

LOCATION PLAN

Scale: NTS



LANDSCAPE ITEMS

- Timber edging - refer detail
- Turf area - refer detail
- Stepping stones with ground covers in gaps - refer detail
- Timber sleeper retaining wall by owner - refer detail
- Existing site boundary fence to be retained, new fence gate to be nom. by client
- Bin storage
- Retractable clothes line to be nom. by client
- Proposed landscape area refer landscape plan

BUSHFIRE NOTE:

This plan prepared in accordance with NSW Rural Fire Service "Planning for Bushfire Protection 2019".

At the commencement of the development, and in perpetuity, the entire site shall be managed as an Inner Protection Area (IPA) Asset Protection, as outlined in PBP 2019 Appendix 4.

BUSHFIRE MANAGEMENT:

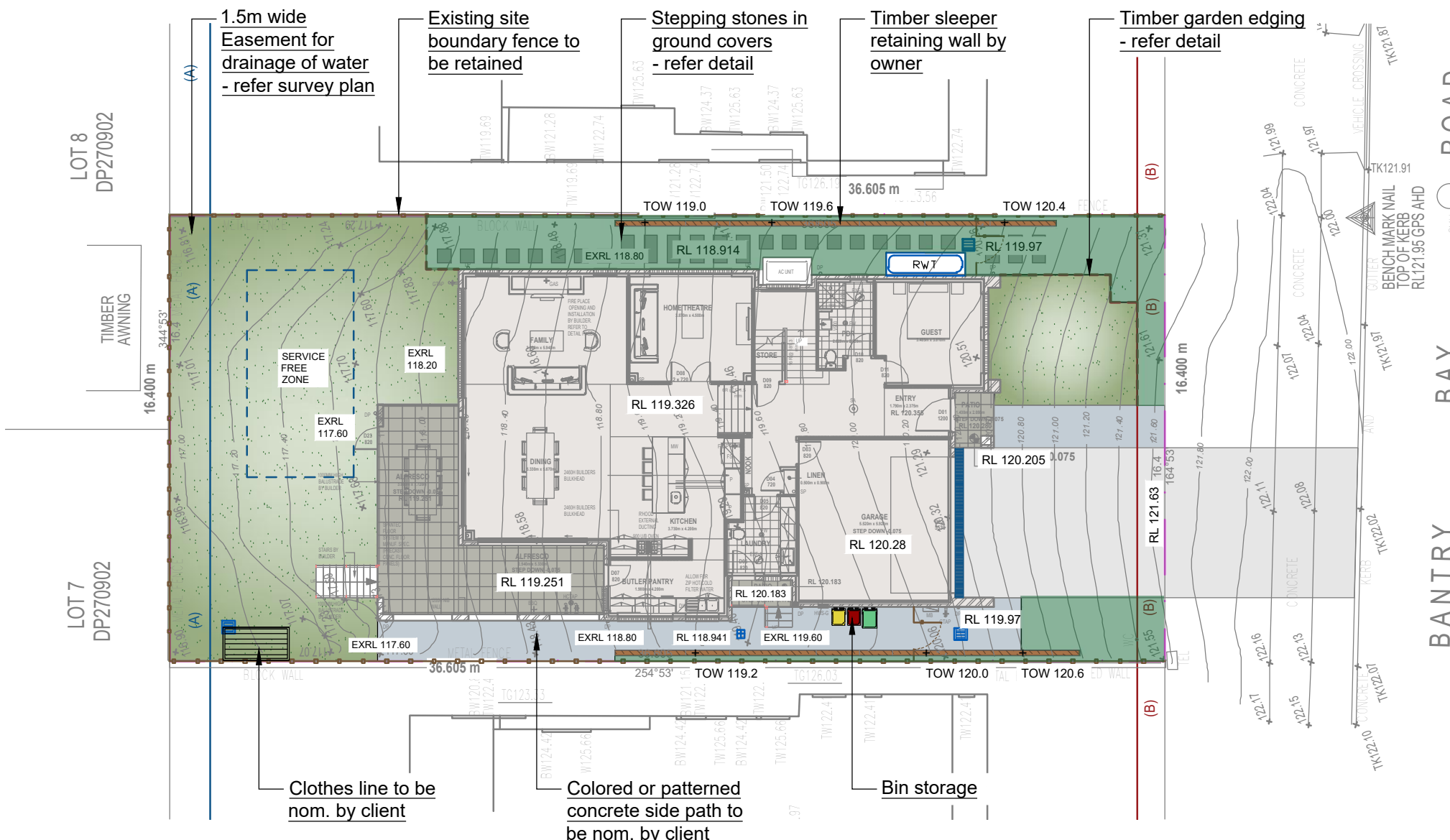
INNER PROTECTION AREAS (IPAs)

When establishing and maintaining an IPA the following requirements apply:

- Trees**
 - tree canopy cover should be less than 15% at maturity;
 - trees at maturity should not touch or overhang the building;
 - lower limbs should be removed up to a height of 2m above the ground;
 - tree canopies should be separated by 2 to 5m;
 - and preference should be given to smooth barked and evergreen trees.
- Shrubs**
 - create large discontinuities or gaps in the vegetation to slow down or break the progress of fire towards buildings should be provided;
 - shrubs should not be located under trees; shrubs should not form more than 10% ground cover; and
 - clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.
- Grass**
 - grass should be kept mown (as a guide grass should be kept to no more than 100mm in height); and
 - leaves and vegetation debris should be removed

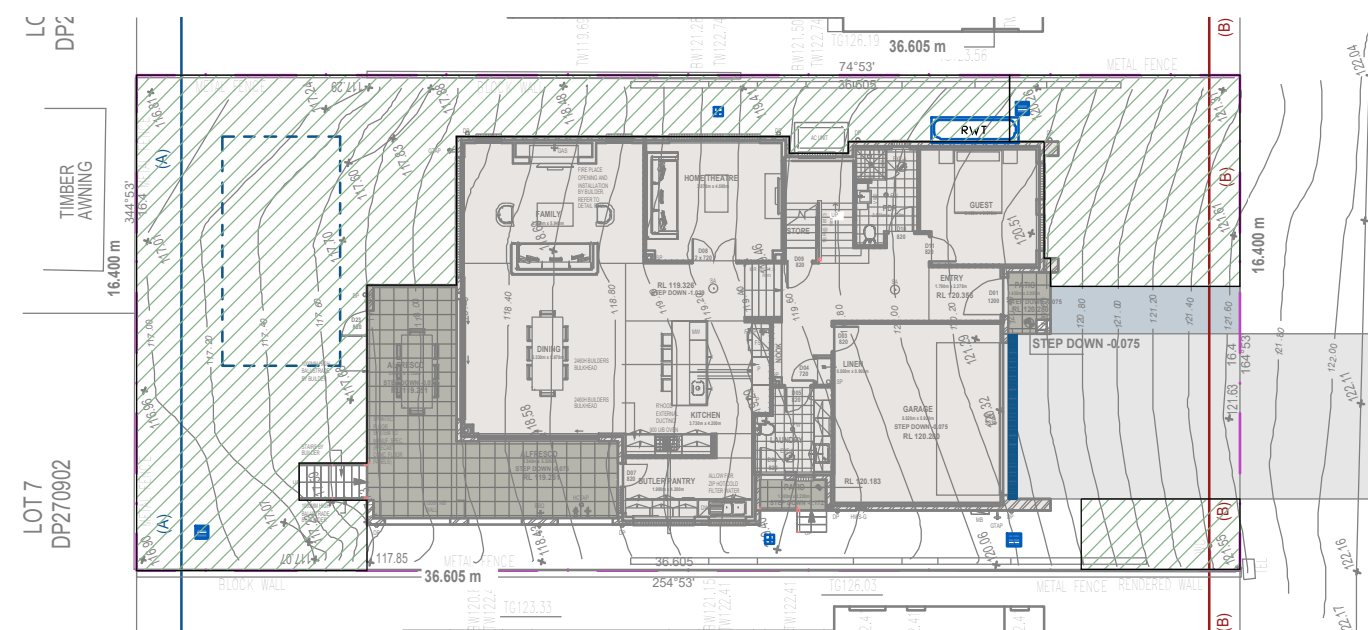
DRAWING SCHEDULE

SHEET #	DRAWING TITLE	REV.
/1	HARDSCAPE PLAN	C
/2	LANDSCAPE PLAN	C
/3	DETAILS	C
/4	SPECIFICATION	C

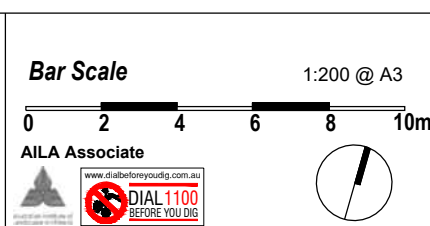


LANDSCAPE CALCULATIONS

- SITE AREA:** 600.3m²
- REQUIRED LANDSCAPE AREA:** 240.12m² (40%)
(2 M MINIMUM WIDTH)
- PROPOSED LANDSCAPE AREA:** 242.3m² (40.4%)
- LANDSCAPE AREA INCLUDE IN CALCULATION:**



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 Figured dimensions take preference to scale readings. Verify all dimensions on site. PDF'd plans may vary slightly in Scale for that indicated on plans. Report any discrepancies to the Landscape Architect before proceeding with the work.
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REV	DATE	NOTATION/AMENDMENT
A	06.11.2024	FOR REVIEW
B	25.11.2024	Co-ordinated with Stormwater plan
C	04.12.2024	Co-ordinated with revised Stormwater plan

COUNCIL:
NORTHERN BEACHES

CLIENT:
MR ARA & MRS NOSHIK
MEGEREDITCHIAN

ARCHITECT:
RESIDENTIAL LOGISTICS

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TITLE:
HARDSCAPE PLAN

 PROPOSED RESIDENTIAL DEVELOPMENT
 204 BANTRY BAY ROAD,
 FRENCH FOREST

DWG No:	SHEET No:
LPDA25-2019348	01
SCALE:	STATUS:
1:200@A3	DA
DATE:	ISSUE:
DEC 2024	C
DRAWN:	CHECKED:
C.D	R.F

LEGEND & SCHEDULE

- NOTES:**
- ALL FINAL PLANT QUANTITIES INDICATED ON PLANS SHALL BE CHECKED AND VERIFIED BY SUCCESSFUL LANDSCAPE CONTRACTOR.
 - ANY PLANT SUBSTITUTES REQUIRED DUE TO UNAVAILABILITY SHALL BE RECOMMENDED BY THE LANDSCAPE CONTRACTOR TO BEST MATCH SUBSTITUTED PLANTS AND APPROVED PRIOR TO PURCHASING BY THE LANDSCAPE ARCHITECT.
 - WORKS CERTIFIED FOR FINAL OCCUPANCY CERTIFICATE ARE TO MATCH APPROVED LANDSCAPE PLANS.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND AVOID SITE STORM WATER & DRAINAGE SERVICES. LOCATE TREES A MINIMUM 1.25M FROM PITS
 - ALL PLANTING AROUND EXISTING TREES SHALL BE ADJUSTED TO AVOID DAMAGE AND CLASHING WITH SURFACE ROOTS.
 - THE NATURE STRIP (STREET FRONTAGE) FOR THE SITE IS PUBLIC LAND, AND ONLY AUTHORIZED WORKS MAY OCCUR HERE. EXISTING CONDITIONS SUCH AS STREET TREES, COUNCIL PLANTING ETC SHALL BE RETAINED AND PROTECTED DURING CONSTRUCTION, UNLESS SPECIFIC APPROVAL HAS BEEN GRANTED FOR NEW WORK IN THIS AREA.
 - ALL TREES TO BE SOURCED IN ACCORDANCE WITH TESTS AND MEASUREMENTS CONTAINED WITHIN AS 2303-2015 - TREE STOCK FOR LANDSCAPE USE

FEATURE TREE

Botanical Name: *Magnolia 'Little Gem'*
Common Name: Magnolia Little Gem (Exotic)
Pot size: 45L
Mature H x S: 4.5m x 1.5-2m
Qty Required: 1

SHRUBS AND HEDGES

Botanical Name: *Viburnum odoratissimum*
Common Name: Sweet Viburnum (Exotic)
Pot size: 200mm
Mature H x S: 3m x 2m
Qty Required: 5

Botanical Name: *Syzygium australe 'Pinnacle'*
Common Name: Pinnacle Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 6-8m x 1-1.5m
Qty Required: 6

Botanical Name: *Syzygium 'Tiny Trev'*
Common Name: Dwarf Lilly Pilly (Native)
Pot size: 200mm
Mature H x S: 1m x 1m
Qty Required: 17

ACCENT PLANTS

Botanical Name: *Phormium tenax 'Purpureum'*
Common Name: New Zealand Flax (Exotic)
Pot size: 300mm
Mature H x S: 0.9m x 0.9m
Qty Required: 1

GRASSES / GROUNDCOVERS

Botanical Name: *Trachelospermum 'Tricolour'*
Common Name: Tricolour Jasmine (Exotic)
Pot size: 140mm
Mature H x S: 0.2m x spreading
Qty Required: 5/m2 (3.2m2 total)

Botanical Name: *Viola hederacea*
Common Name: Sweet Violet (Native)
Pot size: 140mm
Mature H x S: 0.2m x spreading
Qty Required: 9/m2 (31.6m2 total)

SAMPLE IMAGES

Images are for design intent only, final planting species may vary, as determined by Council Approval



Magnolia 'Little Gem'



Viburnum odoratissimum



Syzygium australe 'Pinnacle'



Syzygium 'Tiny Trev'



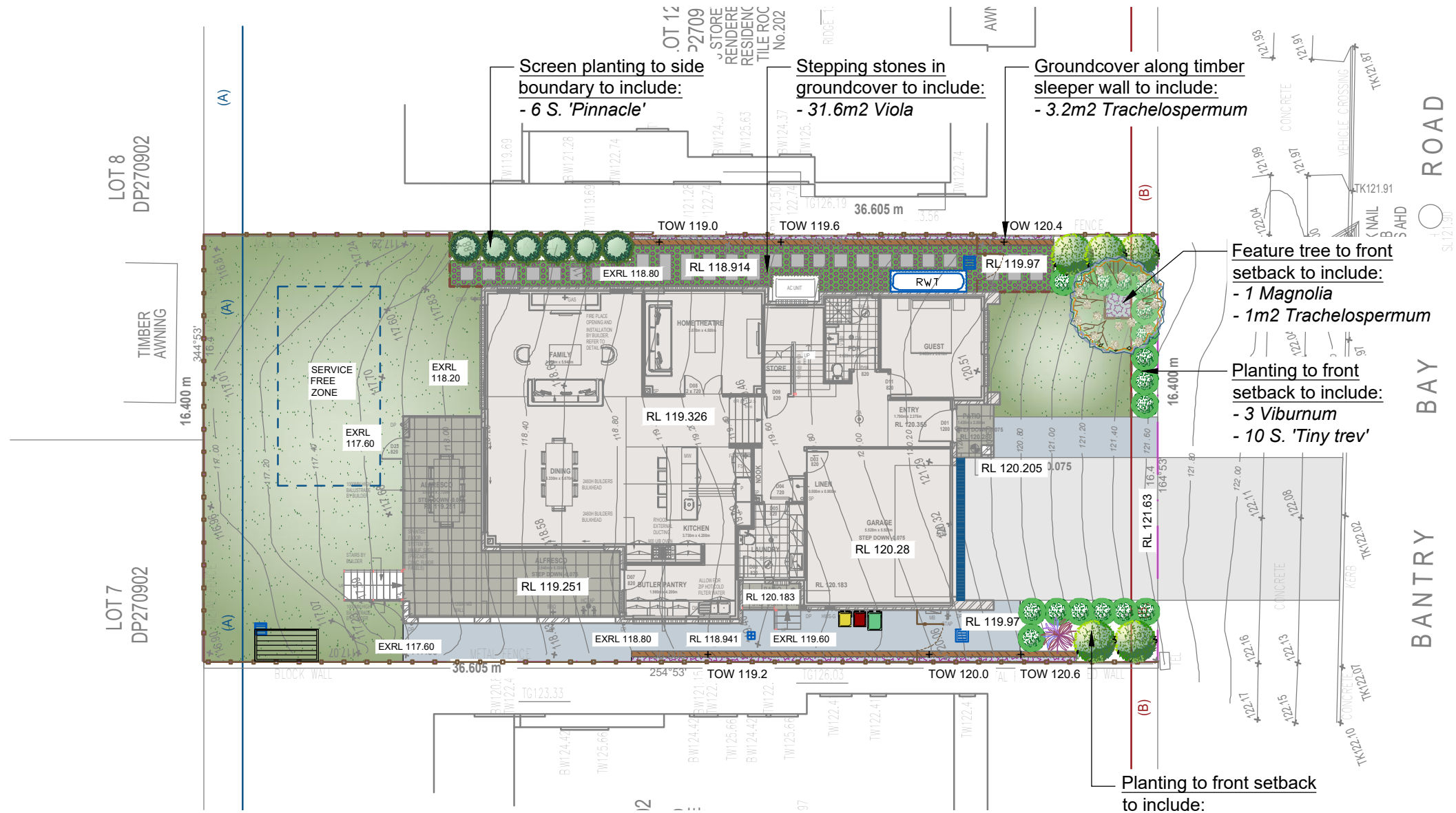
Phormium tenax 'Purpureum'



Viola hederacea



Trachelospermum 'Tricolour'



Screen planting to side boundary to include:
 - 6 S. 'Pinnacle'

Stepping stones in groundcover to include:
 - 31.6m2 Viola

Groundcover along timber sleeper wall to include:
 - 3.2m2 Trachelospermum

Feature tree to front setback to include:
 - 1 Magnolia
 - 1m2 Trachelospermum

Planting to front setback to include:
 - 3 Viburnum
 - 10 S. 'Tiny trev'

Planting to front setback to include:
 - 2 Viburnum
 - 7 S. 'Tiny trev'
 - 1 Phormium

DRAINAGE PITS AND DRAINAGE LINES SHOULD BE LOCATED WITHIN GARDEN AREAS TO ALLOW FOR SITE DRAINAGE WHILE MINIMISING IMPACT ON THE PROPOSED PLANTING SCHEME. WHERE POSSIBLE, PITS AND LINWORK SHOULD BE LOCATED AT THE EDGE OF LANDSCAPE STRIPS TO AVOID PRECLUDING PLANTING CENTRALLY IN GARDEN AREAS. WHERE PITS AND LINWORK OCCUR WITHIN GARDEN BEDS, THE LANDSCAPE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID DAMAGING STORM WATER WHEN PLANTING SHRUBS AND TREES. LANDSCAPE CONTRACTORS SHALL NOT ALTER THE FORM OF SWALES DESIGNED TO DIRECT OVERLAND FLOW.

AN AUTOMATED COMMERCIAL GRADE IRRIGATION SYSTEM SHALL BE PROFESSIONALLY INSTALLED TO ALL GARDEN AREAS, INCLUDING RAISED PLANTERS, UPPER FLOOR PLANTERS AND GARDENS IN NATURAL GROUND. THE SYSTEM SHALL BE DESIGNED AND INSTALLED IN LINE WITH THE IRRIGATION PERFORMANCE SPECIFICATION, BY A LICENCED CONTRACTOR OR LANDSCAPER. THE LICENCED CONTRACTOR SHALL PREPARE AN 'AS BUILT' PLAN OF THE SYSTEM TO THE SUPERINTENDENT FOR STRATA RECORDS, FOR FUTURE MAINTENANCE.

LANDSCAPE PLAN NOTES

This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for Development Application approval only, not for construction.

This plan has been prepared with reference to Northern Beaches Council- Warringah DCP Landscaping Guidelines & requirements. Planting proposed using mainly indigenous, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney

Waters "Plant Selector"web site one-drip rated native plants (**acceptable for BASIX planting**).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '97. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed. Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL. Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period. Proposed excavation near existing established trees to be supervised by arborist.

DA. approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. **Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.**

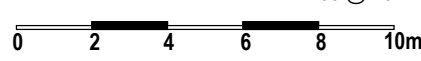
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Bar Scale

1:200 @ A3



AILA Associate



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CLIENT	MR ARA & MRS NOSHIK MEGEREDITCHIAN
ARCHITECT	RESIDENTIAL LOGISTICS

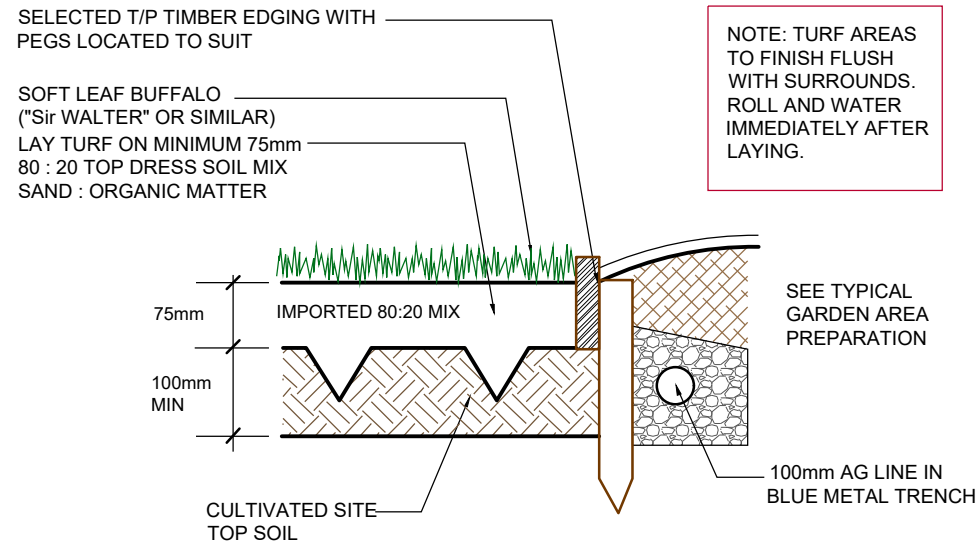
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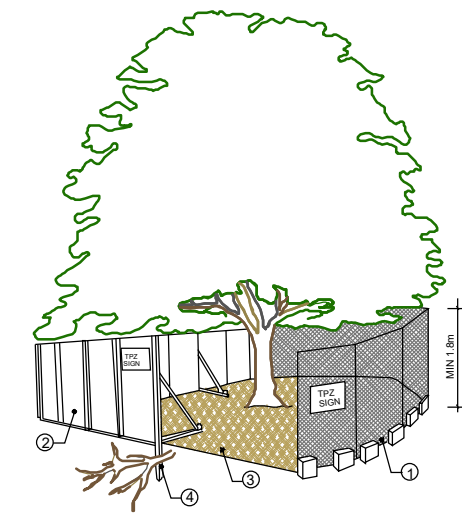
TITLE:	LANDSCAPE PLAN
	PROPOSED RESIDENTIAL DEVELOPMENT 204 BANTRY BAY ROAD, FRENCH FOREST

DWG No:	LPDA25-2019348	SHEET No:	02
SCALE:	1:200@A3	STATUS:	DA
DATE:	DEC 2024	ISSUE:	C
DRAWN:	C.D	CHECKED:	R.F



TYPICAL TURFING & TIMBER EDGE

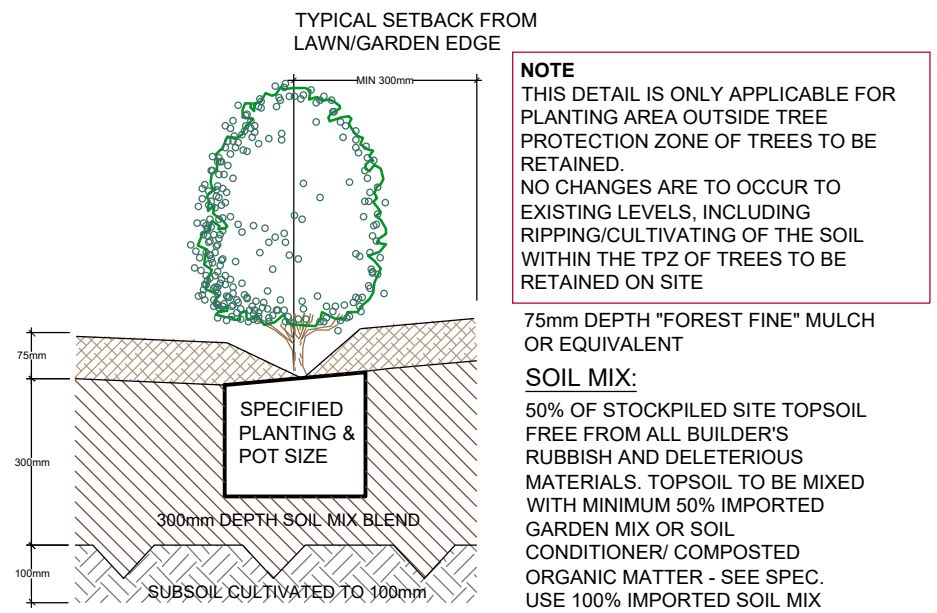
approx 1:10



PROVIDE FENCING AS DETAILED TO ALL TREES PROPOSED TO BE RETAINED ON THE SUBJECT SITE. FENCING TO BE LOCATED TO THE DRIP LINE OF TREES OR AS INDICATED ON PLANS OR DIRECTED ON-SITE BY ARBORIST. NO STOCKPILING WITHIN FENCE PERIMETERS.

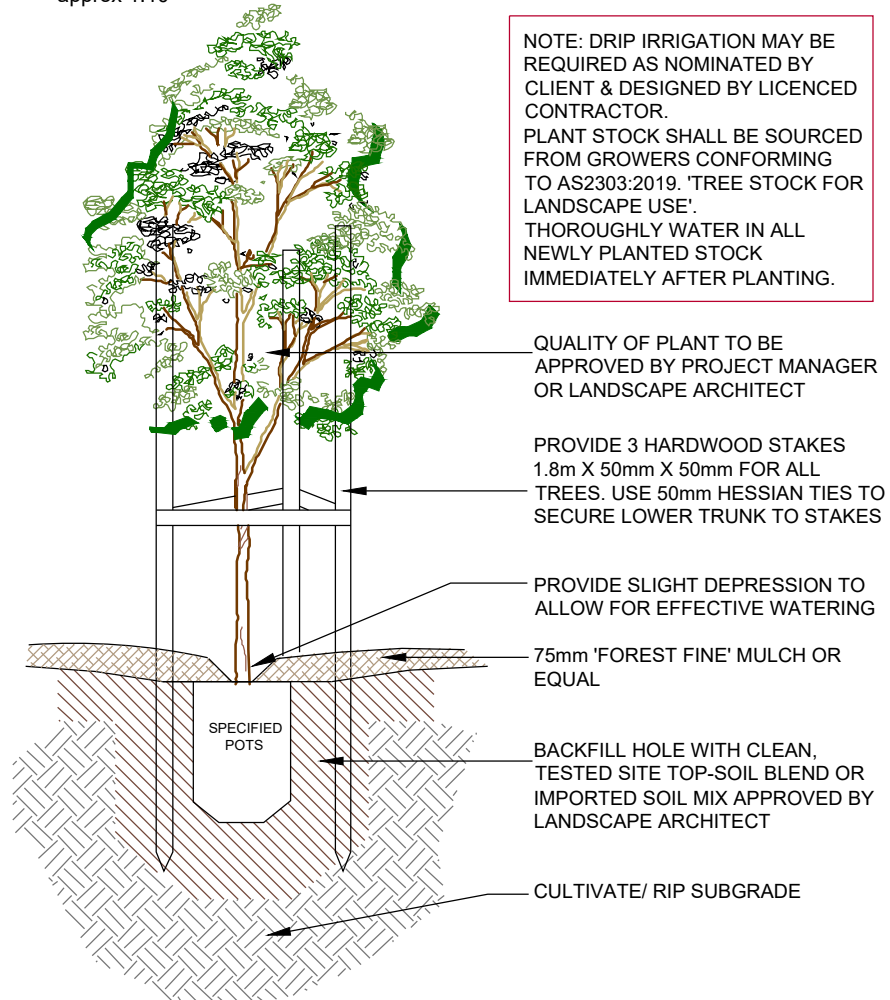
TREE PROTECTION ZONE

N.T.S



TYPICAL GARDEN PREPARATION DETAIL

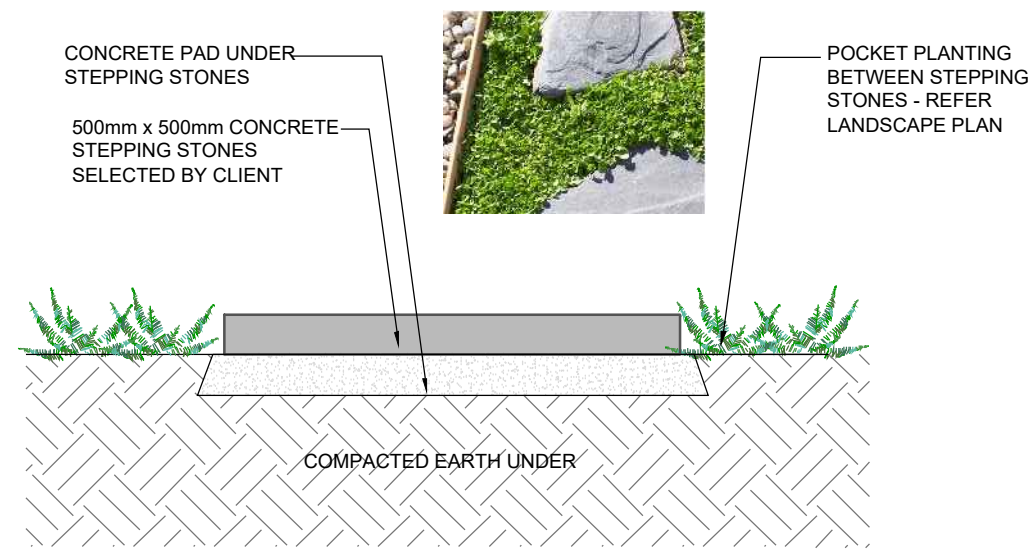
SCALE 1:10



TREE PLANTING DETAIL

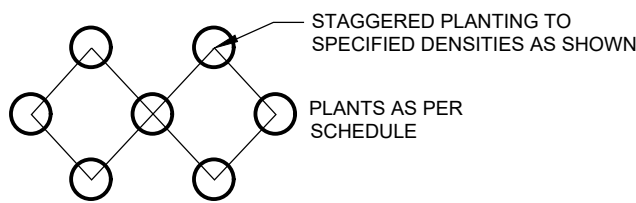
SCALE: NTS

(ONLY APPLICABLE FOR PLANTING AREA OUTSIDE TREE PROTECTION ZONE OF TREES TO BE RETAINED. NO CHANGES ARE TO OCCUR TO EXISTING LEVELS, INCLUDING RIPPING/CULTIVATING OF THE SOIL WITHIN THE TPZ OF TREES TO BE RETAINED ON SITE)



STEPPING STONES IN GROUNDCOVER PLANTING

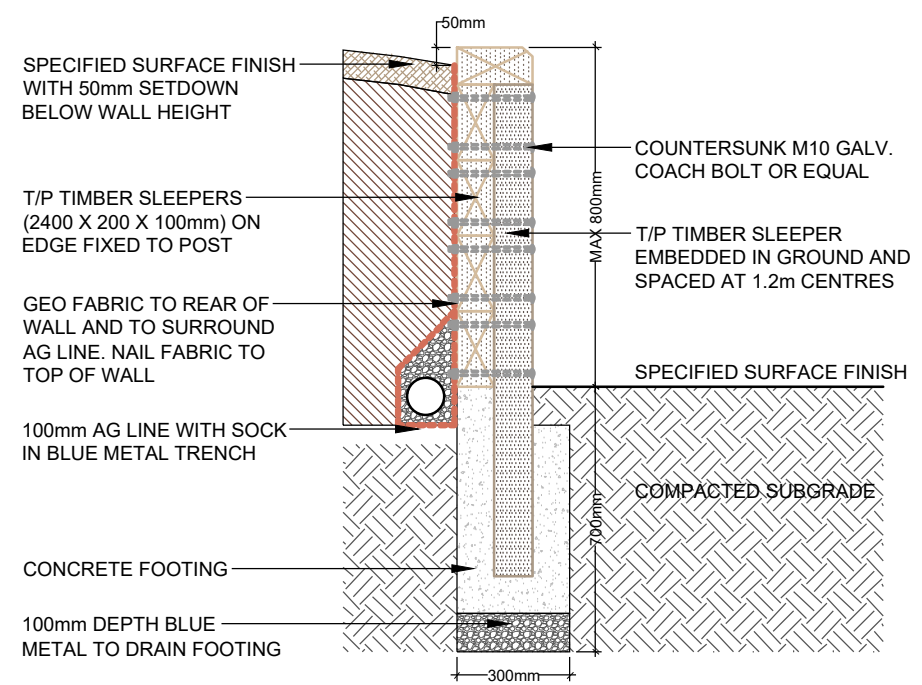
SCALE 1:10



MASS PLANTING SETOUT

N.T.S

NOTE: TYPICAL DETAIL ONLY. ALL WALLS WHICH FORM PART OF DRAINAGE WORKS MUST BE BUILT AS DETAILED BY THE HYDRAULIC ENGINEER. ALL WALLS EXCEEDING 800mm SHALL BE OF NO TIMBER CONSTRUCTION MATERIALS, CONSTRUCTION DETAILS TO BE PROVIDED BY A QUALIFIED ENGINEER. INSTALL WALL TO SUIT SITE LEVELS AND TO MANUFACTURE'S SPECIFICATION.



TIMBER SLEEPER RETAINING WALL

SCALE 1:10

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		 www.dialbeforeyoudig.com.au 	COUNCIL NORTHERN BEAHCES CLIENT MR ARA & MRS NOSHIK MEGEREDITCHIAN ARCHITECT RESIDENTIAL LOGISTICS	TITLE: DETAILS PROPOSED RESIDENTIAL DEVELOPMENT 204 BANTRY BAY ROAD, FRENCH FOREST	DWG No: LPDA25-2019348 SCALE: AS SHOWN DATE: DEC 2024 DRAWN: C.D	SHEET No: 03 STATUS: DA ISSUE: C CHECKED: R.F	

