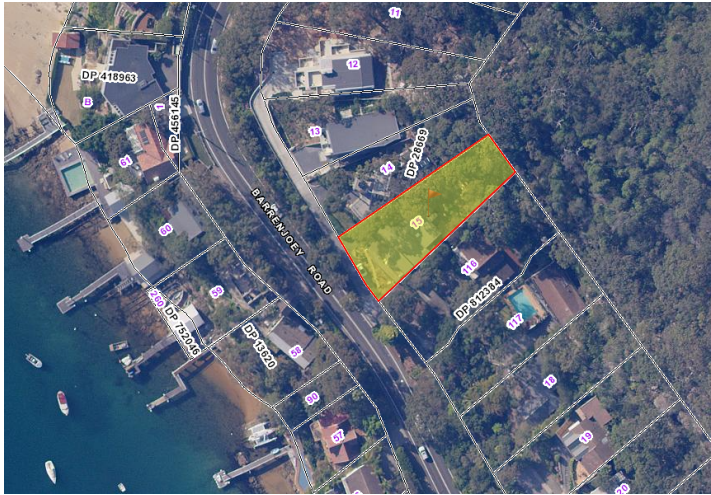


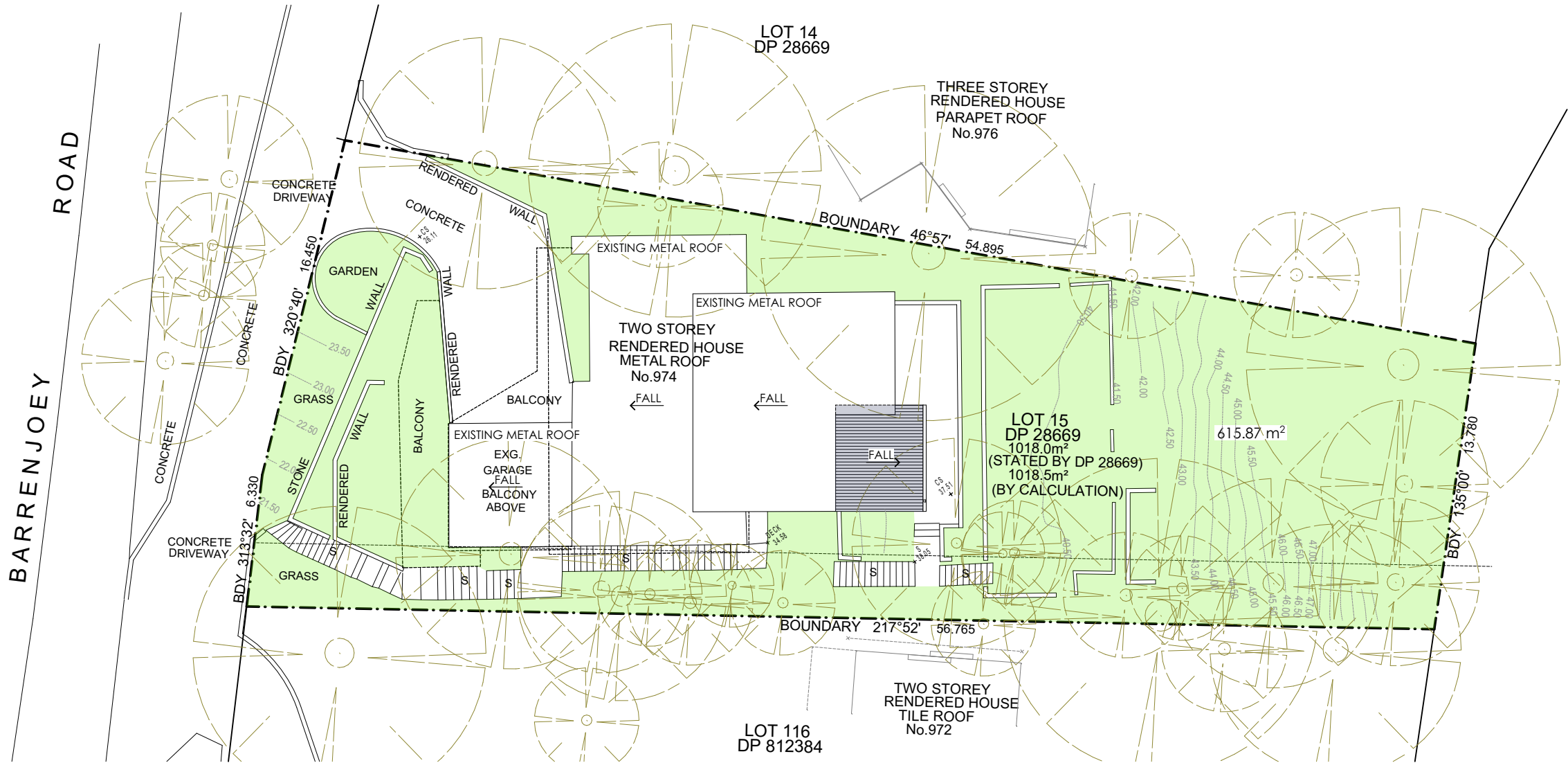
ALTERATIONS AND ADDITIONS - 974 BARRENJOEY RD PALM BEACH



SITE LOCATION  
974 BARRENJOEY RD  
PALM BEACH

AREA CALCULATION

SITE AREA:	1018.50 SQM
EXISTING GARAGE FLOOR AREA:	32.85 SQM
EXISTING GROUND FLOOR AREA:	91.04 SQM
EXISTING FIRST FLOOR AREA:	73.50 SQM
PROPOSED TO FIRST FLOOR AREA:	12.08 SQM
TOTAL GFA:	176.62 SQM
PROPOSED F.S.R:	0.17/1
LANDSCAPE AREA:	615.87 SQM



SITE PLAN AND ROOF PLAN 1:250

**PROJECT NOTES**

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**LEGEND**

	Existing walls to remain
	New brick walls
	New brick veneer walls
	New timber stud walls
	Existing to be demolished

R.L:	RELATIVE LEVEL (m)	S.C.D:	SOLID TIMBER CORE DOOR
F.F.L:	FLOOR FINISH LEVEL		REFER TO THE SCHEDULE
C.L:	CEILING LEVEL	S.D:	ALUM. SLIDING DOOR
N.G.L:	NATURE GROUND LINE		REFER TO THE SCHEDULE
A.F.W:	ALUM. FRAME WINDOWS	C.R.S:	COLORBOND ROOF SHEETING
	REFER TO THE SCHEDULE (RTS)		REFER TO THE SCHEDULE
W.B.C:	WEATHER BOARD CLADDING (RTS)	F.B.W:	FACE BRICK WORK
	REFER TO THE SCHEDULE		REFER TO THE SCHEDULE
SA:	SMOKE ALARM (RTS)	ti:	tiles
M.H:	METAL HANDRAIL (RTS)	g:	glass
		p:	paint
		b:	brick

23/03/2022	PRELIMINARY	N
DATE	ISSUE	DRAWN BY

**NK ARCHITECT**  
ARCHITECTURAL DESIGN  
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PHONE (02) 8006 1268  
MOB: 0406 987 868  
NSW ARB: 7853

**PROJECT: ALTERATIONS AND ADDITIONS**

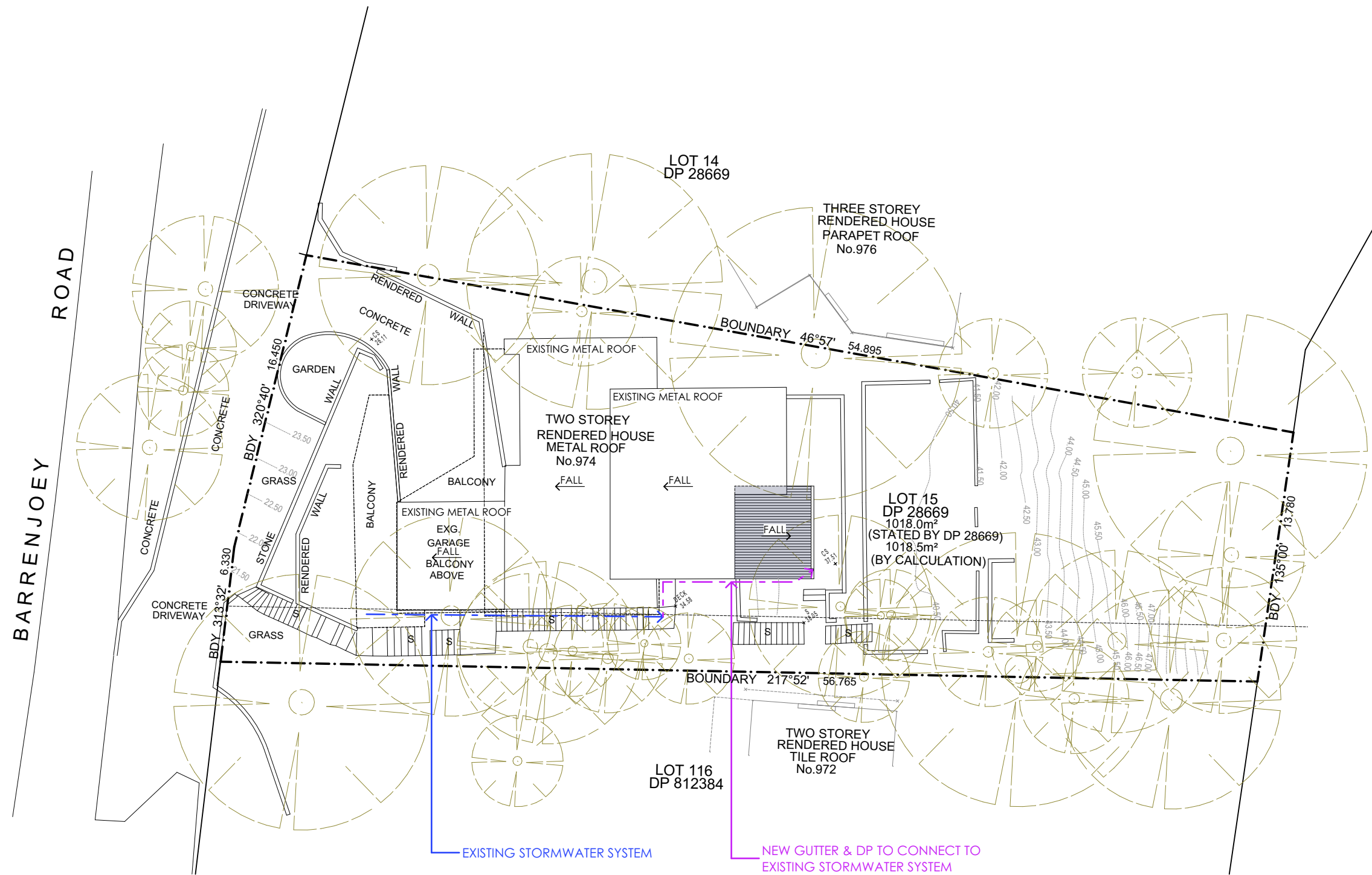
AT: **974 BARRENJOEY RD, PALM BEACH**

FOR: **MR. MATTHEW MILLAR**

DRAWING NAME: **\_SITE PLAN & ROOF PLAN**

Scale 1:250	@ A3 Drawing number AR-1
Date 24/03/2022	Pages 1 of 10
<b>DEVELOPMENT APPLICATION</b>	
Plot Date:	24/03/2022





STORMWATER LEGEND	
	EXISTING STORMWATER LINE
	NEW 100 DIA. SEWER GRADE STORMWATER LINE
	450 x 450 STORMWATER PIT
	GRATED BOX DRAIN
	DOWN PIPE

## STORMWATER CONCEPT PLAN 1:250

### PROJECT NOTES

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### LEGEND

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
- Existing to be demolished

R.L: RELATIVE LEVEL (m)  
F.F.L: FLOOR FINISH LEVEL  
C.L: CEILING LEVEL  
N.G.L: NATURE GROUND LINE  
A.F.W: ALUM. FRAME WINDOWS  
W.B.C: WEATHER BOARD CLADDING (RTS)  
S.A: SMOKE ALARM (RTS)  
M.H: METAL HANDRAIL (RTS)

S.C.D: SOLID TIMBER CORE DOOR  
REFER TO THE SCHEDULE  
S.D: ALUM. SLIDING DOOR  
REFER TO THE SCHEDULE  
C.R.S: COLORBOND ROOF SHEETING  
REFER TO THE SCHEDULE  
F.B.W: FACE BRICK WORK  
REFER TO THE SCHEDULE  
t: tiles g: glass p: paint  
b: brick

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NSW ARB: 7853

### PROJECT: ALTERATIONS AND ADDITIONS

AT: 974 BARRENJOEY RD, PALM BEACH  
FOR: MR. MATTHEW MILLAR

DRAWING NAME \_STORMWATER CONCEPT PLAN

Scale 1:250, 1:100 @ A3 Drawing number AR-2

Date 24/03/2022 Pages 2 of 10

DEVELOPMENT APPLICATION

Plot Date: 24/03/2022



BAL-40 AS3959-2018 - CONSTRUCTION REQUIREMENTS

CERTIFIED PROJECT: 974 Barrenjoey Road Palm Beach 2108

The specification below is a summary from AS3959-2018. Note the specification includes the additional construction requirements of Planning for Bushfire Protection (2019). Bushfire Planning and Design provides this simplified specification as an aid however advises that this document is not a substitute for AS3959-2018 which provides more detail. To the best of our knowledge the information below is an accurate representation of AS3959 however we do not guarantee it is free from errors or omissions. We accept no liability for any misinterpretation of our abridged specification compared to AS3959. It is the building contractors responsibility to source their own version of AS3959 to avoid errors or misinterpretation. Construction specifications change over time therefore we can only endorse this specification if attached to a certified report or certificate that we prepared. **We will not support any development that has used this specification without our permission.**

SUB FLOOR SUPPORTS - POSTS, COLUMNS, PIERS, POLES FLOORS	- Non combustible or, - Protect the underside with a fibre cement or metal sheet or, - AS1530.8.1 tested system.
	90mm min thick masonry, masonry veneer, clay, concrete (insitu, aerated), calcium silicate, stone, earth wall, mud brick Metal cladding or 9mm FC. Sarking required.
WALLS	
WINDOWS	Bushfire shutter - to be metal. (No requirement to have a shutter. If used must be metal).
	Framing to be metal.
	Glazing to be 6mm toughened.
	Hardware to be metal & seals to have a flammability index <5 or be silicone.
	Screen openable and fixed portion of window externally. Except where window complies with AS1530.8.1 or AS1530.98.2
DOORS	Bushfire shutter - then no requirement for door.
	Doors & frames to be non combustible.
	Solid core timber 35mm thick for the bottom 400mm & protected externally with a metal screen, mesh or perforated panel, or comply with AS1530.8.1 or AS1530.98.2.
	Fully framed glazed door where frame is non combustible. Glazing to be 6mm TG.
	Sliding doors screened externally (both panels)
	Glazing to be 6mm thick toughened glass
	Door framing to be metal or bushfire resisting timber or metal reinforced PVC-U/.
	Vehicle access doors to be non combustible. Provide brush seals.....
	Seals, draught excluders, weather strips etc to have a flammability index less than 5.
Roofs	Non combustible including penetrations. Tiled roof to be sarked - battens allowed above sarking. Sarking to cover ridges and hips and extend into gutter
	Roof lights - FRL -/30/-
	Verandah, carport or awning roof forming part of the main roof space is to comply with the requirements for the main roof.
	Verandah, carport or awning roof separated from the main roof space with a compliant wall is to be non-combustible. The roof can be framed in timber if protected with 6mm FC.
	Gables to comply with walls.
	Fascia & bargeboards to comply with AS1530.8.1 or be constructed from 9mm FC.
	Eaves linings to be 9mm FC sheet.
	Downpipes - no requirements. Box gutters to be non combustible. Box gutters to be screened. Gutter guards to be metal if used. Gutters to be non-combustible.
Verandahs & Decks	No requirement for framing and supports if enclosed with a compliant wall.
	Decking is not to be spaced. Decking, treads and ramps to be non combustible.
	Supports and framing to be non combustible or conforms to AS1530.8.1.

974 Barrenjoey Road Palm Beach 2108

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BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A452017

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Lighting						
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓			
Construction						
Insulation requirements						
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.						
Construction	Additional insulation required (R-value)	Other specifications				
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)					
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)					
flat ceiling, flat roof: framed	ceiling: R1.40 (up), roof: foil backed blanket (55 mm)	light (solar absorptance < 0.475)				
Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
FW01	NE	1.8	3	2	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
FW01	SE	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
Legend						
In these commitments, "applicant" means the person carrying out the development.						
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).						
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.						
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.						

BASIX REQUIREMENTS

PROJECT NOTES

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LEGEND

Existing walls to remain

New brick walls

New brick veneer walls

New timber stud walls

Existing to be demolished

R.L: RELATIVE LEVEL (m)

F.F.L: FLOOR FINISH LEVEL

C.L: CEILING LEVEL

N.G.L: NATURE GROUND LINE

A.F.W: ALUM. FRAME WINDOWS

REFER TO THE SCHEDULE (RTS)

W.B.C: WEATHER BOARD CLADDING (RTS)

SA: SMOKE ALARM (RTS)

M.H: METAL HANDRAIL (RTS)

S.C.D: SOLID TIMBER CORE DOOR

REFER TO THE SCHEDULE

S.D: ALUM. SLIDING DOOR

REFER TO THE SCHEDULE

C.R.S: COLORBOND ROOF SHEETING

REFER TO THE SCHEDULE

F.B.W: FACE BRICK WORK

REFER TO THE SCHEDULE

ti: tiles

g: glass

p: paint

b: brick

NK ARCHITECT

ARCHITECTURAL DESIGN

74 JOHN ST, CROYDON, NSW

PHONE (02) 8006 1268

MOB: 0406 987 868

NSW ARB: 7853

PROJECT: ALTERATIONS AND ADDITIONS

AT: 974 BARRENJOEY RD, PALM BEACH

FOR: MR. MATTHEW MILLAR

DRAWING NAME \_BUSH FIRE & BASIX REQUIREMENTS

Scale 1:125 @ A3 Drawing number AR-3

Date 24/03/2022 Pages 3 of 10

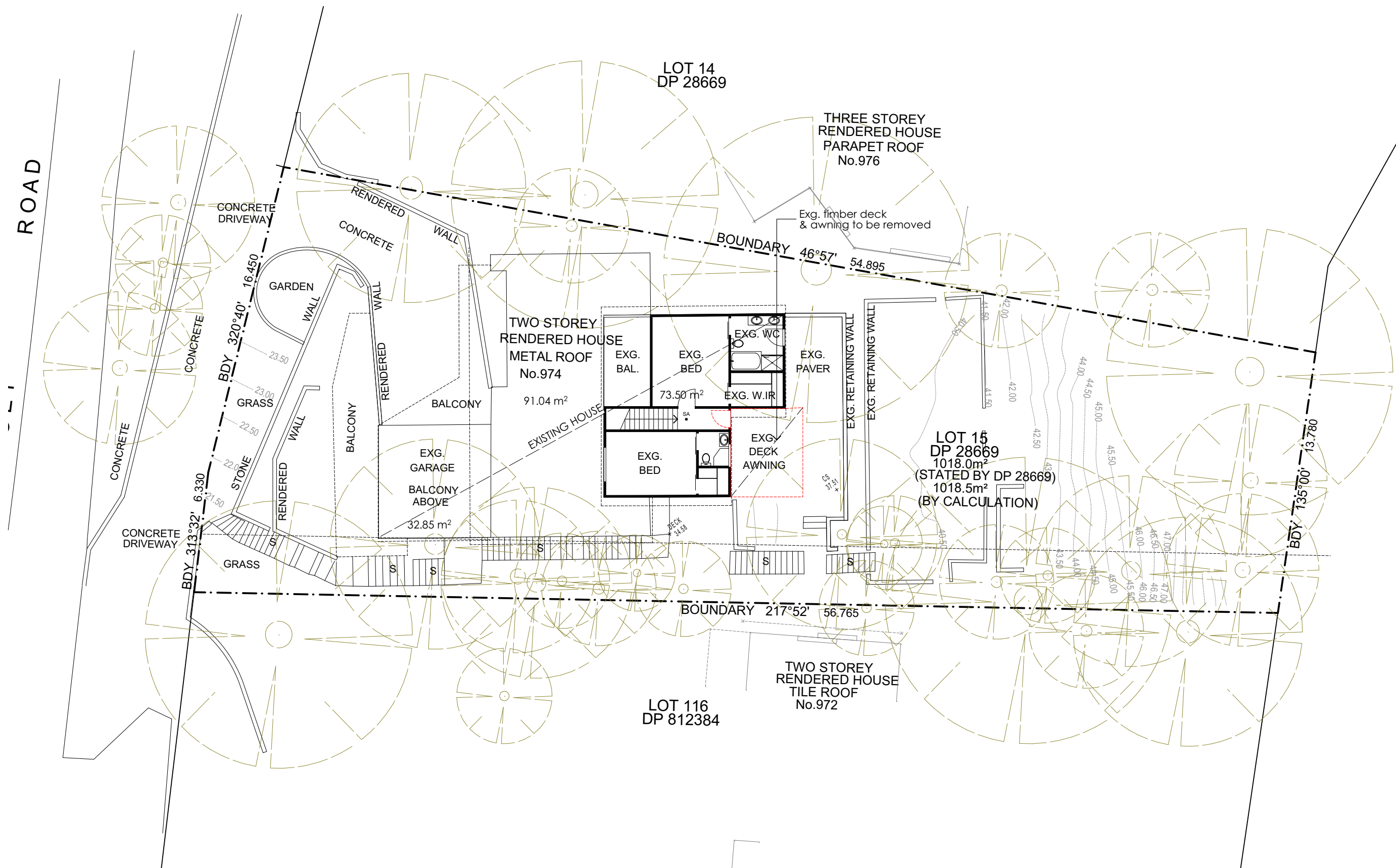
DEVELOPMENT APPLICATION

Plot Date: 24/03/2022

23/03/2022 PRELIMINARY N

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EXISTING & DEMOLITION FIRST FLOOR PLAN 1:200

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**LEGEND**

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REFER TO THE SCHEDULE  
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REFER TO THE SCHEDULE  
F.B.W: FACE BRICK WORK  
REFER TO THE SCHEDULE  
t: tiles g: glass p: paint  
b: brick

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PHONE (02) 8006 1268  
MOB: 0406 987 868  
NSW ARB: 7853

**PROJECT: ALTERATIONS AND ADDITIONS**

**AT: 974 BARRENJOEY RD, PALM BEACH**

**FOR: MR. MATTHEW MILLAR**

DRAWING NAME: \_EXG. & DEMOLITION GROUND FLOOR PLAN

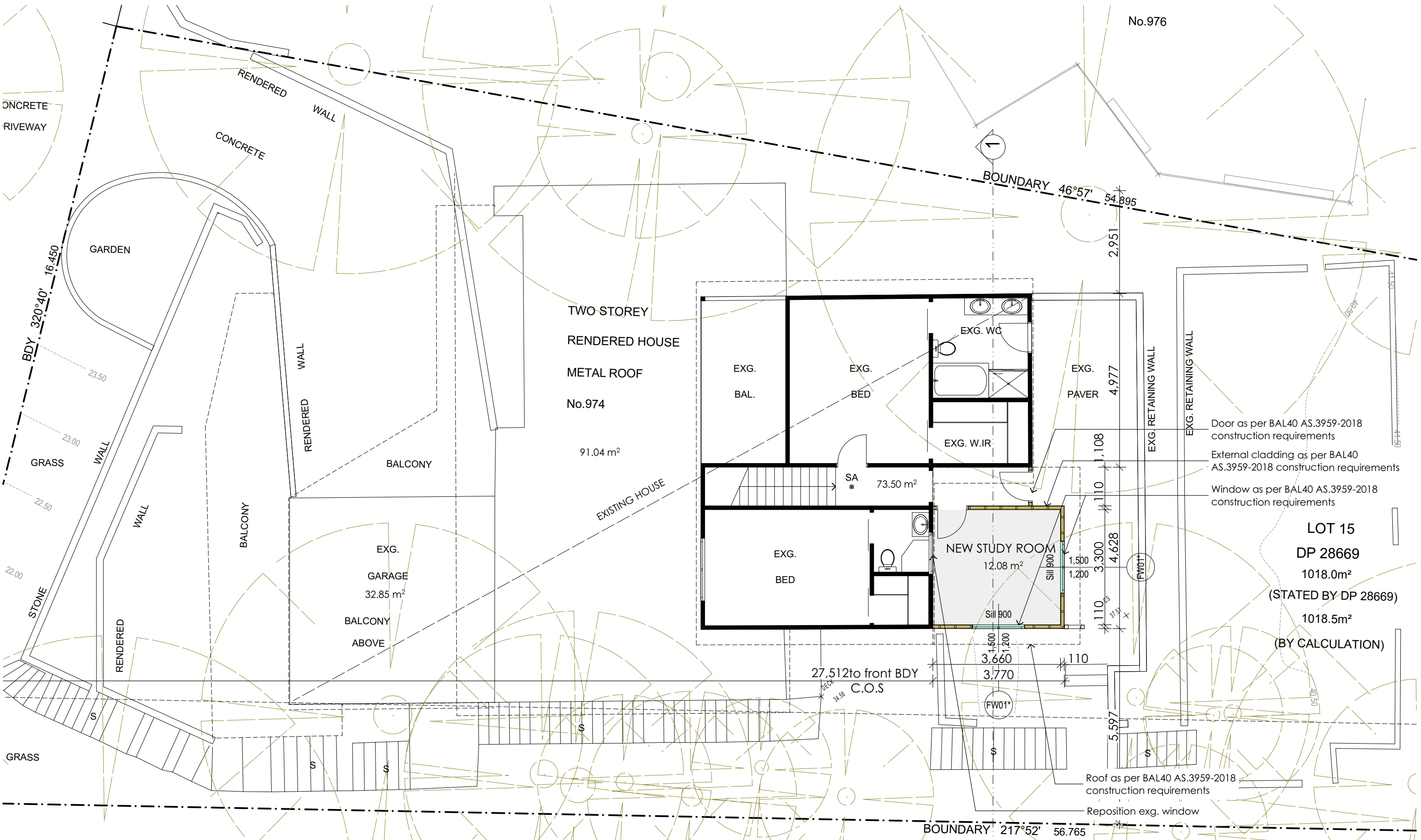
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Date 24/03/2022 Pages 4 of 10

Plot Date: 24/03/2022

**DEVELOPMENT APPLICATION**





PROPOSED TO FIRST FLOOR PLAN 1:100

**PROJECT NOTES**

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**LEGEND**

- Existing walls to remain
- New brick walls
- New brick veneer walls
- New timber stud walls
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R.L: RELATIVE LEVEL (m)  
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23/03/2022	PRELIMINARY	N
DATE	ISSUE	DRAWN BY

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ARCHITECTURAL DESIGN  
74 JOHN ST, CROYDON, NSW  
PHONE (02) 8006 1268  
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NSW ARB: 7853

**PROJECT: ALTERATIONS AND ADDITIONS**

**AT: 974 BARRENJOEY RD, PALM BEACH**

**FOR: MR. MATTHEW MILLAR**

DRAWING NAME: PROPOSED TO GROUND FLOOR PLAN

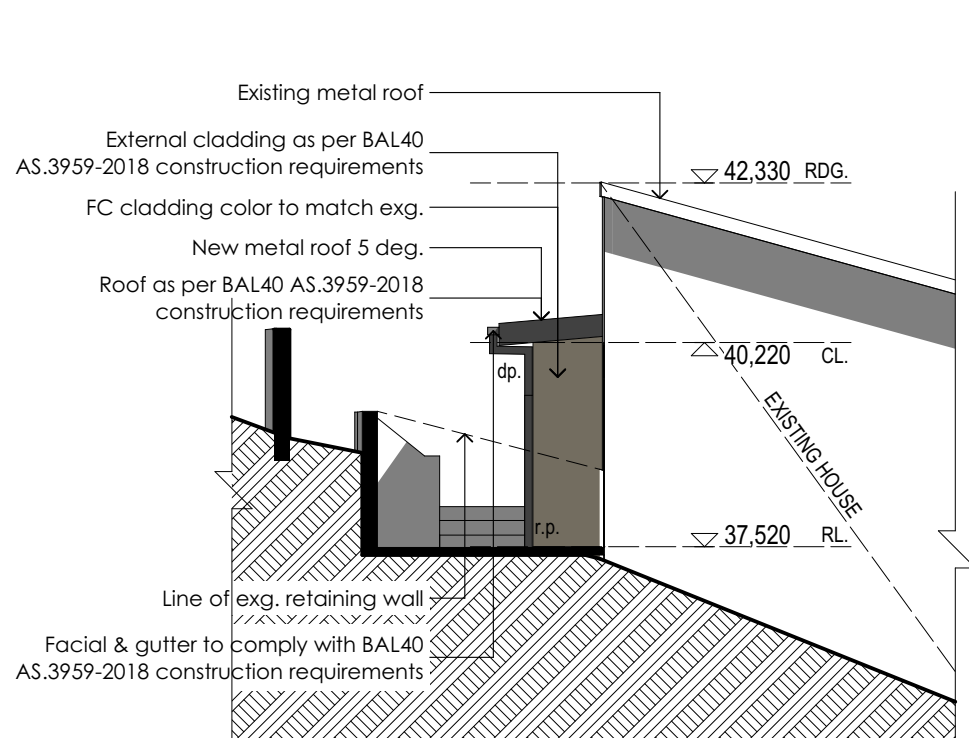
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Date 24/03/2022 Pages 5 of 10

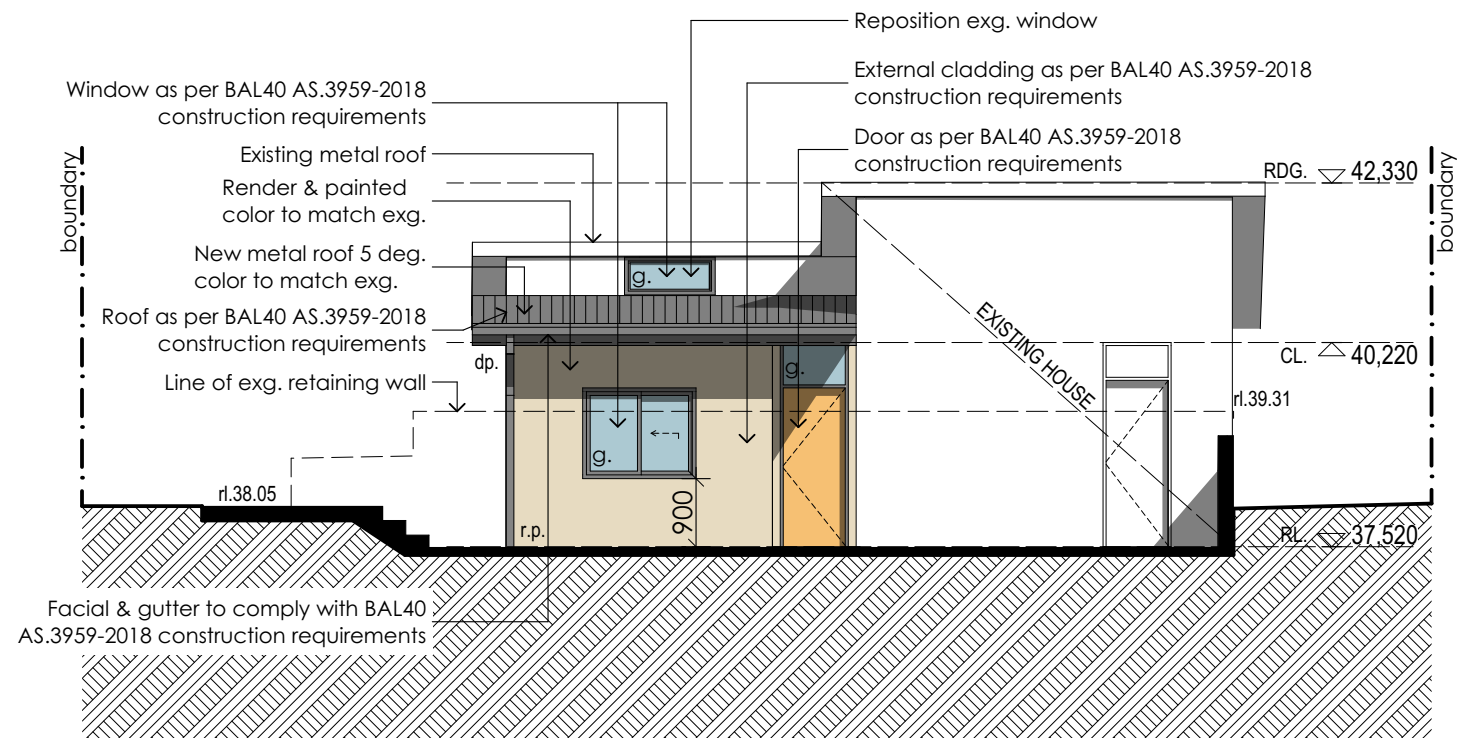
**DEVELOPMENT APPLICATION**

Plot Date: 24/03/2022

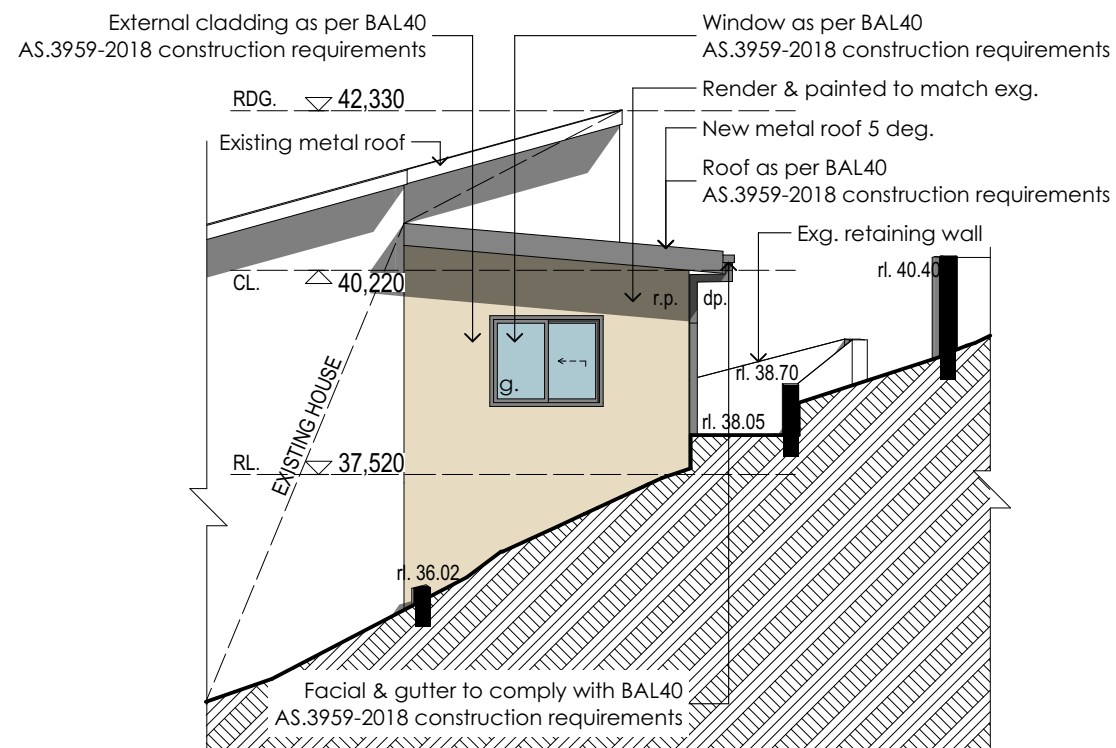




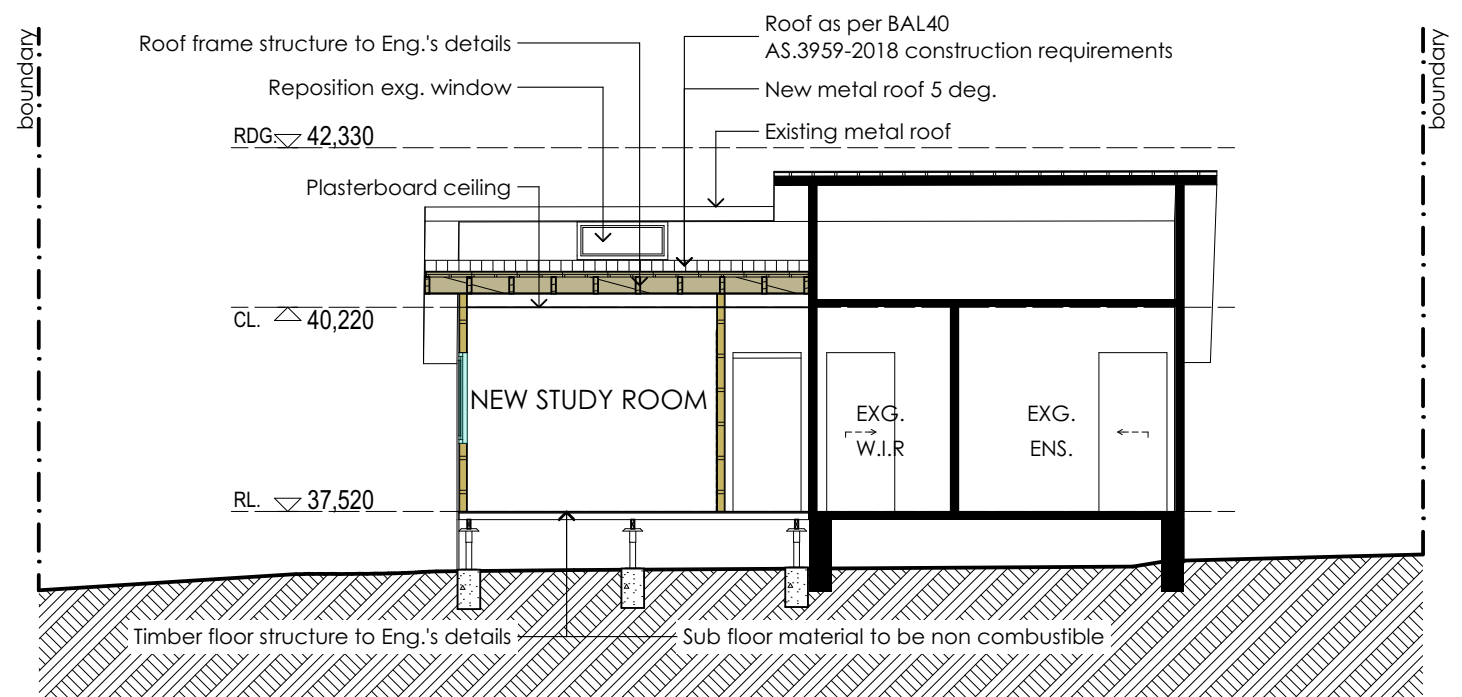
NORTH ELEVATION 1:100



EAST ELEVATION 1:100



EAST ELEVATION 1:100



SECTION 1-1 1:100

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LEGEND

- Existing walls to remain
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- New brick veneer walls
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R.L: RELATIVE LEVEL (m)  
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S.D: ALUM. SLIDING DOOR REFER TO THE SCHEDULE  
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**NK ARCHITECT**  
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NSW ARB: 7853

PROJECT: **ALTERATIONS AND ADDITIONS**  
AT: **974 BARRENJOEY RD, PALM BEACH**  
FOR: **MR. MATTHEW MILLAR**  
DRAWING NAME: **\_ELEVATIONS**

Scale 1:20, 1:100 @ A3 Drawing number AR-6  
Date 24/03/2022 Pages 6 of 10  
**DEVELOPMENT APPLICATION**  
Plot Date: 24/03/2022



**SOIL CONSERVATION NOTES**

A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.

CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED

B. DURING CONSTRUCTION

1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.

2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.

3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.

4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.

5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.

**LEGEND**

UNDISTURBED VEGETATION

STOCKPILE

BARRIER FENCE

GEOTEXTILE FABRIC

PORTABLE TOILET

SEDIMENT CONTROL PLAN 1:250

**PROJECT NOTES**

- DO NOT SCALE DRAWINGS.
- FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALE.
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**LEGEND**

Existing walls to remain

New brick walls

New brick veneer walls

New timber stud walls

Existing to be demolished

R.L: RELATIVE LEVEL (m)

F.F.L: FLOOR FINISH LEVEL

C.L: CEILING LEVEL

N.G.L: NATURE GROUND LINE

A.F.W: ALUM. FRAME WINDOWS

REFER TO THE SCHEDULE (RTS)

W.B.C: WEATHER BOARD CLADDING (RTS)

S.A: SMOKE ALARM (RTS)

M.H: METAL HANDRAIL (RTS)

S.C.D: SOLID TIMBER CORE DOOR

REFER TO THE SCHEDULE

S.D: ALUM. SLIDING DOOR

REFER TO THE SCHEDULE

C.R.S: COLORBOND ROOF SHEETING

REFER TO THE SCHEDULE

F.B.W: FACE BRICK WORK

REFER TO THE SCHEDULE

ti: tiles g: glass p: paint

b: brick

**NK ARCHITECT**

ARCHITECTURAL DESIGN

74 JOHN ST, CROYDON, NSW

PHONE (02) 8006 1268

MOB: 0406 987 868

NSW ARB: 7853

PROJECT: ALTERATIONS AND ADDITIONS

AT: 974 BARRENJOEY RD, PALM BEACH

FOR: MR. MATTHEW MILLAR

DRAWING NAME: SEDIMENT CONTROL PLAN

Scale 1:200, 1:250 @ A3 Drawing number AR-7

Date 24/03/2022 Pages 7 of 10

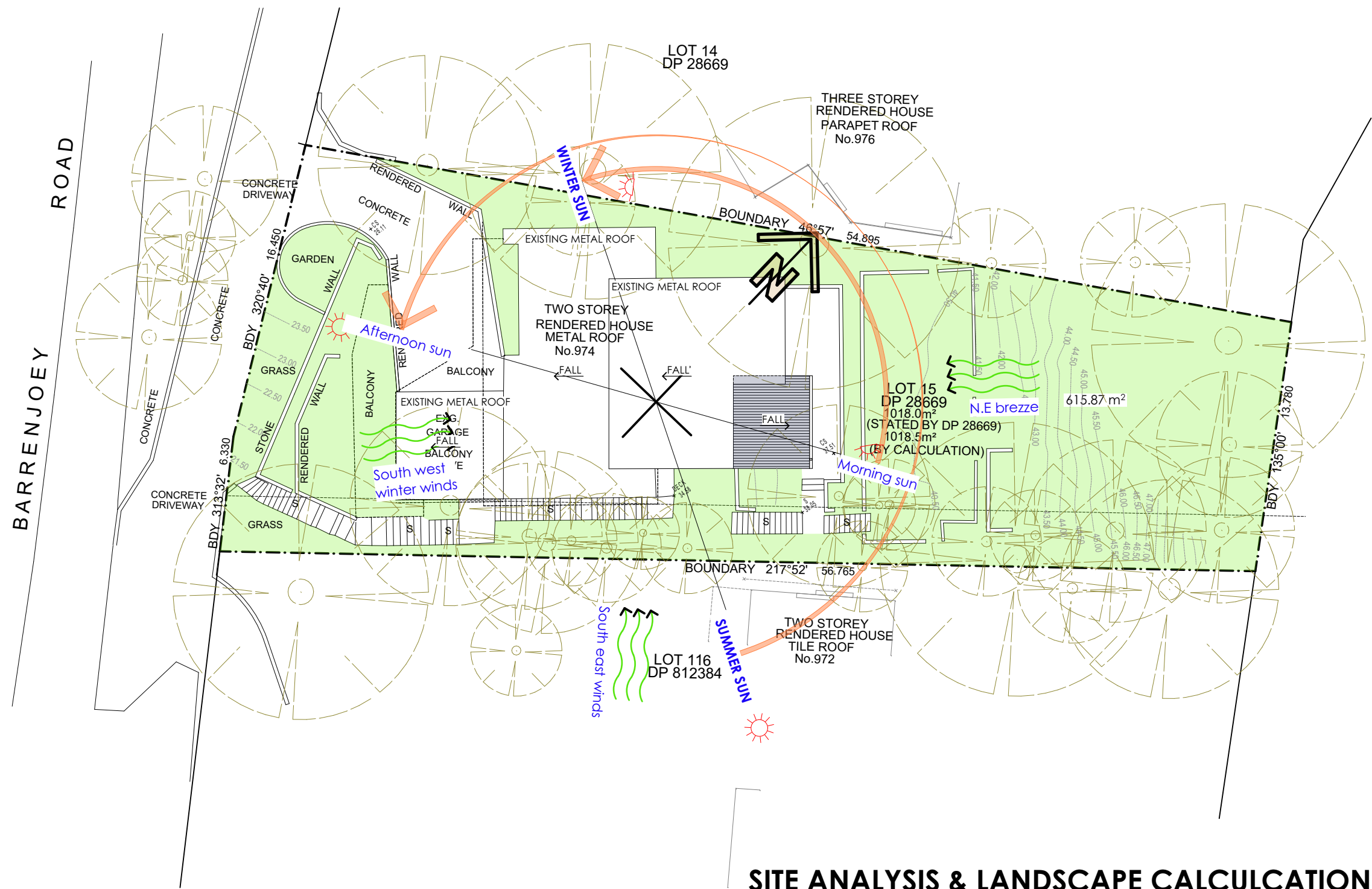
DEVELOPMENT APPLICATION

Plot Date: 24/03/2022

23/03/2022 PRELIMINARY N

DATE ISSUE DRAWN BY



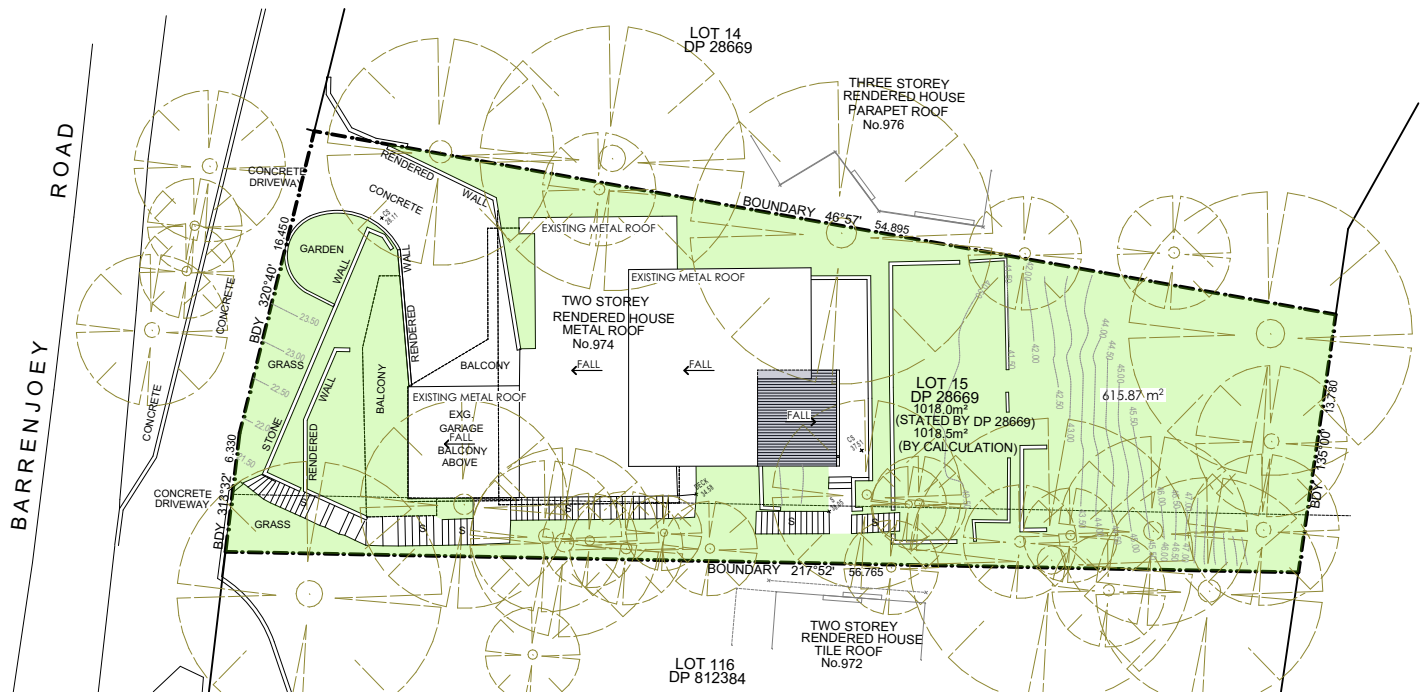


SITE ANALYSIS & LANDSCAPE CALCULATION 1:250

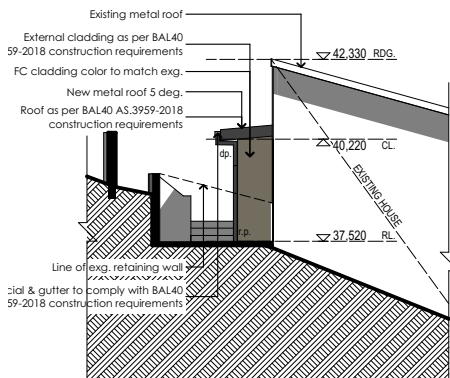
LANDSCAPE AREA: 615.87 m<sup>2</sup>

PROJECT NOTES			LEGEND			R.L: RELATIVE LEVEL (m)			S.C.D: SOLID TIMBER CORE DOOR			<div><div>NK ARCHITECT</div><div>ARCHITECTURAL DESIGN</div><div>74 JOHN ST, CROYDON, NSW</div><div>PHONE (02) 8006 1268</div><div>MOB: 0406 987 868</div><div>NSW ARB: 7853</div></div>			PROJECT: ALTERATIONS AND ADDITIONS			Scale 1:250 @ A3 Drawing number AR-8		
• DO NOT SCALE DRAWINGS.			Existing walls to remain			F.F.L: FLOOR FINISH LEVEL			REFER TO THE SCHEDULE						Date 24/03/2022 Pages 8 of 10					
• FIGURED DIMENSIONS SHALL BE TAKEN IN PREFERENCE TO SCALE.			New brick walls			C.L: CEILING LEVEL			S.D: ALUM. SLIDING DOOR						<div>AT: 974 BARRENJOEY RD, PALM BEACH</div> <div>FOR: MR. MATTHEW MILLAR</div> <div>DRAWING NAME SITE ANALYSIS &amp; LANDSCAPE CALCULATION</div>			<div>DEVELOPMENT APPLICATION</div> <div>Plot Date: 24/03/2022</div>		
• VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS OR SHOP DRAWINGS. ANY DISCREPANCIES SHALL BE REFERRED TO THE AUTHOR.			New brick veneer walls			N.G.L: NATURE GROUND LINE			REFER TO THE SCHEDULE											
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© Copyright of this drawing is vested in NK ARCHITECT			Existing to be demolished			W.B.C: WEATHER BOARD CLADDING (RTS)			REFER TO THE SCHEDULE			23/03/2022 PRELIMINARY N								
						S.A: SMOKE ALARM (RTS)			C.R.S: COLORBOND ROOF SHEETING			DATE			ISSUE			DRAWN BY		
						M.H: METAL HANDRAIL (RTS)			F.B.W: FACE BRICK WORK											
						t: tiles g: glass p: paint			REFER TO THE SCHEDULE											
						b: brick														

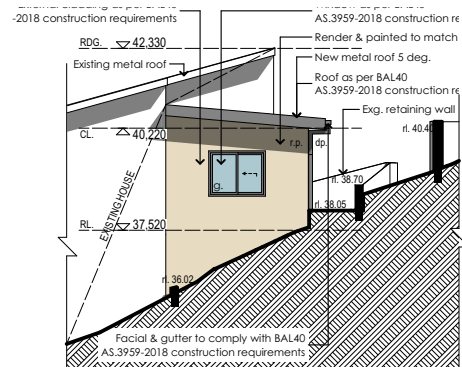




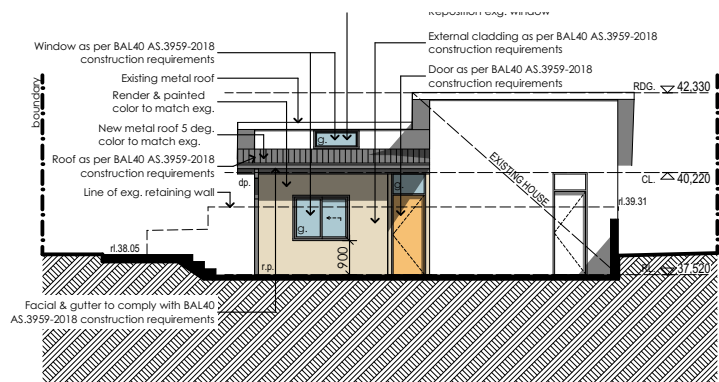
## SITE PLAN AND ROOF PLAN



### NORTH ELEVATION



### EAST ELEVATION

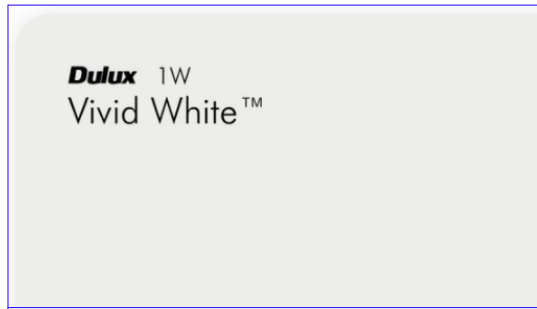


### EAST ELEVATION

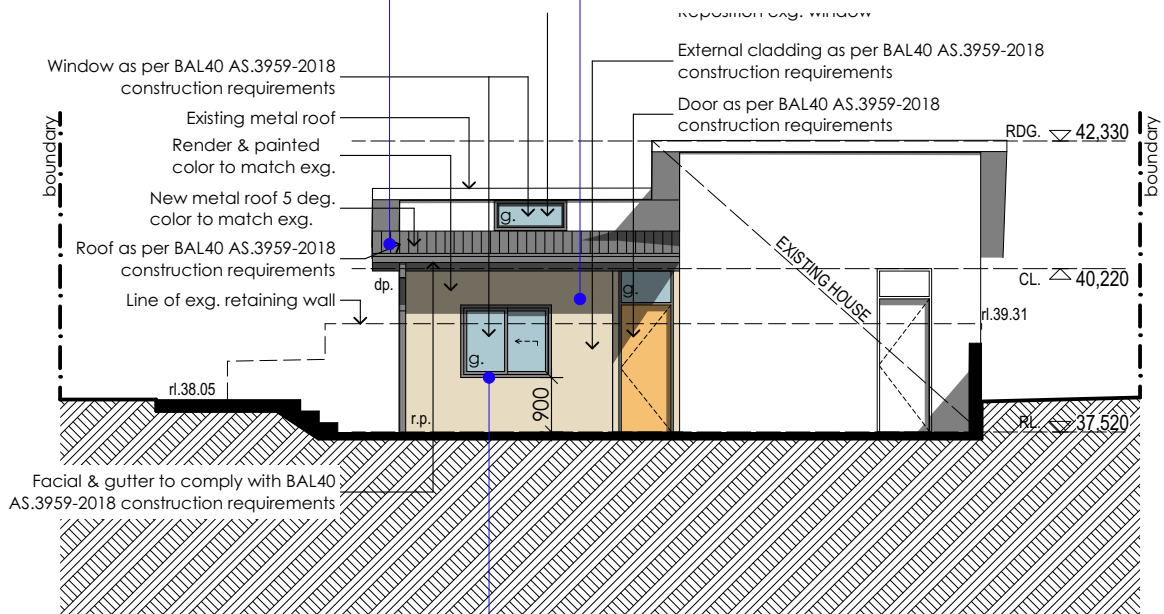




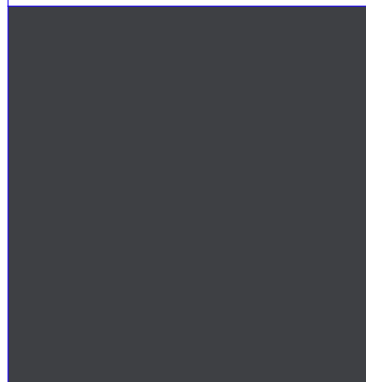
Colorbond roof Dune colour




Wall paint Vivid white



## EAST ELEVATION



Dulux charcoal powder coated aluminium window frame

	<div><div>NC</div><div>ARCHITECT</div><div>ARCHITECTURAL DESIGN</div><div>74 JOHN ST, CROYDON, NSW</div><div>PHONE (02) 8006 1268</div><div>MOB: 0406 987 868</div><div>NSW ARB: 7853</div></div>	PROJECT	Scale	NTS	@ A4	Drawing number	AR-10
		ALTERATIONS AND ADDITIONS	Date	24/03/2022	Pages	10 of 10	
		AT 974 BARRENJOEY RD, PALM BEACH	<div>DEVELOPMENT APPLICATION</div> <div></div>				
		FOR: MR. MATTHEW MILLAR					
A			DRAWING NAME	Plot Date:	24/03/2022		
ISSUE		_MATERIAL & COLOR FINISHED SCHEDULE					