

Brett Nitschke  
36 COOK ST, FORESTVILLE NSW 2087

**RE: DETAIL AND BOUNDARY IDENTIFICATION SURVEY  
LOT 2 OF SECTION 139 IN DEPOSITED PLAN 238311  
NO. 36 COOK ST, FORESTVILLE NSW 2087**

We have surveyed the land comprised in Certificate of Title Folio Identifier 2/139/238311 being Lot 2 of Section 139 in Deposited Plan 238311 located at FORESTVILLE in the Local Government Area of North Beaches Parish of Manly Cove and County of C.

Upon the abovementioned property stands a two storey brick house with a tile roof and metal shed known as No. 36 COOK ST, FORESTVILLE NSW 2087.

The positions of the house and shed in relation to the boundaries are as shown on the attached plan. Levels across the site have also been determined.

This report should be read in conjunction with the attached plan prepared by us dated 9th of November 2024 which forms part of this report.

The survey shown on the attached plan is for detail and identification survey purposes only. Should further additions or improvements be proposed upon the subject property after this date the boundaries must be marked on the ground prior to construction.



David Armstrong  
Registered Surveyor  
Surveyor Id. 8909

Ref: 33784-24 DET-ID  
Date: 9th Nov 2024

A1

LOT 1  
SEC. 139  
DP 238311

TWO STOREY  
BRICK HOUSE  
TILE ROOF  
No.16

BALCONY

LOT 1  
DP 553845

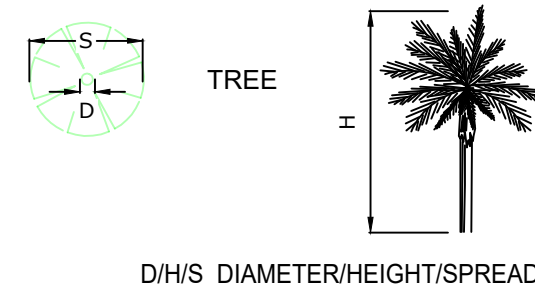
- LEGEND:
- AHD AUSTRALIAN HEIGHT DATUM
  - AWN AWNING
  - BM BENCH MARK
  - BOW BOTTOM OF WALL
  - BRW BOTTOM OF RETAINING WALL
  - CL CENTRE LINE
  - CONC CONCRETE
  - CS CONCRETE SURFACE
  - D/H/S DIAMETER/HEIGHT/SPREAD
  - D DOOR
  - EC EDGE OF CONCRETE
  - EG EAVE & GUTTER
  - EP ELECTRICAL BOX
  - FL FLOOR LEVEL
  - GDN GARDEN
  - HYD HYDRANT
  - IC INSPECTION COVER
  - INV INVERT LEVEL
  - KO KERB OUTLET
  - LH LAMP HOLE
  - LIP LIP OF KERB
  - NS NATURAL SURFACE
  - PAV PAVERS
  - PP POWER POLE
  - RL REDUCED LEVEL
  - S STEPS
  - S-B SHED TO BOUNDARY
  - SL SURFACE LEVEL
  - SILL WINDOW SILL
  - SIP SEWER INSPECTION POINT
  - SMH SEWER MAN HOLE
  - SV STOP VALE
  - TEL TELSTRA PIT
  - TK TOP OF KERB
  - TOW/TW TOP OF WALL
  - TRW TOP OF RETAINING WALL
  - VC VEHICLE CROSSING
  - W-B WALL TO BOUNDARY
  - WM WATER METER
  - WTOP TOP OF WINDOW



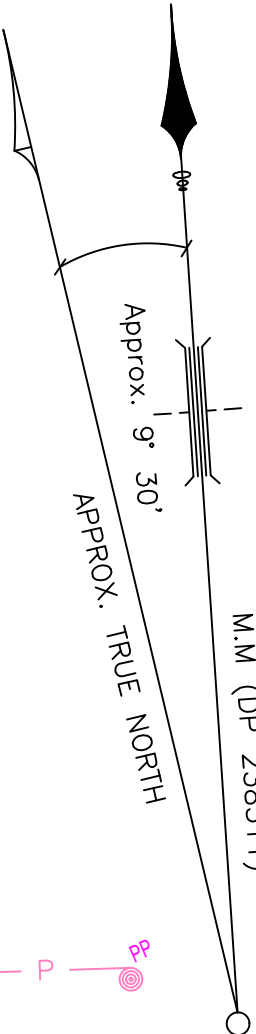
**C&A SURVEYORS**  
30 Grose Street, Parramatta, NSW 2150  
Ph: 96309299 email: Operations@candasurveyors.com.au  
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION  
SURVEY OF  
LOT 2 SEC.139 IN DP 238311, LOCATED AT  
NO.36, COOK STREET, FORESTVILLE.

- S S APPROXIMATE LOCATION OF BURIED SEWER MAIN BY SYDNEY WATER DBYD RECORDS
- W W APPROXIMATE LOCATION OF BURIED WATER MAIN (WM) BY SYDNEY WATER DBYD RECORDS
- E E ELECTRIC LINE
- P P POWER LINE
- TELSTRA PIT
- STOP VALVE
- POWER POLE
- WATER METER
- HYDRANT



INSTRUCTING PARTY:		BRETT NITSCHKE		SURVEYED BY: LF		DATUM: AHD	
LGA: NORTHERN BEACHES		AREA BDY DP: 916.9 m²		DRAWN BY: SS		CHECKED BY: KO	
SURVEY DATE: 6/11/2024		AREA BY CALC: 922.0 m²		SCALE: 1:100@A1		REF.NO: 33784-24 DET ID	
DATE DRAWN: 9/11/2024		CONTOUR INTERVAL: 0.5 m		REV No: V1		SHEET: 1 OF 1	



STREET

COOK

DAVID ARMSTRONG  
(REGISTERED SURVEYOR)  
SURVEYOR ID No. 8909

THE SUBJECT TITLE NOTES : AS AT 4/11/2024

- 1 LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S)
- 2 EXCEPTING THE LAND BELOW A DEPTH FROM THE SURFACE OF 15.24 METRES BY THE CROWN GRANT

NOTES:

- A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
- B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM.
- E) ORIGIN OF LEVELS: PM 2761, RL 120.737 (AHD), CLASS LC.
- F) USE STATED DIMENSIONS: DO NOT SCALE
- G) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
- H) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

© THIS PLAN AND THE INFORMATION CONTAINED HEREIN REMAINS THE PROPERTY OF C & A SURVEYORS NSW PTY LTD. IT MUST NOT BE COPIED IN WHOLE OR PART, AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN FOR THAT WHICH IT HAS BEEN PREPARED, WITHOUT THE WRITTEN CONSENT OF C & A SURVEYORS NSW PTY LTD. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY.