PANORAMA CRESCENT BOUNDARY 20.115n EXISTING TILES TO BE REPLACED WITH NEW COLORBOND ROOFING No.25 BRICK HOUSE TILE ROOF LOT 17, DP 25162 23 PANORAMA CRESCENT Site Area/744.4sqm ANDSCAPED AREA STAR PICKETS - MAX 2m centres STAR PICKETS - MAX 2m centres

Site Area : 744.4sqm

SITE CALCULATIONS

Existing Site Coverage-

House & decks 125sqm + Drive 23.5sqm + paths 50sqm

= 198.5 sqm = 26.65%

Proposed Site Coverage -

House & decks 179.5sqm + Carport/Drive 34sqm + paths 25sqm

= 238.5 sqm = 32.04%

Proposed Soft Landscaped area -486sqm = 65.28% of site Existing Soft Landscaped area -544sqm =73.08% of site (landscaped areas included only areas greater than 1.5m wide)

Minimum 3 star water rating to all new showerheads, toilets and taps

5.55mm foil backed blanket to be installed below all roofs with minimum R2.24 insulation to

Minimum R1.3 insulation to be installed to all external timber framed walls (minimum

subfloor (minimum combined R value with construction R1.5)

1.All construction to comply with Basix Certificate A378347
2. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. minimum R0.8 insulation to be installed all suspended timber framed floors with open

BASIX COMMITMENTS:

JO WILLMORE DESIGNS ABN 27 370 370 173 Clareville NSW 2107 11 Hudson Parade (02) 9918 2479

SETBACK FROM FRONT BOUNDARY

'A' - AUGUST 2020 - CARPORT REDUCE IN SIZE, INCREASED

AMENDMENTS

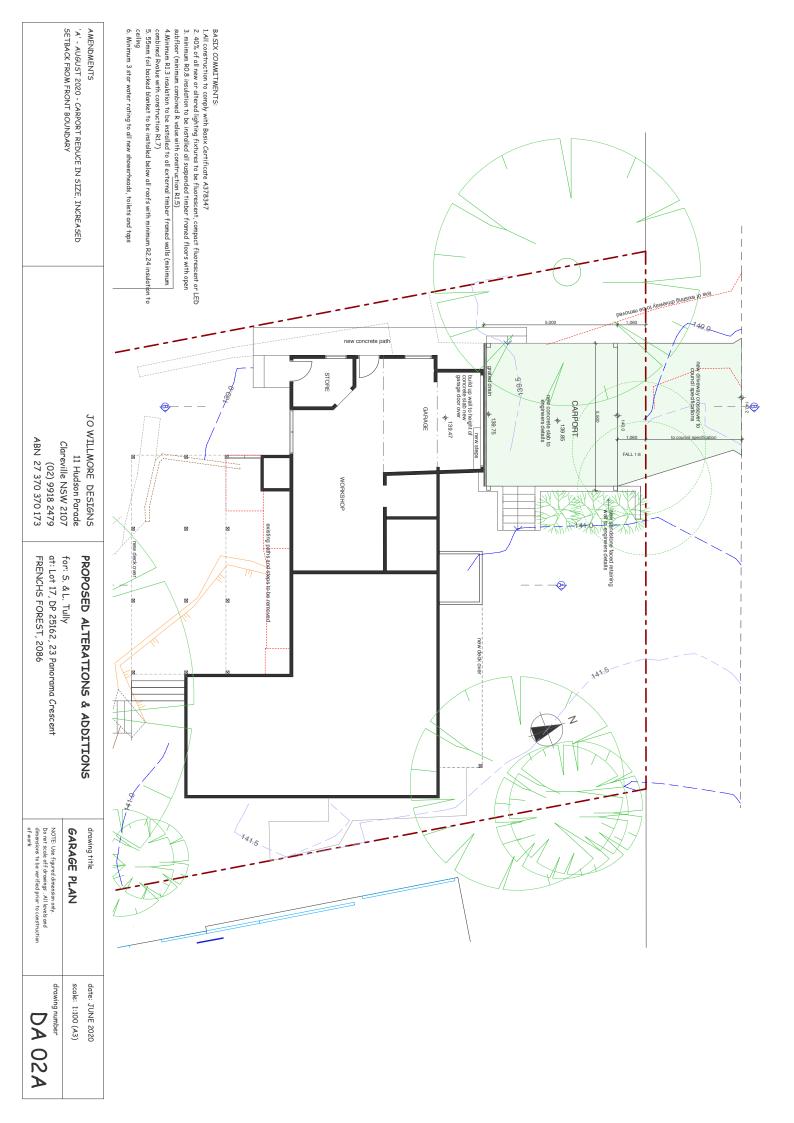
for: S. & L. Tully

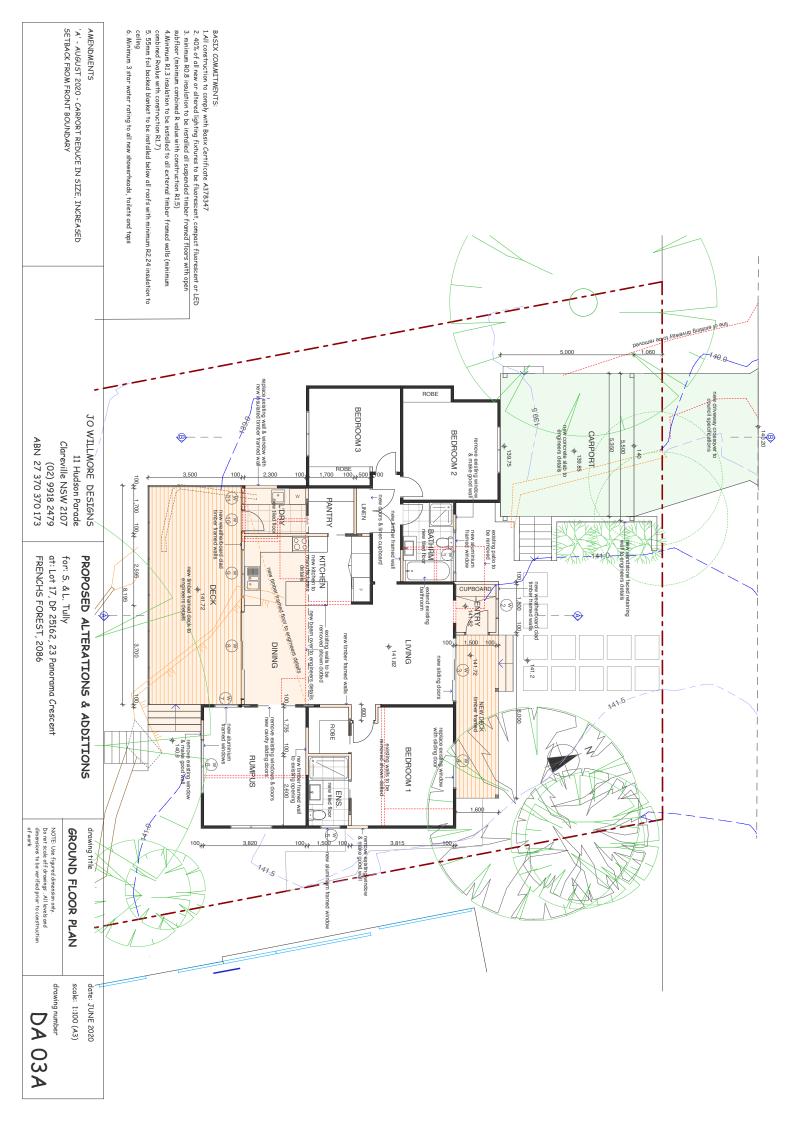
PROPOSED ALTERATIONS & ADDITIONS

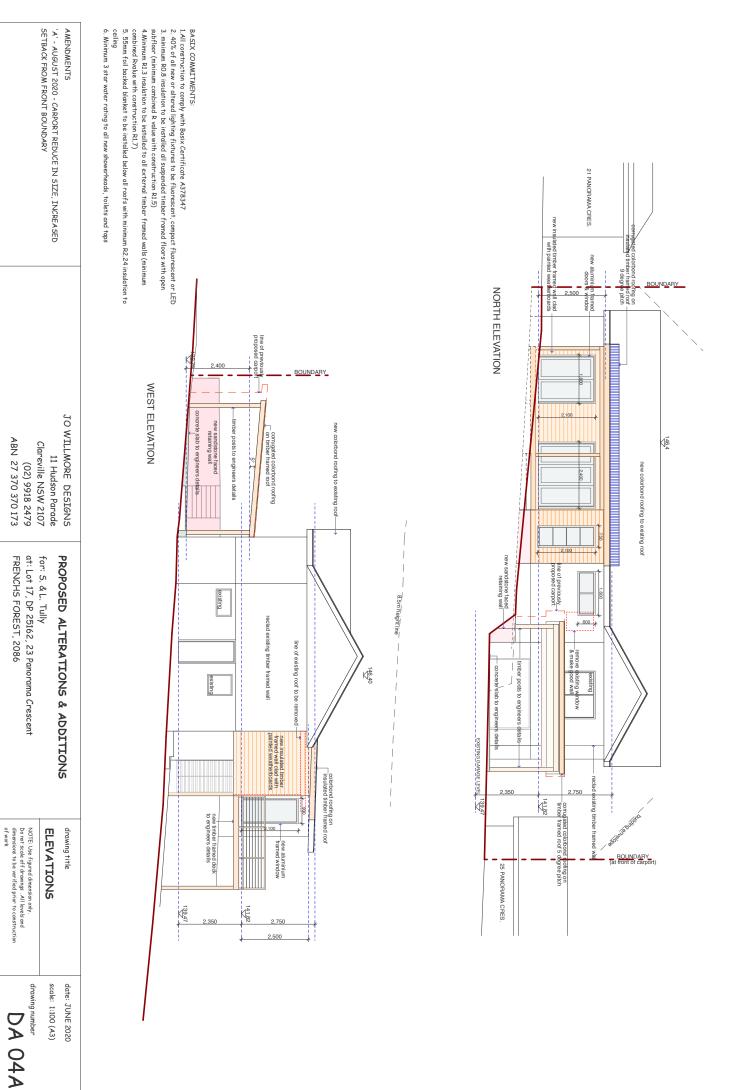
at: Lot 17, DP 25162, 23 Panorama Crescent FRENCHS FOREST, 2086

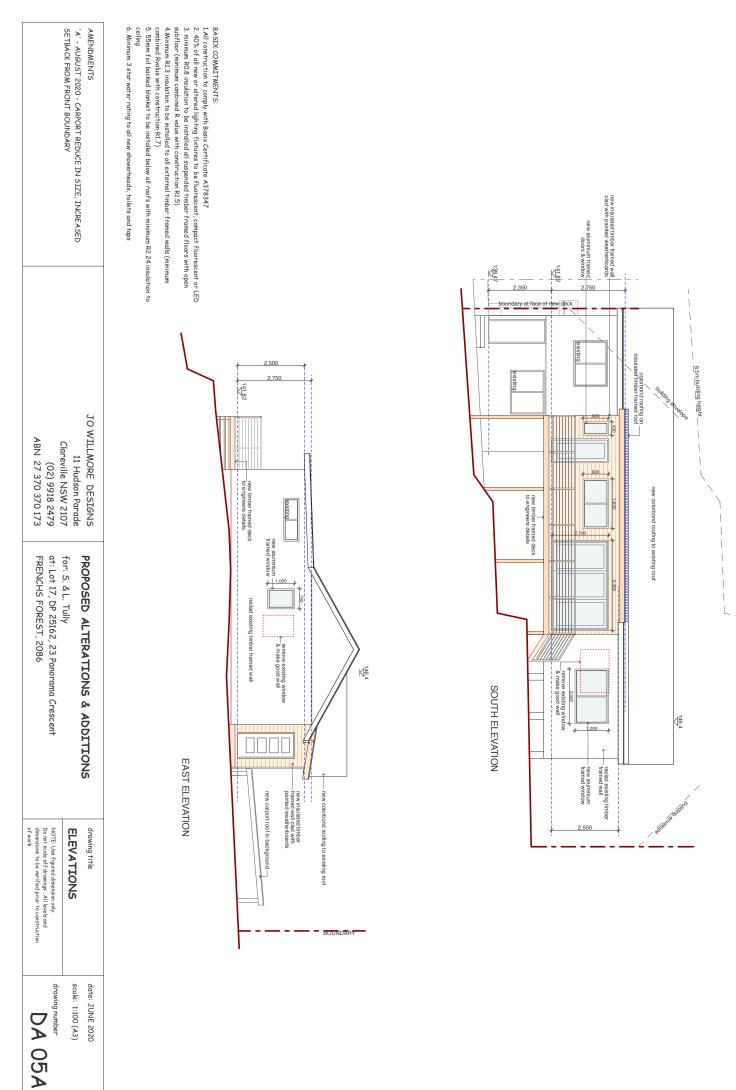


SEDIMENT CONTROL









1.All construction to comply with Basix Certificate A378347
2. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
3. minimum R0.8 insulation to be installed all suspended timber framed floors with open 6. Minimum 3 star water rating to all new showerheads, toilets and taps 5. 55mm foil backed blanket to be installed below all roofs with minimum R2.24 insulation to combined Rvalue with construction R1.7) 4.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum subfloor (minimum combined R value with construction R1.5) BASIX COMMITMENTS: BOUNDARY FALL 1:6 ALL COLORS TO THE COLORS TO TH concrete slab to engineers dete timber posts to engineers details new sandstone faced retaining wall CARPORT corrugated colorbond roofing on timber framed roof 5 degree pitch BEDROOM 2 GARAGE BEDROOM 3 new insulated timber framed wall clad with painted weatherboards colorbond roofing on insulated timber framed roof SECTION BB new aluminium framed window 139.47

SECTION AA

new timber framed floor to engineers details

2.500

ENT.

LIVING

sing walls to be shown dotted

DINING

 new insulated timber framed wall clad with painted weatherboards new aluminium framed doors & window

new timber framed deck to engineers details

w insulated timber ned walls

corrugated colorbond roofing on new insulated timber framed roof— 9 degree pitch

colorbond roofing on insulated timber framed roof pitch to match existing

8.5m height line ______

SETBACK FROM FRONT BOUNDARY AMENDMENTS 'A' - AUGUST 2020 - CARPORT REDUCE IN SIZE, INCREASED

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PROPOSED ALTERATIONS & ADDITIONS

for: S. & L. Tully

at: Lot 17, DP 25162, 23 Panorama Crescent FRENCHS FOREST, 2086

NOTE: Use figured dimension only.
Do not scale off drawings . All levels and dimensions to be verified prior to construction of work SECTIONS drawing title scale: 1:100 (A3) date: JUNE 2020

DA 06A