



BASIC COMMITMENTS:

6. Minimum 3 star water rating to all new showerheads, toilets and taps

AMENDMENTS

SETBACK FROM FRONT BOUNDARY

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PROPOSED ALTERATIONS & ADDITIONS

FRENCHS FOREST, 2086

SECTIONS

of work

date: JUNE 2020

scale: 1:100 (A3)

drawing number

DA 06A