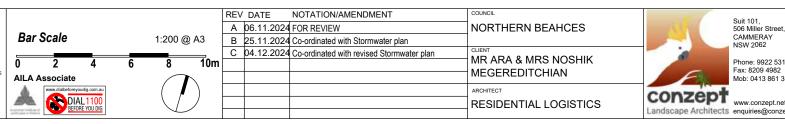


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	TITLE:	DWG No:	SHEET No:
t,		LPDA25-2019348	01
		SCALE:	STATUS:
12	HARDSCAPE PLAN	1:200@A3	DA
12	PROPOSED RESIDENTIAL DEVELOPMENT	DATE:	ISSUE:
351	204 BANTRY BAY ROAD,	DEC 2024	С
	FRENCH FOREST	DRAWN:	CHECKED:
et.au ept.net.au		C.D	R.F

LEGEND & SCHEDULE



1. ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR. 2. ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT. 3. WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS. 4. LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES, LOCATE TREES A MINIMUM 1,25M FROM PITS

5. ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS. 6. THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED

DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.

7. ALL TREES TO BE SOURCED IN ACCORDANCE WITH TESTS AND MEASUREMENTS CONTAINED WITHIN AS 2303-2015 - TREE STOCK FOR LANDSCAPE USE

FEATURE TREE

\bigcirc	Botanical Name: Common Name: Pot size: Mature H x S: Qty Required:	Magnolia 'Little Gem' Magnolia Little Gem (Exotic) 45Lt 4.5m x 1.5-2m 1		

SHRUBS AND HEDGES

Botanical Name: Viburnum odoratissimum Common Name: Sweet Viburnum (Exotic) 200mm Pot size Mature H x S: 3m x 2m Qty Required: Botanical Name: Syzygium australe 'Pinnacle' Common Name: Pinnacle Lilly Pilly (Native) Pot size: 200mm Mature H x S: 6-8m x 1-1.5m Qty Required: Botanical Name: Svzvajum 'Tiny Trev' Common Name: Dwarf Lilly Pilly (Native) Pot size: 200mm

Mature H x S: Qty Required:

ACCENT PLANTS

Botanical Name: Phormium tenax 'Purpureum Common Name: New Zealand Flax (Exotic) Pot size: 300mm Mature H x S: 0.9m x 0.9m **Qty Required:**

1m x 1m

17

GRASSES / GROUNDCOVERS

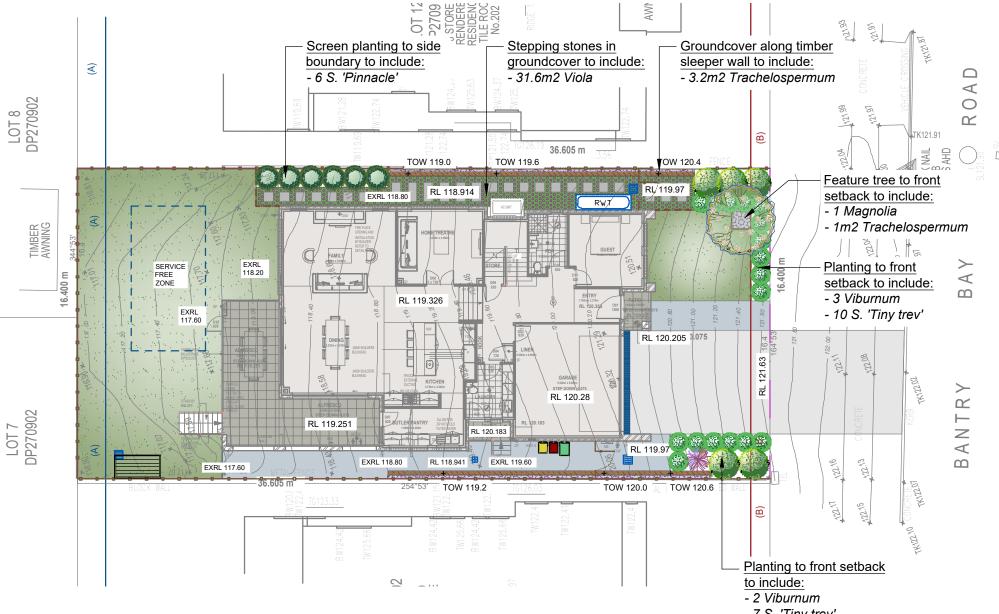
Botanical Name: Common Name: Pot size: Mature H x S: Qty Required:	Trachelospermum 'Tricolour Tricolour Jasmine (Exotic) 140mm 0.2m x spreading 5/m2 (3.2m2 total)
Botanical Namo:	Viala hadaraaaa

common Name: Sweet Violet (Native) Pot size: 140mm Mature H x S: 0.2m x spreading Qty Required: 9/m2 (31.6m2 total)

SAMPLE IMAGES mages are for design intent only, final planting

av varv. as det ed by Cou ncil App

Viburnum odoratissimur



Syzygium australe 'Pinnacle





Syzygium 'Tiny Trev

DRAINAGE PITS AND DRAINAGE LINES SHOULD BE LOCATED WITHIN GARDEN AREAS TO ALLOW FOR SITE DRAINAGE WHILE MINIMISING IMPACT ON THE PROPOSED PLANTING SCHEME.

WHERE POSSIBLE, PITS AND LINEWORK SHOULD BE LOCATED AT THE EDGE OF LANDSCAPE STRIPS TO AVOID PRECLUDING PLANTING CENTRALLY IN GARDEN AREAS. WHERE PITS AND LINEWORK OCCUR WITHIN GARDEN BEDS, THE LANDSCAPE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID DAMAGING STORM WATER WHEN PLANTING SHRUBS AND TREES. LANDSCAPE CONTRACTORS SHALL NOT ALTER THE FORM OF SWALES DESIGNED TO DIRECT OVERLAND FLOW.

AN AUTOMATED COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED PLANTERS, UPPER FLOOR PLANTERS AND GARDENS IN NATURAL GROUND. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN LINE WITH THE IRRIGATION PERFORMANCE SPECIFICATION, BY A LICENCED CONTRACTOR OR LANDSCAPER. THE LICENCED CONTRACTOR SHALL PREPARE AN 'AS BUILT' PLAN OF THE SYSTEM TO THE SUPERINTENDENT FOR STRATA RECORDS FOR FUTURE MAINTENANCE.

General Notes:

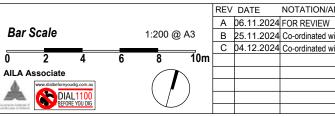
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n tenax 'Purpureum

Magnolia 'Little Ge



EV	DATE	NOTATION/AMENDMENT	COUNCIL		Suit 101.
A	06.11.2024	FOR REVIEW	NORTHERN BEAHCES	1111	506 Miller Street,
В	25.11.2024	Co-ordinated with Stormwater plan			CAMMERAY NSW 2062
С	04.12.2024	Co-ordinated with revised Stormwater plan	CLIENT MR ARA & MRS NOSHIK		
					Phone: 9922 5312 Fax: 8209 4982
			MEGEREDITCHIAN	F	Mob: 0413 861 35
			ARCHITECT	conzent	
			RESIDENTIAL LOGISTICS		www.conzept.net.
				Landscape Architects	enquiries@conzep

capacity or form.

- 7 S. 'Tiny trev'

- 1 Phormium

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the

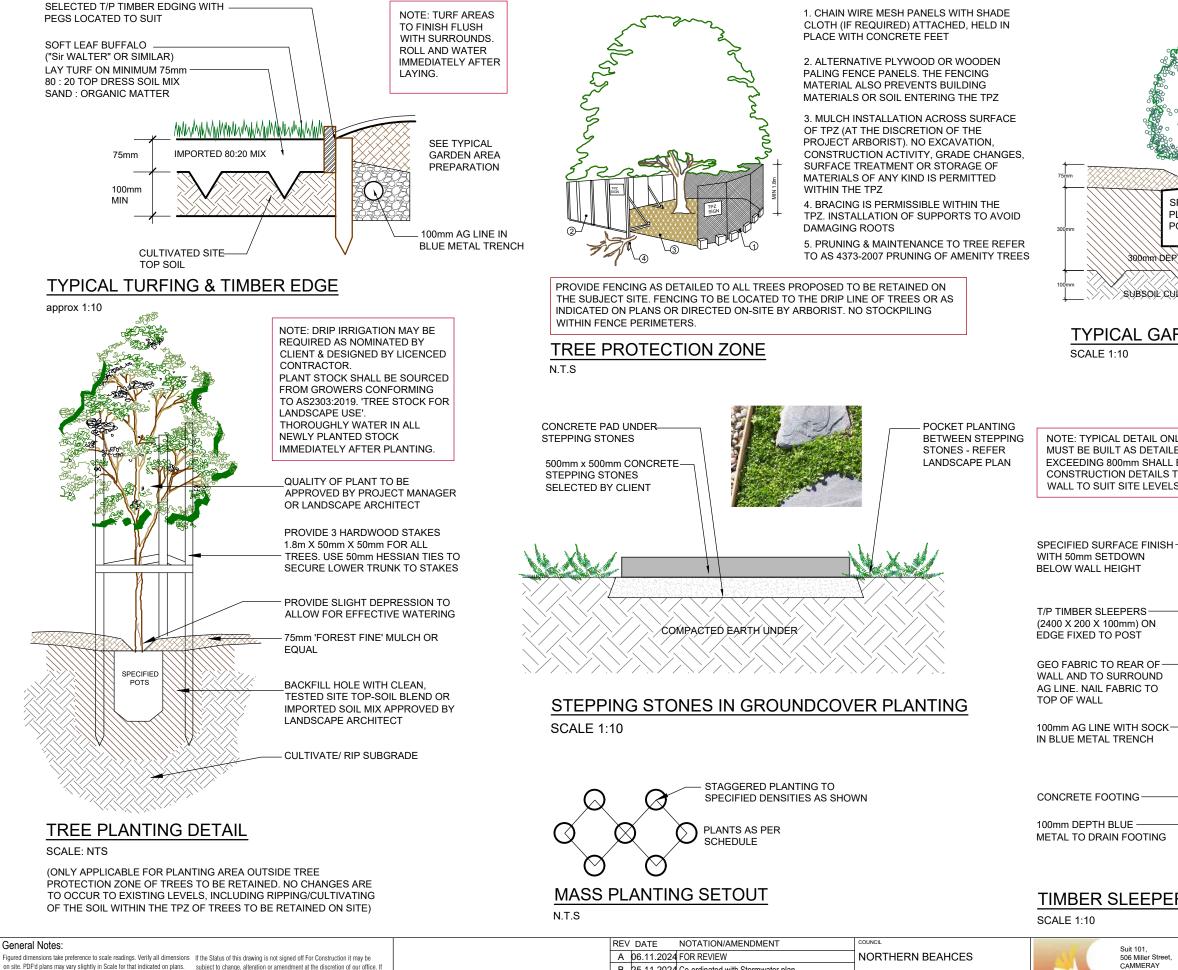
This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to Northern Beaches Council- Warringah DCP Landscaping Guidelines & requirements, Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector"web site one-drip rated native plants (acceptable for BASIX planting)

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion contro devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

DA. approved landscape plan's are required to be constructed as approved to obtain occupancy certificate Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.

	TITLE:	DWG No:	SHEET No:
1, ler Street,		LPDA25-2019348	02
ERAY 062		SCALE:	STATUS:
9922 5312	LANDSCAPE PLAN	1:200@A3	DA
09 4982	PROPOSED RESIDENTIAL DEVELOPMENT	DATE:	ISSUE:
413 861 351	204 BANTRY BAY ROAD,	DEC 2024	С
	FRENCH FOREST	DRAWN:	CHECKED:
onzept.net.au es@conzept.net.au		C.D	R.F



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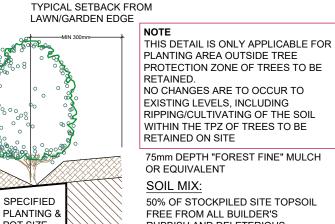
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REV	DATE	NOTATION/AMENDMENT	COUNCIL	
А	06.11.2024	FOR REVIEW	NORTHERN BEAHCES	
В	25.11.2024	Co-ordinated with Stormwater plan		
С	04.12.2024	Co-ordinated with revised Stormwater plan	CLIENT MR ARA & MRS NOSHIK	-
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			MEGEREDITCHIAN	-
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			RESIDENTIAL LOGISTICS	~
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Suit 101. 506 Miller Stree CAMMERAY NSW 2062 hone: 0022 5 ax: 8209 498 ob: 0413 861 conzept www.conzept.n

andscape Architects enquiries@conz

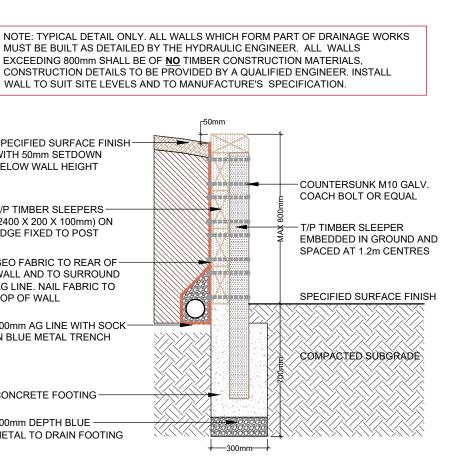




PROTECTION ZONE OF TREES TO BE **RIPPING/CULTIVATING OF THE SOIL**

50% OF STOCKPILED SITE TOPSOIL RUBBISH AND DELETERIOUS MATERIALS. TOPSOIL TO BE MIXED WITH MINIMUM 50% IMPORTED GARDEN MIX OR SOIL CONDITIONER/ COMPOSTED ORGANIC MATTER - SEE SPEC. USE 100% IMPORTED SOIL MIX WHEN SITE TOPSOIL RUNS OUT.

TYPICAL GARDEN PREPARATION DETAIL



TIMBER SLEEPER RETAINING WALL

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DETAIL S SCALE: STATUS:	ļ
AS SHOWN DA	ļ
PROPOSED RESIDENTIAL DEVELOPMENT	
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LANDSCAPE WORK SPECIFICATION

PRELIMINARIES

1.01 GENERAL

The following general conditions should be considered prior to the commencement of landscape works:

- The landscape plans should be read in conjunction with the architectural plans, project arborist's assessment, hydraulic plans, service plans and survey prepared for the proposed development.
- All services including existing drainage should be accurately located prior to the commencement of landscape installation. Any proposed tree planting which falls close to services will be relocated on site under the instruction of the landscape architect.
- Installation of conduit for required irrigation, electrical and other services shall be completed prior to the commencement of hardscape works and hardstand pours
- All outdoor lighting specified by architect or client to be installed by gualified electrician Anomalies that occur in these plans should be brought to our immediate attention
- Where an Australian Standard applies for any landscape material testing or installation technique, that standard shall be folk

1.02 PROTECTION OF ADJACENT FINISHES

The Contractor shall take all precautions to prevent damage to all or any adjacent finishes by providing adequate protection to these areas / surfaces prior to the commencement of the Works

1.03 PROTECTION OF EXISTING TREES

Existing trees identified to be retained shall be done in accordance with (AS)4970-Protection of trees on development sites as well as in accordance with the tree protection measures prepared by project arborist.

Where general works are occurring around such trees, or pruning is required, a qualified Arborist shall be engaged to oversee such works and manage tree

Existing trees designated on the drawing for retention shall be protected at all times during the construction period. Any soil within the drip-line of existing trees shall be excavated and removed by hand only. No stockpiling shall occur within the root zone of existing trees to be retained.

Any roots larger in diameter than 50mm shall only be severed under instruction by a qualified arborist. Roots smaller than 50mm diameter shall be cut cleanly with a saw

Temporary fencing shall be installed around the base of all trees to be retained prior to the commencement of landscape works. Where possible this fencing will be located around the drip line of these trees, or a minimum of 3m from the trunk. The fencing shall be maintained for the full construction period.

1.04 FROSION & POLI LITION CONTROL

The Contractor shall take all proper precautions to prevent the erosion of soil from the subject site. The contractor shall install erosion & sediment control barriers and as required by council, and maintain these barriers throughout the construction period. Note that the sediment control measures adopted should reflect the soil type and erosion characteristics of the site

Erosion & pollution control measures shall incorporate the following:

Construction of a sediment trap at the vehicle access point to the subject site. Sediment fencing using a geotextile filter fabric in the location indicated on the erosion control plan or as instructed on site by the landscap

architect.

Earth banks to prevent scour of stockpiles

Sandbag kerb sediment traps Straw bale & geotextile sediment filter.

Exposed banks shall be pegged with an approved Jute matting in preparation for mass planting

Refer to "Sitewise Reference Kit" as prepared by DLWC & WSROC (1997) for construction techniques

SOIL WORKS

2.01 MATERIALS

Specified Soil Conditioner (Generally to improve site soil)

The specified soil conditioner for site top-soil improvement shall be an organic mix, equal to "Botany Humus", as supplied by ANL. Note that for sites where soil testing indicates toxins or extremes in pH, or soils that are extremely poor, allow to excavate and supply 300mm of imported soil mix.

New gardens & proposed Planting

New garden and planting areas shall consist of a 50/50 mix of clean site soil (refer d) below) and imported "Organic Garden Mix" as supplied by ANL or approved equal. All mixes are to comply with AS 4419 Soils for landscaping & garden use, & AS 4454 Composts, Soil conditioners & mulches

Specified Soil Mix - Turf

The specified soil mix for all turf areas shall be a min 75mm layer of imported soil mix consisting of 80% washed river sand (reasonably coarse), and 20% composted organic matter equivalent to mushroom compost or soil conditioner, or other approved lawn top dress,

Site Topsoil

Site topsoil is to be clean and free of unwanted matter such as gravel, clay lumps, grass, weeds, tree roots, sticks, rubbish and plastics, and any deleterious materials and materials toxic to plants. The topsoil must have a pH of between 5.5 and 7. Use 100% imported soil mix when site when site topsoil runs out.

2.02 INSTALLATION (TO GARDEN OUTSIDE OF TREE PROTECTION ZONES OF TREES RECOMMENDED TO BY RETAINED) Note: No level changes (Cut or Fill), soil ripping within the Tree Protection Zones of trees to be retained Testing

All testing is to be conducted in accordance with AS 1289 Methods for testing soils for engineering purposes. Site soil shall be given a pH test prior to modifying to ensure conditions are appropriate for planting as stated above. Tests shall be taken in several areas where planting is proposed, and the pH shall be adjusted accordingly with sulphur or lime to suit.

Note that a soil test conducted by the "Sydney Soil Lab" or approved equal shall be prepared for all commercial, industrial and multi-unit residential sites. The successful landscape contractor shall implement the recommendations of this test

Set Out of Individual Trees & Mass Planting Areas

All individual tree planting positions and areas designated for mass planting shall be set out with stakes or another form of marking, ready for inspection and approval. Locate all services

Establishing Subgrade Levels outside of tree protection zones of trees to be retained

Subgrade levels are defined as the finished base levels prior to the placement of the specified material (i.e. soil conditioner). The following subgrade levels shall apply:

- Mass Planting Beds 300mm below existing levels with specified imported soil mix.
- Turf areas 100mm below finished surface level.

General Notes:

Figured dimensions take preference to scale readings. Verify all dimensions If the Status of this drawing is not signed off For Construction it may be on site. PDFd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work. crest Enterprises Pty Ltd Trading as CONZEPT

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Note that all subgrades shall consist of a relatively free draining natural material, consisting of site topsoil placed previously by the Civil Contractor. No builders waste material shall be acceptable

Subgrade Cultivation

Cultivate all subgrades to a minimum depth of 100mm in all planting beds and all turf areas, ensuring a thorough breakup of the subgrade into a reasonably coarse tilth. Grade subgrades to provide falls to surface and subsurface drains, prior to the placement of the final specified soil mix

Drainage Works

Install surface and subsurface drainage where required and as detailed on the drawing. Drain subsurface drains to outlets provided, with a minimum fall of 1:100 to outlets and / or service pits.

Placement and Preparation of Specified Soil Conditioner & Mixes.

- Trees in turf & beds Holes shall be twice as wide as root ball and minimum 100mm deeper backfill hole with 50/50 mix of clean site soil and imported "Organic Garden Mix" as supplied by ANL or approved equal.
- Mass Planting Beds Install specified soil conditioner to a compacted depth of 100mm Place the specified soil conditioner to the required compacted depth and use a rotary hoe to thoroughly mix the conditioner into the top 300mm of garden bed soil.
- Ensure thorough mixing and the preparation of a reasonably fine tilth and good growing medium in preparation for planting.
- Turf Areas Install specified soil mix to a minimum compacted depth of 75mm.

Place the specified soil mix to the required compacted depth and grade to required finished soil levels, in preparation for planting and turfing.

PLANTING

3.01 MATERIALS

Quality and Size of Plant Materia

All trees supplied above a 25L container size must be grown and planted in accordance with AS 2303:2018 'TREE STOCK FOR LANDSCAPE USE' Certification that trees have been grown to AS 2303:2018 is to be provided upon request of Council's Tree Management Officer. Above - Ground Assessment:

The following plant quality assessment criteria should be followed:

Plant true to type, Good vigour and health, free from pest & disease, free from injury, self-supporting, good stem taper, has been pruned correctly, is apically dominant, has even crown symmetry, free from included bark & stem junctions, even trunk position in pot, good stem structure

Below - Ground Assessment: Good root division & direction, rootball occupancy, rootball depth, height of crown, non-suckering For further explanation and description of these ass criteria, refer to Ross Clark's book.

All Plant material shall be to the type and size specified. No substitutions of plant material shall be permitted without written prior approval by the Landscape Architect. No plant shall be accepted which does not conform to the standards listed above

Stakes and Ties Provide min. 3 No. Stakes and ties to all plants identified as trees in the plant schedule. Stakes shall be sound, unpainted, straight hardwood, free of knots and

pointed at one end. They shall be 2200mm x 50mm x 50mm Hardwood, or approved alternative. Ties shall be 50mm wide hessian webbing material.

Fertilisers shall be approved slow release fertilisers suitable for the proposed planting types. Note that for native plants, specifically Proteaceae family plants including Grevillea species, low phosphorus fertilizers shall be used.

Mulch

No combustible mulch should be used onsite and non combustible mulch such as scoria, pebbles, crushed rock or recycled crushed brick tiles or other nor combustible material should be used instead.

. Turf for project site shall be soft leaf Buffalo ("Sir Walter" or equivalent unless stated otherwise), free from any weeds and other grasses, and be in a healthy growing condition. Re-turfing to nature strip where is required shall use species that match existing on street.

3.02 INSTALLATION

Setting Out

All planting set out shall be in strict accordance with the drawings, or as directed. Note that proposed tree planting located near services should be adjusted at this stage. Notify Landscape Architect for inspection for approval prior to planting.

All plant material shall be planted as soon after delivery as possible. Planting holes for trees shall be excavated as detailed and specified. Plant containers shall be removed and discarded, and the outer roots gently teased from the soil mass. Immediately set plant in hole and backfill with specified soil mix, incorporating the approved quantity of fertiliser for each plant type. Ensure that plants are set plumb vertically and root balls set to the consolidated finished grades detailed on the drawings. Compact the backfilled soil and saturate by hand watering to expel any remaining air pockets immediately after planting.

Staking and tying shall be in strict accordance with the drawings and shall occur immediately following plant placement and soil backfilling. All plants identified as "Trees" on the planting schedule shall be staked with a min. 3 stakes.

Mulching

Mulch should be spread so that a compacted thickness of 75mm is achieved after settlement in all planting beds and around each individual plant. Apply mediately following planting and watering in, ensuring that a 50mm radius is maintained around the trunk of each plant. There shall be no mixing of soil and mulch material.

Turfing

Moisten soil prior to the turf being laid. Turf shall be neatly butt jointed and true to grade to finish flush with adjacent surfaces. Incorporate a lawn fertilizer and thoroughly water in. Keep turf moist until roots have taken and sods/rolls cannot be lifted. Keep all traffic off turf until this has occurred. Allow for top dressing of all turf areas. All turf shall be rolled immediately following installation.

Timber Edging

Where is required, the Contractor shall install Timber edge as detailed on the drawings, to all mass planting beds adjoining turf or gravel mulched areas, and where required. The resultant edge shall be true to line and flush with adjacent surfaces. However, no edging shall be used within the Structural Root Zone (SRZ) of trees to be retained.

Earth retaining structur

Construction materials to retaining wall for BAL rated area shall be of masonry construction or similar which has a life span of 60+ years. All walls which form part of drainage works must be built as detailed by the hydraulic engineer. All walls exceeding 800mm shall be of not timber construction materials, construction details to be provided by a gualified engineer. Install wall to suit site levels and to manufacture's specification

Drainage pit

Drainage pits and drainage lines should be located within garden areas to allow for site drainage while minimising impact on the proposed planting scheme Where possible, pits and linework should be located at the edge of landscape strips to avoid precluding planting centrally in garden areas. Where pits and linework occur within garden beds, the landscape contractor shall take all precautions to avoid damaging storm water when planting shrubs and trees. Landscape

NORTHERN BEAHCES

MR ARA & MRS NOSHIK

RESIDENTIAL LOGISTICS

MEGEREDITCHIAN

REV DATE NOTATION/AMENDMENT

B 25.11.2024 Co-ordinated with Stormwater plan

C 04.12.2024 Co-ordinated with revised Stormwater plan

A 06.11.2024 FOR REVIEW

HARDSCAPE WORKS

4.01 GENERAL

appropriate paving material to be used.

IRRIGATION WORKS

of water

Drawings:

Design Requirements:

hose cock where available.

Services Co-ordination:

and conduit locations.

Testing & Defects:

supply.

time

Warranty :

6.01 GENERAL

Further Documentation:

CONSOLIDATION AND MAINTENANCE

Topping up of mulched areas

Adjusting ties to Stakes

planter walls for water and power pro

galv wire pins

- The Contractor shall undertake the installation of all hardscape works as detailed on the drawing, or where not detailed, by manufacturers specification. Paving - refer to typical details provided, and applicable Australian Standards. Permeable paving may be used as a suitable means of satisfying Council permeable surface requirements, while providing a useable, hardwearing, practical surface. In most instances, the client shall nominate the
- Australian Standards shall be adhered to in relation to all concrete, masonry & metal work. Some details are typical and may vary on site. All hardscape works shall be setout as per the drawings, and inspected and approved by the Landscape Architect prior to installation. All workmanship shall be of the highest standard. Any queries or problems that arise from hardscape variations should be bought to the attention of the Landscape Architect.
- Your attention is directed to any obligations or responsibilities under the Dividing Fences Act, 1991 in respect of adjoining property owner/s which may arise from this application. Any enquiries in this regard may be made to the Crown Lands Division on (02) 8836 5332.

5.01 GENERAL (PERFORMANCE SPECIFICATION)

- New irrigation systems to planting areas shall be a Commercial Grade Irrigation System conforming to all relevant Australian standards, including AS 3500 & the Electrical Safety Act 2002, Workplace Health & Safety Act 1995, & the latest Sydney Water Code
- An automated drip-irrigation system is to be installed to all gardens, planters and lawn areas in accordance with the approved Irrigation Design. This system shall be designed and installed by a qualified and licensed irrigation specialist, to the highest industry standards and to maximise the efficient usage

The Landscape Contractor nominated Licensed Irrigation Specialist shall provide irrigation drawings for approval upon engagement.

- The irrigation system shall be installed prior to all planting works. It shall incorporate a commercially available irrigation system, with sub-surface dripper lines to irrigate all gardens, planters and lawn areas.
- It shall incorporate a suitable back flow prevention device for the scale of works, an in-line filter, check valves, and suitable high and low density poly hose fittings and PVC piping to achieve flow rates suitable for specified planting.
 - The irrigation application rate shall not exceed the infiltration rate of the soil or creates run-off.
 - The landscape contractor shall check the existing pressure available from the ring mains and size irrigation piping to suit. Supply shall be from local
 - All piping and fittings shall be buried 50mm below the finished soil levels in garden and lawn areas, and secured in position at 500mm centres with
 - Size of pipes shall be selected to ensure the working pressure at the end of the line does not decrease by more than 5%.
 - Co-ordination required by Landscape Contractor or Project Manager to provide required conduit, pipe work and penetration through slabs and
 - The Landscape Contractor shall be engaged with the Irrigation Specialist to co-ordinate with the Project Manager to identify the preferred service
 - Project Manager and Landscape Contractor to establish area suitable for irrigation control system with required area, power provision and water

Upon completion of installation, the system shall be tested, including:

- Main Line Pressure Test: The main line is pressurised to test for leaks. All valves are shut and the pressure is taken over a determined length of
- Dripper Pressure Test: Measurement at flushing valves are taken and the pressure gauged to make sure it conforms to the manufacturer ons. The inlet pressure is then tested under the same conditions to check it does not exceed 300Kpa
- All components are to be satisfactorily functional and operational prior to approval. Should any defect develop, or the capacity or efficiency of the system decline during the agreed maintenance system, then these faults shall be immediately rectified

A full 12 month warranty shall be included to cover labour and all parts

On request, a detailed irrigation performance specification report can be issued

The consolidation and maintenance period shall be either

- 6 months beginning from the approved completion of the specified construction work (Practical Completion)
- as agreed to in the landscape contractors contractual obligations.
- or as specified by Council in the Determination.
- A qualified landscape maintenance contractor shall undertake the required landscape maintenance works. Consolidation and maintenance shall mean the care and maintenance of Contracted works by accepted landscaping or horticultural practices, ensuring that all plants are in optimum growing conditions and appearance at all times, as well as rectifying any defects that become apparent in the contracted works
- This shall include, but not be limited to the following items where and as required
 - Watering all planting and lawn areas / irrigation mainten
 - Clearing litter and other debris from landscaped areas.
 - Removing weeds, pruning and general plant maintenance
 - Replacement of damaged, stolen or unhealthy plants.
 - Make good areas of soil subsidence or ero
 - Spray / treatment for Insect and disease control.
 - Fertilizing with approved fertilizers at correct rates Mowing lawns & trimming edges each 14 days in summer or 18 days in winter
 - Maintenance of all paving, retaining and hardscape elements.
- On the completion of the maintenance period, the landscape works shall be inspected and at the satisfaction of the superintendent or landscape architect, the nsibility will be signed over to the client.

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	CAMMERAY NSW 2062 Phone: 9922 5312	SPECIFICATIONS	scale: N/A	status: DA
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