

16 May 2011
Pittwater Council
PO Box 882
MONA VALE NSW 2103
Dear Sir or Madam:

Re: Lodgement of CDC2011/032
Site Address : 55 Binburra Ave, AVALON NSW 2107

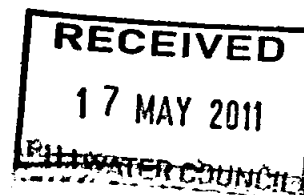
Please find attached all required documentation relied upon to issue Complying Development Certificate and Notice of Commencement for the above development:

- Part 4A Lodgement Fee \$30.00 payable to Council.
- Sydney Water approval
- 1 full set of Complying Development Certificate Plans.
- 1 Structural Engineer's Plans
- Form 2 by Geotechnical engineer
- 1 copy of Notification Map & Letter.
- Home Owners Warranty Insurance policy by Builder
- Long service levy not applicable due to cost of works not exceeding \$25K
- Basix Certificate not applicable due to pool being less than 40,000 L.

Yours faithfully



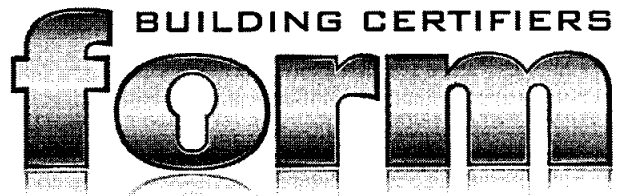
Craig Formosa



Ref 301500 \$30

17/05/2011

POSTED
16/05/11



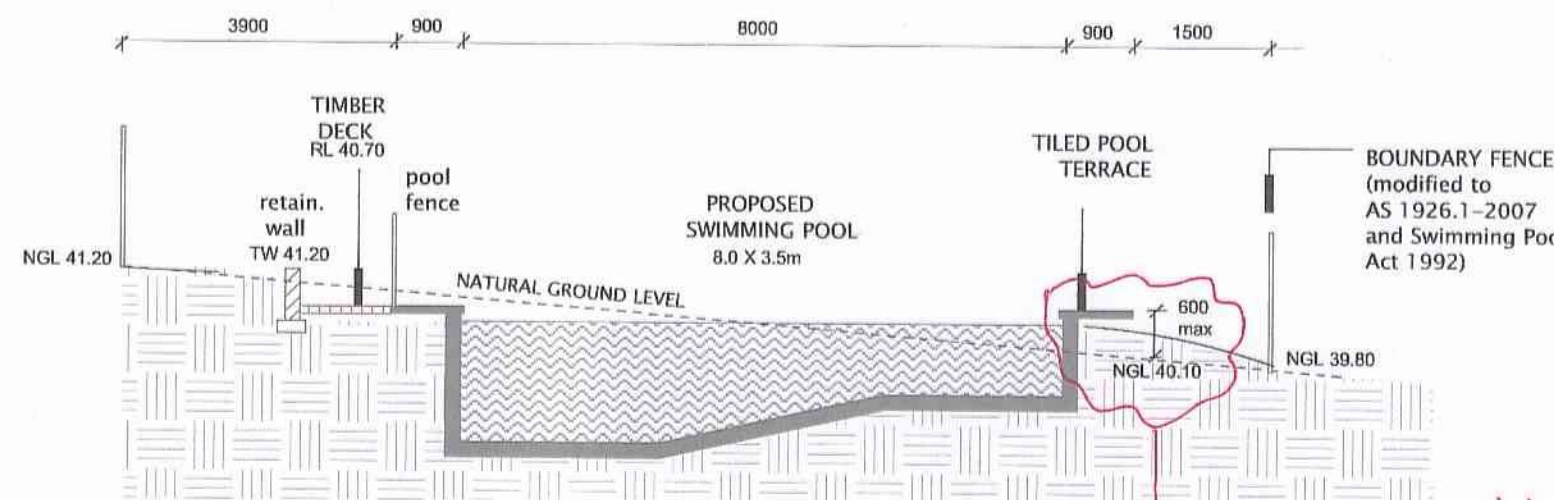
COMPLYING DEVELOPMENT CERTIFICATE # 2011-032 Approved 16/05/11

Issued in accordance with the provisions of the Environmental & Assessment Act 1979 under Sections 85, 85A & 87

Date Application Received	09/05/11		Certificate Lapse Date	19/05/11	
Council	Pittwater	Relevant Planning Instrument	SEPP E & C Dev. 2008		
Certifying Authority	Craig Formosa - BPB0124		Accredited Certifier	Craig Formosa - BPB0124	
Accreditation Body	Building Professionals Board				
APPLICANT DETAILS					
Name	Ben Eggleton		Ph No.	0419 277 900	
Address	55 Binburra Avenue, Avalon NSW 2107				
OWNER DETAILS					
Name	Ben Eggleton				
Address	55 Binburra Avenue, Avalon NSW 2107				
DEVELOPMENT DETAILS					
Subject Land	55 Binburra Avenue, Avalon NSW 2107		Lot No.	50	DP 22275
Description of Development	In-ground Swimming Pool		Zone	2(a) Res A	
Class of Building	10b	Value of Work	\$23,550.00		
BUILDER DETAILS					
Name	Architectural Pools				
Address	14/17-19 Old Barrenjoey Road, Avalon NSW 2107				
Contact Number	0419 439 287		License No.	105946C	
APPROVED PLANS & DOCUMENTS					
Plans Prepared By	Trish Dobson				
Drawing Numbers	1105/CD-01 B		Dated	4.5.11	
Engineer Details Prepared By	Neilly Davies				
Drawing Numbers	P11166 1/2-2/2		Dated	12-05-11	
This Certificate is approved subject to the prescribed conditions listed under Clauses: 133, 136A, 136D, 149 & 154B of the Environmental Planning and Assessment Act Regulations 2000.			Nos.	3.37 – 3.45	
This Certificate is approved subject to the attached conditions as contained in the SEPP Exempt and Complying Development 2008.					
CERTIFICATION					
I, Craig Formosa, as the certifying authority am satisfied that; The requirements of the regulations referred to in s81A (5) have been complied with. That is, work completed in accordance with the documentation accompanying the application for this certificate (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Regulation as referred to in section 81A (5) of the Act, and Long Service Levy has been paid where required under s34 of the Building & Construction Industry Long Service Payments Act 1986. Signed:  Date: 16/05/11					

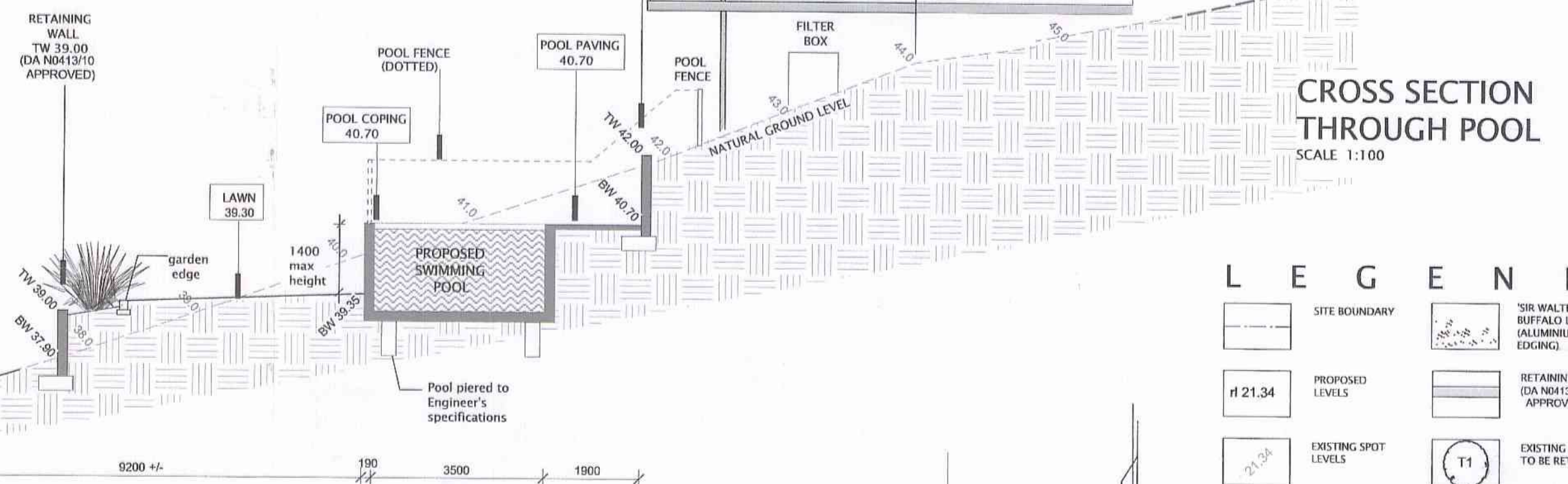
SITE CALCULATIONS

Site Area	613.4 sq m
Residence + Decks	161.43
Carport / Driveway	43.95
Proposed Pool + Surrounds	63.01
TOTAL DEVELOPED B.U.A.	268.39 (43.75%)
LANDSCAPE AREA	345.01 (56.24%)
MINIMUM LANDSCAPE AREA	306.70 (50 %)
REQUIRED PIT/WATER DCP	



LONG SECTION THROUGH POOL
SCALE 1:100

This must strictly comply with height above natural ground level



LEGEND

[Symbol]	SITE BOUNDARY	[Symbol]	"SIR WALTER" BUFFALO LAWN (ALUMINIUM EGGING)
[Symbol]	PROPOSED LEVELS	[Symbol]	RETAINING WALLS (DA N0413/10 APPROVED)
[Symbol]	EXISTING SPOT LEVELS	[Symbol]	EXISTING TREES TO BE RETAINED
[Symbol]	EXISTING TREES TO BE REMOVED (DA N0413/10 APPROVED)	[Symbol]	PROPOSED PAVED PAVED TERRACE
[Symbol]	POOL FENCE TO COMPLY WITH AS 1926.1-2007 SWIMMING AND POOL ACT 1992	[Symbol]	TIMBER DECKING
[Symbol]		[Symbol]	SEWER MAIN

AMENDMENTS
B 4.5.11 Pool side setbacks amended

TRISH DOBSON
REGISTERED LANDSCAPE ARCHITECT, HORTICULTURIST
204 MARINE PARADE, AVALON, NSW 2107
P 02 9510 0055 M 0405 902000 E trish@trishdobson.com.au

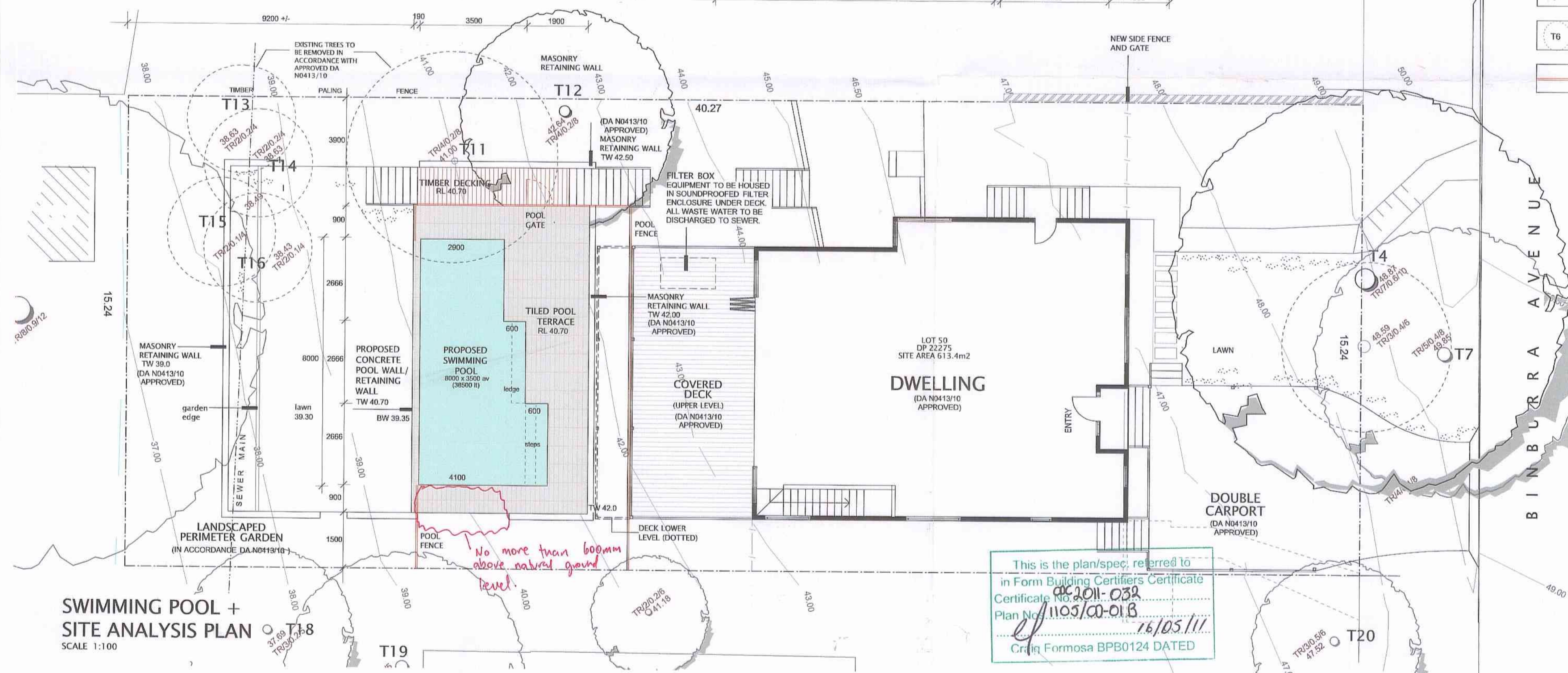
SITE
55 BUNBURRA AVENUE
AVALON

DRAWING
SWIMMING POOL PLAN
COMPLYING DEVELOPMENT

SCALE 1:100 DATE 4.5.11
JOB 1105 ISSUE REV B / CERTIFIER

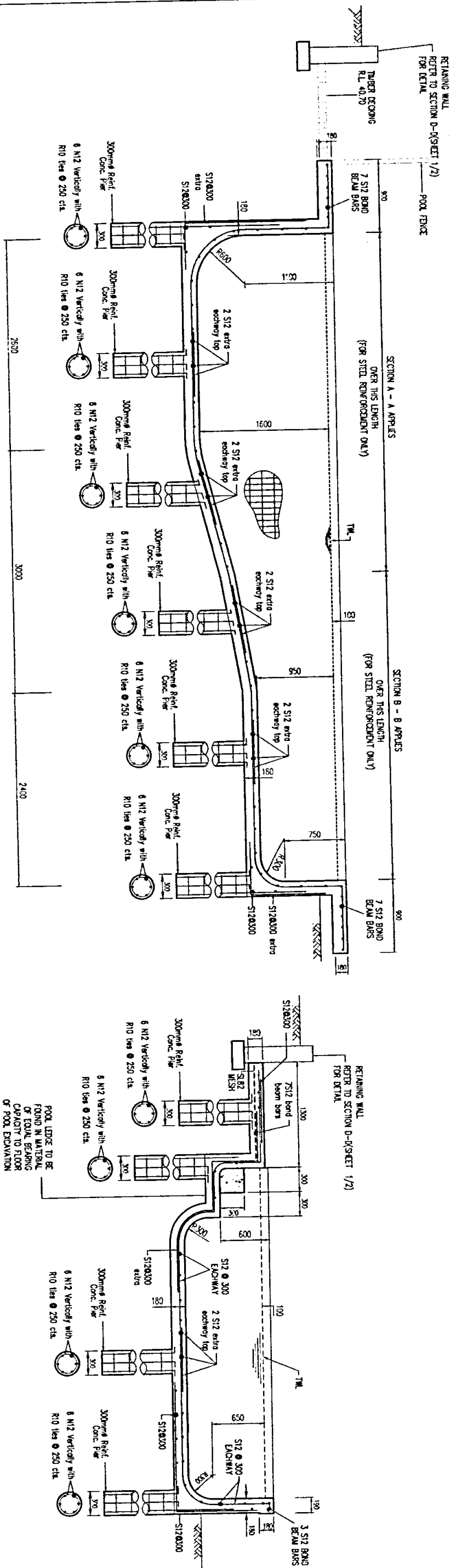
DWG: 1105 / CD-01 B

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning and Assessment Act 1979

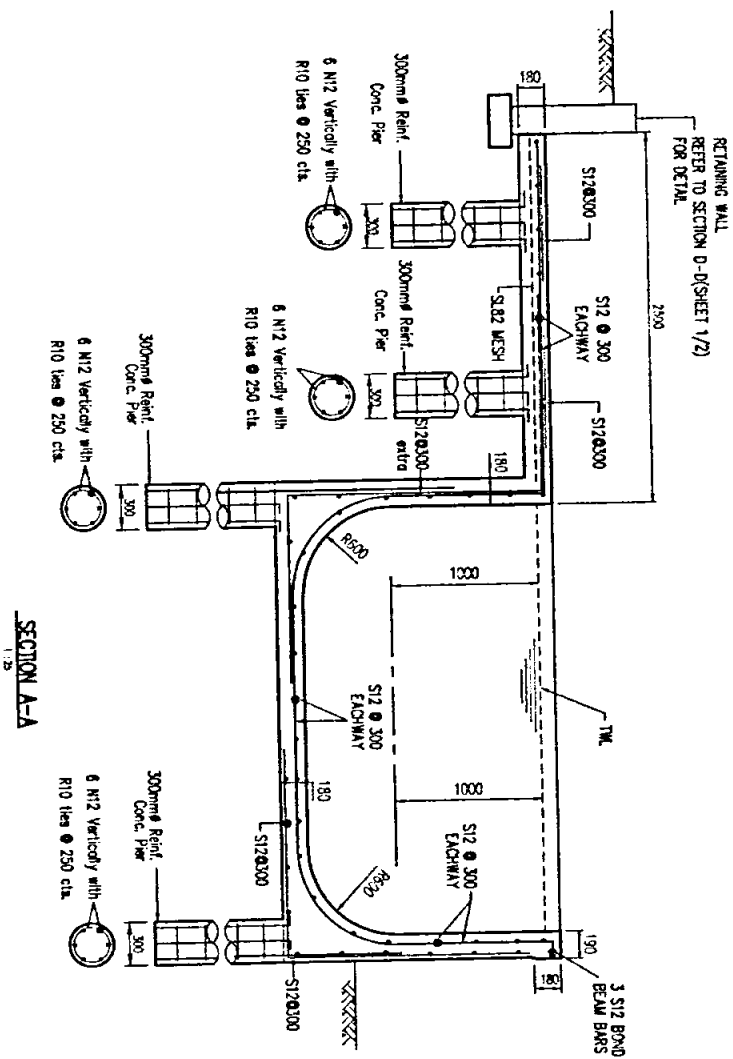


No more than 600mm above natural ground level.

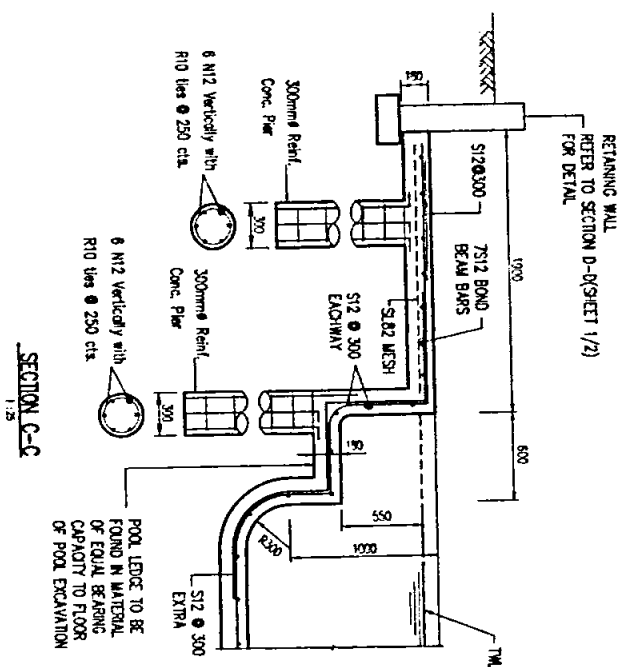
This is the plan/spec. referred to in Form Building Certifiers Certificate No. 032
Plan No. 1105/CD-01B
16/05/11
Cm Formosa BPB0124 DATED



LONGITUDINAL SECTION
1:25



SECTION A-A
1:25



SECTION C-C
1:25

NOTE
The plates are to be socketed
400mm in to solid Rock.

11/2, 01/2 16/05/11

ARCHITECTURAL POOLS

UNIT 14, 17-19 OLD BARRENJOEY ROAD, AVALON NSW 2107
PH: (02) 9666 4602 MOB. 0419 439 287
Email: info@architecturalpools.com.au

Level 1, Suite 102, 8-12 Archer Street, St. Leonards
Tel: (02) 9550 1510 Fax: (02) 9550 5545
Email: info@architecturalpools.com.au

PROPOSED POOL AT
55 BINBURRA AVE, AVALON
FOR BEN EGGLETON & NICOLE THORNTON

REVISION	DATE	DESCRIPTION
1	28-04-11	AS SHOWN
2	2/2	P11166

MasterPlan Enquirer

MasterView MasterPlan e-Plan

MasterPlan 1.54

- Enquirer
- Home
- Disclaimer
- Search
- e-Plan
- Applicant
- Administration



Property Details

55 BINBURRA AVENUE, AVALON

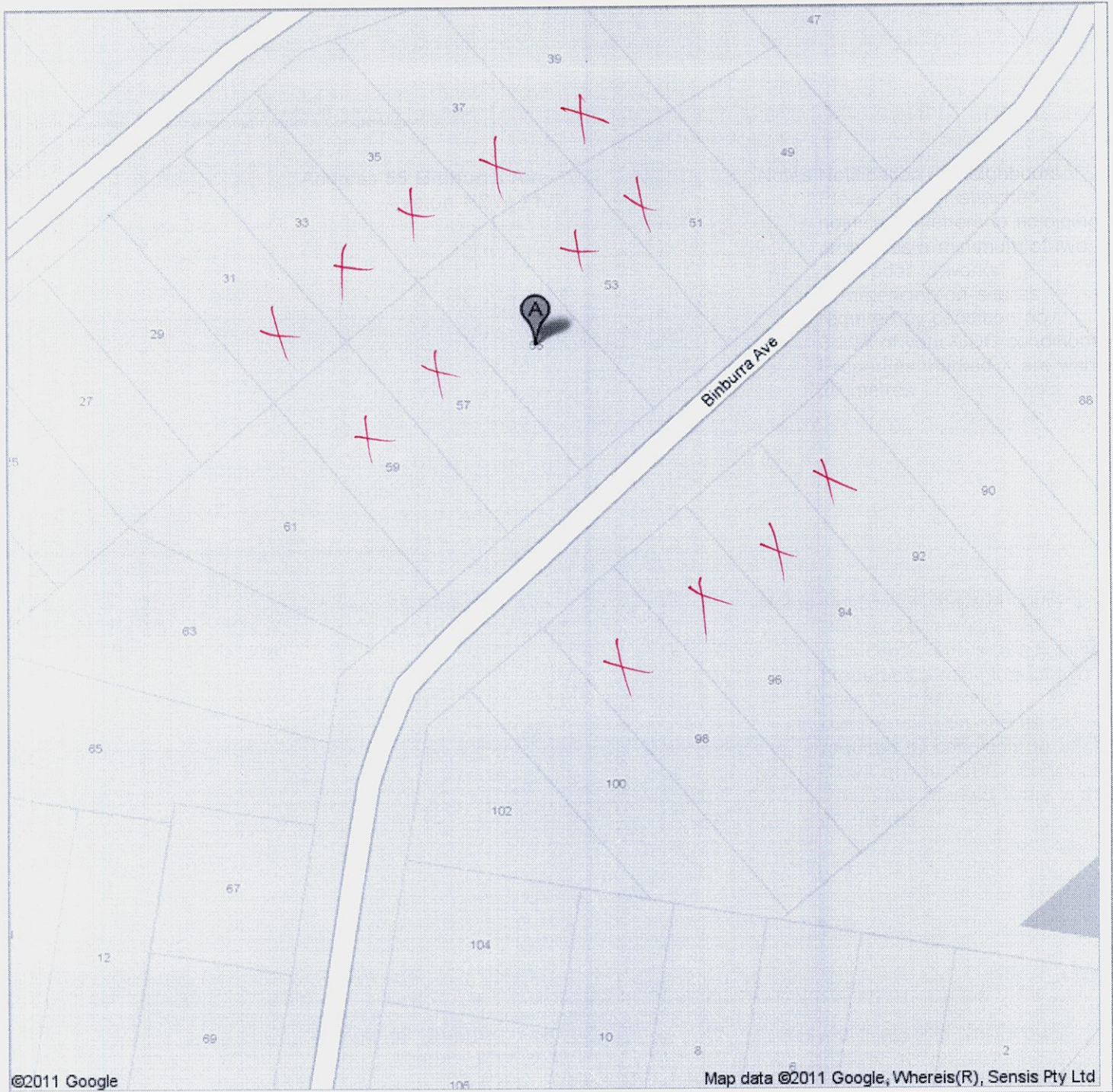
- ☐ Details
- Property Number: 16415
Legal Description: Lot 50 DP 22275
[PARCELS]
Ward: NTH
- ☐ Zoning
- ☐ Hazards
- Potential Hazards Affecting The Land
(041) PlanLand - Geotechnical Hazard Mapping 2007 - GHD --> [Details]
- ☐ Heritage
- ☐ Policies
- ☐ PLEP_Clauses
- ☐ Amendments
- ☐ State_Policies
- ☐ Exempt_Complying
- Exempt and Complying regions
(5-CI-in) PlanLand - SEPP(E&C) Commercial & Industrial Code - IN --> [Details]
(5-DM-in) PlanLand - SEPP(E&C) Demolition Code - IN --> [Details]
(5-GD-in) PlanLand - SEPP(E&C) General Development Code - IN --> [Details]
(5-GH-in) PlanLand - SEPP(E&C) General Housing Code - IN --> [Details]
(5-HA-in) PlanLand - SEPP(E&C) Housing Alterations Code - IN --> [Details]
(5-RH-in) PlanLand - SEPP(E&C) Rural Housing Code - IN --> [Details]
(5-SS-in) PlanLand - SEPP(E&C) Subdivision Code - IN --> [Details]
(E1a) PlanLand - DCP 22 - Exempt & Complying Region 1a --> [Details]
- ☐ Site_Specific
- ☐ Map

Powered by InfoMaster



Address **55 Binburra Ave**
Avalon NSW 2107

Notes Notification of Neighbours
Please deliver attached
notification letters to adjoining
properties a minimum of two
days prior to works
commencing on-site as
required by condition no.
3.39A of your CDC conditions.
Properties marked X are within
20 metres



ADVICE TO NEIGHBOURS – WORKS COMMENCING

This is to notify you that it is intended that work will soon be commenced on a development at a property near to you.

The work has been authorised by a complying development certificate issued under the provisions of the *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*.

Particulars relating to the work and the complying development certificate are set out below.

1. Development Address

55 Binburra Avenue, Avalon NSW 2107

Formal Particulars of Title

Lot 50 DP 22275

2. Name of Applicant

Ben Eggleton

3. Description of Development

In Ground Swimming Pool

4. Council Area

Pittwater

5. Details of Complying Development Certificate

(a) Issued by* Craig Formosa

(b) Accreditation Number**BPB 0124

(c) Complying Development Certificate No. 2011-032

(d) Date of Certificate – 16/05/11

6. Date on which it is intended to commence work 18th May 2011

Note A copy of the complying development certificate, including related plans and specifications, is available for inspection at the Council's principal office, free of charge, during the Council's ordinary office hours.

(Signed).....

Date.....

Owners Signatures



PITTWATER COUNCIL

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER FORM NO. 2 – PART B – To be submitted with detailed design for Construction Certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I Peter Crozier on behalf of Crozier Geotechnical Consultants
(insert name) (trading or company name)

on this the 12th May 2011
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater - 2009 and I am authorised by the above organisation/company to issue this document and to certify that the organisation/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto.
☐ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy.

Geotechnical Report Details:

Report Title: Alterations & Additions # 2010-082
Report Date: 21st June 2010
Author: T. Crozier

Documentation which relates to or is relied upon in report preparation:

Design Drawings: Trish Dobson, Dwg. 1105 /CD-01a
Structural Design: Neilly Davies, Job No. P11166
Dwg. No. 2/2, 12/5/11

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Registered Professional Engineer 691550

Mr Peter Crozier

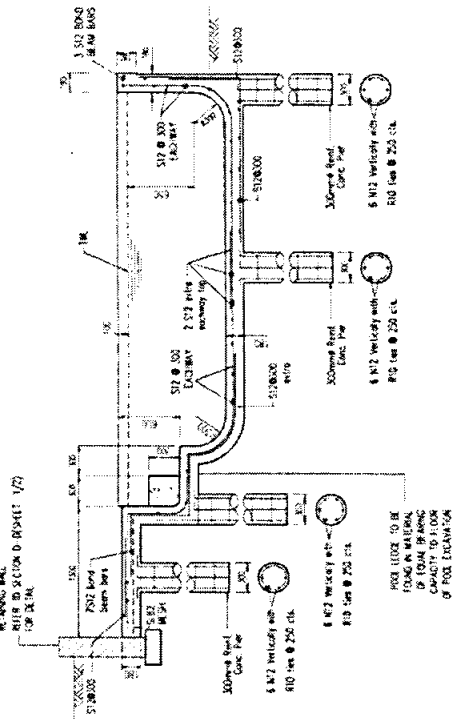
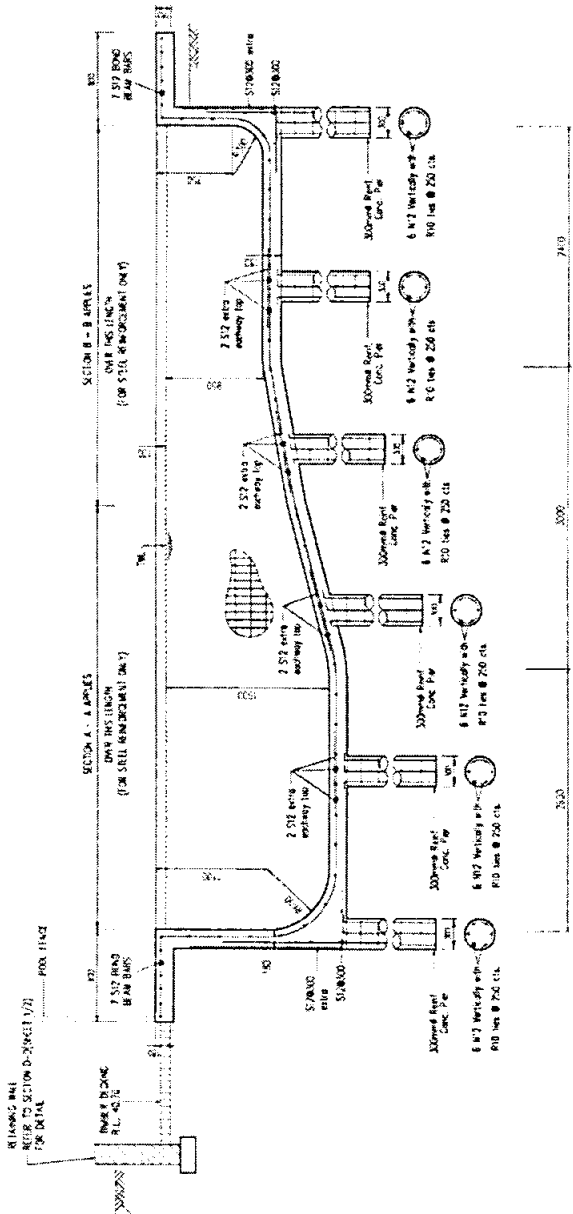
MIEAust CPEng (Civil / Geotechnical)



Signature: [Signature] Date: 12/5/2011

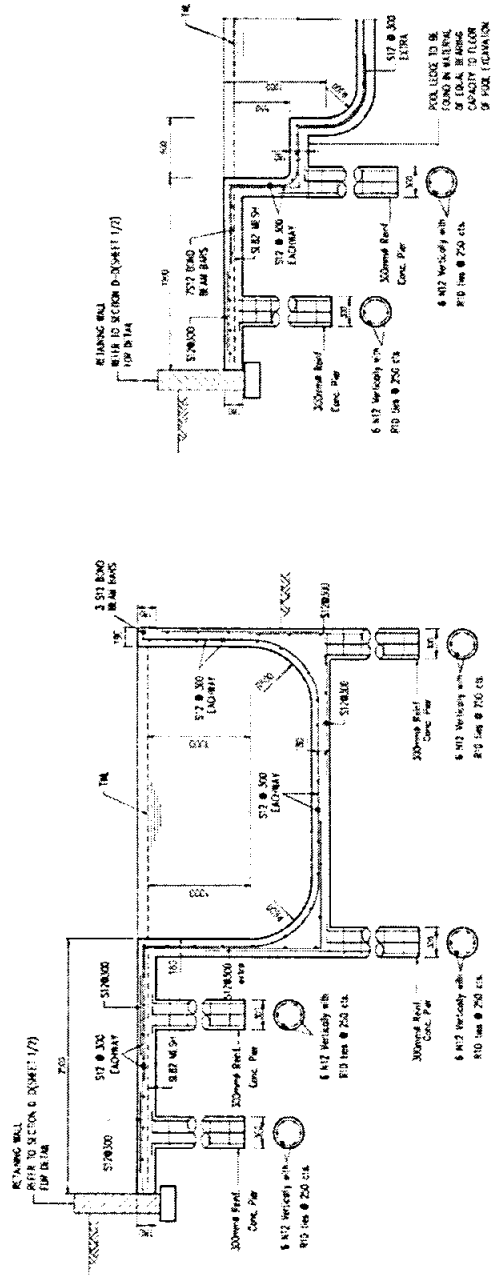
Registered on the NPER in the area of practice of
Civil / Geotechnical
National Professional Engineers Register





LONGITUDINAL SECTION

SECTION B-B



SECTION C-C

Registered Professional Engineer 691550
Mr Peter Crozier
 MIE Aust CP Eng (Civil / Geotechnical) N P E R
 Signature Date 12/05/2011
 Registered on the NPRA in the area of practice of
 Civil / Geotechnical
 National Professional Engineers Register

ARCHITECTURAL POOLS

UNIT 14, 17-19 OLD BARRETT STREET, AVALON NSW 2107
 PH: (02) 9005 4002 MOB: 0418 638 287
 Email: info@architecturalpools.com.au

Proposed Pool At		55 BINGURRA AVE, AVALON	
FOR BEN EGGLTON & NICOLE THORNTON			
SWIMMING POOL DETAILS			
DATE	25.04.11	BY	2/2 PH1166

Home Warranty
Insurance
Certificate of Insurance

Policy Number
BN-0034008-BWI-2



Home Warranty
Insurance Fund

Level 3, 85 Harrington St
SYDNEY NSW 2000
Phone: 1300 790 723
Fax: 02 8275 9330
ABN: 78 003 191 035
AFS License No: 239545



BEN EGGLETON
55 BINBURRA AVENUE
AVALON NSW 2107

Name of Intermediary
MBA INSURANCE SERVICES
PTY LTD

Account Number
BN-0004023

Date Issued: 06/05/2011

Policy Schedule Details

Certificate in Respect of Insurance

Residential Building Work by Contractors

A contract of insurance complying with sections 92 and 96 of the Home Building Act 1989 has been issued by QBE Insurance (Australia) Limited as agent for and on behalf of the NSW Self Insurance Corporation (SiCorp) (ABN 97 369 689 650) who is responsible for management of the Home Warranty Insurance Fund.

In Respect of	SWIMMING POOLS
At	55 BINBURRA AVENUE AVALON NSW 2107
Carried Out By	BUILDER ARCHITECTURAL POOLS PTY LTD ABN: 44 088 724 145
Declared Contract Price	\$23,550.00
Contract Date	19/04/2011
Builders Registration No.	U 105946C
Building Owner / Beneficiary	BEN EGGLETON NICOLE THORNTON

Subject to the Act and the Home Building Regulation 2004 and the conditions of the insurance contract, cover will be provided to the Building Owner/Beneficiary named in the domestic building contract and to the successors in title to the Building Owner/Beneficiary or the immediate successor in title to the contractor or developer who did the work and subsequent successors in title.

Signed for and on behalf of NSW Self Insurance Corporation

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC



Application Lodgement Summary



Reference Number 3161360

Date Requested: Sat May 7 2011

Agent Reece Mona Vale, 10 Taronga Pl Mona Vale
Applicant Bh Eggleton Na Thornton, 55 Binburra Ave Avalon 2107
Property/Asset 55 Binburra Ave, Avalon 2107 (Bh Eggleton Na Thornton) PNum: 4730708
Property Connection Point - (3708227)
150 mm DICL Sewer Main - (3145062)
Product Building Plan Approval Application

Charge	Product Cost	GST	Total
Building Plan Approval Application Fee	\$26.45	\$0.00	\$26.45

Property Special Conditions for Plumbers

Boundary Trap Required	No
Watercharged/Tidal area	No
Partial Drainage area	No
Aggressive Soil area	No
Cast Iron Pipe area	No
Sewer Surcharge area	No
Minimum Gully Height area	No
Sewer Available	Yes
Connection Type	Gravity

You must contact Sydney Water to clarify the property special conditions where the property special conditions are not shown (yes or no), are shown as "unset", "unknown" or "not available" or if the proposed development is being built over more than one existing property.

Please note that boundary traps must be fitted for all commercial and industrial properties and you must ensure that all plumbing/drainage and building works are carried out in accordance with the relevant codes and standards.

A water meter is required to be fitted to the property during construction. You will need to ensure that your licensed plumber carries out this work in accordance to the relevant codes and standards.

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC

Tax Invoice

invoice number 1471



architectural pools

SPECIALIST SWIMMING POOL
BUILDERS AND POOL CARE EXPERTS

David Merry Director
Mobile: 0419 439 287

14/17-19 Old Barrenjoey Road
Avalon NSW 2107

Office: 16 Bream Street
Coogee NSW 2034

Tel: 02 9665 4602 Fax: 02 9664 8310
E-mail: info@architecturalpools.com.au
Web: www.architecturalpools.com.au

ABN - 44 088 724 145 ACN - 088 724 145
Builders Lic Number - 105946C

Contact: Nicole Thornton & Ben Eggleton
Address: 55 Bunburra Ave, Avalon NSW 2107
Date: 18 April 2011
Project: Swimming Pool Construction
Terms: Payment due on receipt of invoice

Invoice for progress payment - a, being 5% of contract, due upon signing of contract.

Contract amount	\$23,550
PP1 - 5%	\$1,177.50
Invoice amount (inc GST)	\$1,177.50

no LSC

THIS PLAN / DOCUMENT FORMS
PART OF FORM BUILDING
CERTIFIERS CC / CDC

Payment Options

- ☐ Transfer payment directly into our account. Bendigo Bank **BSB - 633000 ACCT - 131108755**, or
- ☐ Call 9665 4602 and quote your credit card details for over the phone payment, or
- ☒ Make payment out to Architectural Pools and post to Unit 14

17-19 Old Barrenjoey Road
Avalon NSW 2107